



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**Commission of Architectural Review
Certificate of Appropriateness Application**

900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work)

Property Address: 4213 Hermitage Road

Current Zoning: R-1

Historic District: Hermitage Road Historic District

Application is submitted for: (check one)

☐ Alteration

☒ Demolition

☐ New Construction

Project Description (attach additional sheets if needed):

Demolition of existing non-contributing building located at 4213 Hermitage Road. Please see attached sheets for more information, including photographs of the existing building and context.

Applicant/Contact Person: Patrick McClane, AIA

Company: Smith + McClane Architects

Mailing Address: [REDACTED]

City: Richmond State: VA Zip Code: 23219

Telephone: [REDACTED]

Email: [REDACTED]

Billing Contact? No Applicant Type (owner, architect, etc.): architect

Property Owner: The New Community School

If Business Entity, name and title of authorized signee: Nancy Foy, Head of School

Mailing Address: [REDACTED]

City: Richmond State: VA Zip Code: 23227

Telephone: [REDACTED]

Email: [REDACTED]

Billing Contact? Yes

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: Nancy L Foy

Date: 6/18/20

THE NEW COMMUNITY SCHOOL

DEMOLITION REQUEST

Location and Historic Status

The subject building stands at 4213 Hermitage Road on the east side of the road and within the current boundaries of The New Community School (TNCS)(Figure 1). The building, a one-and-a-half-story Cape Cod dwelling, was constructed in 1955 and is a non-contributing resource in the Hermitage Road Old and Historic District because it was built after the district's identified Period of Significance (1885-1938). For this reason, the demolition will have no adverse effect on the historic district.

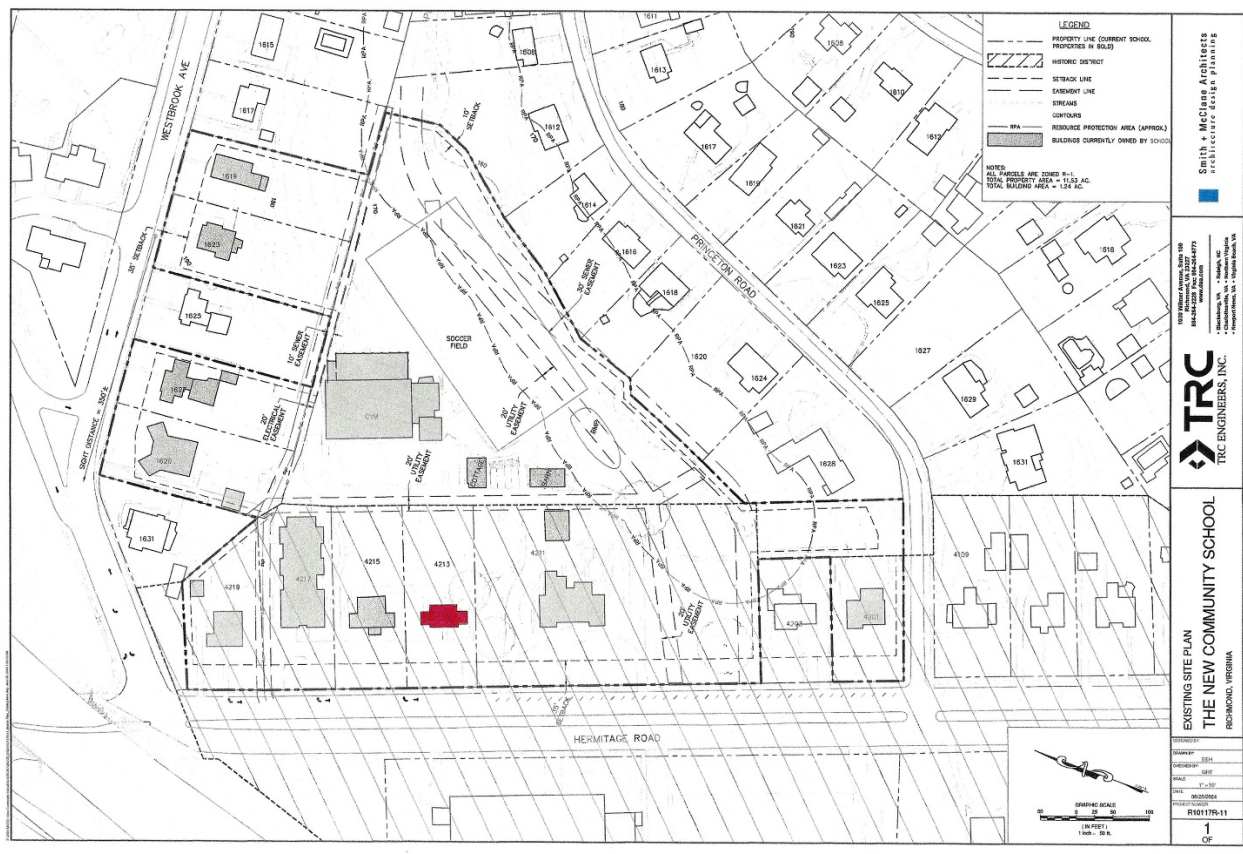


Fig. 1 – Site Plan

Subject Building Description and Adjacent Buildings

The building at 4213 Hermitage Road (Figures 2 & 3) is a one-and-a-half story, three-bay-wide, Cape Cod dwelling that is clad with red brick and covered by a side-facing gable roof with exterior end chimneys. There are two gable-roofed dormers on the front (west) slope of the roof, and a wide, shed-roofed dormer on the rear (east) slope of the roof.



Fig. 2 – View from West



Fig. 3 – View from East

The relatively small size of the building and its minimal architectural character stand in stark contrast to the adjacent buildings, which are also owned by TNCS and are contributing resources to the historic district. Massey Hall (formerly known as Willowbrook), 4211 Hermitage Road (Figure 4), which stands south of the subject building, is a two-story, Italian Renaissance style building constructed about 1925. It is clad in yellow brick and covered by a red tile-clad hipped roof with deep overhanging eaves. The center block of the building is flanked by one-story, hip-roofed wings; one-story wings also project from the rear (east) of the building. Morris Hall, 4215 Hermitage Road (Figure 5), which is north of the subject building, is a two-and-a-half-story, three-bay, Colonial Revival-style building. Its plan is rectangular with flanking side-porches and it is clad in red brick. Constructed in the 1920s, it has a side gable, slate roof with three front gabled dormers and two exterior-end chimneys. The large footprint and square footage of these two buildings allowed for easy conversion into offices and classrooms and have been used by the school for those purposes.



Fig. 4 – Massey Hall

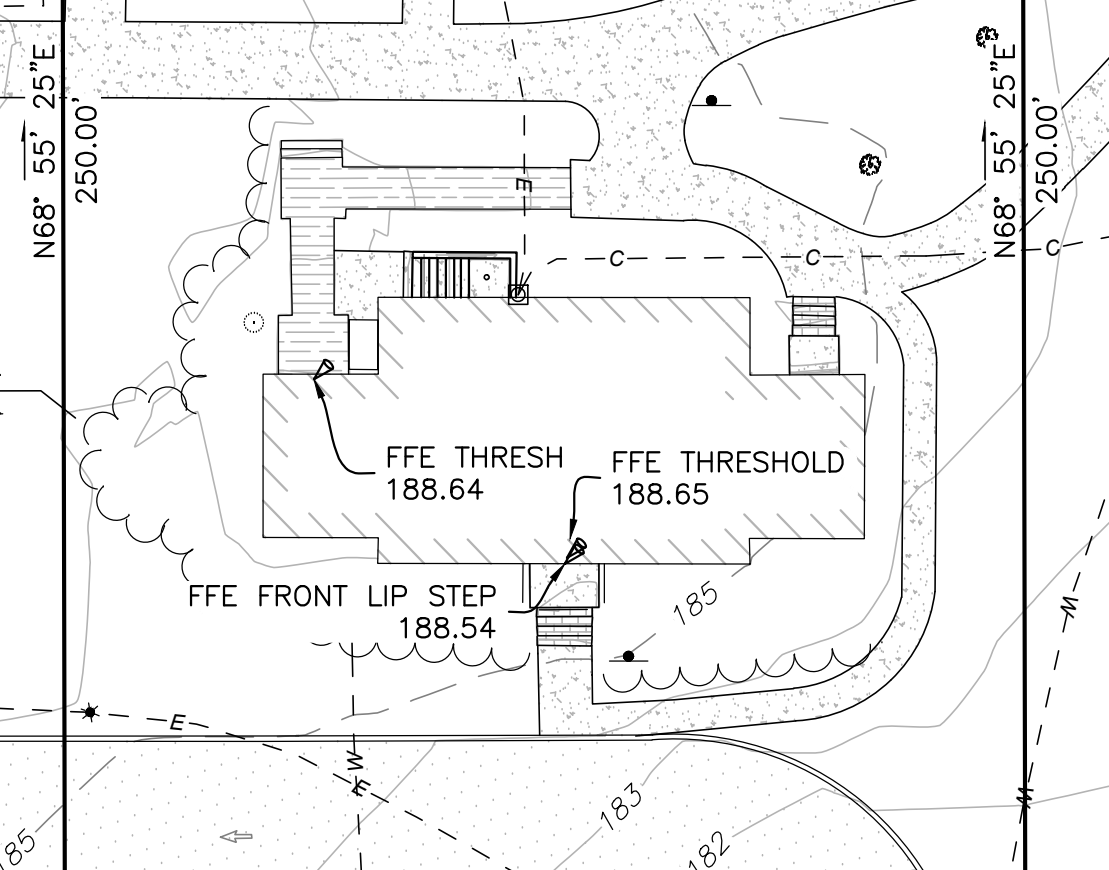


Fig. 5 – Morris Hall

Reason for Request

In 1974, TNCS acquired the subject building and minimally renovated it for office and classroom use. These spaces do not adequately serve the current needs of the school, and the building does not present practical opportunities for renovation or expansion.

The applicant seeks to demolish the existing one-and-a-half-story, Cape Cod building at 4213 Hermitage Road and to replace it with a much-needed purpose-built academic building. The proposed building (under separate application) will provide more square footage than the present building and will house spaces designed with the school's specific academic program and needs in mind. The proposed new building also will be designed to complement the architectural character of the adjacent historic buildings.



1629 WESTBROOK AVENUE
THE NEW COMMUNITY
SCHOOL FOUNDATION
INST. 97-10131
PARCEL N0170178012

1631 WESTBROOK AVENUE
THE NEW COMMUNITY
SCHOOL FOUNDATION
INST. 26-6771
PARCEL N0170178011

4219 HERMITAGE ROAD
THE NEW COMMUNITY
SCHOOL FOUNDATION
INST. 15-23148
PARCEL N0170178010

4217 HERMITAGE ROAD
THE NEW COMMUNITY
SCHOOL FOUNDATION
D.B.245, PG. 2226
PARCEL N0170178009

4211 HERMITAGE ROAD
THE NEW COMMUNITY
SCHOOL FOUNDATION
D.B. 780, PG. 1586
PARCEL N0170178006

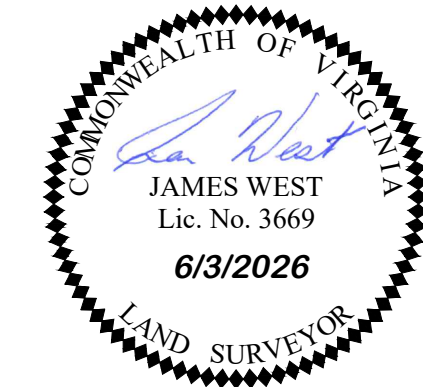
- LEGEND**
- IRF SURVEY CONTROL POINT
 - IRF FINISHED FLOOR ELEVATION
 - IRF IRON ROD FOUND
 - MF MONUMENT FOUND
 - SCO SANITARY SEWER CLEANOUT
 - SCO SANITARY SEWER MANHOLE
 - SS SANITARY SEWER LINE
 - SD STORM DRAIN MANHOLE
 - SD STORM DRAIN LINE
 - WM WATER METER
 - WV WATER VALVE
 - FH FIRE HYDRANT
 - FDC FIRE DEPARTMENT CONNECTION
 - W- WATER LINE
 - GM GAS METER
 - GV GAS VALVE
 - GM GAS LINE MARKER
 - ELECTRIC METER
 - ELECTRIC BOX
 - ELECTRIC HANDHOLE
 - BURIED ELECTRIC LINE
 - SITE LIGHTING
 - OVERHEAD UTILITY POLE
 - GUY
 - OVERHEAD ELECTRIC/UTILITY LINE
 - TELECOMM. PEDESTAL
 - TELECOMM. LINE MARKER
 - HEAT PUMP
 - GRAVEL
 - CONCRETE
 - ASPHALT
 - BUILDING LINE
 - FENCE
 - SIGN
 - ROOF OVERHANG
 - EDGE OF VEGETATION
 - DECIDUOUS TREE
 - EVERGREEN TREE
 - FLAGPOLE

NOTES:

1. THIS TOPOGRAPHIC SURVEY IN THE CITY OF RICHMOND, VA WAS COMPLETED UNDER THE DIRECT SUPERVISION AND RESPONSIBLE CHARGE OF JAMES WEST FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND DATA WAS OBTAINED BETWEEN 5/15/2026 AND 5/26/2026; AND THIS MAP MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
2. VERTICAL DATUM: NAVD88; HORIZONTAL DATUM NAD83 VA SOUTH ZONE.
3. SITE CONTROL WAS REFERENCED HORIZONTALLY TO THE CURRENT REALIZATION OF THE NORTH AMERICAN DATUM 1983(2011) US STATE PLANE COORDINATE SYSTEM (SPC) ZONE VIRGINIA SOUTH (4502). VERTICAL COMPONENTS WERE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) UTILIZING RTK GNSS OBSERVATIONS REDUCED TO ORTHOMETRIC HEIGHTS BY APPLYING THE GEOID18 GRAVIMETRIC MODEL. BOTH HORIZONTAL AND VERTICAL COORDINATES ARE EXPRESSED IN US SURVEY FEET.
4. UTILITIES SHOWN ARE FROM FIELD LOCATED EVIDENCE OF SURFACE UTILITIES, CITY GIS MAPPING AND INFRAMAP CORP. PAINT MARKING. UTILITY LOCATIONS ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS SURVEY.
5. THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND RIGHT-OF-WAY CHANGES MAY EXIST THAT ARE NOT SHOWN.
6. LIMITED BOUNDARY FIELDWORK OR RESEARCH WAS PERFORMED IN THE PREPARATION OF THIS MAP.
7. THIS MAP WAS PREPARED FOR:
NITSCH ENGINEERING
1700 SUMMIT AVENUE
RICHMOND, VA 23230

SANITARY STRUCTURE TABLE			
STR. #	DESCRIPTION	RIM EL.	INVERTS
①	MANHOLE	189.76	8" TC SW=181.65 6" PVC W=184.59 8" TC NW=181.37 8" TC SE=181.30
②	MANHOLE	163.20	8" TC WITH PVC LINER NW=158.54 8" PVC SE=158.49

STORM STRUCTURE TABLE			
STR. #	DESCRIPTION	RIM EL.	INVERTS
①	GRATE-TOP INLET	MEAN=184.58	12" RCP=182.88
②	GRATE-TOP INLET	MEAN=188.61	12" RCP SE=182.38 12" RCP SW=182.35
③	MANHOLE	190.18	12" RCP NE=181.98 12" RCP SW=180.78
④	MANHOLE	186.96	12" RCP NE=180.29 12" HDPE W=180.21
⑤	MANHOLE	183.33	12" HDPE E=179.68 8" HDPE NE=179.80 (GIS) 15" HDPE SW=178.65
⑥	CURB INLET	182.64	15" HDPE NE=177.38 15" RCP SW=177.28
⑦	MANHOLE	182.13	15" RCP NE=174 (GIS) 15" RCP SE=173.68 (GIS)
⑧	CURB INLET	177.04	12" RCP SW=171.20
⑨	MANHOLE	176.77	15" RCP F/L=168.23 (GIS)
⑩	CURB INLET	172.72	15" RCP=167.45
⑪	ROOF DRAIN OUTFALL		6" PVC=178.42
⑫	ROOF DRAIN OUTFALL		6" PVC=177.69
⑬	MANHOLE	173.37	15" RCP F/L=164.82 (GIS)



DATE:	6/3/2026
JOB NUMBER:	26049
SCALE:	1"=20'
DRAWN BY:	JRW

TOPOGRAPHIC SURVEY FOR
A PORTION OF THE NEW
COMMUNITY SCHOOL
CITY OF RICHMOND, VA





