



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 3629 East Broad Street

Historic district Chimborazo Park

RECEIVED 11:32
Date/time rec'd: _____
Rec'd by: AM MAY 25 2018
Application #: COA-036152-2018
Hearing date: 6/26/18

APPLICANT INFORMATION

Name Enoch Pou, Jr., Manager

Phone 804-482-0806

Company ClaireView Enterprises I, LLC

Email epjr.cve@gmail.com

Mailing Address 7330 Staples Mill Rd, #184
Richmond, VA 23228

Applicant Type: Owner Agent
 Lessee Architect Contractor
Other (please specify): _____

OWNER INFORMATION (if different from above)

Name Richard Schofield, Manager

Company Schofield Properties, LLC

Mailing Address 109 Windsor Way
Richmond, VA 23221

Phone 804-513-8821
Email rickschofield@aol.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Construction of a new single-family home with a proposed address of 3631 East Broad Street. The existing lot (3629 East Broad Street) will be split to create the new lot/address.

See attached Applicant's Report.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner  Date 05/23/2018



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 3629 E. Broad St. (3631 E. Broad St.-Proposed)

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

The Honorable Council of the City of Richmond, Virginia

**c/o The Department of Planning
and Development Review
Commission of Architectural Review
900 East Broad Street
Room 510
Richmond, VA 23219**

**Commission of Architectural Review
Application for Certificate Of Appropriateness**

Applicant's Report for Final Review of New Construction

Subject Property

3629 East Broad Street (3631 East Broad Street - Proposed)

Tax Parcel Number

E-000-1290/016

Owner/Contact

Schofield Properties, LLC
c/o Enoch Pou, Jr.
ClaireView Enterprises I, LLC
7330 Staples Mill Rd, #184
Richmond, VA 23228
Office: (804) 482-0806
Fax: (804) 755-6659

Proposed Use

The Applicant has acquired the existing property at 3629 East Broad Street and is submitting this application as it is necessary to perform a lot split and build a new single-family home with off-street parking on the newly created, separate lot. The new lot will have an address of 3631 East Broad Street.

Reason

The existing property (3629 East Broad Street) is zoned R-8, Urban Residential District and has 85.60 feet of frontage along East Broad Street. CAR approval of the proposed new construction is required prior to presenting an application to the Board of Zoning Appeals (BZA) for approval of the lot split. The proposed lot resulting from the split will have 52.60 feet of frontage and will exceed the maximum 45 feet of frontage allowed by the current zoning. Also, there is no alley nor side yard access for off-street parking.

I. Property Description

The existing property, 3629 East Broad Street, is located on East Broad Street at its very end (Photo 1). It is bounded on its northern property line by East Broad Street, on the east by a vacant lot 40 feet below its grade, on the south by Government Road (also approximately 40 feet below its grade), and on the west by an attached single-family home. There is an existing curb cut that allows direct access to an open area of land on the lot. A chain link fence separates the open area from a guard rail blocked, unpaved, overgrown, extension of East Broad Street (see Photo 2 and the enclosed Site Plan). There is an approximately 40 foot drop off at the eastern property line down to the adjacent vacant lot below (see Photos 3 and 4). The site slopes significantly at the rear down to its boundary at Government Road (see Photo 4). The site is located within the Chimborazo Park City Old and Historic District and the Oakwood-Chimborazo National Historic District. The site contains 13,333.9 square feet of lot area and is currently occupied solely by a single-family home. The single-family home is part of a double house and is attached to a mirror image single-family home known as 3627 East Broad Street.

II. Concept of Proposed Lot Split and Development

We are proposing to create a separate lot to be known as 3631 East Broad Street in order to develop a new, detached, single-family home. The proposed home is designed to meet all of the requirements as set forth by the Commission of Architectural Review as reflected in the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* (the "Guidelines"). It will be two stories above ground and contain a basement in similar fashion to the two attached homes at 3627 and 3629 East Broad Street. The setback and elevation requirements mandated by the current zoning and the Commission of Architectural Review mandates have been adhered to. The elevations that have been revised based upon recommendations received after the project's Conceptual Review represent a façade and elevations that will be congruent with the community in appearance and scale.

III. The Guidelines and CAR Staff Recommendations

The Conceptual Review of the proposed new construction was conducted at the April 24, 2018 CAR meeting. CAR Staff Recommendations received after that meeting are included as an enclosure to this Applicant's Report. Those Recommendations and the influence that the Guidelines has had on the design will be addressed in this section.

- 1- Per CAR Staff Recommendations, the design has been changed to include a false mansard roof.
- 2- Per CAR Staff Recommendations, the previously proposed Doric columns have been eliminated and square, simplified columns are being proposed.
- 3- Per CAR Staff Recommendations, the previously proposed 6/1 lite configuration has been eliminated and all double hung windows will have a 1/1 lite configuration.

- 4- Per CAR Staff Recommendations, consistent window sizes were to be placed on the west elevation. During the Conceptual Review, the Applicant explained that the 1st story window is to be a fixed, casement window and the 2nd story window is a double hung at the stair landing. As shown on the enclosed Plans, the stair landing window is consistent with its lite configuration and size when compared to other double hung windows on the home.
- 5- *The Guidelines* – Siting, pg 46. As shown on Page C-1 of the enclosed drawings, both the context setbacks and the context elevations mimic the adjoining properties.
- 6- *The Guidelines* – Form, pg 46. The building form is compatible with those found elsewhere in the Chimborazo Park City Old and Historic District and complies with the requirements found in this section of the Guidelines.
- 7- *The Guidelines* – Height, Width, Proportion & Massing, pg 47. The new construction is in line with the typical height of surrounding residential buildings.
- 8- *The Guidelines* – Materials & Colors, pg 47. As shown on the enclosed Plans, the proposed new construction will have smooth Hardiplank at all elevations. The materials used on the exterior will be compliant with all aspects of this section. The Applicant requests that the final paint colors be subject to Administrative Review by CAR Staff at the time of construction.
- 9- *The Guidelines* – Doors and Windows, #3, pg 49. The size, proportion, and spacing patterns of doors and window openings are compatible with patterns established within the district.
- 10- *The Guidelines* – Porch and Porch Details, pg 49; Railings, pg 50. Given the standing seam metal roof and the Richmond Rail proposed for the front porch, the proposed new construction is within the Guidelines.
- 11- *The Guidelines* – Decks, pg 51. The area between the brick piers of the front porch will be screened with wood lattice. The lattice will be painted.

IV. Off-Street Parking and Site Improvements

In accordance with Article VII, Division 2. Off-Street Parking Regulations of the City of Richmond Zoning Ordinance, a minimum of one (1) parking space is required for a single-family detached dwelling. There is no alley access to *any* home along the southern line of the 3600 block of East Broad Street. The severe slope at their rear yards leading down to Government Road prevents rear access by any vehicle (see Photos 5 and 6). All parking for the homes along the southern line of the 3600 block of East Broad Street is on-street parking with few exceptions. There are existing curb cuts at 3609, 3615, and 3618 East Broad Street and they are shown as Photos 7, 8, and 9.

The development of off-street parking for both the existing 3629 East Broad Street and the proposed 3631 East Broad Street will help alleviate the negative impact the lack of rear access presents to the current property owners along this section of East Broad Street. There is an existing curb cut/entrance to the open area of the lot at 3629 East Broad Street (Photo 10). As the enclosed Site Plan and Legal Plat Survey both show, there is off-street parking proposed for

both 3629 East Broad Street and the proposed 3631 East Broad Street via the existing curb cut (Photos 11 and 12). In accordance with the Zoning Ordinance, the dedicated parking for each lot will not exceed nine feet in width.

Given, 1) that there is no improved road frontage at the front of the site, 2) the setback requirements per the Zoning Ordinance for both 3629 and the proposed 3631 East Broad Street, 3) the need to conform to the spatial relationship of neighboring properties, 4) placing the parking on the west side of the house would cause the parking space to be parallel with the parking proposed for 3629 East Broad Street, thereby posing difficulty for both homeowners to enter and exit their respective vehicles, and 5) no feasible access to neither the east side of the house or rear of the property, the proposed location of the parking is the only viable option for off-street parking as required by the City of Richmond Zoning Ordinance.

Although this unique circumstance may set a precedent, with the variables given above, the option presented offers the most practical avenue to fulfill a mandated requirement while providing ease to the homeowner and not have a negative impact on the parking available to the immediate neighbors.

Conclusion

During its planning of the proposed development of the parcel to be known as 3631 East Broad Street, the applicant has made significant efforts to address the needs and desires of the immediate community, the Commission, and CAR Staff while working to be part of the City's revitalization efforts. We have taken into consideration traffic flow, parking, greenspace, esthetics, and the community's desire for homeownership opportunities within its boundaries. The applicant looks forward to the positive impact this homeownership opportunity will have on the Chimborazo Park community and the City of Richmond as a whole.

Respectfully submitted,

Schofield Properties, LLC

enclosures

- 1-Plans (Floor, Roof, & Site), Elevations, Material Specifications, Context and Perspective Drawings
- 2-Photos of Subject Property
- 3-Photo Map
- 4-Legal Plat of Survey
- 5-CAR Staff Recommendations dated April 30, 2018

3631 East Broad Street (Proposed)
Richmond, VA 23223-8005
Chimborazo Park - City Old and Historic District
(all photos taken February 2018)

Photo 1. New construction at 3625 E. Broad Street at right, double house at 3627 & 3629 E. Broad Street, with area of proposed 3631 East Broad Street at far left of double house



Photo 2. Unimproved East Broad Street behind guardrail at left; subject lot at center



3631 East Broad Street (Proposed)
Richmond, VA 23223-8005
Chimborazo Park - City Old and Historic District

Photo 3. Eastern property line; adjacent lot approximately 40 feet below (see Photo 4)



Photo 4. Subject on hill at left; adjacent lot with different ownership at lower right



3631 East Broad Street (Proposed)
Richmond, VA 23223-8005
Chimborazo Park - City Old and Historic District

Photo 5. Government Road, eastern view; 3600 block of East Broad Street rear yards at left



Photo 6. Government Road, western view; 3600 block of East Broad Street rear yards at right with homes at top of slope



3631 East Broad Street (Proposed)
Richmond, VA 23223-8005
Chimborazo Park - City Old and Historic District

Photo 7. Existing curb cut and off-street parking at 3609 East Broad Street



Photo 8. Existing curb cut and off-street parking at 3615 East Broad Street



3631 East Broad Street (Proposed)
Richmond, VA 23223-8005
Chimborazo Park - City Old and Historic District

Photo 9. Existing curb cut and off-street parking at 3619 East Broad Street



Photo 10. Existing curb cut at 3629 East Broad Street to be used for 3631 EBS also



3631 East Broad Street (Proposed)
Richmond, VA 23223-8005
Chimborazo Park - City Old and Historic District

Photo 11. Area of proposed off-street parking for existing 3629 East Broad Street to be adjacent to the existing property

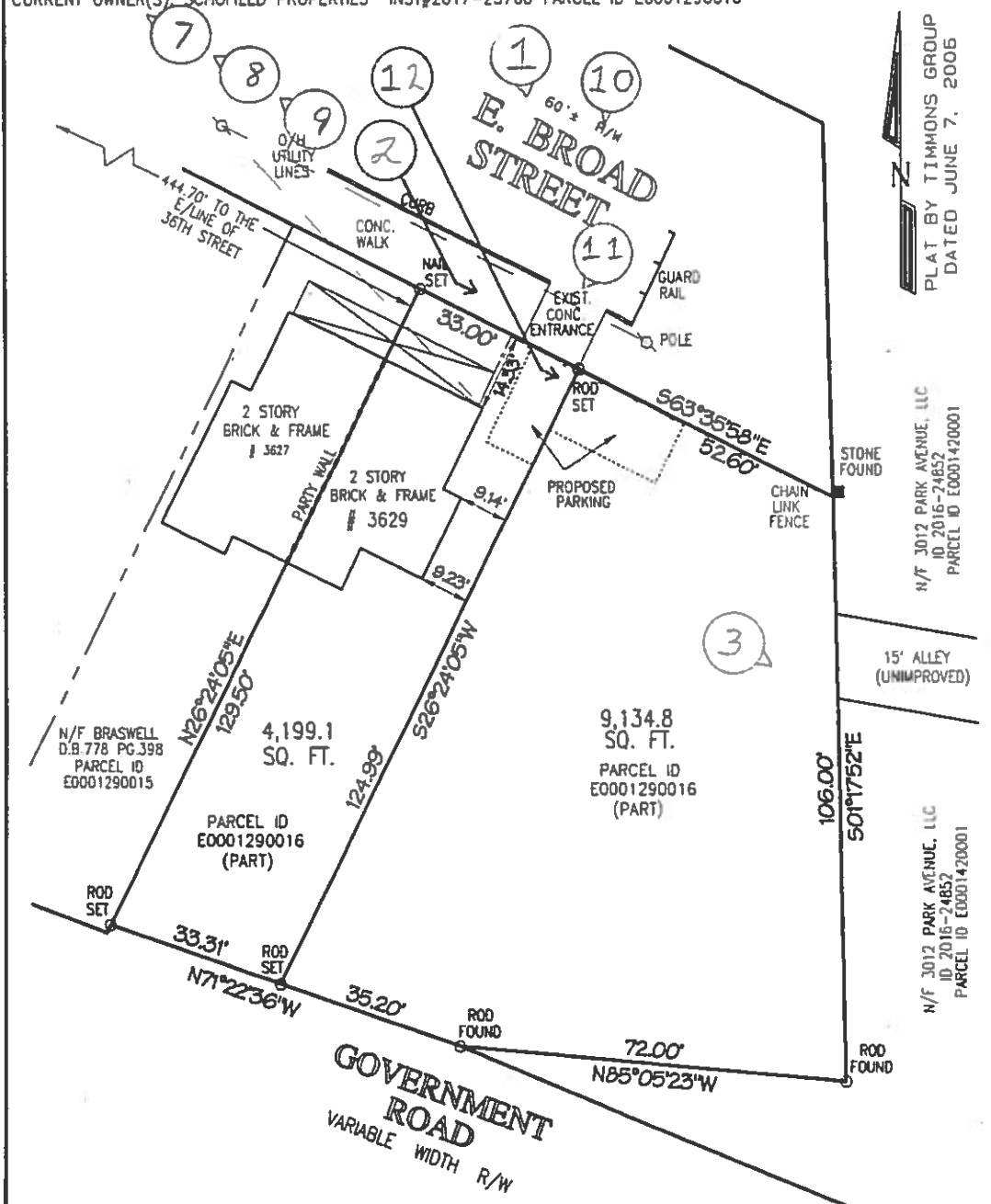


Photo 12. Area of proposed parking for new home at proposed 3631 East Broad Street will be inside the property line along the chain link fence; fence will be removed



FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS, CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. CURRENT OWNER(S): SCHOFIELD PROPERTIES INST#2017-23760 PARCEL ID E0001290016

PLAT BY TIMMONS GROUP
DATED JUNE 7, 2006



**PLAT SHOWING PROPOSED DIVISION OF
3629 E. BROAD STREET
IN THE CITY OF OF RICHMOND, VIRGINIA**

SCALE: 1" = 25'

THIS IS TO CERTIFY THAT ON JANUARY 30, 2018 I MADE A FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS PLAT IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND CERTIFIED LANDSCAPE ARCHITECTS.



**FREDERICK A. GIBSON
& ASSOCIATES, P.C.**
LAND SURVEYORS
11521-G MIDLOTHIAN TURNPIKE
NORTH CHESTERFIELD, VIRGINIA 23235
PHONE 804 378-4485 FAX 804 378-4487

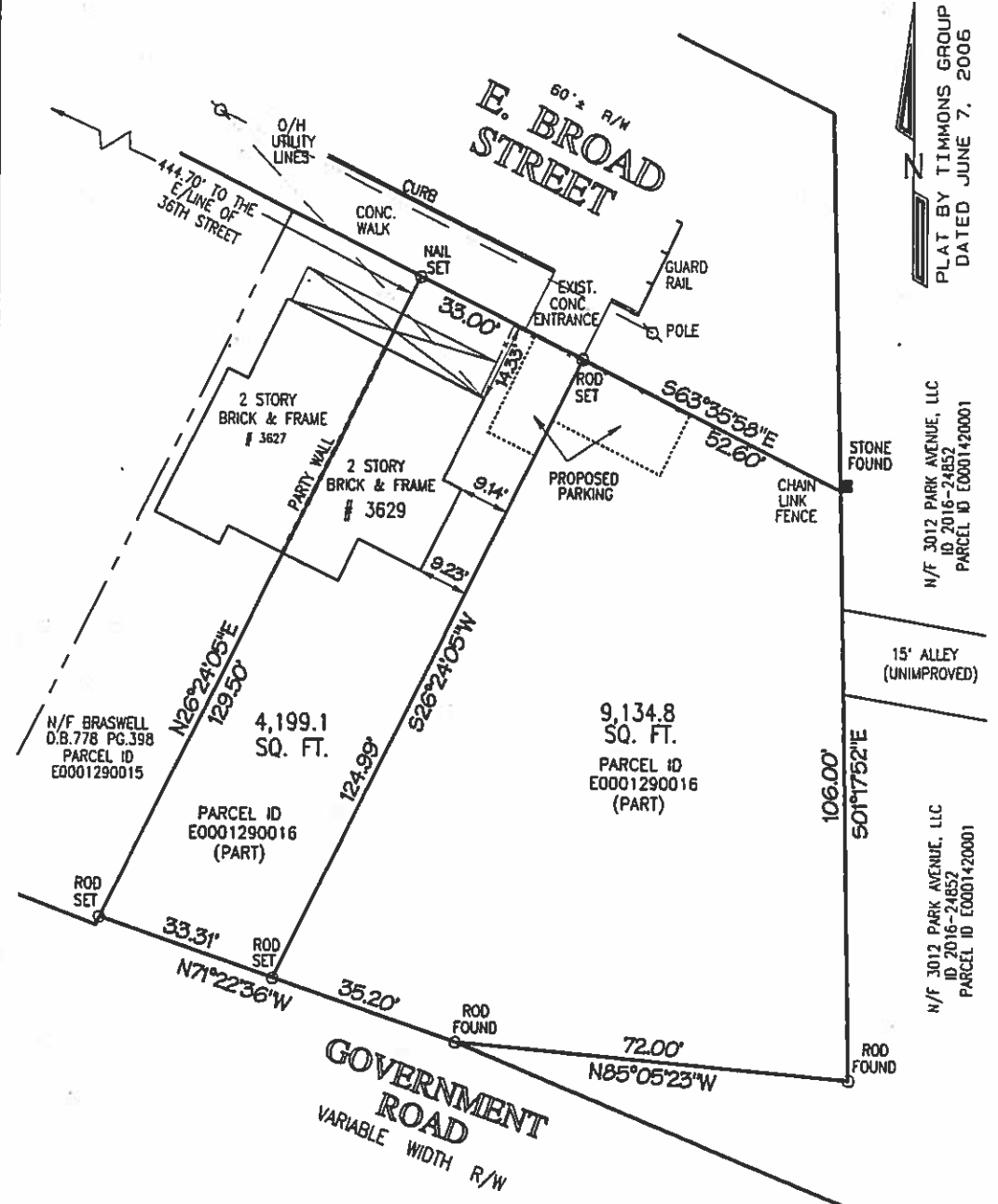
LEGEND	
○	IRON ROD FOUND
●	IRON ROD SET
UNLESS OTHERWISE NOTED.	
PROJECT # 1701-06 LS	

5

4

6

FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS, CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. CURRENT OWNER(S): SCHOFIELD PROPERTIES INST#2017-23760 PARCEL ID E0001290016



PLAT BY TIMMONS GROUP
DATED JUNE 7, 2006

N/F 3012 PARK AVENUE, LLC
ID 2016-24852
PARCEL ID E0001420001

15' ALLEY
(UNIMPROVED)

N/F 3012 PARK AVENUE, LLC
ID 2016-24852
PARCEL ID E0001420001

**PLAT SHOWING PROPOSED DIVISION OF
3629 E. BROAD STREET
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**FREDERICK A. GIBSON
& ASSOCIATES, P.C.**
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PHONE 804 378-4485 FAX 804 378-4487

LEGEND	
○	IRON ROD FOUND
●	IRON ROD SET
UNLESS OTHERWISE NOTED.	
PROJECT # 1701-06 LS	

3629 & 3631 (Proposed) East Broad Street - CAR Conceptual Review Notes

-- <epoujr@cve1.com>
To Enoch Pou, Jr.

11:34 PM

2 attachments View Download ★ Edit and save documents

----- Original Message -----

From: "Pitts, Marianne G. - PDR" <Marianne.Pitts@richmondgov.com>
To: '-' <epoujr@cve1.com>
Date: April 30, 2018 at 9:48 AM
Subject: RE: 3629 & 3631 (Proposed) East Broad Street - CAR Conceptual Review Notes

Mr. Pou,

Staff concerns and recommendations:

- Staff has concerns that the distance between the top of the 2nd story windows and the cornice is not be consistent with the proportions found in the historic structures on the block with similar roof lines. The Commission may want to consider encouraging the applicant to include a false mansard roof.
- The proposed parking at the front of the structure is not a building form found in the district. Staff supports the applicant's request to use the existing curb cut, but recommends parking be limited to the side or rear of the structure as is found with the other curb cuts on the block.
- Staff recommends simplified porch columns rather than the proposed doric columns.
- Staff has concerns that the proposed 6/1 lite configuration is not a lite configuration appropriate for an Italianate inspired home.
- Staff recommends the fenestration be modified on the highly visible west elevation to include consistent window sizes and lite configurations.

The following items will need to be included for final review (please refer to the Commission's New Construction Checklist and Required Dimensions document for additional details):

- Dimensioned elevations to include the window head and sill heights.
- Dimensioned context elevation
- List of windows and doors to include size, material, and design
- Description of all materials (attach specification sheets if necessary)
- Statement of how the Richmond Old and Historic District Handbook and Design Review Guidelines informed the proposed work.

Thank you,

Marianne

Feedback

SINGLE FAMILY RESIDENCE

3631 E BROAD STREET RICHMOND, VA 23223

BUILDING INFORMATION:

CONSTRUCTION CODE: VCC 2009, IRC 2012	CONSTRUCTION TYPE: V-B
BUILDING AREA (INCLUDING THE EXTERIOR WALL):	1,088 SF
	1ST FLOOR: 1,184 SF
	2ND FLOOR: 1,088 SF
	TOTAL: 3,360 SF
STORIES ABOVE GRADE: 2	
HEIGHT ABOVE GRADE: 28'-6"+1-	
USE GROUP: SINGLE-FAMILY	SPRINKLER SYSTEM: NO
FIRE DETECTION: YES, HARD-WIRED SMOKE DETECTION SYSTEM	
INSULATION VALUES:	CEILING: R-38 BATT INSUL
	WALLS: R-15 BATT INSUL
	FLOORS: R-30 BATT INSUL

DRAWING INDEX:

T-1	TITLE SHEET, SITE SURVEY & BUILDING INFO.
C-1	CONTEXT ELEVATIONS & PLANS
A-0	GENERAL CONSTRUCTION NOTES
A-1	BASEMENT PLAN & 1ST FLOOR PLAN
A-2	2ND FLOOR PLAN & ROOF PLAN
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS
A-5	WINDOWS & DOORS

GENERAL STRUCTURAL NOTE: STRUCTURAL ITEMS ARE SHOWN FOR REFERENCE. ALL STRUCTURAL ELEMENTS ARE TO BE SPECIFIED/APPROVED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

General Conditions:

Contractor to carefully review the contract documents and existing conditions of the job site to achieve full comprehension of the project, renovation requirements. Contractor to include cost for all work described and required to satisfy the intent of the contract documents and required by existing conditions. Architect to be notified of conflicts between existing conditions and new work conflicts or omissions in the drawings and any limitations related to the execution of the work. In the case of conflicts within the contract documents, the strictest condition or requirement is to be included in the cost and scope of work. Contractor shall not proceed with the work, involved in such errors, omissions, or discrepancies until written instructions are given by the Architect. The Contractor shall be responsible to correct all work erroneously installed prior to receiving said instructions.

All work shall be in accordance with the Virginia Statewide Uniform Building Code and International Residential Code. Latest editions, to the satisfaction of authorities having jurisdiction. All manufactured products shall be used per manufacturer's written specifications. Contractor to apply for, pay for and obtain all permits, fees and inspections by authorities having jurisdiction over the work. Copies of all transactions shall be made available to the owner. Notify the architect of any variance with current codes. Contractor shall be responsible for compliance with public authorities regarding the performance of work.

Contractor to make available to the owner a construction schedule along with a schedule of values prior to commencement of work.

Contractor shall supply all labor, materials, equipment, tools, handling, transportation, debris removal, and all related costs and services necessary for the execution of the work.

Work is to be executed by the general contractor unless provisions are made otherwise. References to "contractor" are to include general contractor and subcontractors. The contractor shall be solely responsible for coordination of work. The contractor is to be responsible for acts and omissions of the contractor's employees, subcontractors and their employees, and any other persons performing any of the work under contract with the contractor. The architect will not be responsible for errors, omissions or delays caused by the contractor.

Field Verifications: Verify all dimensions in the field before performing the work. The Contractor will be responsible to correct any work that is done in error because of failure to verify or clarify dimensions.

Substantial changes to the drawings or actual work are to be issued by the architect with the owner's approval.

Construction Coordination:

Contractor is to coordinate and protect all new and existing work in place when exposed to potential damage by work of multiple trades. The Contractor shall coordinate construction of all required mechanical, electrical and plumbing.

All work and improvements shall be in strict accordance with the current codes adopted by the local jurisdictions and approved by the local building inspection office. All work is to comply with applicable provisions of the the occupational safety and health act: OSHA.

The contractor is to keep the premises free from excessive accumulation of waste materials or rubbish caused by construction and will remove it from the site in a timely fashion or as directed by the owner. Upon completion of the project, the contractor shall remove all remaining materials, waste or otherwise, as well as all construction equipment. The work and support areas shall be left broom clean.

Product information and samples:

Shop-drawings and all other submittals are to be examined by the general contractor and checked for compliance with contract requirements.

Quality Control:

Complete all construction and install materials per manufacturer's specifications and instructions and in a manner consistent with industry standards of workmanship and the products selected.

Material Acceptation:

Protect products during all stages of handling to prevent damage. Comply with all requirements of specified product and manufacturer's instructions to ensure optimum condition of final installed product.

Work Conditions:

Create appropriate environmental conditions for installing or applying finishes to the products specified.

Prior to product installation, evaluate all existing surfaces to receive product per product manufacturer's recommendation. Installation shall imply acceptance of substrate and shall not be grounds for claims against proper performance of installed materials.

Keep ends, cut lighting, fire protection and life safety devices operational during construction. Keep means of egress clear of all tools, materials and debris.

Warranties:

Warrant all materials, finishes and equipment supplied under this contract shall be new, unless otherwise specified and that all work shall be of good quality, free from defects and in compliance with the contract documents. For one year beginning at the date of substantial completion, contractor will promptly remedy work found not to be in compliance with the contract documents. Contractor shall assume all costs for corrections.

Transfer all manufacturer warranties, product literature, maintenance requirements and schedules to the owner at completion of the project.

Products:

Contractor to provide products specified in the following specifications or in the other contract documents. If no product is specified, contractor shall provide a match in quality and appearance to typical materials used in other similar buildings.

Construction execution:

Dimensions to be verified in the field. If dimensions can not be verified or the verification would cause a delay in the progress of work, contractor shall guarantee dimensions to the subcontractor for coordination. Drawings may be scaled for reference only.

Wall partitions, unless noted otherwise, shall be located as dimensioned and shown on the construction plans and details. Dimensions are to faces of finished partitions. Actual partition thicknesses are used. Contractor shall verify dimensions. All vertical dimensions are given from top of finished flooring unless otherwise noted.

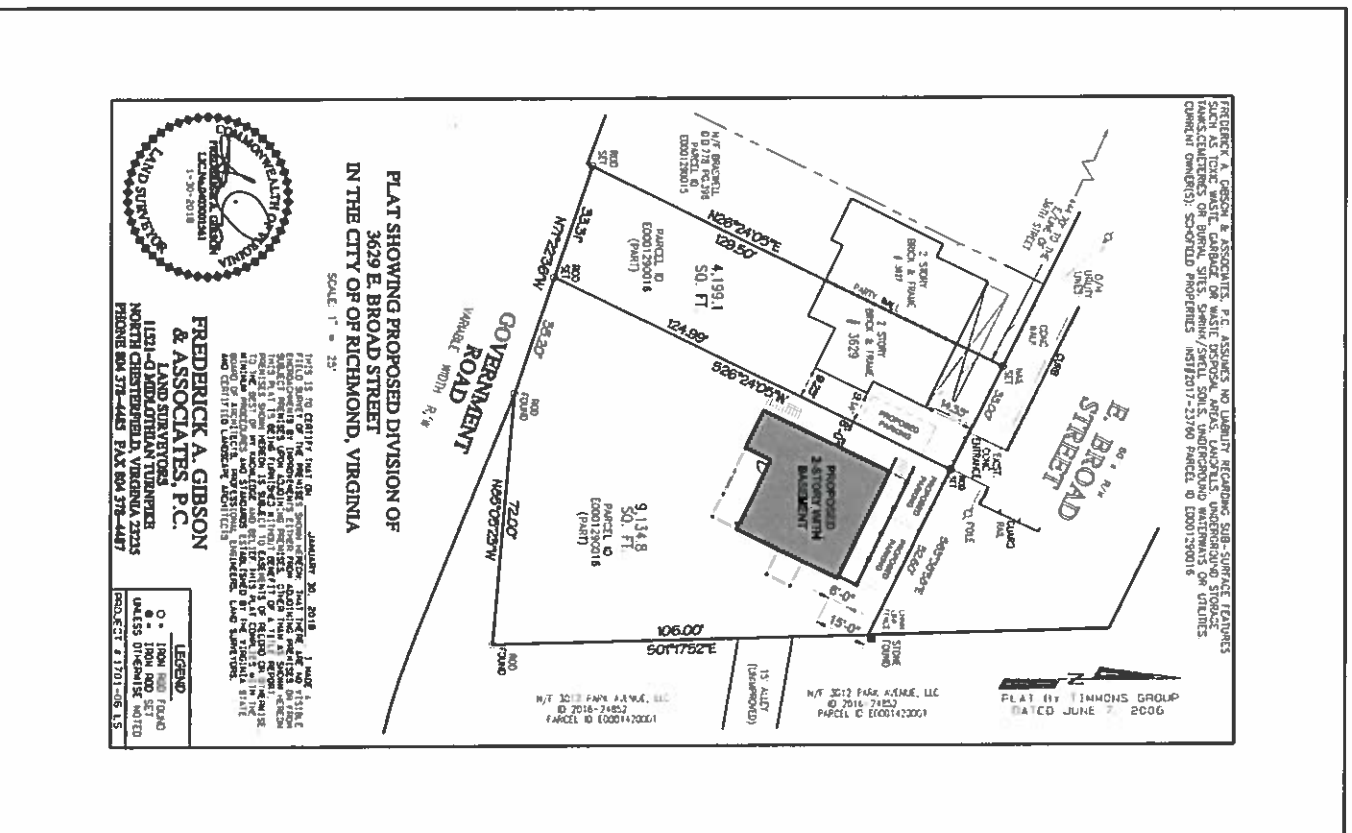
Contractor shall prepare concrete floors, if applicable, to be a smooth uniform surface. All floor anchors and penetrations shall be coordinated by contractor as part of the floor preparation.

Clean all surfaces and equipment 24 hours prior to occupancy. Vacuum or mop, as required, all floors and clean windows and glazing.

The date when the project is available for owner occupancy will be known as substantial completion. Additional touch-up or minor reparation work may be required.

Contract all items in strict adherence to the approved shop drawings and the referenced product standards. Connections of all parts being accurately and neatly fitted and securely fastened together.

PROPOSED SURVEY PLAN

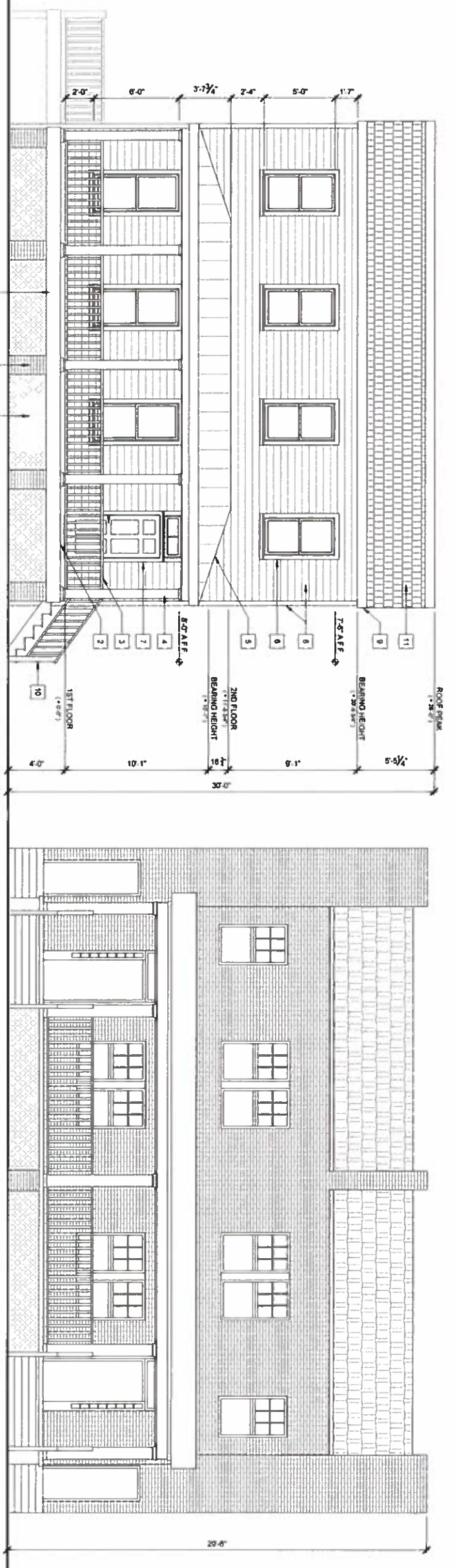


SCHOFIELD PROPERTIES LLC

SINGLE FAMILY RESIDENCE
3631 E BROAD STREET
RICHMOND, VA 23223

DATE: 05.09.18

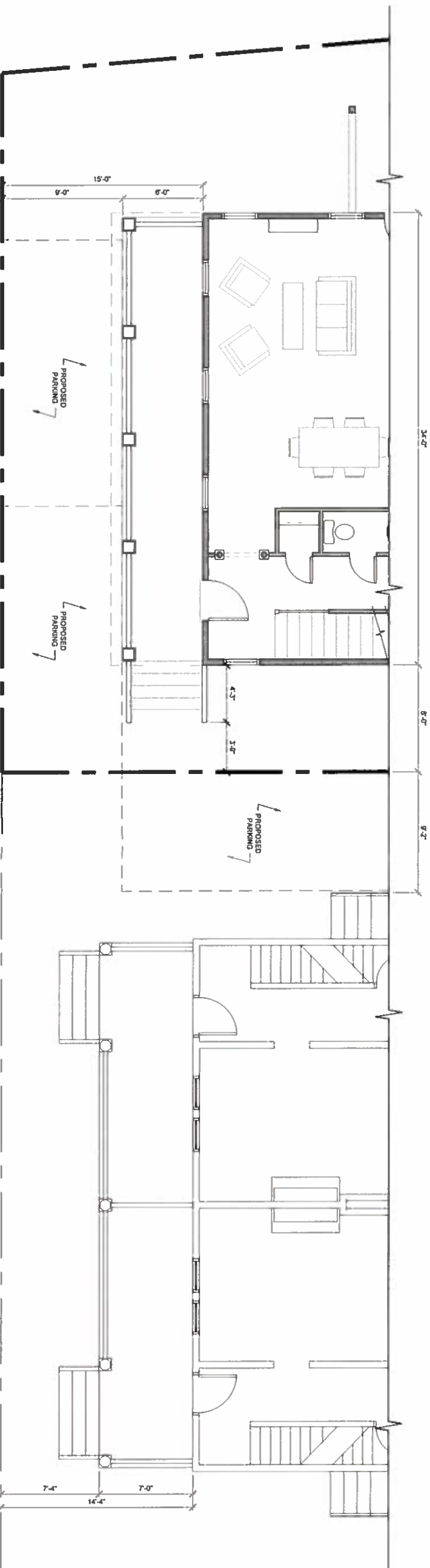
T-1



**3631 E BROAD STREET
PROPOSED**

CONTEXT ELEVATIONS

SCALE: 1/4"=1'-0"



CONTEXT SETBACK PLANS

SCALE: 1/4"=1'-0"

SCHOFIELD PROPERTIES LLC

SINGLE FAMILY RESIDENCE
3631 E BROAD STREET
RICHMOND, VA 23223

DATE: 05.09.18

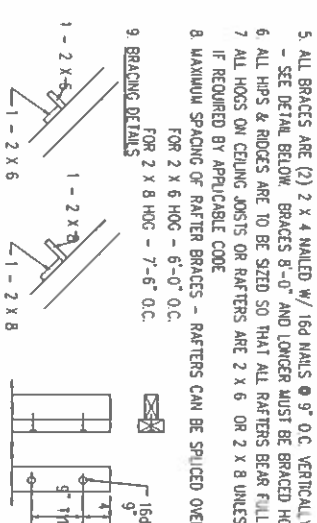
C-1

- GENERAL DESIGN & CODE REGULATION
ALL DESIGN AND CONSTRUCTION ARE BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) (2012 EDITION) AMENDMENTS.
DESIGN LOADS ARE DEAD LOADS PLUS LIVE LOADS BELOW, UNLESS OTHERWISE NOTED:
A. ROOF - 20 P.S.F. DEAD
B. ATTIC CEILING OVER ROOF SLOPES > 3:12 - 10 P.S.F. LIVE, 10 P.S.F. DEAD
C. FLOOR (NON - SLEEPING ROOMS) - 40 P.S.F. LIVE, 20 P.S.F. DEAD
D. FLOOR (SLEEPING ROOM AND UNFINISHED ATTIC WITH STAIRS) - 30 P.S.F. LIVE, 20 P.S.F. DEAD
E. SOLE SLABING (UNFINISHED SOLID GROUND) - 1500 P.S.F. (ASSUMED) AS PER TABLE R401.4.1
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CAPACITY IN FIELD PRIOR TO CONSTRUCTION. ARCHITECT CAN NOT BE HELD LIABLE IF CONTRACTOR DOES NOT PROVIDE CAPACITY TO ARCHITECT PRIOR TO CONSTRUCTION.
F. WIND SPEED IS 100 M.P.H. U.O.N. (WIND LOAD GOVERNS OVER SEISMIC U.O.N.) AS PER TABLE R 201.2.1 AND FIGURE R 201.2.4 ALL WINDOWS AND EXTERIOR DOORS SHALL BE DESIGNED AS PER TABLES R301.2(2) AND R301.2(3)
G. SEISMIC IS PER THE 2012 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS WITH VIRGINIA AMENDMENTS
H. WIND EXPOSURE CATEGORY - B
I. GROUND SNOW LOAD - 10 P.S.F.
J. WEATHERING AREA AS PER FIG. R301.2(3) - MODERATE
K. FROST LINE DEPTH - SURFACE THE BOTTOM OF ALL FOOTINGS MUST BE A MIN. OF 12" BELOW FINAL GRADE
L. TRIMITE AREA AS PER FIG. 301.2(6) - MODERATE TO HEAVY
M. DECLAY AREA AS PER FIG. 301.2(7) - SLIGHT TO MODERATE
N. WATER DESIGN TEMPERATURE - 22 DEGREES
O. ICE SHIELD UNDERLAMENT REQUIRED - ON ALL ROOF SLOPES 4 ON 12 OR LESS ARE REQUIRED TO HAVE WATER & ICE SHIELD INSTALLED OVER ENTIRE ROOF SURFACE OR 2 LAYERS OF UNDERLAMENT
FOOTING & FOUNDATION CONSTRUCTION
1. ALL EXTERIOR WALL/PIER FOOTINGS ARE MIN. 8" X 24" CON'T. OR AS SOIL REQUIRES REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR SOIL CONDITIONS. FOR SHRIK, SMELT CONDITIONS, CONSULT A GEOTECHNICAL ENGINEER. SEE WALL SECTIONS & DETAILS FOR ADDITIONAL EXTERIOR WALL FOOTING AND FOUNDATION WALL REQUIREMENTS.
2. FOOTINGS FOR 16" X 8" C.M.U. INTERIOR PIERS ARE MIN. 2'-0" X 2'-0" X 8" REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR AS SOIL REQUIRES. FOR SHRIK, SMELT CONDITIONS, CONSULT A GEOTECHNICAL ENGINEER.
3. ALL FOOTINGS SHALL BE DESIGNED IN ACCORDANCE WITH R403.1.1 FOOTING WIDTH, "W" SHALL BE BASED ON BEARING CAPACITY OF SOIL IN ACCORDANCE WITH TABLE R401.4.1. FOOTING PROJECTIONS, "P" SHALL BE 4" MIN. NOT TO EXCEED THICKNESS OF FOOTING. FOOTING DEPTH SHALL BE 12" MIN. R403.1.4.
4. ALL PERS ARE 16" X 8" C.M.U. TYPICAL. CAP ALL PERS W/ 4" OF SOLID MASONRY ON 1 STORY STRUCTURES AND 6" OF SOLID MASONRY ON 1 1/2, 2 AND 3 STORY STRUCTURES. ALL PERS OVER 32" HIGH MUST BE FILLED WITH TYPE "S" MORTAR. MAXIMUM UNSUPPORTED HEIGHT OF 16" X 8" C.M.U. UNFILLED HOLLOW PIER IS NOT TO EXCEED 4 TIMES THE LEAST DIMENSION OR 32" PERS LARGER THAN 16" X 8" ARE NOTED ON PLANS. SEE DETAILS SHEET FOR ADDITIONAL REINFORCEMENT INFORMATION PROVIDE PER REINFORCING W/ 1/2" THERATED ROOFS AT NO MORE THAN 2'-0" FROM ALL CORNERS AND SPACING AT NO MORE THAN 6'-0" MAX.
5. CONCRETE SHALL BE 3000 P.S.I. IN 28 DAYS UNLESS NOTED OTHERWISE. AND PLACED AS PER A.C.I. 318-85, ON STRUCTURAL FILL COMPACTED TO A MINIMUM DENSITY OF 95% OF IT'S MAXIMUM DRY DENSITY AS DETERMINED BY THE PROCEDURES OUTLINED IN A.S.T.M. D-698
6. ALL REBAR LAP SPICES (IF REBAR SHOWN) SHALL BE A MINIMUM OF 3'-0" UNLESS NOTED OTHERWISE
7. CHIMNEY FOOTINGS FOR MASONRY CHIMNEYS SHALL BE 12" LARGER THAN FOOTPRINT X 12" THICK (MIN.)
8. WALLS BACKFILLED WITH DIRT.
A. FOR EARTH FILL UP TO 4' MAXIMUM HEIGHT - USE 8" C.M.U. OR 8" BRICK WITH MEDIUM OR SHAT ON WATERPROOFING ON EXTERIOR. FOOTING MIN. SIZE OF 12" X 24" OR AS NOTED PLAN FOR SHRIK.
SMELT CONDITIONS, 18" X 24" MIN., 3'-0" BELOW GRADE
B. FOR EARTH FILL 4' & HIGHER UP TO MAX. OF 9' USE 12" X 24" FOOTING WITH #4 @ 16" DOMELS HOOKED IN FOOTING, USE 12" C.M.U. WALLS WITH #4 @ 16" VERTICAL BARS. LOCATED 4" FROM NON DIRT FILL FACE. LAP ALL SPICES 12" AND USE DIR-O-WALL HORIZONTAL REINFORCING EVERY 8" IN C.M.U. JOINTS. FILL ALL OPEN CELLS OF C.M.U. WITH EITHER TYPE M OR S MORTAR OR FILL WITH 3000 P.S.I. CONCRETE. INSTALL MEMBRANE WATERPROOFING OR EQUAL AND ERECT ALL FRAMING BEFORE BACKFILLING FOR SHRIK, SMELT CONDITIONS, 18" X 24" MIN., 3'-0" BELOW GRADE
9. ALL UTILITIES WHICH CROSS FOOTINGS MUST PASS ABOVE FOOTINGS
10. CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH A.S.T.M. C-90 AND MORTAR TO CONFORM TO A.S.T.M. C-270, TYPE "S" BELOW GRADE, TYPE "N" ABOVE GRADE
FRAMING CONSTRUCTION - OTHER THAN ROOF
1. CRANK ORDERS ARE TO BE (3) 2 X 4 OR 2 X 6 PRESSURE TREATED LUMBER UNLESS NOTED OTHERWISE.
2. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING UNLESS NOTED OTHERWISE. UTILITY GRADE LUMBER IS UNACCEPTABLE.
3. STEEL BEAMS MUST HAVE (4) 2 X 4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE.
4. MICRO-LAW BEAMS MUST HAVE (3) 2 X 4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE.
5. MASONRY UNITS
A. FOR SPANS UP TO 6' USE 3'-1/2" X3'-1/2" X 1/4" STEEL ANGLES EXCEPT STANDARD PRESTESSED STEEL ANGLES 3'-1/2" X 3'-1/2" X 1/4" MAY BE USED FOR FIREPLACE OPENINGS AS FOLLOWS -
1. 10" OF BRICK OR STONE MAX. SPAN 36"
2. 6" OF BRICK OR STONE MAX. SPAN 48"
3. 30" OF BRICK OR STONE MAX. SPAN 72"
B. FOR SPAN FROM 6' TO 8' USE 5" X 3'-1/2" X 5/8" STEEL ANGLES

- FRAMING CONSTRUCTION - OTHER THAN ROOF CONT.
6. ALL BRICK OVER LOWER ROOFS MUST HAVE ANGLE SECURELY SUPPORTED FROM BELOW
7. ALL WOOD I-JOISTS & OPEN JOISTS MUST BE BRACED IN ACCORDANCE W/ MANUF. DIRECTIONS PLUS DETAILS SHOWN ON PLANS
8. ALL RAFTER BRACES MUST HAVE (2) STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM @ ALL FLOORS. BRACES ON CEILING PLATE TO TRANSFER TO VERTICAL STUDS TO FOUNDATION
9. WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES 2 X 4 LOADERS @ 16" O.C. MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT THE PLYWOOD DECKING
10. ON ALL OPEN WEB FLOOR TRUSSES OVER A 10' SPAN A MINIMUM SINGLE LINE OF 2 X 4'S SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL MEMBERS IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION MEMBER.
11. WHERE CEILING JOISTS ARE PARALLEL TO EXTERIOR WALLS AND RAFTERS BEAR ON STUD WALL TOP PLATES ADJACENT TO CEILING JOISTS PROVIDE STUD JOISTS AS REQUIRED TO BRACE WALL TO CEILING JOISTS
12. HEADERS ARE TO BE DESIGNED AS PER TABLE R602.5(1) OF THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE "USBC" (2012 EDITION) AMENDMENTS. USE CHART BELOW FOR TYPICAL HEADER SPANS AND SIZES WOOD HEADER & GROED SCHEDULE AS PER TABLE R602.5(1) AND R602.5(2)

SIZE OF ROOF CEILING	EXTERIOR BEARING WALLS	ROOF CEILING BEARING FLR	ROOF CEILING BEARING FLR	ROOF CEILING BEARING FLR	INTERIOR BEARING WALLS
2 - 2 X 4	2-9"	2-9"	2-8"	2-7"	2-8"
2 - 2 X 6	2-9"	2-5"	2-5"	2-5"	2-7"
2 - 2 X 8	2-9"	2-5"	2-5"	2-5"	2-7"
2 - 2 X 10	2-9"	2-5"	2-5"	2-5"	2-7"
2 - 2 X 12	2-9"	2-5"	2-5"	2-5"	2-7"
3 - 2 X 4	3-1"	2-8"	2-8"	2-8"	2-7"
3 - 2 X 6	3-1"	2-8"	2-8"	2-8"	2-7"
3 - 2 X 8	3-1"	2-8"	2-8"	2-8"	2-7"
3 - 2 X 10	3-1"	2-8"	2-8"	2-8"	2-7"
3 - 2 X 12	3-1"	2-8"	2-8"	2-8"	2-7"
4 - 2 X 4	4-1"	3-1"	3-1"	3-1"	3-1"
4 - 2 X 6	4-1"	3-1"	3-1"	3-1"	3-1"
4 - 2 X 8	4-1"	3-1"	3-1"	3-1"	3-1"
4 - 2 X 10	4-1"	3-1"	3-1"	3-1"	3-1"
4 - 2 X 12	4-1"	3-1"	3-1"	3-1"	3-1"
5 - 2 X 4	5-1"	4-1"	4-1"	4-1"	4-1"
5 - 2 X 6	5-1"	4-1"	4-1"	4-1"	4-1"
5 - 2 X 8	5-1"	4-1"	4-1"	4-1"	4-1"
5 - 2 X 10	5-1"	4-1"	4-1"	4-1"	4-1"
5 - 2 X 12	5-1"	4-1"	4-1"	4-1"	4-1"

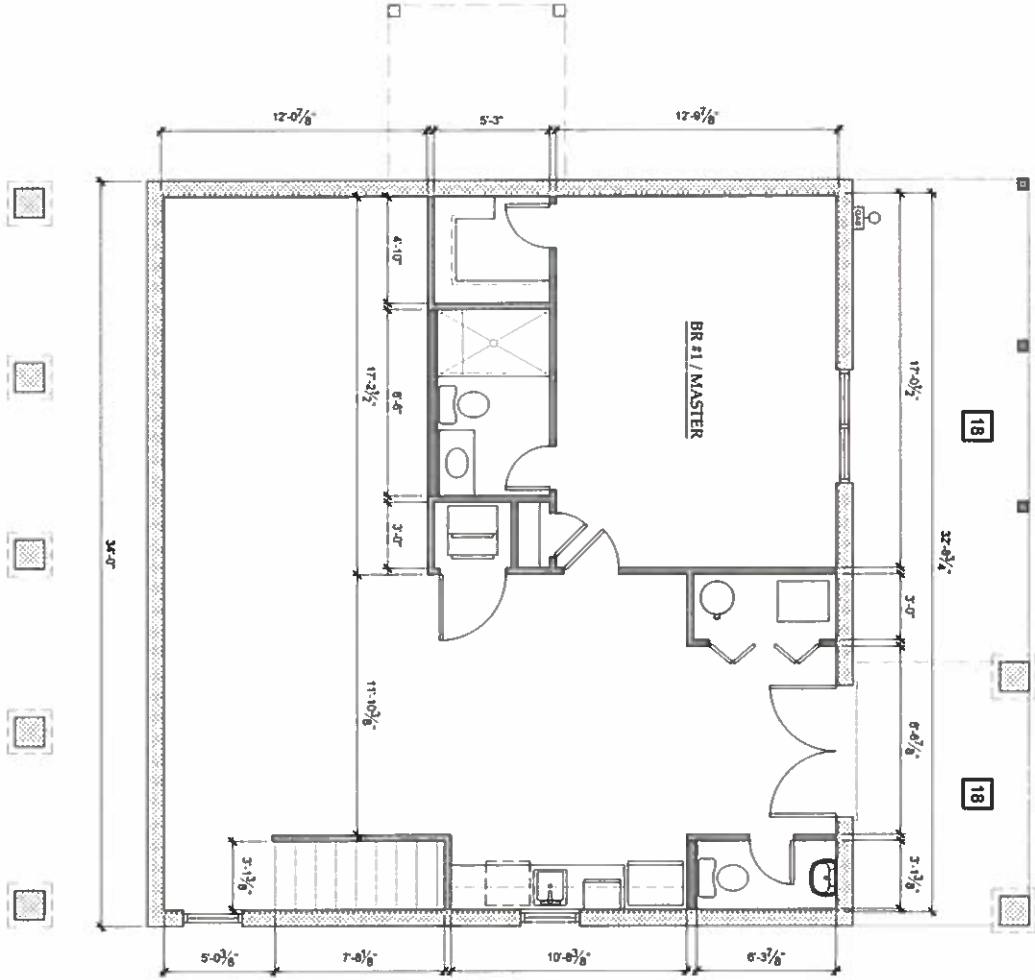
- ROOF CONSTRUCTION
1. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING UNLESS NOTED OTHERWISE. STUD OR UTILITY GRADE LUMBER IS UNACCEPTABLE.
2. RAFTER - 2 X 8 @ 16" O.C. UNLESS NOTED OTHERWISE. THEY ARE CUT IN TO HIP'S, RIDGES, ETC. UNLESS NOTED OTHERWISE.
A. THE SLATE AND OTHER BEARING ROOF COVERINGS SHALL USE 2 X 10 @ 16" RAFTERS UNLESS OTHERWISE NOTED
3. COLLAR TIES - 2 X 4 @ 32" AT ALL RIDGES AND AS REQUIRED BY TABLE R 602.3.1
4. (3) COLLAR TIES MIN. @ ALL RIDGES EVEN IF 2 TIES MUST BE PUT ON (1) SET OF RAFTERS
5. ALL BRACES ARE (2) 2 X 4 NAILED W/ 16d NAILS @ 9" O.C. VERTICALLY FROM TOP TO BOTTOM - SEE DETAIL BELOW. BRACES 8'-0" AND LONGER MUST BE BRACED HORIZONTALLY @ 4'-0"
6. ALL HIP'S & RIDGES ARE TO BE SIZED SO THAT ALL RAFTERS BEAR FULLY ON THE ROOF BOARD
7. ALL HOOS ON CEILING JOISTS OR RAFTERS ARE 2 X 6 OR 2 X 8 UNLESS NOTED OTHERWISE IF REQUIRED BY APPLICABLE CODE
8. MAXIMUM SPACING OF RAFTER BRACES - RAFTERS CAN BE SPLICED OVER HOOS FOR 2 X 6 HOOS - 6'-0" O.C. FOR 2 X 8 HOOS - 7'-6" O.C.
9. BRACING DETAILS
FOR 2 X 8 HOOS - 6'-0" O.C.
FOR 2 X 6 HOOS - 7'-6" O.C.
10. ALL ROOF TRUSSES MUST BE BUILT IN ACCORDANCE W/ TRUSS MANUFACTURERS DIRECTIONS
11. PROVIDE HURRICANE STRAPS AT ALL ROOF RAFTERS WHERE REQUIRED BY APPLICABLE CODES
12. ROOF SHEATHING SHALL BE A MINIMUM OF 1/2" OSB. SHEATHING AND SHALL CONFORM TO TABLE R 603.2.1 WITH NO ROOF PLAN.
A. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING, UNLESS SHOWN OTHERWISE.
B. USE 2 X 8 @ 16" RAFTERS, UNLESS SHOWN OTHERWISE
C. MAX. ALLOWABLE SPANS AS PER APPLICABLE CODE.
D. USE (2) 2 X 6 HOOS AT RAFTER WITH (2) 2 X 4 BRACES AT 6" MAX. SPACING. CARRY BRACES TO PARTITIONS/BEAMS OR MIN. OF (2) 2 X 6 HOOS ON CEILING JOISTS. CUT IN ALL RAFTERS USING RIDGES, VALLEYS, ETC. ONE SIZE LARGER THAN RAFTER SIZE. CEILING JOISTS.
E. ALL BRACED LOADS MUST GO TO FOUNDATION.
14. PER SECTION R602.4 ALL CEILING JOIST SPANS SHALL BE IN ACCORDANCE WITH TABLE R602.4(1) AND R602.4(2)
15. PER SECTION R602.5 ALL RAFTER SPANS SHALL BE IN ACCORDANCE WITH TABLE R602.5(1) THROUGH R602.5(6)
16. ACCORDING TO SECTION R602.6 ALL RAFTER AND CEILING JOIST ENDS SHALL BEAR NLT 1 1/2" ON WOOD OR METAL AND NLT 3" ON MASONRY OR CONCRETE.
ADDITIONAL CODE INFORMATION
1. CONTRACTOR TO NOTIFY APPLICABLE STATE UTILITY LOCATION SERVICES PRIOR TO EXCAVATION
2. PER SECTION R312 GUARDRAILS ARE REQUIRED ON PORCHES, BALCONIES AND RAISED FLOOR SURFACES MORE THAN 30" ABOVE GRADE OR FLOOR BELOW. ALL INTERIOR AND EXTERIOR RAILINGS ARE TO BE MINIMUM 36" IN HEIGHT, BE ABLE TO WITHSTAND 200 LBS. OF FORCE AND NOT ALLOW A SPHERE GREATER THAN 3 7/8" IN DIAMETER TO PASS THROUGH. NO RAILING DESIGN W/ LAODER EFFECT IS ALLOWED. HORIZONTAL GRIP SIZE AS PER SECTION R 317.7.3 IN THE IRC.
3. PER SECTION R308.4 & GSPC 16-GFR PART 1201, ALL GLAZING IN HAZARDOUS AREAS SHALL BE SAFETY-TYPE. THEREFORE, ALL SEGLITES NEAR ENTRY DOORS OR ANY WINDOWS THAT ARE IMPACTED BY A DOOR SWING SHALL HAVE THEIR GLASS TEMPERED.
4. PER N1102.2.2 ATTIC ACCESS TO BE INSTALLED WITH AN R VALUE EQUAL TO THE DIAPHRAGM THAT THEY PENETRATE ALL ACCESSSES MUST BE GASKETED AND CONSTRUCTED TO CONTAIN INSULATION SPILL OVER.
5. PER SECTION R310, EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS: MINIMUM OF (1) 5 1/2 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED AND FOR WINDOWS ON THE FIRST LEVEL MINIMUM OF (1) 5.0 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED FOR WINDOWS ON THE FIRST LEVEL.
6. PER SECTION R314, SMOKE DETECTORS SHALL BE INTERCONNECTED. RECEIVE PRIMARY POWER FROM THE BUILDING WIRING AND HAVE A BATTERY BACKUP.
7. ALL GLASS BATH TUB ENCLOSURES ARE TO BE TEMPERED.
8. ALL WINDOWS AT STAIR LANDINGS LESS THAN 60" ABOVE THE FLOOR ARE REQUIRED TO HAVE SAFETY GLAZING.
9. GARAGE TO LIVING SPACES ENTRY DOOR TO BE NLT 1 1/8" WITH A FIRE RATING OF NLT 20 MINUTES
10. INTERIOR GARAGE WALL & CEILING FINISH TO HAVE NLT 5/8" Gypsum BOARD ADJACENT TO ALL LIVING AREAS
11. ALL BATH VENTILATION FANS MUST DISCHARGE TO OUTSIDE SPACES.
12. ALL SMOKE DETECTORS MUST BE INTERCONNECTED AS DIRECTED BY CODE.
13. ALL ELECTRICAL WORK SHALL BE ACCORDING TO THE APPLICABLE CODE(S).
14. PER SECTION R703.8 CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT ALL VALLEYS AND ROOF WALL WALL INTERSECTIONS.
15. PER SECTION R308.4 PROVIDE SPECIALTY GLAZING AS REQUIRED AT "HAZARDOUS LOCATIONS".
16. ALL BATH AND SHOWER WALLS WITH SHOWER HEADS SHALL HAVE NONABSORBENT SURFACES UP TO 6'-0" IN HEIGHT AS PER SECTION R307.2.
17. ALL STAIRWAYS SHALL BE ILLUMINATED AS PER SECTION R303.6 AND HAVE CONTROLS AS PER SECTION R303.6.1
18. ENERGY EFFICIENCY CALCULATIONS SHALL BE IN ACCORDANCE WITH N1101.2.1 IF REQUIRED BY CITY OFFICIALS
19. NOTE NOT USED
20. ALL WALL COVERINGS SHALL BE SECURELY FASTENED IN ACCORDANCE WITH TABLE R703.4 PER SECTION R703.4
21. PROVIDE MECHANICAL VENTILATION AT ALL TOILET ROOMS IN ACCORDANCE W/ SECTION M1507
22. ALL OUTLETS IN WET LOCATIONS SHALL BE PROVIDED AS REQUIRED PER SECTIONS E3801.4, E3802.6, E3802.1 & E3802.3
23. AS PER N1101.9 A PERMANENT ENERGY CODE CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL.
24. AS PER N1102.1 ENERGY EFFICIENCY REQUIREMENTS FOR EXTERIOR WINDOWS AND DOORS SHALL BE U 0.35 OR LOWER, ONE OPERABLE DOOR IS EXEMPT FROM THE U FACTOR PER N1102.3.4. UP TO 15 SQUARE FEET OF WINDOW AREA IS ALSO EXEMPT FROM MEETING 0.35 U.
25. WINDOW SILL HEIGHT FOR ALL SECOND FLOOR WINDOWS SHALL BE AS PER SECTION R612.2.
26. PROVIDE CARBON MONOXIDE DETECTORS PER IRC R315.1 AND R315.3
27. PROVIDE FIRE EXTINGUISHER IN KITCHEN PER R329
28. PER R302.2 PROVIDE MINIMUM 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIALS AND NO OPENINGS INTO GARAGE
29. PER M1602.2 OUTDOOR AIR RETURN AIR FOR FORCED AIR-SYSTEMS PROHIBITED FROM GARAGE
30. PER N1102.3 ALL FIREPLACES, INCLUDING WOOD BURNING, MUST HAVE THEIR FIRE BOX OPENINGS SEALED AND GASKETED AND RECEIVE COMBUSTION AIR DIRECTLY FROM OUTSIDE.



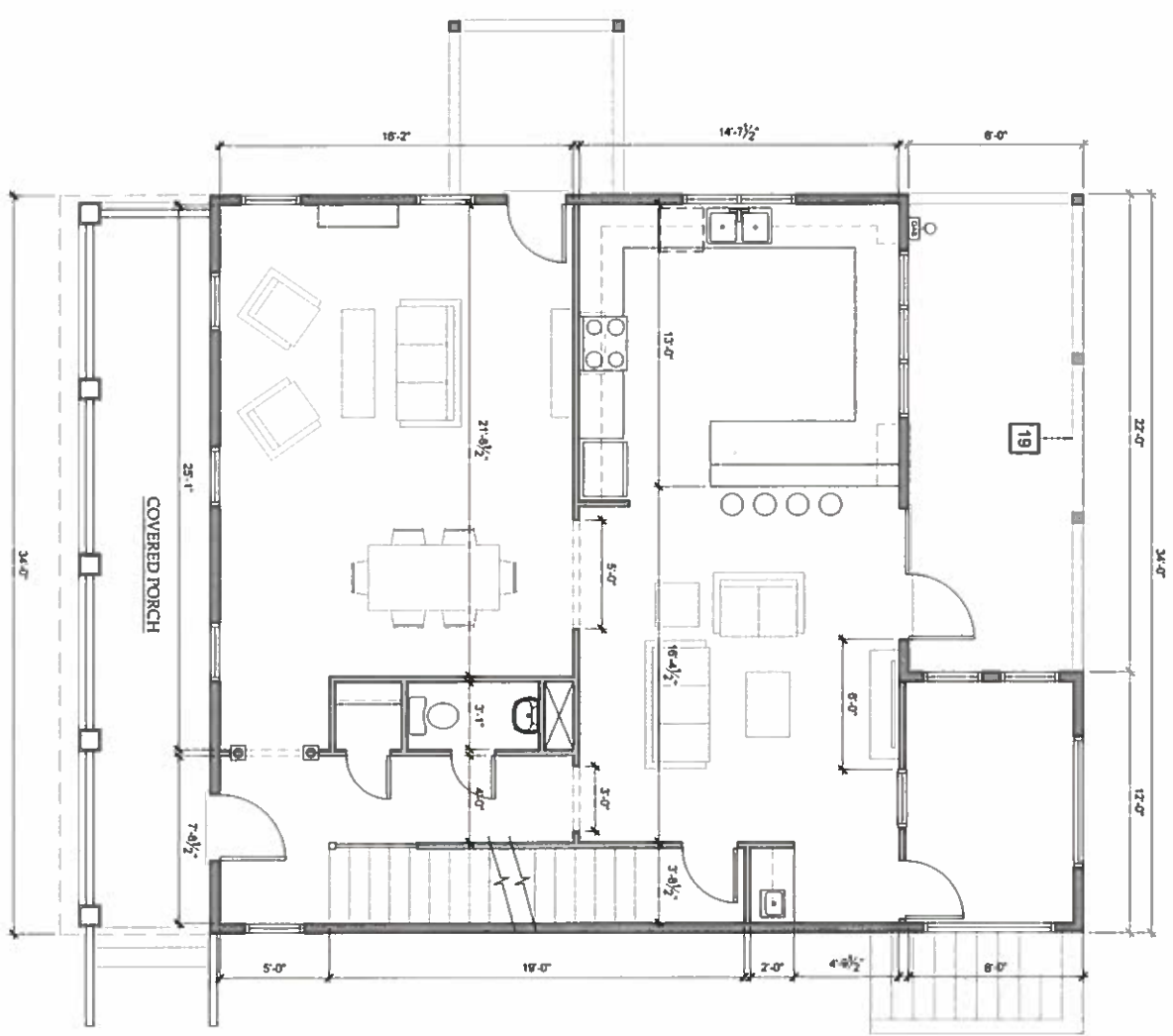
SINGLE FAMILY RESIDENCE
3631 E BROAD STREET
RICHMOND, VA 23223

SCHOFIELD PROPERTIES LLC

DATE: 05.09.18
A-0



BASEMENT PLAN
SCALE: 1/4"=1'-0"



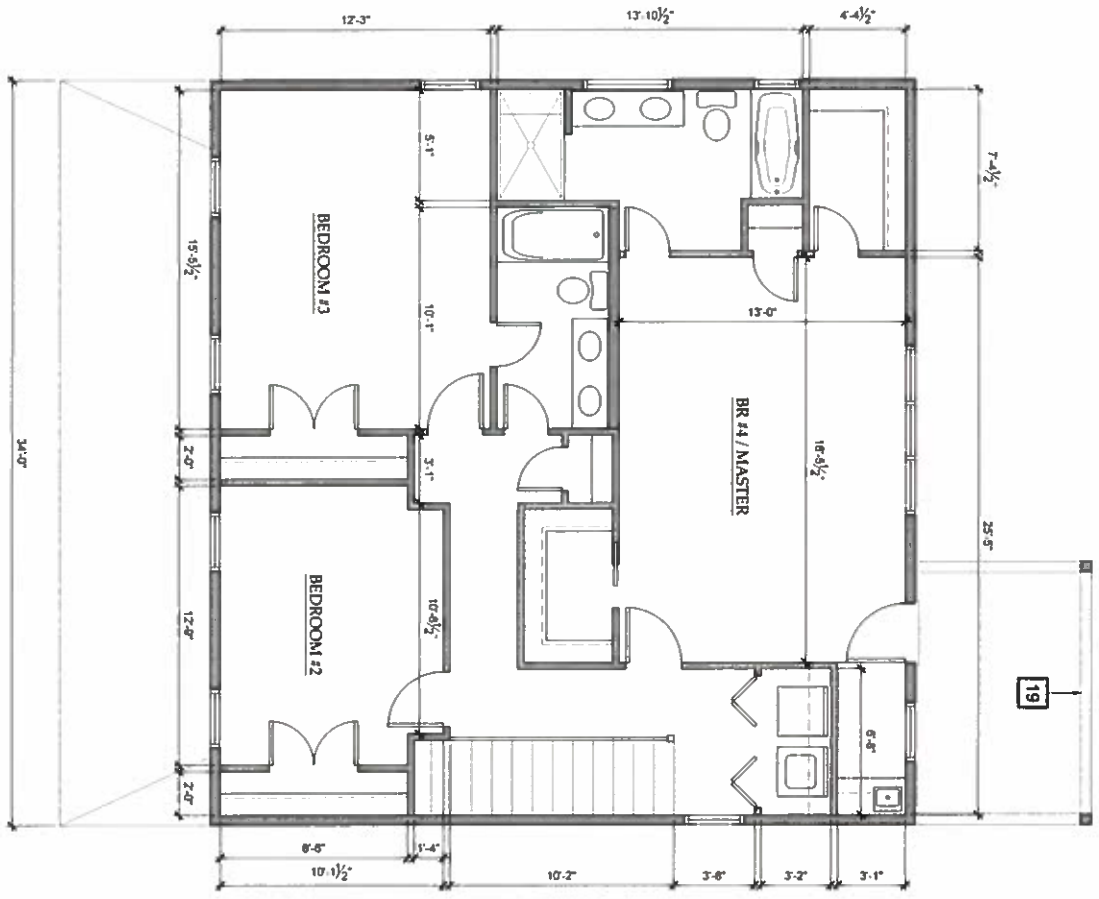
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

A-1

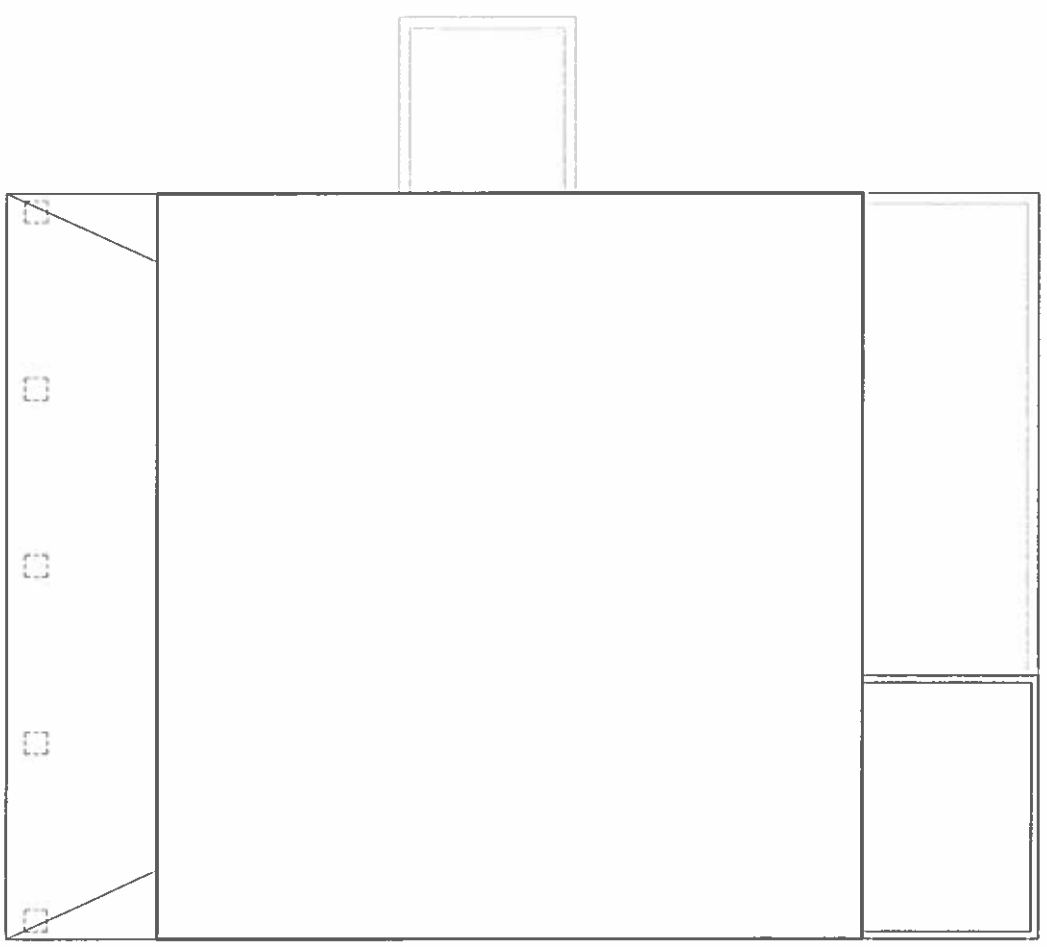
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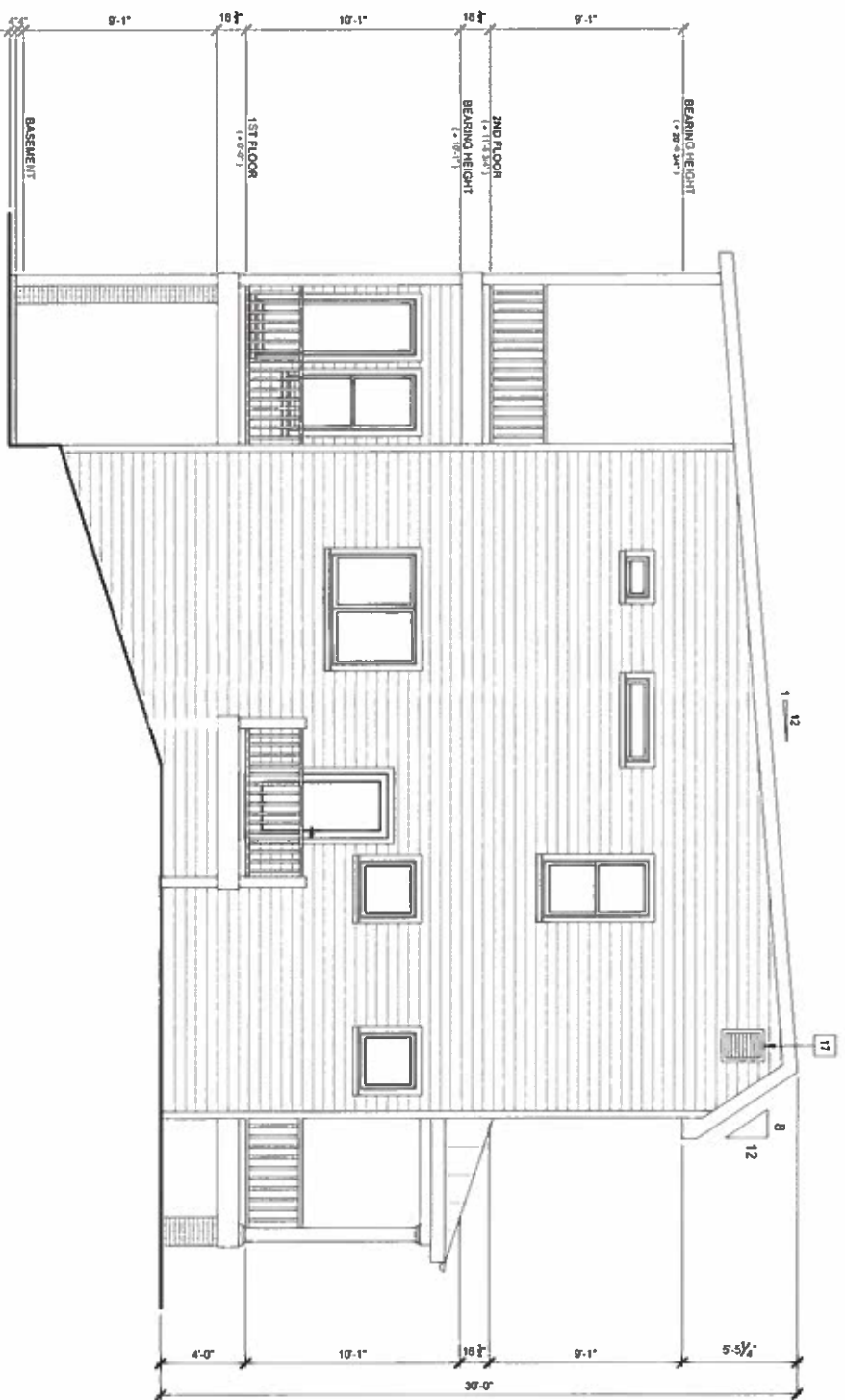
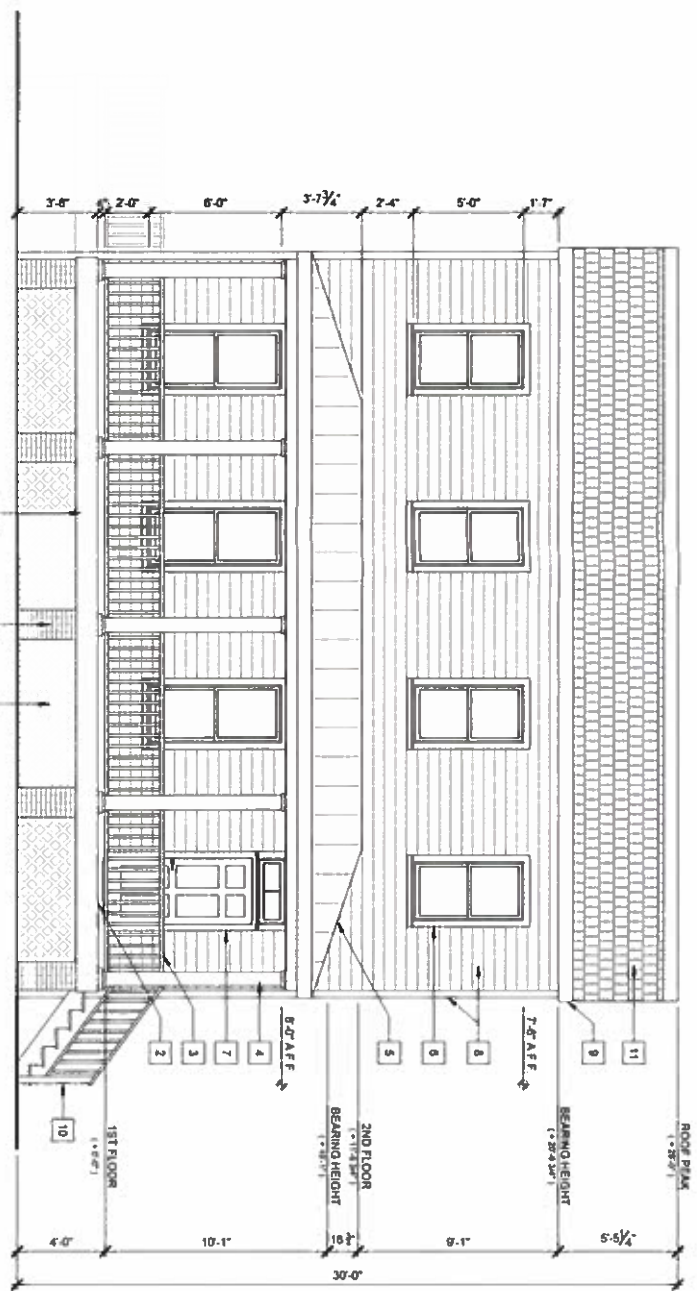


SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

- ARCHITECTURAL KEY NOTES 1
- 1 FOUNDATION: ICF CONSTRUCTION
 - 2 FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
 - 3 RAILING: RICHMOND RAIL, PAINTED
 - 4 FRONT COLUMNS: 8X8 SQUARE WOOD COLUMNS, PAINTED
 - 5 PORCH ROOFING: STANDING SEAM METAL ROOF
 - 6 WINDOWS: MARY FERSON 300 SERIES WINDOW
 - 7 DOORS: SEE PLAN FOR SIZE
 - 8 SUCO AND FINISH: FIBERCEMENT HARDPAANEL MATERIAL OR EQUAL
 - 9 FRONT PORCH: MANSARD SYNTHETIC SLATE ROOF
 - 10 WOOD STEPS & RAILING: RICHMOND STYLE
 - 11 FRONT ROOF: MEMBRANE ROOF OVER SIP OSB
 - 12 REAR PORCH STRUCTURE: PRESSURE TREATED STAINED VERTICAL 6X6 POSTS
 - 13 REAR PORCH STRUCTURE: 24"X24"X12" CONCRETE FOOTING (3)X4 REBAR
 - 14 HORIZONTAL (2) #4 REBAR VERTICAL, GROUT SOLID
 - 15 WOOD LATTICE PANEL
 - 16 P.T. WOOD PORCH FRAMING, PAINTED
 - 17 18" X 24" ATTIC VENT
 - 18 EPOXY ON STAMPED CONCRETE FLOOR
 - 19 WIRE RAILING AT DECK BALUSTRADE

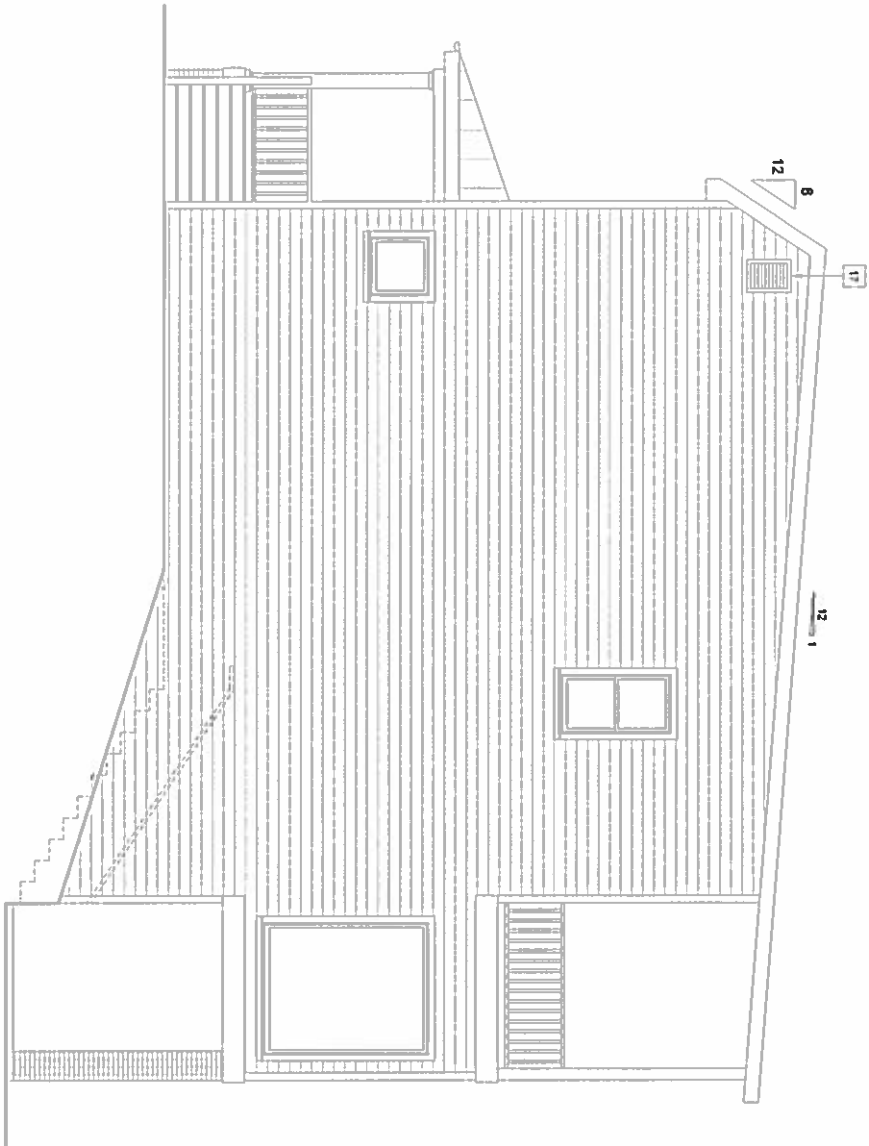


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A-3

DATE: 05.09.18



RIGHT ELEVATION
SCALE 1/4"=1'-0"



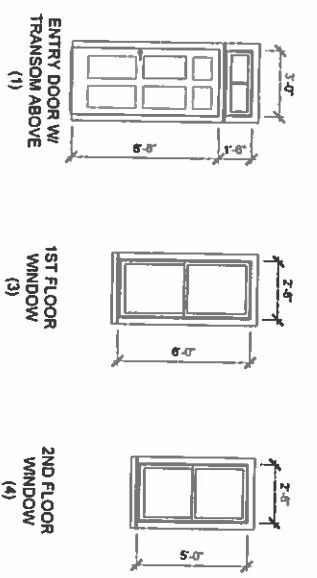
REAR ELEVATION
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A-4

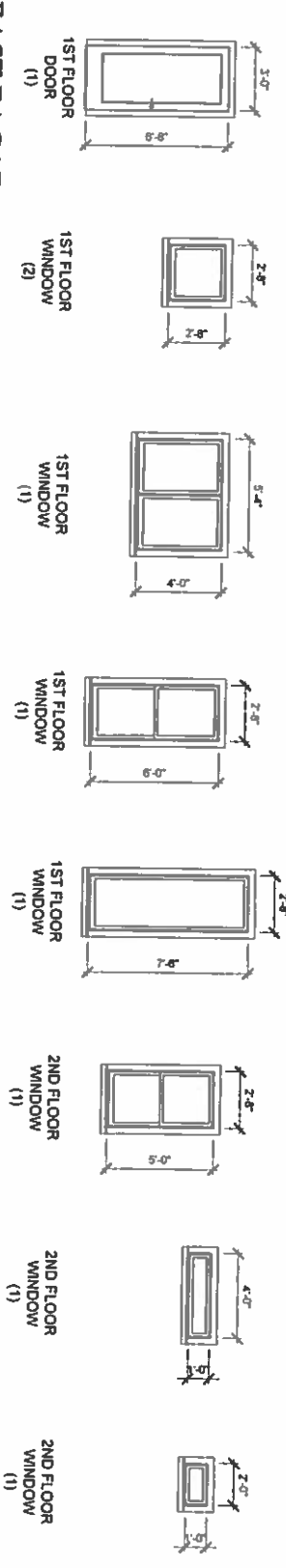
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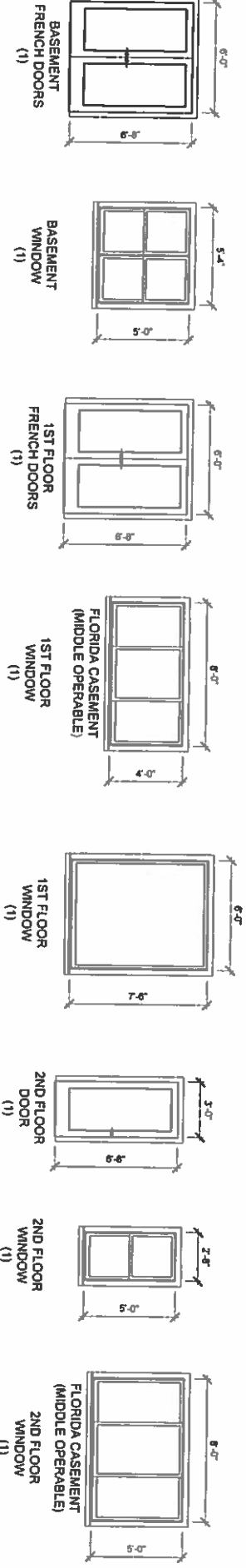
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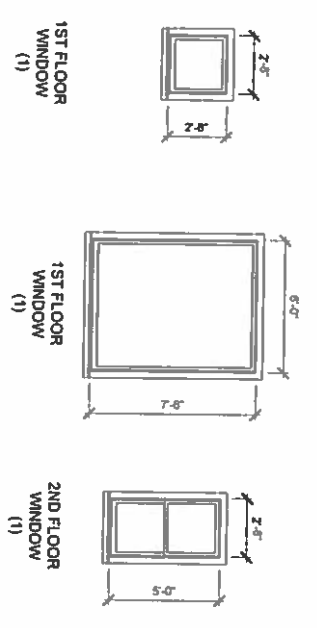
NORTH FACADE
SCALE: 1/4"=1'-0"



EAST FACADE
SCALE: 1/4"=1'-0"



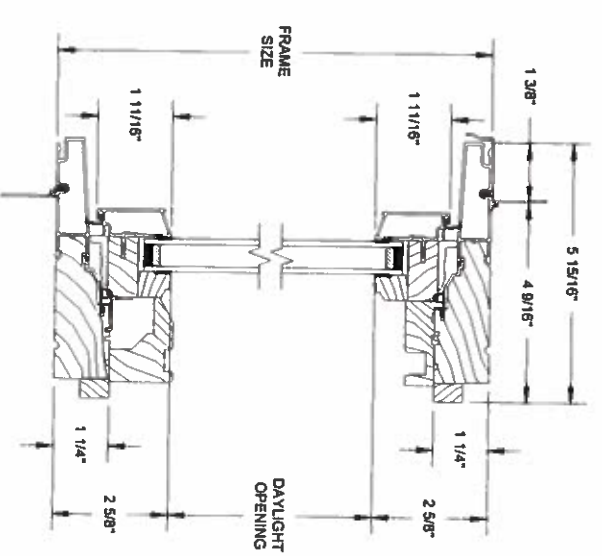
SOUTH FACADE
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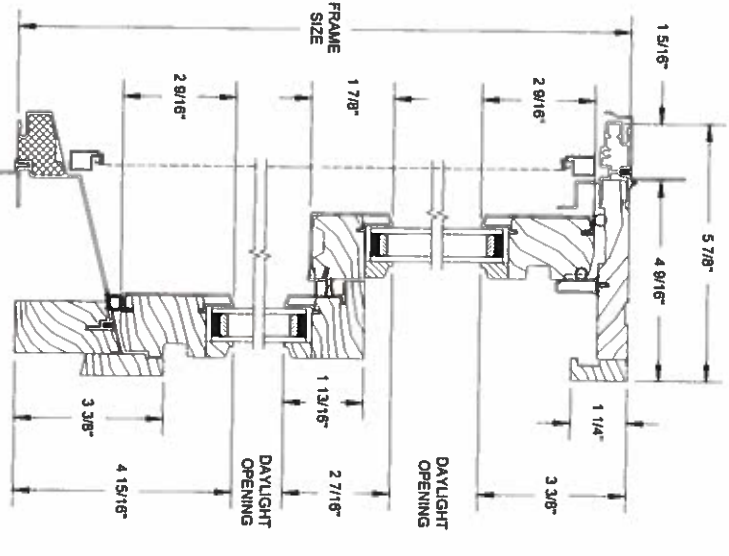
WEST FACADE
SCALE: 1/4"=1'-0"



3 MULLION DETAIL
1 1/2" = 1'-0"



2 CASEMENT WINDOW DETAIL
1 1/2" = 1'-0"



1 DOUBLE HUNG WINDOW DETAIL
1 1/2" = 1'-0"

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