

INTRODUCED: July 26, 2021

AN ORDINANCE No. 2021-207

To authorize the special use of the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue for the purpose of three single-family detached dwellings, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: SEP 13 2021 AT 6 P.M.

WHEREAS, the owner of the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue, which are situated in a R-5 Single-Family Residential District, desires to use such properties for the purpose of three single-family detached dwellings, which use, among other things, is not currently allowed by sections 30-410.4, concerning lot area and width, 30-410.5, concerning yards, and section 30-710.1, concerning the number of parking spaces required for particular uses, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES:            8            NOES:            0            AB0STAIN: \_\_\_\_\_

ADOPTED:    SEPT 13 2021    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

**§ 2. Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue and identified as Tax Parcel Nos. N000-1054/010 and N000-1054/028, respectively, in the 2021 records of the City Assessor, being more particularly shown on a survey entitled “Sketch Showing the Proposed Improvements on Lots 184, 260 and 261, ‘Highland Terrace,’ in the City of Richmond, VA.,” prepared by Virginia Surveys, and dated March 12, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of three single-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on a survey entitled “Sketch Showing the Proposed Improvements on Lots 184, 260 and 261, ‘Highland Terrace,’ in the City of Richmond, VA.,” prepared by Virginia Surveys, and dated March 12, 2021, and the plans entitled “New Single Family Residence,” prepared by Watchtower Homes & Construction, dated October 15, 2020, and last revised October 18, 2020, hereinafter referred, collectively, to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as three single-family detached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed what is permitted in the underlying zoning district.

(c) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans. A different siding color shall be used for each dwelling.

(d) No parking shall be required for the Special Use.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(f) Prior to the issuance of any certificate of occupancy for 3114 Groveland Avenue, the subdivision of 3114 Groveland Avenue into two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the

drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto;

consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

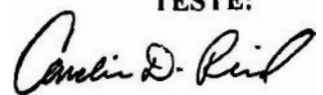
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:  
TESTE:



City Clerk

# City of Richmond


900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov


## Item Request File Number: PRE.2021.662


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### O & R Request

**DATE:** May 14, 2021 **EDITION:** 1  
**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)  
(This is no way reflects a recommendation on behalf of the Mayor.) 

**THROUGH:** J.E. Lincoln Saunders, Acting Chief Administrative Officer 

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning 

**FROM:** Kevin J. Vonck, Acting Director, Department of Planning and Development Review 

**RE:** To authorize the special use of the properties known at 3114 Groveland Avenue and 3119 Veranda Avenue for the purposes of three single-family detached dwellings, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_

**PURPOSE:** To authorize the special use of the properties known at 3114 Groveland Avenue and 3119 Veranda Avenue for the purposes of three single-family detached dwellings, upon certain terms and conditions.

**REASON:** The applicant is proposing to split the lot with an address of 3114 Groveland Avenue and construct single family detached dwellings on each of the three resulting lots. The proposed new lots do not meet the lot area requirement of the R-5 Single-Family Residential District, and the proposed improvements do not meet the yard, lot coverage and parking requirements of the R-5 Single-Family Residential District. A special use permit is therefore required.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its July 6, 2021, meeting.

**BACKGROUND:** The subject properties consists of a total of 6,180 square feet, or .14 acre, and are currently unimproved. The properties are a part of the Highland Terrace neighborhood in the City's North Planning District. The owner wishes to split the existing lot with an address of 3114 Groveland Avenue and construct single family detached dwellings on each of the three resulting lots.

The Richmond 300 master plan recommends a future land use of “Residential” for the property. The primary uses recommended for Residential are single-family houses, accessory dwelling units, and open space. Secondary uses include duplexes and small multi-family buildings, institutional and cultural (typically found along major streets). The development style is houses on medium-sized and large-sized lots. Future development should continue or introduce a gridded street pattern to increase connectivity. Future single-family housing should be built to a scale that is consistent with existing buildings. The recommended intensity is typically 1-3 stories, with lot sizes generally ranging up to 5,000 SF up to 20,000 SF, with density generally 2-10 housing units per acre.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No

**REVENUE TO CITY:** \$300 application fee

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** June 14, 2021

**CITY COUNCIL PUBLIC HEARING DATE:** July 26, 2021

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
July 6, 2021

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant’s Report, Plans & Survey, Map

**STAFF:** Richard Saunders, Senior Planner, Land Use Administration 804-646-5648





Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

**Project Name/Location**

Property Address: 3114 Groveland Avenue, 3119 Veranda Avenue Date: 1/13/2021  
 Tax Map #: N0001054010, N0001054028 Fee: 300  
 Total area of affected site in acres: 0.142

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

**Zoning**

Current Zoning: R-5  
 Existing Use: vacant lots

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)  
Three (3) single-family detached dwellings  
 Existing Use: vacant lots

Is this property subject to any previous land use cases?

Yes  No  If Yes, please list the Ordinance Number: \_\_\_\_\_

**Applicant/Contact Person:** Mark Baker / Charlie Wilson

Company: Baker Development Resources  
 Mailing Address: 1519 Summit Avenue, Suite 102  
 City: Richmond State: VA Zip Code: 23230  
 Telephone: (804) 874-6275 Fax: ( )  
 Email: markbaker@bakerdevelopmentresources.com, charlie@bakerdevelopmentresources.com

**Property Owner:** Watchtower Homes and Construction LLC

If Business Entity, name and title of authorized signee: Kyle Hoffer, Member

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 3912 Seminary Avenue  
 City: Richmond State: VA Zip Code: 23227  
 Telephone: (804) 486-0386 Fax: ( )  
 Email: kyle@watchtowerllc.com

**Property Owner Signature:** [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

# APPLICANT'S REPORT

*January 13th, 2021*

*Special Use Permit Request*

*3114 Groveland Avenue, 3119 Veranda Avenue, Richmond, Virginia*

*Map Reference Numbers: N000-1054-010, N000-1054-028*

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Submitted to:

**City of Richmond**

Department of Planning and Development Review

Land Use Administration

900 East Broad Street, Suite 511

Richmond, Virginia 23219

Submitted by:

Mark Baker

Baker Development Resources

1519 Summit Avenue, Suite 102

Richmond, VA 23230

## Introduction

The applicant is requesting a special use permit (the "SUP") for the properties known as 3114 Groveland Avenue and 3119 Veranda Avenue (the "Property"). The SUP would authorize the construction of three (3) single-family detached dwellings. While that use is permitted in the underlying R-5 Single Family Residential zoning district, a number of the applicable feature requirements cannot be met. Therefore, the SUP is required.

## Existing Conditions

### SITE DESCRIPTION AND EXISTING LAND USE

The Property is an assemblage of two parcels. The first parcel, 3114 Groveland Avenue, is a "through lot" that shares frontage on Groveland and Veranda Avenues between their intersections with Craigie Avenue and Highland View Avenue. It is referenced by the City Assessor with a tax parcel number of N000-1054/010, is 30 feet in width and 138 feet in depth, and is currently unimproved. The second parcel, 3119 Veranda Avenue, is a legal lot of record that fronts onto Veranda Avenue. It is referenced by the City Assessor with a tax parcel number of N000-1054/028, is 30 feet in width and 138 feet, and is also unimproved. According to its deed history, the 3114 Groveland Avenue parcel is itself comprised of two original subdivision lots, being Lots 184 and 260 of the original Highland Terrace subdivision ("the Subdivision") from the early 1900s. These lots were configured back-to-back, with one fronting on Groveland Avenue and the other fronting on Veranda Avenue. The lots were each 30 feet in width and 68 feet and 70 feet in depth. The 3119 Veranda Avenue parcel is also an original Subdivision lot, being lot 261. For a general depiction of the Property, please reference Figure 1 (below) as well as the surveys attached hereto. Figure 1 below shows the 3114 Groveland Avenue parcel in green and the 3119 Veranda Avenue parcel in blue.



Figure 1.

The lot pattern in the vicinity includes through lots as well as lots fronting on either Groveland or Veranda Avenues according to the Subdivision. The lots in the block are either vacant or occupied by single-family dwellings, with the exception of two two-family dwellings at northern end of Veranda Avenue. A number of vacant lots are configured similarly to what is proposed for the Property and are buildable by right according to their deed history. Moving towards the nearby corridors of Brookland Park Boulevard to the south and Meadowbridge Road to the east, there are a variety of residential densities. These commercial corridors themselves are both within walking distance and include a variety of commercial, residential, office, mixed-use and institutional uses.

## **EXISTING ZONING**

The Property and the surrounding properties are zoned R-5 Single-Family Residential, which permits single-family detached dwellings. The majority of properties in the immediate vicinity do not conform to the R-5 feature requirements such as lot area, lot width, and setbacks. In many cases, properties in the vicinity also do not meet the use requirements, that are applicable to this district, as demonstrated by the two-family dwelling in the block.

## **MASTER PLAN DESIGNATION**

The Richmond 300 Master Plan (the "Master Plan"), which was approved by Richmond City Council at their December 14<sup>th</sup> meeting, suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, especially when considering its adjacency to the Six Points Neighborhood Node as delineated in the Master Plan. In the High-Quality Places chapter, Objective 1.3, "to support the growth of housing in nodes," is supportive of this request, as it would increase the density in an efficient and respectful manner over that which would be permitted by-right. Objective 4.1 of that same chapter, which is to "create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City," is respected by this request as it seeks to validate, not dismiss, the unique development pattern found in the Highland Terrace neighborhood. Lastly, the Inclusive Housing chapter, Objective 14.5, to "encourage more housing types throughout the City and greater density...at nodes..." supports this request, as it is a more efficient use of the Property than could be achieved by-right in the R-5 zoning district.

# **Proposal**

## **PURPOSE OF REQUEST**

The SUP would permit the division of the 3114 Groveland Avenue parcel into two lots and the construction of two single-family dwellings. One lot and dwelling would front onto Veranda Avenue (3117), and the other lot and dwelling would front onto Groveland Avenue (3114). The lot fronting onto Groveland Avenue (3114) would be 30 feet in width and 70 feet in depth and

would include 2,100 square feet in lot area. The lot fronting onto Veranda Avenue (3117) would be 30 feet in width and 68 feet in depth, and would be 2,040 square feet in area. As a result, the R-5 Single Family Residential District lot width and lot area requirements would not be met. While this configuration is consistent with the Subdivision layout, the deed and zoning history applicable to this parcel make the SUP the required process to restore this configuration.

The SUP would also address R-5 front yard setback requirement for the two proposed dwellings that would front onto Veranda Avenue. The proposed front yard of 15 feet would better reflect the surrounding development context and would maximize usable open space at the rear of the proposed dwellings. The 3119 Veranda Avenue parcel is actually a buildable lot for the purposes of a single-family detached dwelling. This request would only authorize a reduction in the front yard requirement for that parcel in order to align the two proposed dwellings on Veranda. All other feature requirements in the R-5 District that are applicable to the Property would be met, including the 5-foot rear- and side-yard setback requirements, and the 35% maximum lot coverage requirement.

Finally, the SUP would provide relief from required parking. Under normal zoning, one (1) off-street parking space would be required for each dwelling. In areas where public alley access is not available, particularly those areas that are also of a dense urban character, it is undesirable to provide off street parking accessed by driveways from the street. This is contrary to VisionZero and other planning guidance. For this reason, the zoning ordinance does not require off street parking on lots that are 35 feet or less in width and which do not have alley access. 3119 Veranda, which is technically a buildable, legal lot of record, would not be required to provide parking for this reason. Similarly, had the two parcels that comprise 3114 Groveland not been consolidated they would be treated the same. The SUP proposes on street parking in order to satisfy parking. Because there are no curbs or sidewalks along Veranda Avenue, the right-of-way would be improved with parallel parking adjacent to the existing pavement. This would serve as on-street parking, in front of the dwellings, where none currently exists. Where the dwelling fronting Groveland is concerned, existing on-street parking spaces would be utilized. In both cases, the use of on street parking is consistent with the way in which the current residents along the street satisfy their parking needs.

## **PROJECT DETAILS/DESIGN**

The proposed dwellings would each be approximately twenty feet in width, 34 feet in depth, and two stories in height. They would include approximately 1,360 square feet of finished floor area and consist of three bedrooms and two-and-one-half bathrooms. The dwellings would be of a traditional urban design that is consistent with the architectural character found in the Highland Terrace neighborhood. The proposed floor plans are modern and efficient, and designed to be meet the needs of the market. The floor plans include master bedrooms with en-suite master bathrooms and walk-in closets. Full-width front porches are also proposed for each dwelling.

## **Findings of Fact**

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed site improvements and density are consistent with the existing development in the vicinity. This request would simply permit the efficient utilization of the Property by allowing for new development to occur in a manner that is both of quality as well as consistent with the Subdivision. The improvement of the Property in conjunction with the high quality/benefits provided by the SUP will provide positive impacts in terms of health, welfare, etc., and furthermore will add to the vibrancy of the neighborhood.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. The traffic generation for three dwelling units will be negligible, especially within the context of a walkable neighborhood. In addition, the Property lies within a ten-minute walk to three different bus corridors, two of which (the "2" routes along North Avenue and the "3" routes along Meadowbridge Road) offer high-frequency 15-minute service and one of which (the "20" orbital route along Brookland Park Boulevard) offers a 30-minute frequency. Because of that, the Property is within a 30-minute bus commute to Downtown, Manchester, VCU, Scott's Addition, the Fan, the Museum District, and Carytown. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The SUP will not tend to overcrowd the land or create an undue concentration of population. The request is reflective of the anticipated use of the Property for three dwelling units based on the original subdivision.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

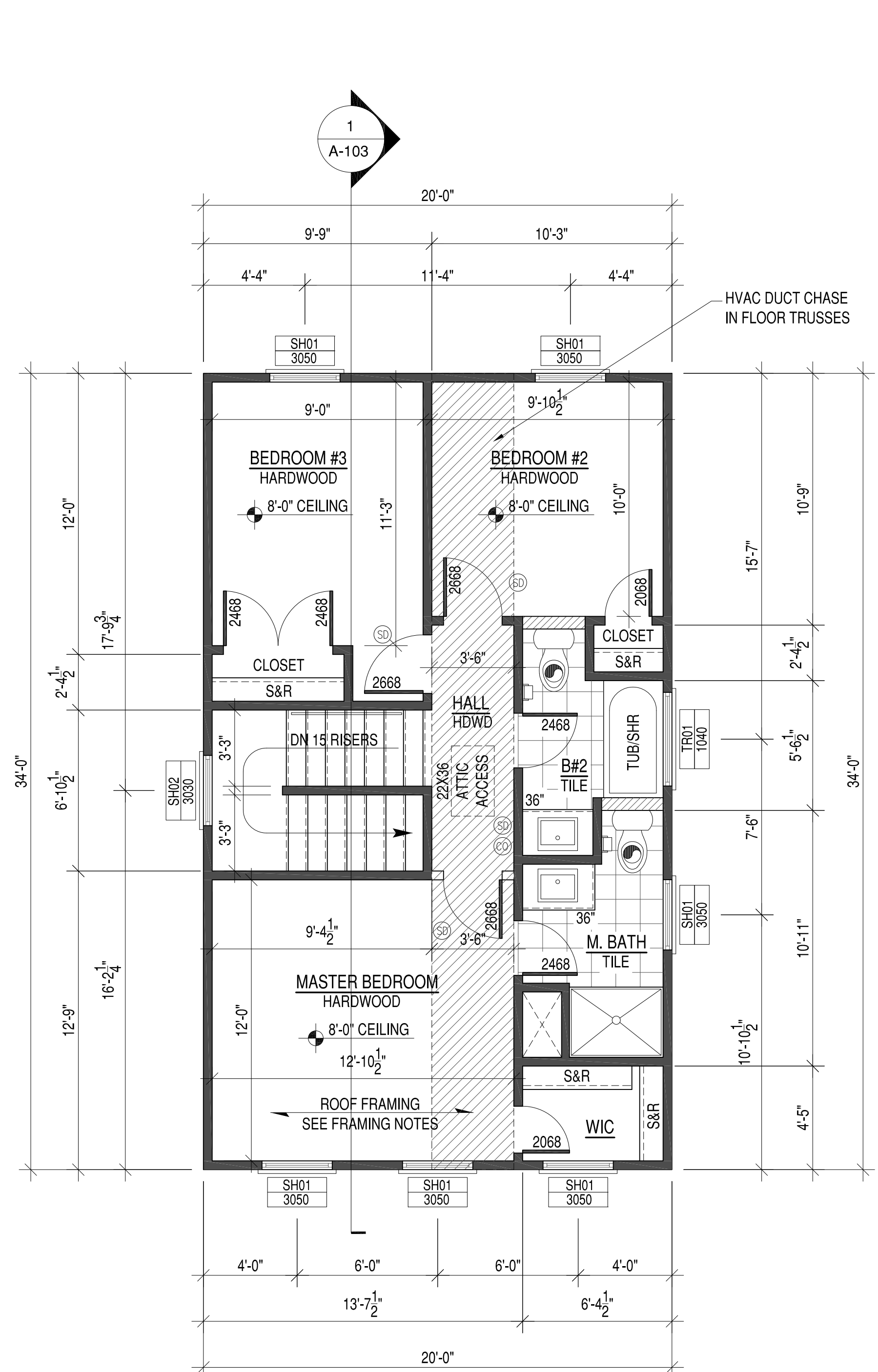
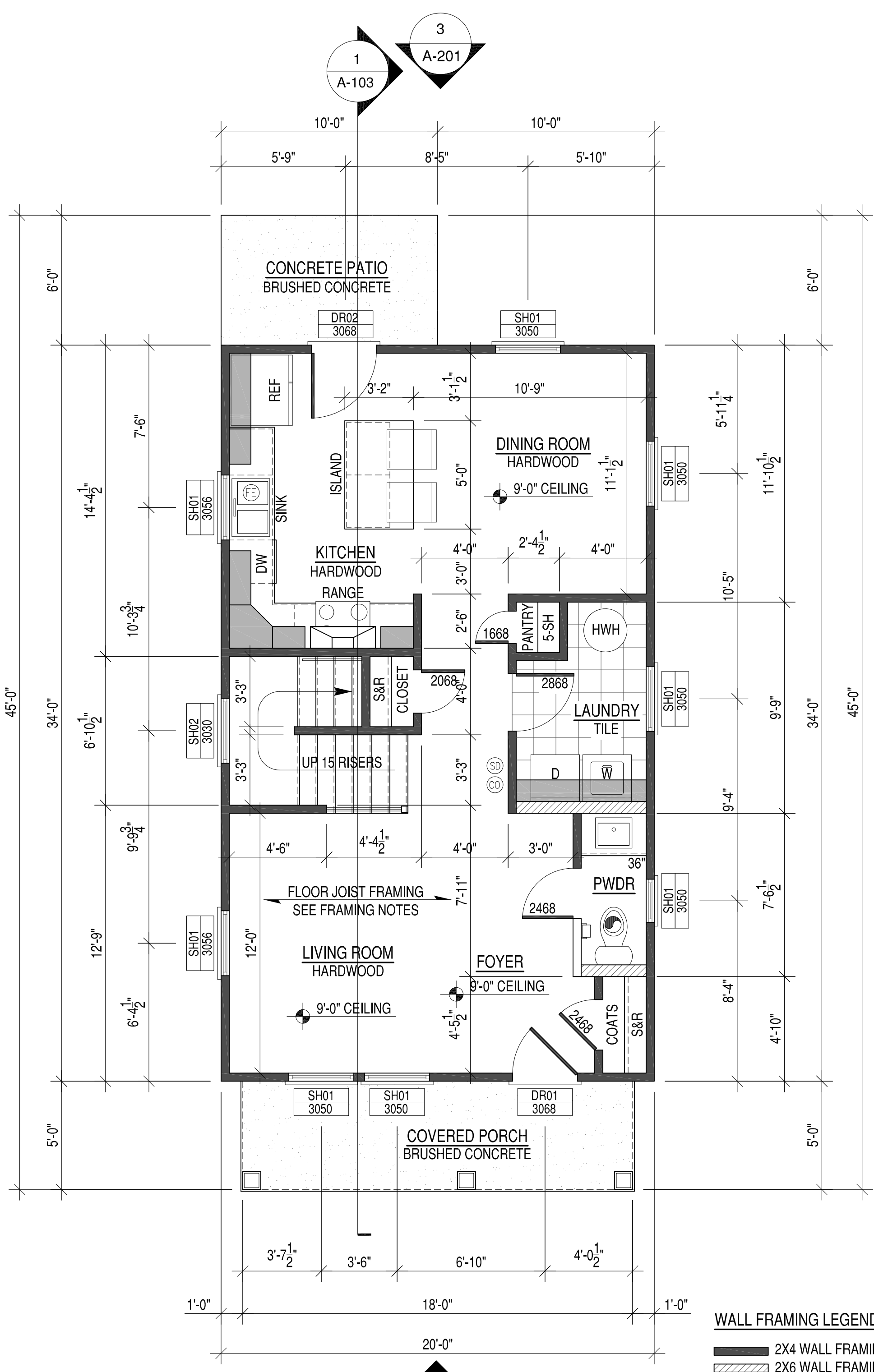
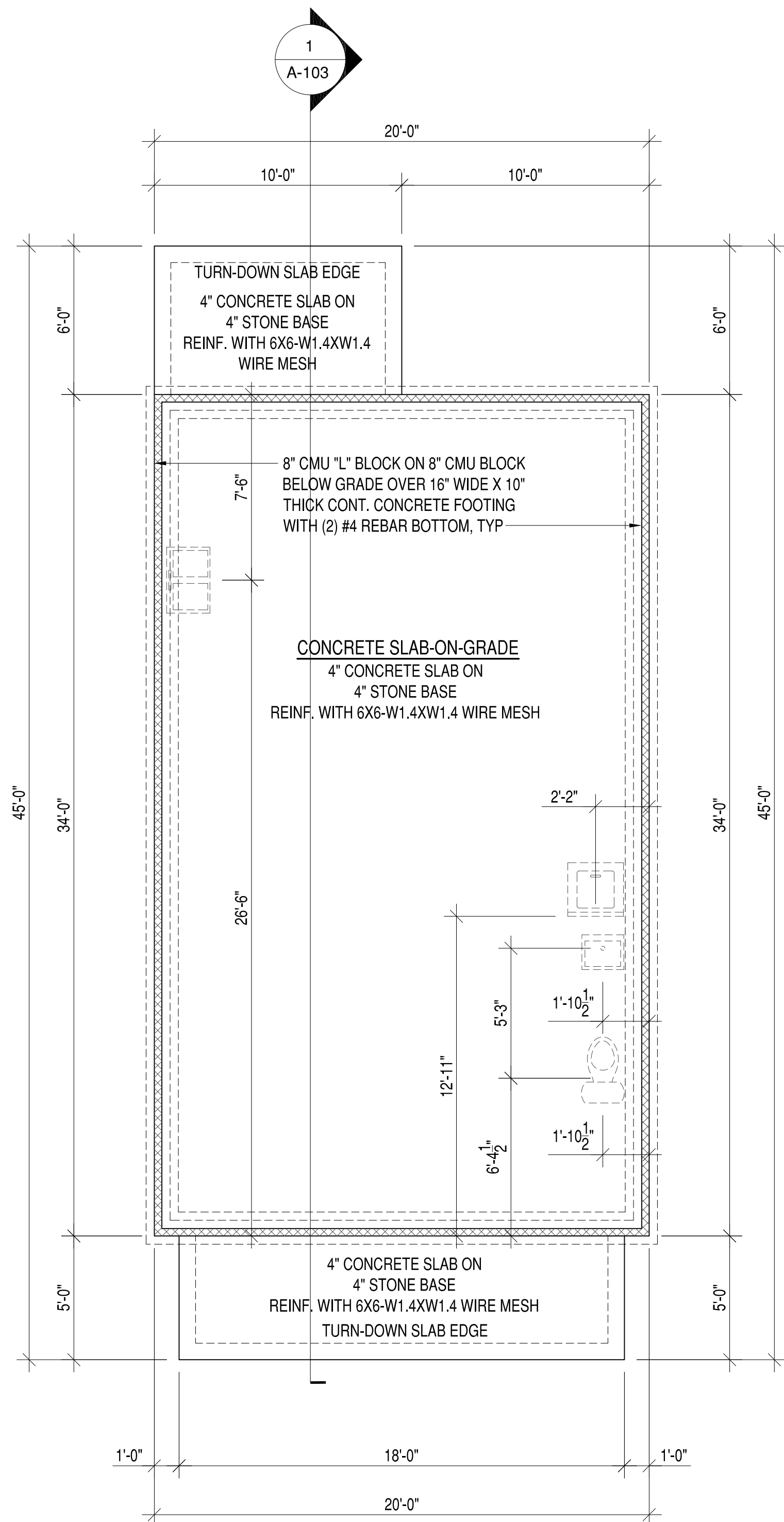
- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The massing of the proposed structures is similar to what the underlying zoning district and

feature regulations applicable to single-family detached dwellings allow for by-right. As it relates to adjacent properties, normal side yard setbacks would be met.

## **Summary**

In summary we are enthusiastically seeking approval for the construction of three single-family detached dwellings on the Property. The SUP represents an ideal, small-scale urban infill development for this location that is mindful of its surroundings. In exchange for the SUP, the quality assurances conditioned therein would guarantee the construction of three quality homeownership opportunities consistent with Master Plan guidance.



**Project Location:**  
3114 Groveland Ave  
3119 Veranda Ave  
3117 Veranda Ave  
Richmond VA 23222



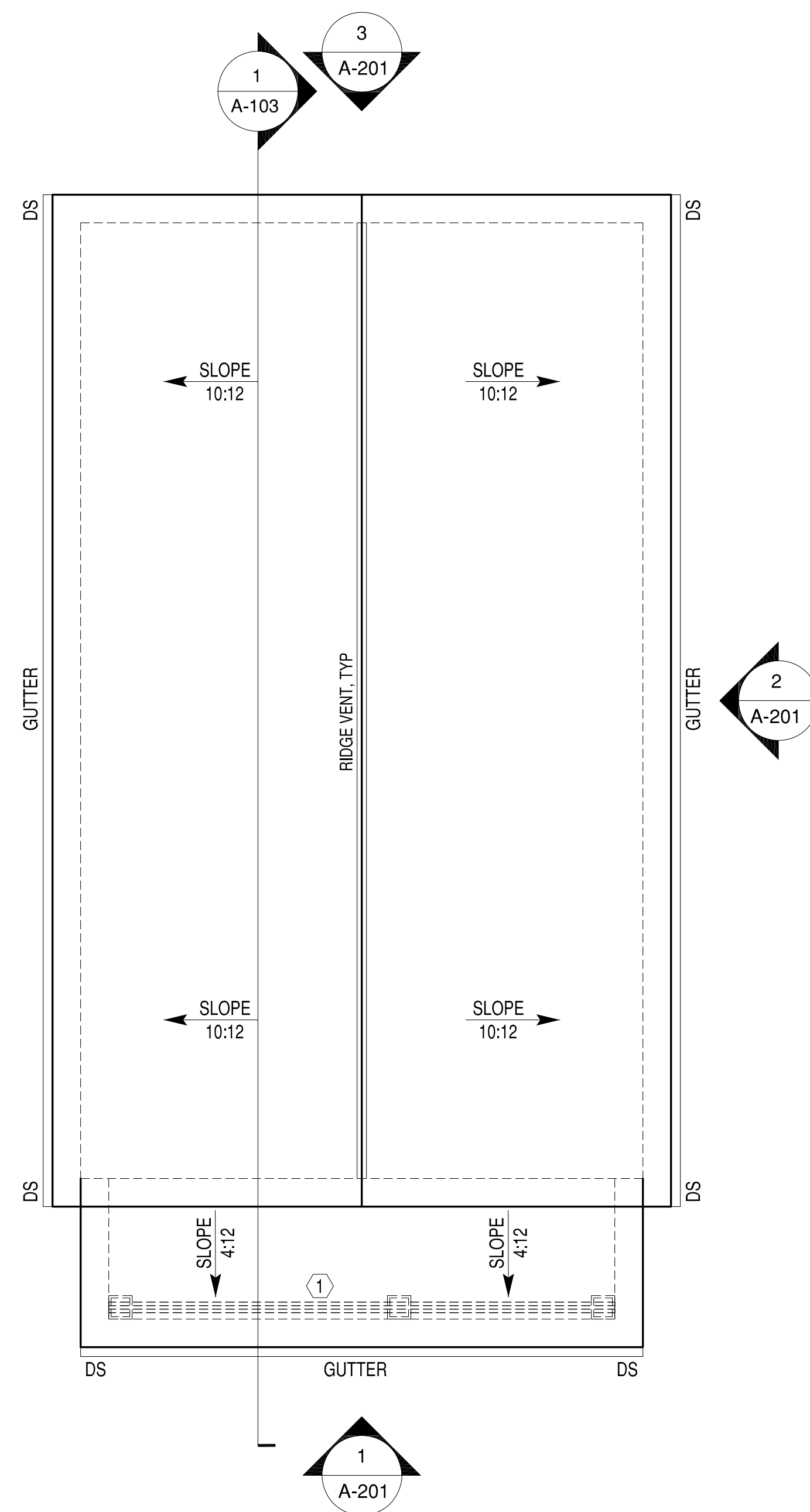
GENERAL CONTRACTOR  
APPROVED  
ACTIVITY  
SATISFACTORY TO DATE  
DES: [Signature] | DRW: JRP3 | CHK: JRP3

**NEW SINGLE FAMILY RESIDENCE**  
FOUNDATION, FIRST AND SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"  
PROJECT NO.: 2019-01  
CONSTR. CONTR. NO.  
DRAWING NO.  
SHEET 1 OF 1  
**A-101**

2	FINAL PERMIT PLANS	10-18-2020	DATE
1	CLIENT REVIEW	10-15-2020	DATE
	SYN	DESCRIPTION	APPRO





ATTIC AREA VENTILATION CALCULATIONS PER UNIT	
<b>ATTIC AREA:</b>	
1565 SQ.FT. / 300*144 =	
751 SQ. IN. NET FREE AREA REQUIRED	
(50% MIN AT RIDGE)	
<b>RIDGE VENT:</b>	
20 L.F. X 18 SQ. IN. PER LINEAR FOOT =	
360 SQ. IN. PROVIDED	
<b>SOFFIT VENT:</b>	
146 L.F. X 5.867 SQ. IN. PER LINEAR FOOT =	
856 SQ. IN. PROVIDED	
TOTAL NET FREE ARE PROVIDED = 1,216 SQ. IN.	
POWER VENT = (1) 12" AIRVENT, INC POWERCOOL PLUS 12	
AUTOMATIC THERMOSTAT W/ HUMIDSTAT VENT FOR UP TO	
1,650 SF OF ATTIC SPACE, INSTALL MULTIPLE VENTS FOR	
ADDITIONAL AREA.	
IF INSTALLING POWER VENT, DO NOT INSTALL	
RIDGE VENT	

**PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES**

- THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
- REFERENCE STANDARDS
  - NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
  - TP-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
- MATERIALS
  - THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPARATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
  - LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
- DESIGN
  - THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
  - THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO-TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
  - METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
  - IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
  - DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
  - DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
  - DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
- DESIGN LOADS
  - ROOF
    - TOP CHORD DEAD LOAD = 10 PSF
    - TOP CHORD LIVE LOAD = 20 PSF
    - BOTTOM CHORD DEAD LOAD = 10 PSF
    - BOTTOM CHORD LIVE LOAD = 0 PSF
    - WIND LOADING: SEE DESIGN LOADS SECTION ON SHEET S 001
      - NET WIND UPLIFT = 8 PSF
  - DEFLECTIONS
    - ROOF
      - MAXIMUM LIVE LOAD DEFLECTION = L/360, OR .625" MAXIMUM
      - MAXIMUM TOTAL LOAD DEFLECTION = L/240, OR 1.0" MAXIMUM
  - DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
- SUBMITALS
  - SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
  - SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
  - SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
  - INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

**ROOF PLAN**  
SCALE: 1/4"=1'-0"

- PLAN NOTES**
- ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC, TYP UNLESS OTHERWISE NOTED.
  - 12" OVERHANGS AND 12" GABLE END EXTENSIONS, TYP.

MARK	BEAM SIZE	REMARKS
①	(3) SPF NO.2 2X10 OR BETTER	DROPPED GIRDER

EXTERIOR DOOR SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR
DR02	REAR ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR

- DOOR NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
  - ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
  - ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
  - ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

- DOOR HARDWARE SETS:**
- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

WINDOW SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES	
SH01	SINGLE HUNG	3'-0"	5'-0"	6'-8"	VINYL 1 OVER 1	
SH02	SINGLE HUNG	3'-0"	3'-0"	6'-8"	VINYL 1 OVER 1	
FIXED	FIXED WINDOW	3'-0"	2'-0"	SEE PLAN	VINYL 1 OVER 1	
TR01	TRANSOM	1'-0"	4'-0"	6'-8"	VINYL	

- WINDOW NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
  - ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
  - SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
  - NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
  - SAFETY GLAZING SHALL BE TEMPERED.

NO.	DATE	DESCRIPTION	BY	APPR.
2	10-18-2020	FINAL PERMIT PLANS		
1	10-15-2020	CLIENT REVIEW		

**Project Location:**  
3114 Groveland Ave  
3119 Veranda Ave  
3117 Veranda Ave  
Richmond VA 23222

WATCHTOWER  
homes & construction

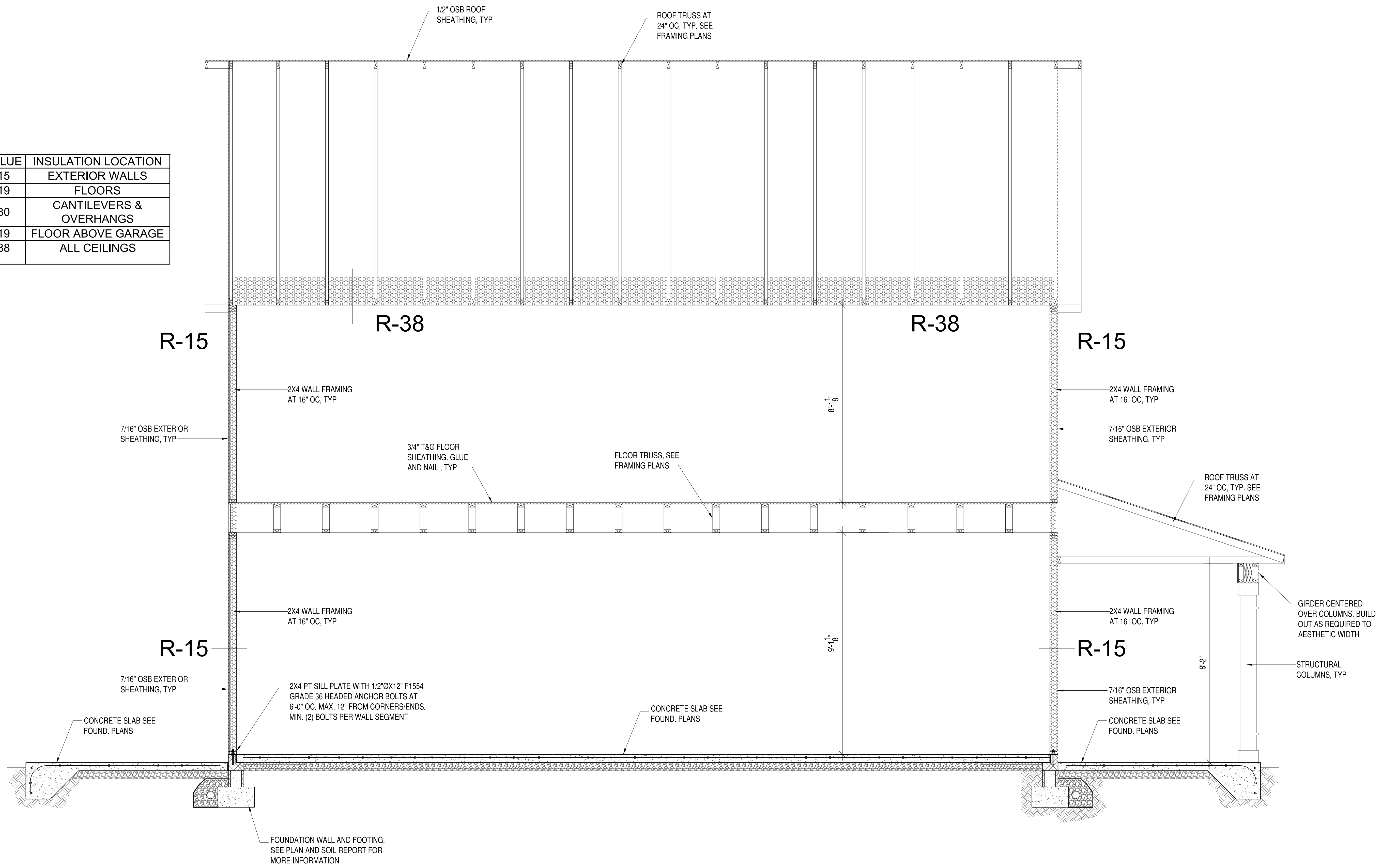
GENERAL CONTRACTOR

DESIGNED BY: JRP3	CHECKED BY: JRP3
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NEW SINGLE FAMILY RESIDENCE

ROOF PLAN & DOOR AND WINDOW SCHEDULE

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



Project Location:  
 3114 Groveland Ave  
 3119 Veranda Ave  
 3117 Veranda Ave  
 Richmond VA 23222



APPROVED

ACTIVITY

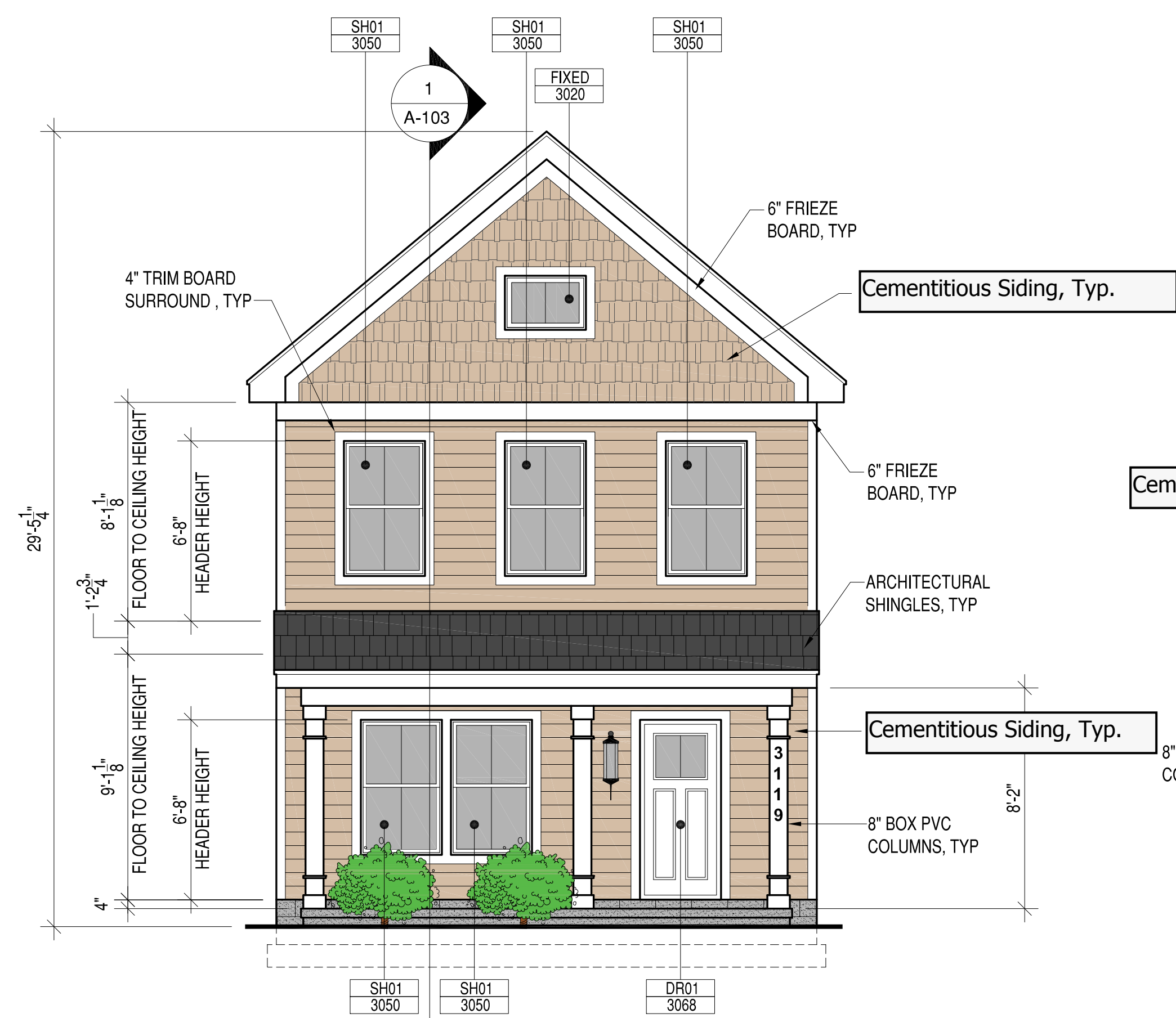
SATISFACTORY TO DATE  
 DES: JRP3 | CHK: JRP3

NEW SINGLE FAMILY RESIDENCE

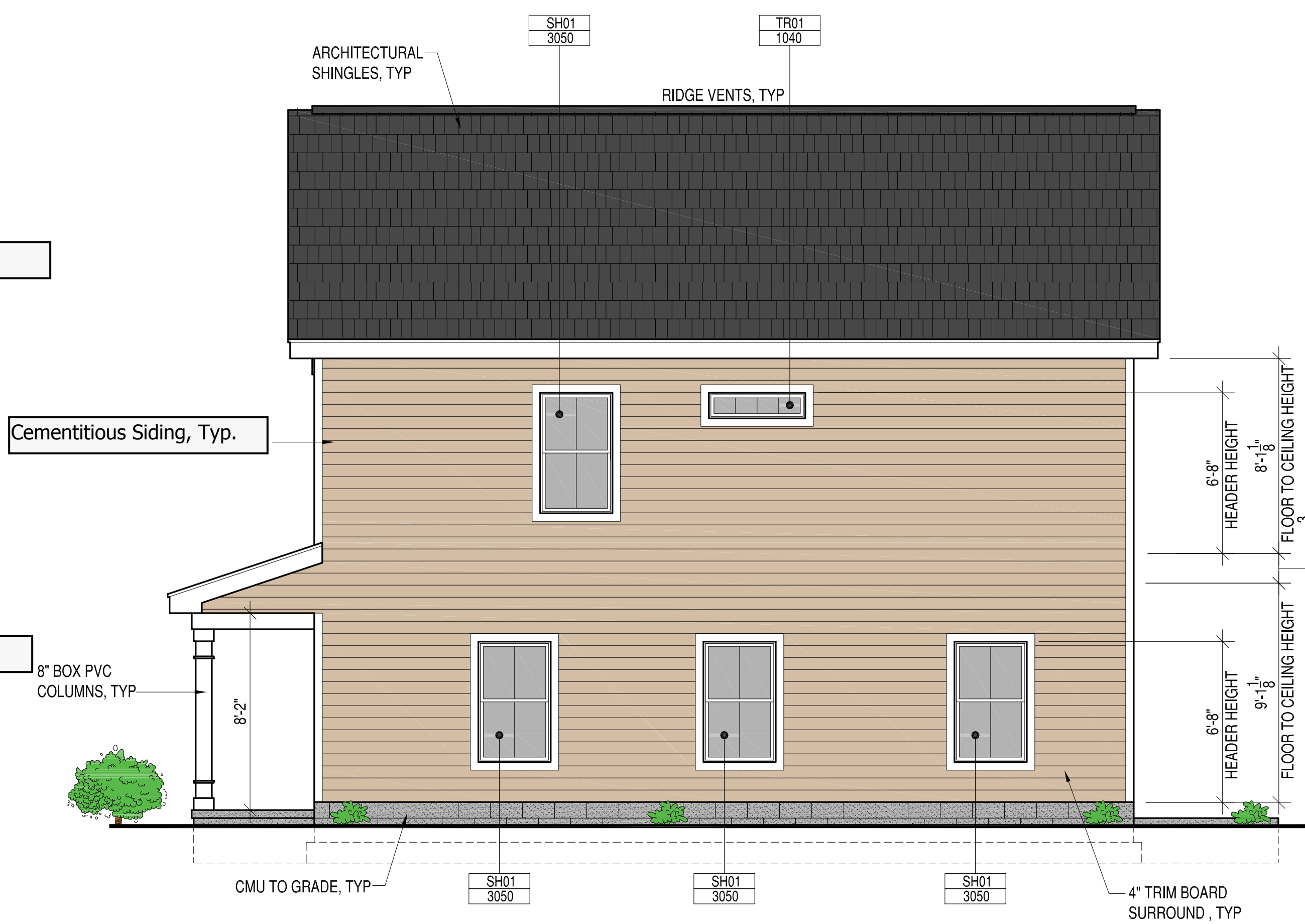
BUILDING SECTION

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 PROJECT NO.: 2019-01  
 CONSTR. CONTR. NO.  
 DRAWING NO.  
 SHEET OF  
 A-103

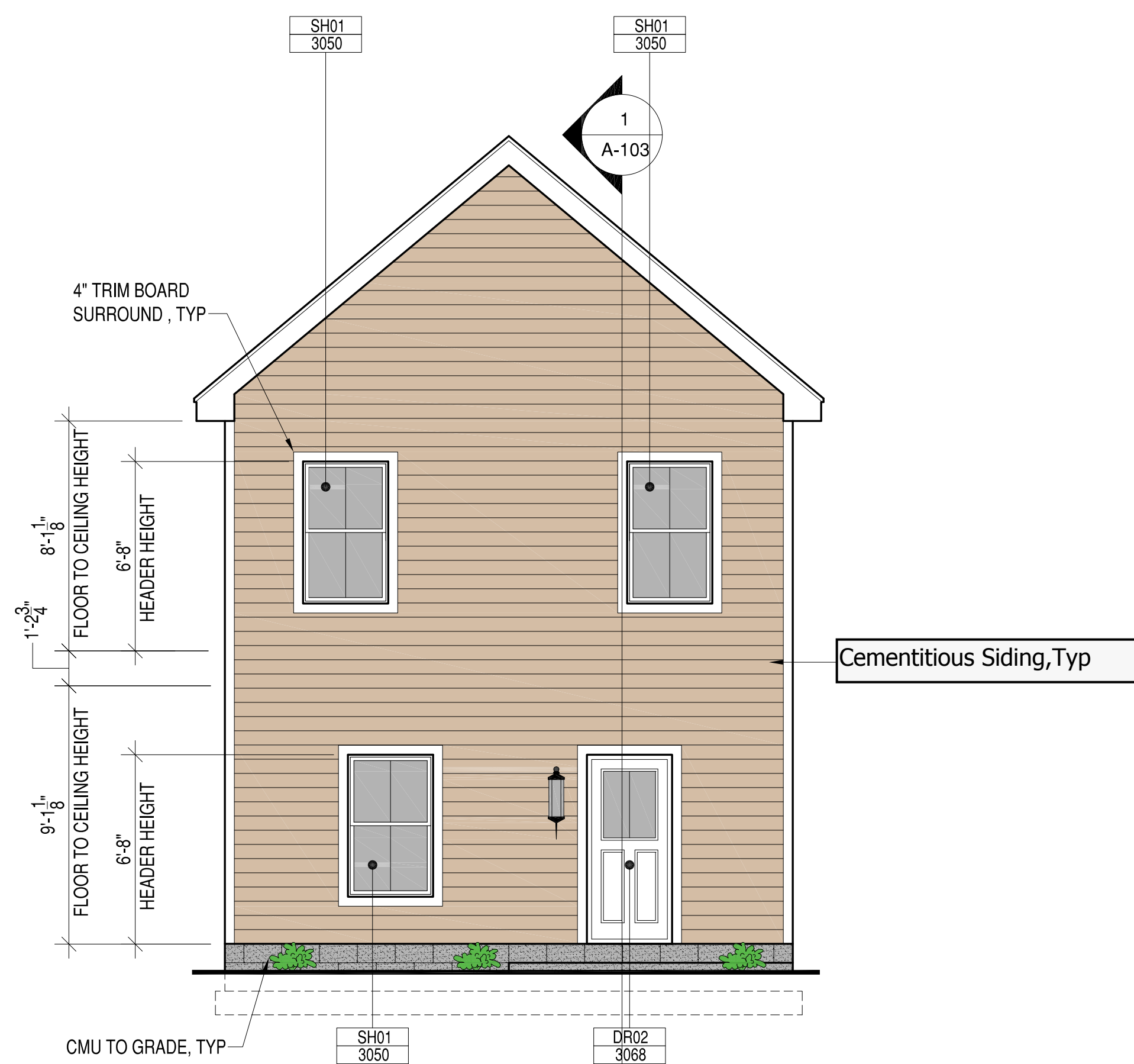
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2	FINAL PERMIT PLANS	10-18-2020	
1	CLIENT REVIEW	10-15-2020	



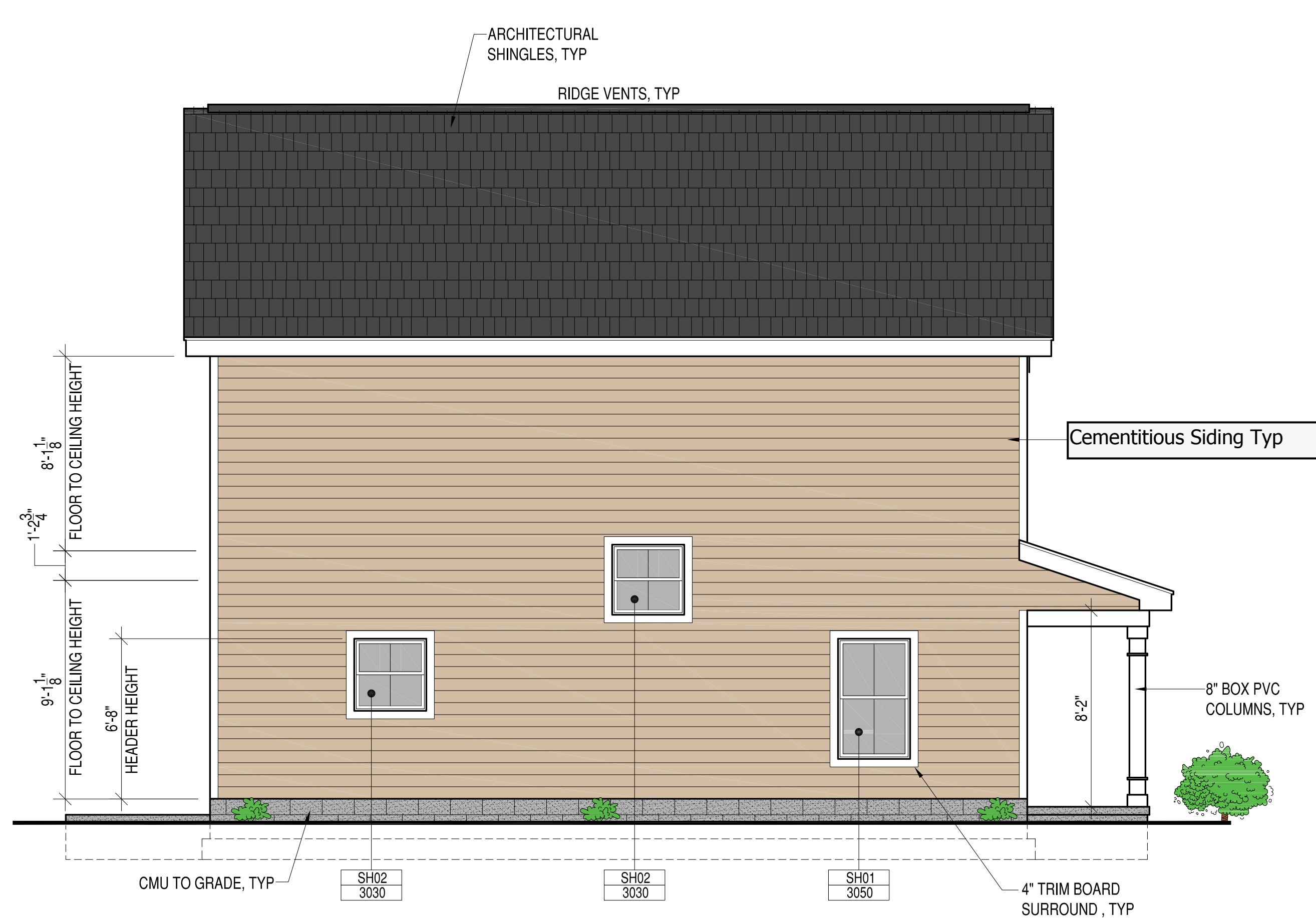
1 FRONT ELEVATION  
A-201 SCALE: 1/4"=1'-0"



2 LEFT ELEVATION  
A-201 SCALE: 1/4"=1'-0"



3 REAR ELEVATION  
A-201 SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION  
A-201 SCALE: 1/4"=1'-0"

EXTERIOR SIDING  
FINISH COLORS TO  
VARY WITH EACH  
HOUSE

NO.	DESCRIPTION	DATE	APPROVED
2	FINAL PERMIT PLANS	10-18-2020	
1	CLIENT REVIEW	10-15-2020	

Project Location:  
3114 Groveland Ave  
3119 Veranda Ave  
3117 Veranda Ave  
Richmond VA 23222



APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW JRP3   Chk JRP3

NEW SINGLE FAMILY RESIDENCE  
FRONT, REAR, RIGHT AND LEFT ELEVATIONS

SCALE: 1/4"=1'-0"
PROJECT NO: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-201

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.

CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.

MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.

Project Location:
3114 Groveland Ave
3119 Veranda Ave
3117 Veranda Ave
Richmond VA 23222



NEW SINGLE FAMILY RESIDENCE

STRUCTURAL GENERAL NOTES

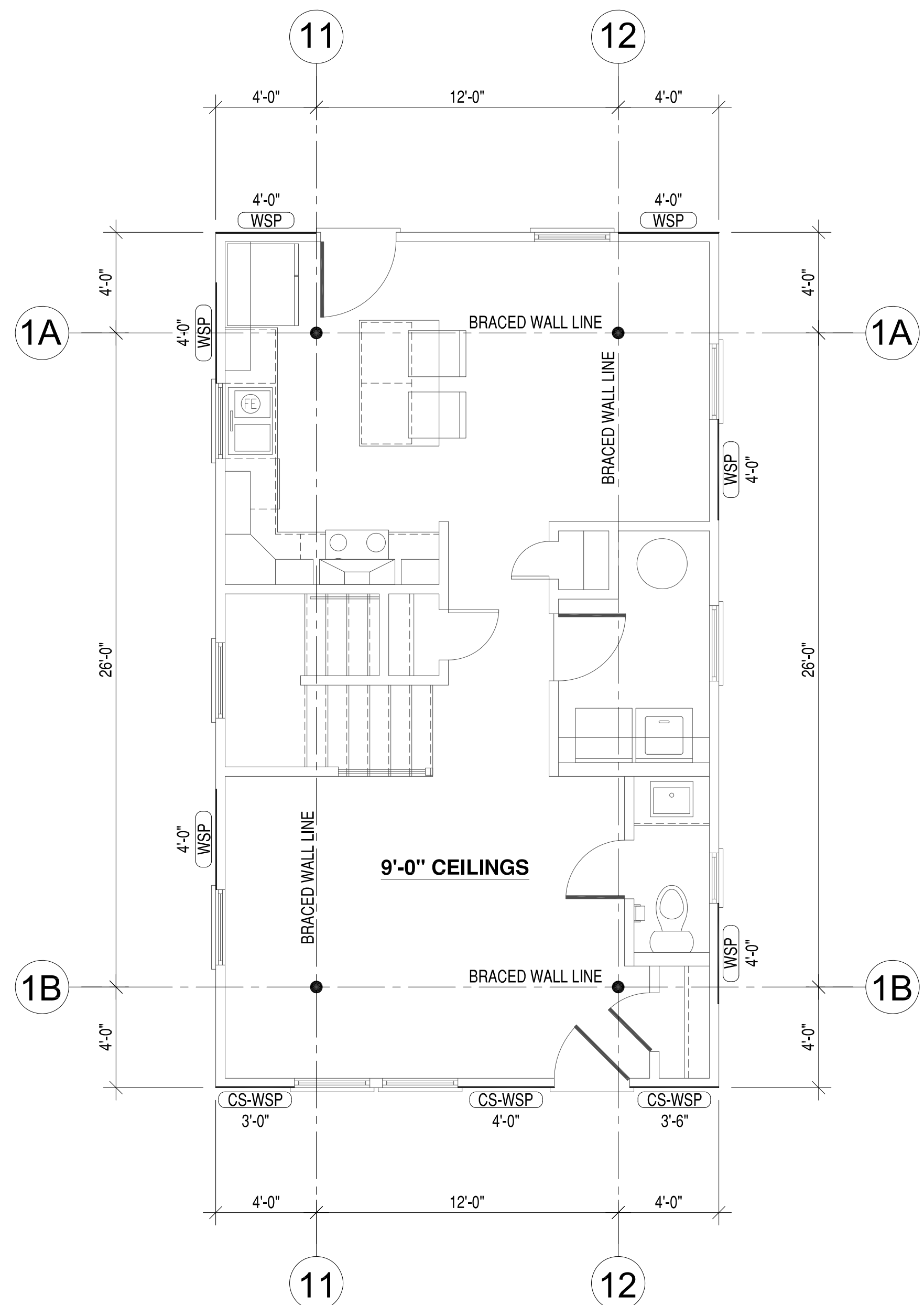
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PROJECT NO.: 2019-01
CONSTR. CONTR. NO.

DRAWING NO.

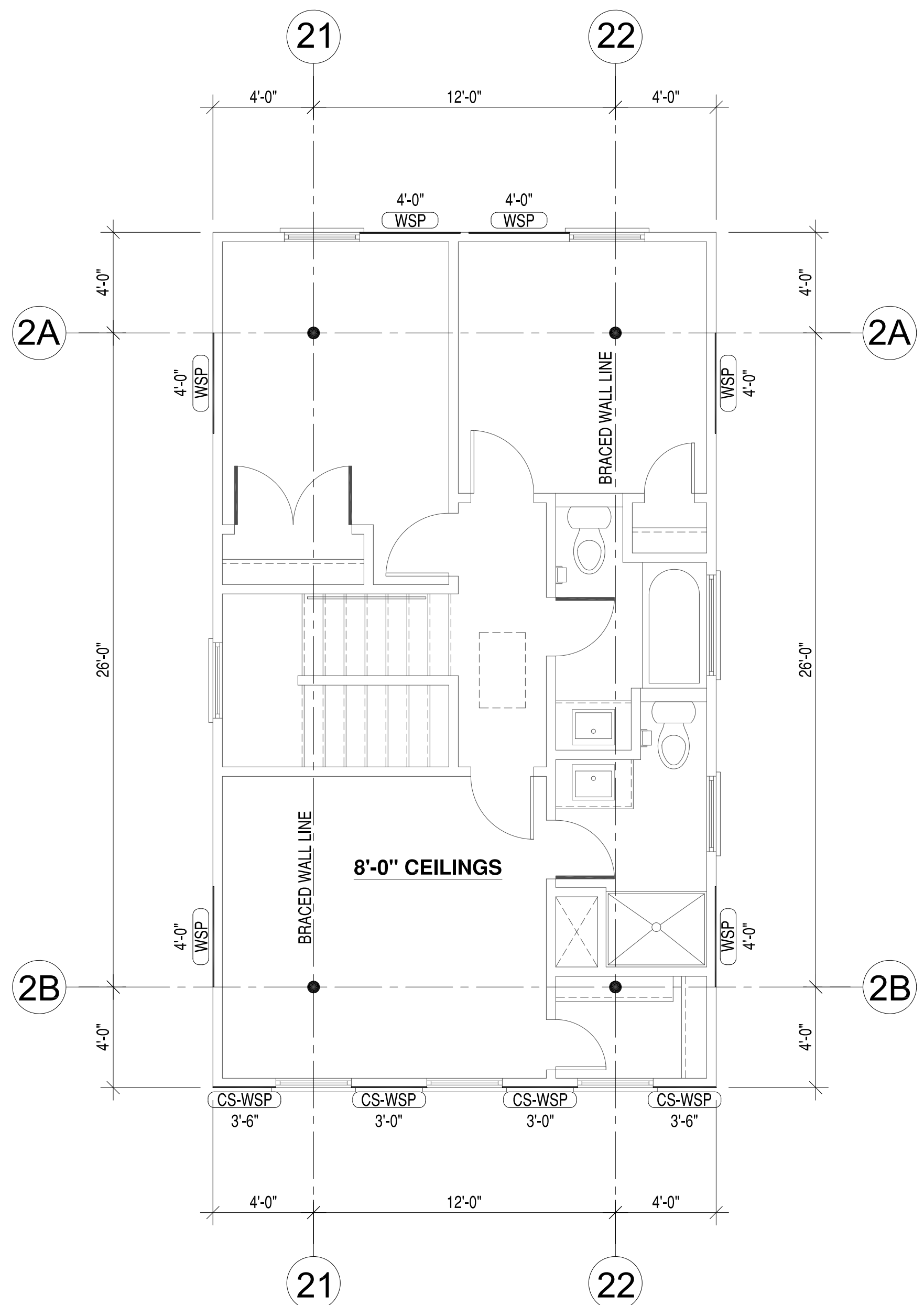
SHEET OF

S-001

Table with columns for DATE, DESCRIPTION, and APPROVAL. Includes entries for FINAL PERMIT PLANS (10-18-2020) and CLIENT REVIEW (10-15-2020).



**FIRST FLOOR BRACED WALL PLAN**  
SCALE: 1/4"=1'-0"



**SECOND FLOOR BRACED WALL PLAN**  
SCALE: 1/4"=1'-0"

- BRACED WALL PLAN NOTES:**
1. DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10.
  2. DESIGN BASED ON 90 MPH WIND SPEED, SEE CALCULATIONS.
  3. CLASSIC WALL BRACING METHOD USED.
  4. ——— DENOTES BRACED WALL PANELS.
  5. BLOCK HORIZONTAL SHEATHING JOINTS AT ALL BRACED WALL LINES AT FIRST FLOOR AND BRACED WALL LINES 2A AND 2B AT SECOND FLOOR.

SYN	DESCRIPTION	DATE	APPR
2	FINAL PERMIT PLANS	10-18-2020	
1	CLIENT REVIEW	10-15-2020	

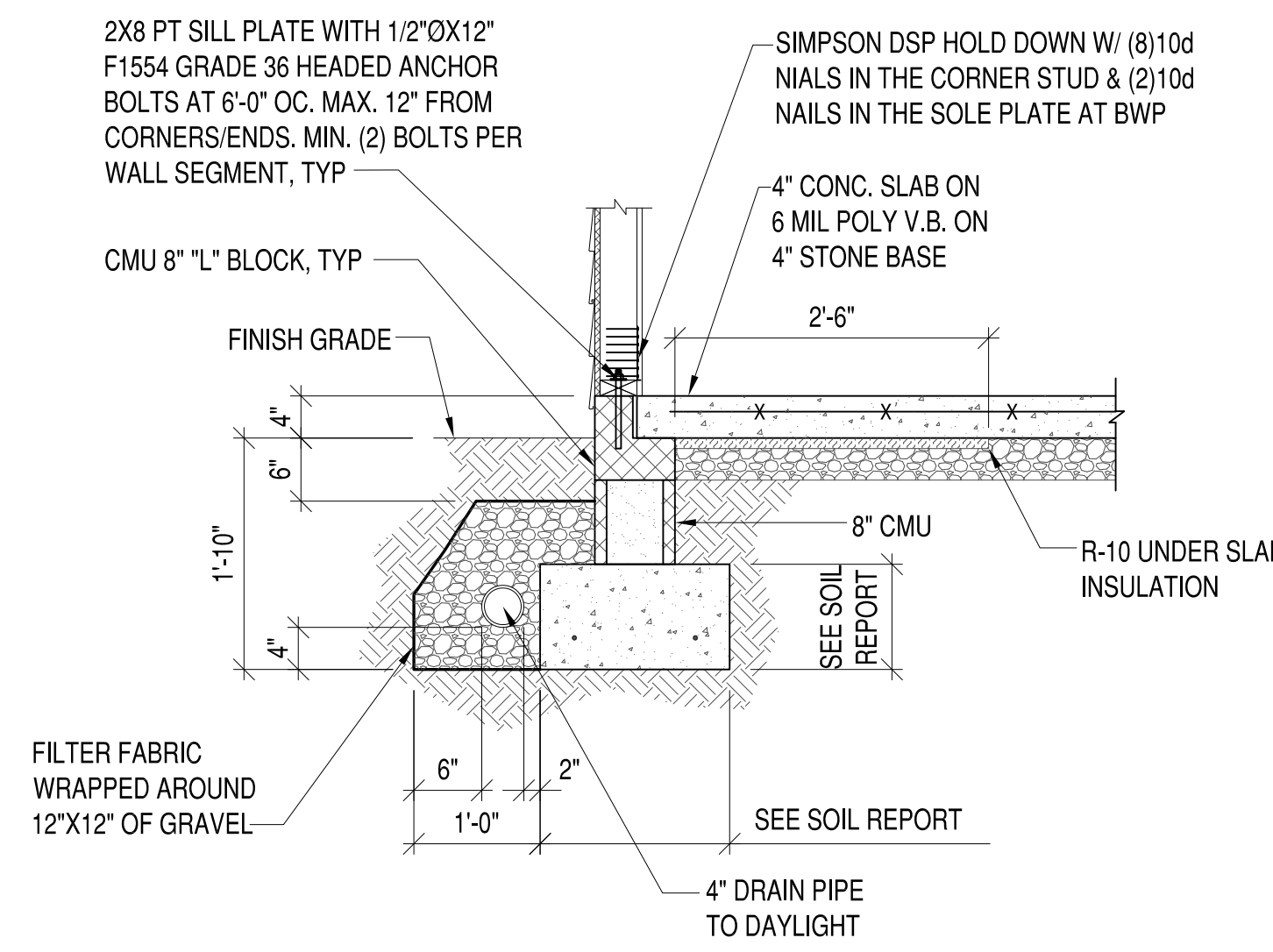
**2Project Location:**  
3114 Groveland Ave  
3119 Veranda Ave  
3117 Veranda Ave  
Richmond VA 23223



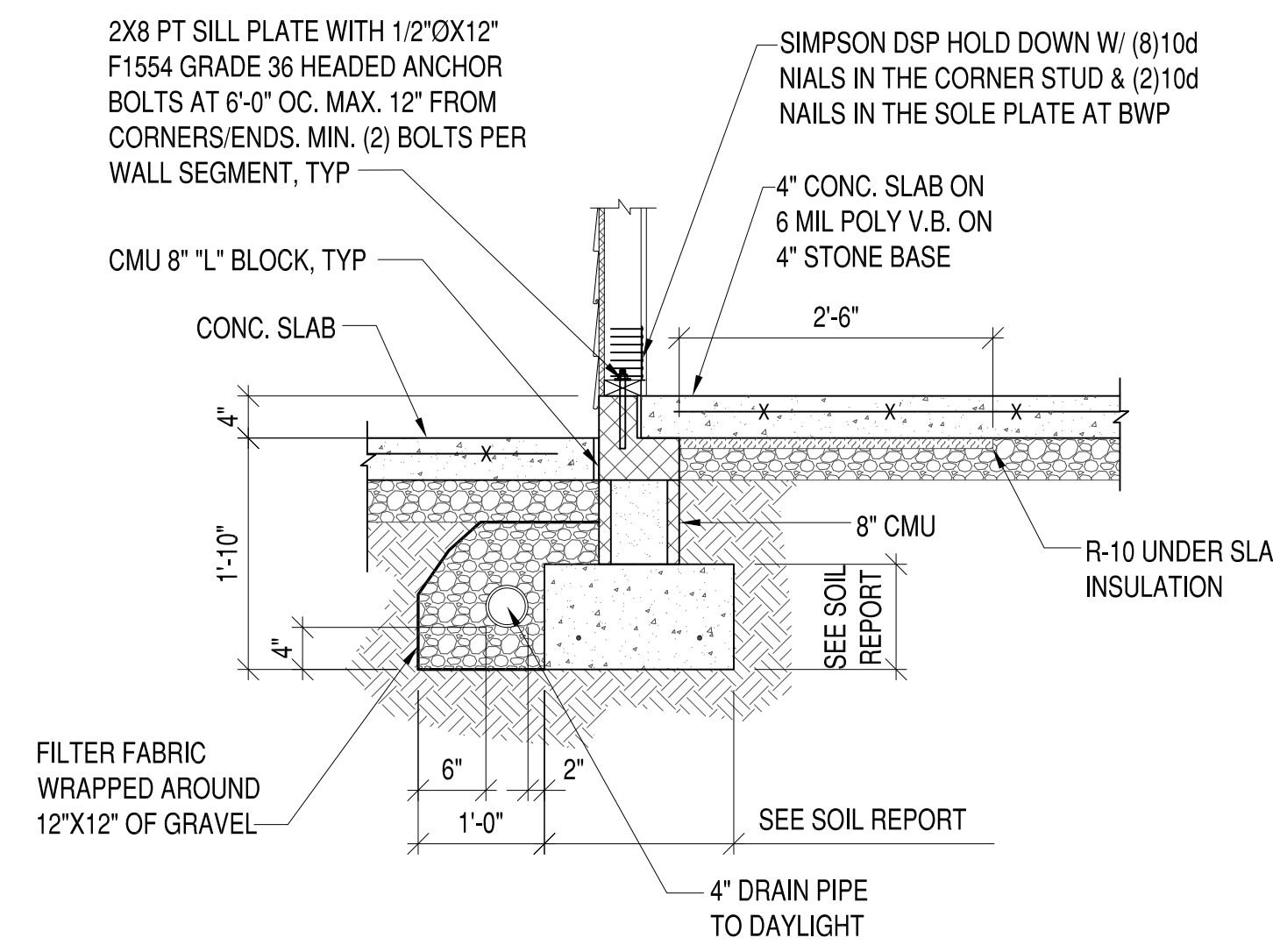
APPROVED
ACTIVITY
SATISFACTORY TO DATE
DES: JRP3   CHK: JRP3

**NEW SINGLE FAMILY RESIDENCE**  
FIRST & SECOND FLOOR BRACED WALL PLAN

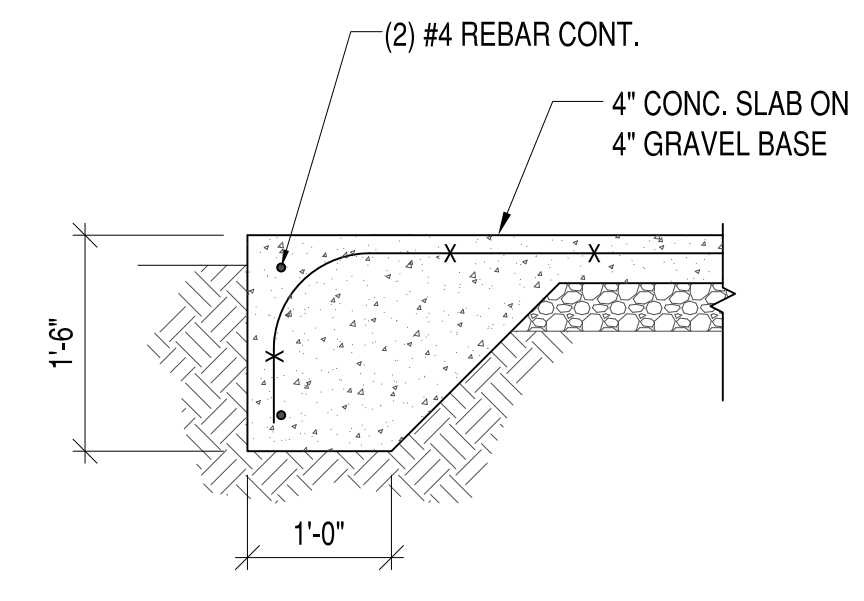
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PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-102



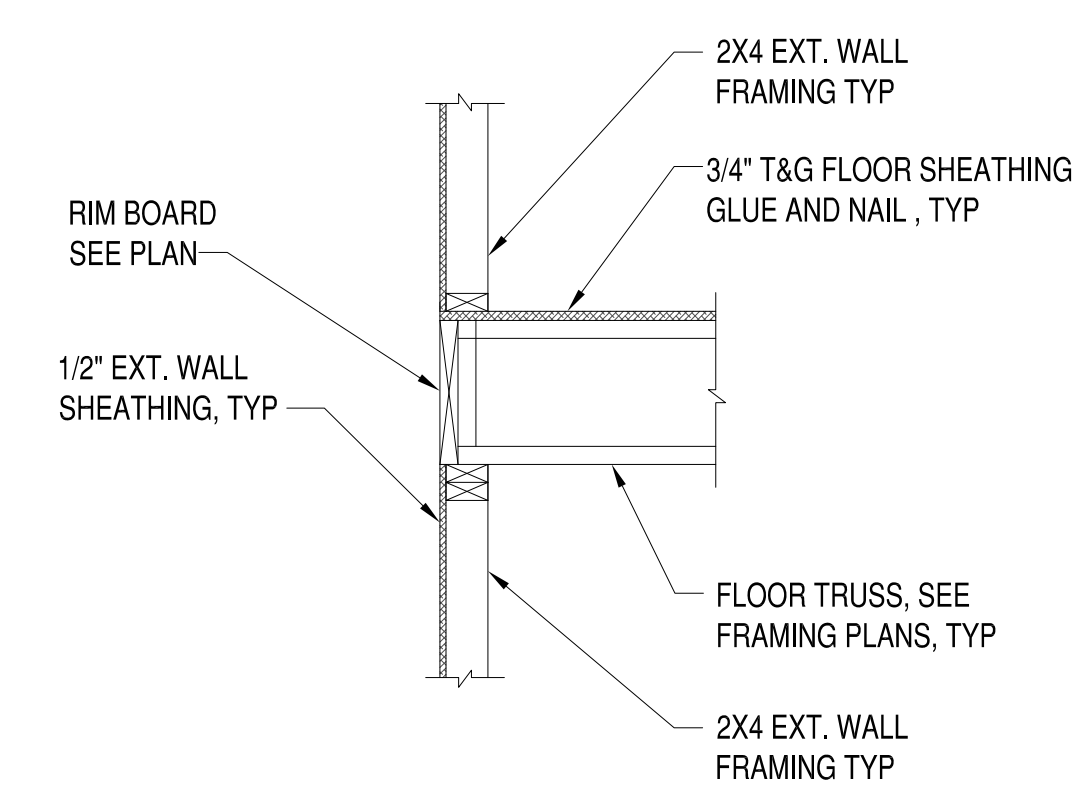
1 TYP. FOUNDATION SECTION  
S-201 3/4"=1'-0"



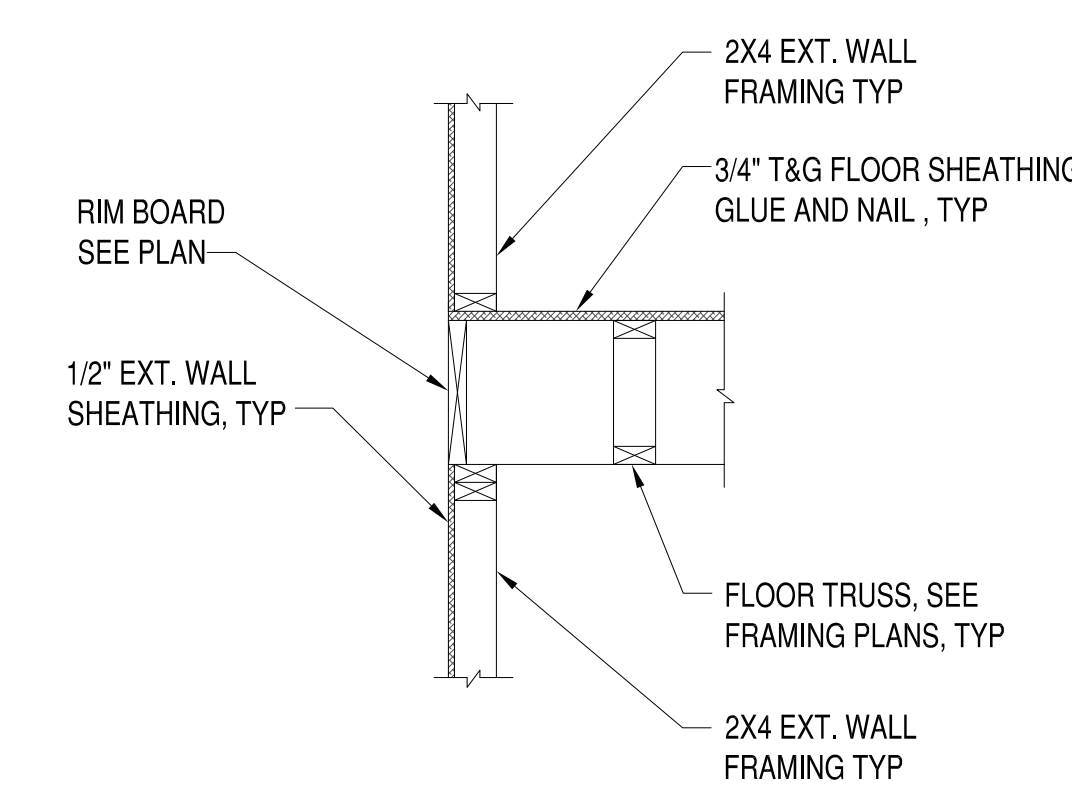
2 FOUNDATION SECTION AT PORCH  
S-201 3/4"=1'-0"



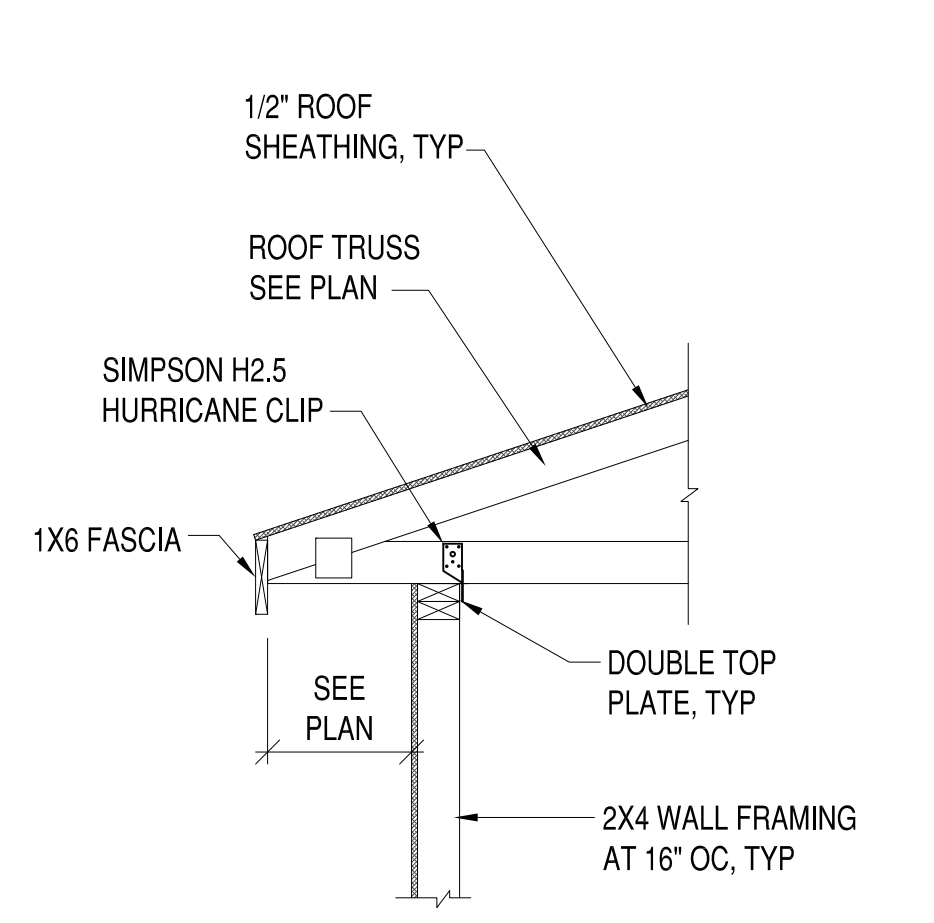
3 FOUNDATION SECTION AT PORCH EDGE  
S-201 3/4"=1'-0"



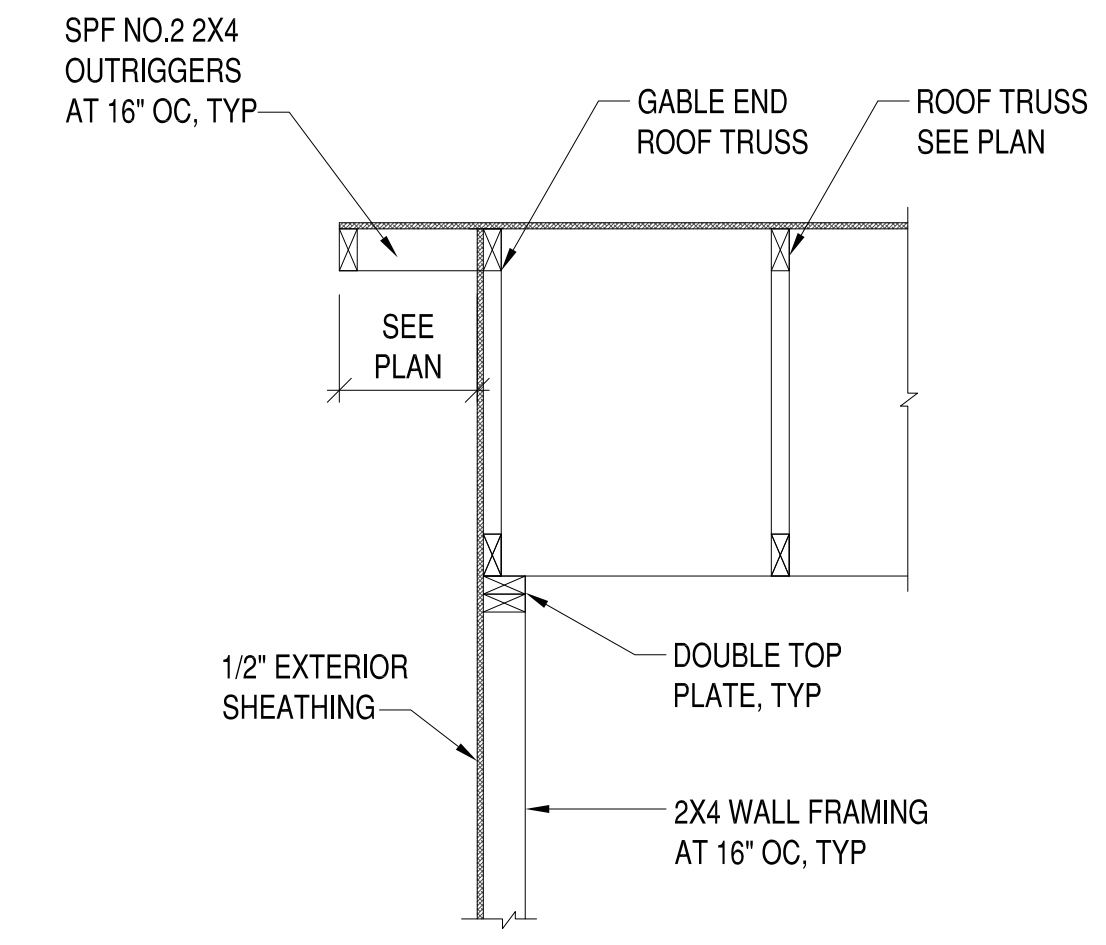
4 SECTION AT 2ND. FLOOR JOIST  
S-201 3/4"=1'-0"



5 SECTION AT 2ND. FLOOR JOIST  
S-201 3/4"=1'-0"



6 SECTION @ ROOF TRUSS  
S-201 3/4"=1'-0"



7 SECTION @ ROOF GABLE END  
S-201 3/4"=1'-0"

Project Location:  
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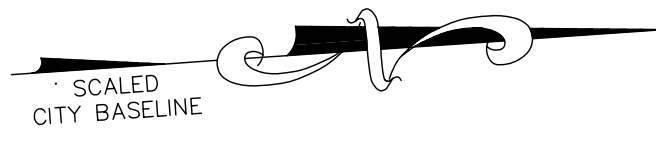
WATCHTOWER homes & construction	
APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW JRP3   CHK JRP3

NEW SINGLE FAMILY RESIDENCE

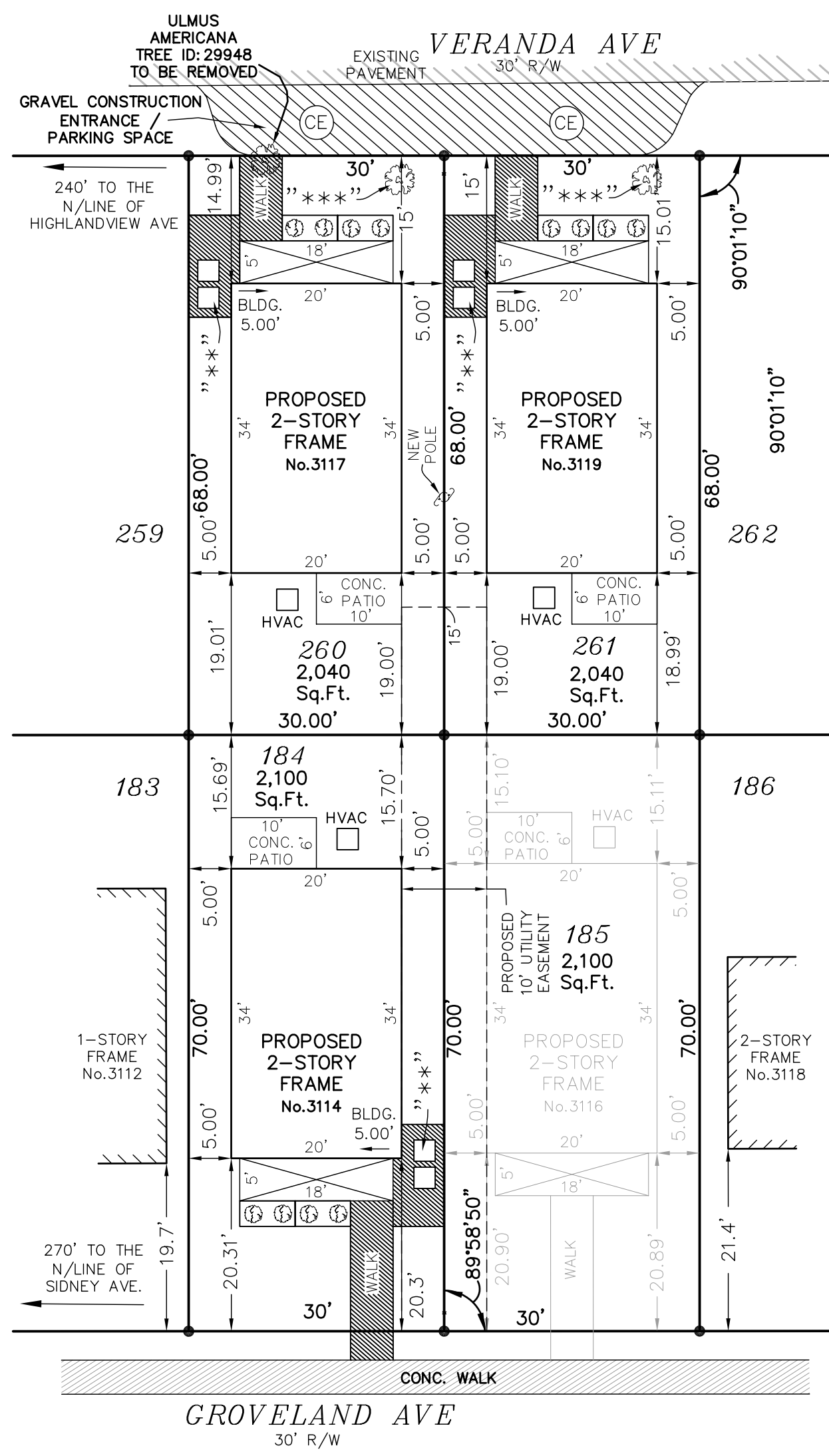
TYPICAL FOUNDATION AND FRAMING SECTIONS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-201

DATE	APPRO
10-18-2020	
10-15-2020	
DESCRIPTION	
2 FINAL PERMIT PLANS	
1 CLIENT REVIEW	
SYN	

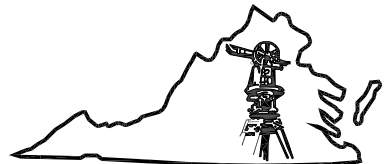


- \*\*\*  
NEW TREE  
"NYSSA SYLVATICA"
- \*\*  
SUPER CANS  
WITH SCREENING  
< 5' TALL
-   
MULCH BED  
WITH  
LANDSCAPING



SKETCH SHOWING THE  
PROPOSED IMPROVEMENTS  
ON LOTS 184, 260 AND 261,  
"HIGHLAND TERRACE"  
IN CITY OF RICHMOND, VA.



  
**Virginia Surveys**  
P.O. BOX 118  
CHESTERFIELD, VA 23832  
(804) 748-9481  
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REVISED: 3-12-2021  
DATE: 11-19-2020  
CERTIFIED BY JEFFREY K. FLOYD  
VIRGINIA CERTIFICATE NO. 001905  
SCALE: 1"=15'  
JOB NO. 201013724