

INTRODUCED: November 10, 2025

AN ORDINANCE No. 2025-255

To authorize the special use of the property known as 1915 5th Avenue for the purpose of up to two two-family detached dwellings, upon certain terms and conditions.

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: DEC 8 2025 AT 6 P.M.

WHEREAS, the owner of the property known as 1915 5th Avenue, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of up to two two-family detached dwellings, which use, among other things, is not currently allowed by section 30-412.4, concerning lot area and width, density, and unit width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN: _____

ADOPTED: DEC 15 2025 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1915 5th Avenue and identified as Tax Parcel No. N000-0508/016 in the 2025 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Division of Lots 7 & 8, Block ‘38’, Plan of ‘Chestnut Hill’, in the City of Richmond, Virginia,” prepared by McKnight & Associates, P.C., and dated February 21, 2025, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to two two-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Plot Plan Showing Proposed Improvements on Lot 7, Block ‘38’, Plan of ‘Chestnut Hill’, in the City of Richmond, Virginia,” prepared by McKnight & Associates, P.C., and dated April 11, 2025, “Plot Plan Showing Proposed Improvements on Lot 8, Block ‘38’, Plan of ‘Chestnut Hill’, in the City of Richmond, Virginia,” prepared by McKnight & Associates, P.C., and dated April 11, 2025, and “Rent RVA Now LLC, Duplex, 1915 5th Ave, Richmond, VA 23222,” prepared by Slate Drafting, and dated June 13, 2025, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to two two-family detached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(d) All mechanical equipment, including heating, ventilation, and air conditioning units, serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) Prior to the issuance of any building permit for the Special Use, the establishment of no more than two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans, or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe, and shall comply with all other laws, ordinances, rules, and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final,

non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

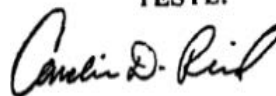
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void or when the Special Use of the Property as authorized by this ordinance is abandoned for a period of 733 consecutive calendar days, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:
TESTE:



City Clerk

City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: September 26, 2025

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Odie Donald II, Chief Administrative Officer

THROUGH: Sharon L. Ebert, DCAO for Economic Development and Planning

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the property known as 1915 5th Avenue, for the purpose of up to two two-family detached dwellings, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: The applicant is requesting a Special Use Permit to authorize two duplexes an R-6 Single-Family Attached Residential District. While two-family detached dwellings are permitted uses in this district, the proposal does not meet certain lot feature requirements. A Special Use Permit is therefore required to pursue this development.

BACKGROUND: The property is located in the Highland Park Southern Tip neighborhood on the east side of 5th Avenue approximately midblock between Chestnut Street and Althea Street. The property is currently a 8,400 sq. ft. (.1928 acre) parcel of land. The City's Richmond 300 Master Plan designates a future land use for the subject property as Residential, which is defined as a "neighborhood consisting primarily of single-family houses on large or medium sized lots" (p. 54)

Intensity: Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000 square feet. Residential density of 2 to 10 housing units per acre (p. 54)

The current zoning for this property is R-6 Single-Family Attached Residential District. Adjacent properties are also located within this district. The area is generally single-family residential. The density of the proposed is four units upon .1928 acres or 21 units per acre.

COMMUNITY ENGAGEMENT: The Highland Park Quality of Life Association was notified of the application; additional community notification will take place after introduction.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: Richmond 300 Master Plan

FISCAL IMPACT: \$400 application fee.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: November 10, 2025

CITY COUNCIL PUBLIC HEARING DATE: December 8, 2025

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission December 2, 2025

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Authorization from Property Owner, Applicant's Report, Plans, Survey

STAFF:

Alyson Oliver, Program and Operations Manager, Land Use Administration (Room 511) 646-3709

David Watson, Planner, Land Use Administration (Room 511) 646-1036



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304

<https://rva.gov/planning-development-review>

Application is hereby submitted for: (check one)

- ☒ special use permit, new
☐ special use permit, plan amendment
☐ special use permit, text only amendment

Project Name/Location

Property Address: 1915 5th Ave., Richmond, VA

Parcel I.D. #: N0000508016 Fee: \$400

Date: Feb 13, 2025

Total area of affected site in acres: 0.1928

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-6 Residential

Richmond 300 Land Use Designation: _____

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Subdivide lot into two lots (30'x140') and build two unattached duplexes on each lot
Existing Use: Vacant Int'l Lot

Is this property subject to any previous land use cases?

Yes

No

☐☒

If Yes, please list the Ordinance Number:

Not that I know of

Applicant/Contact Person: Sarah Stamper

Company: Kent RVA Now LLC

Mailing Address: P.O. Box 1017

City: Glen Allen VA

Telephone: (804) 615-3003

State: VA

Zip Code: 23059

Email: _____

Fax: _____

Property Owner: Kent RVA Now LLC - Sarah Stamper -

If Business Entity, name and title of authorized signee: Sarah Stamper

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: P.O. Box 1017

City: Glen Allen, VA 23059

Telephone: (804) 615-3003

State: VA

Zip Code: 23060

Email: _____

Fax: _____

Property Owner Signature: Sarah Stamper

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Sarah Stamper

Rent RVA Now LLC

P.O. Box 1017

Glen Allen, VA 23060

804-615-3883



February 14, 2025

City of Richmond

Department of Planning and Development Review

900 E Broad Street, Suite 400

Richmond, VA 23219

**Re: Request for Special Use Permit – Two Detached Duplexes at 1915th Avenue,
Richmond, VA 23222 (Parcel ID: N0000508016)**

Dear Sir/Madam,

I hope this letter finds you well. I am writing to formally request the approval of a Special Use Permit for the construction of two detached duplexes, side by side, on the property located at 1915th Avenue, Richmond, VA 23222, Parcel ID N0000508016.

As a resident and stakeholder in the Richmond community, I firmly believe that these duplexes align with the City of Richmond's master plan for development, particularly in the Chestnut Hill neighborhood on the north side of the city. The addition of these residential duplexes is crucial for meeting the growing demand for housing in the area and will contribute positively to the neighborhood's continued revitalization.

These proposed duplexes will not only provide much-needed housing options for individuals and families in the region, but they will also support the broader goals set forth in Richmond's master plan, which includes encouraging population growth, promoting neighborhood revitalization, and fostering economic development. The duplexes will contribute to the availability of diverse and affordable housing options for a range of income levels, ensuring equitable access to quality living spaces for all members of the community.

Furthermore, the construction of these duplexes will have a positive impact on the local economy by creating jobs and supporting surrounding businesses. The design of these duplexes will complement the historic architecture of the neighborhood. They will feature a single main entrance with a vestibule, so from the street, they will have the appearance of a single-family home.

With increasing mortgage costs, it is becoming more difficult for small developers like myself to generate rental profits using the single-family home model. The duplex model not only allows me to provide housing for two families on one block, but it also enables me to generate twice the income, making it financially viable given the higher mortgage rates.

In addition to the reasons mentioned above, I would like to highlight some key reasons why residential development, including the construction of these duplexes, is essential to the city of Richmond's future growth and prosperity:

1. **Meeting Housing Demand:** Richmond is experiencing population growth, creating a need for additional housing options, particularly in areas like downtown and along transit corridors where demand is high. These duplexes will provide much-needed homes to accommodate this growing population.
2. **Economic Development:** New residential developments contribute to the city's economic growth by attracting businesses and new residents. These projects help increase the city's tax base and support local businesses, creating a thriving community.
3. **Urban Revitalization:** Residential development plays a vital role in revitalizing older neighborhoods. It promotes reinvestment in infrastructure, improves aesthetics, and fosters a stronger sense of community, which benefits the neighborhood and the city as a whole.
4. **Mixed-Income Housing:** The City's master plan emphasizes the importance of offering diverse housing options that cater to varying income levels. These duplexes will help promote inclusivity and prevent displacement by providing affordable housing options for different demographic groups.
5. **Improved Quality of Life:** Quality housing in walkable neighborhoods contributes to an enhanced quality of life. Residents will enjoy proximity to essential amenities such as parks, schools, and public transportation, which fosters a healthy, vibrant community.
6. **Sustainability Goals:** Strategic residential development, like the proposed duplexes, helps meet the city's sustainability goals. By promoting denser living patterns, reducing car dependency, and utilizing existing infrastructure, this development supports a more sustainable urban environment.

The construction of these duplexes will not only benefit the Chestnut Hill neighborhood but will also play a vital role in the broader goals of the city's master plan. I am confident that this project will serve as a valuable asset to Richmond, contributing to its continued growth, economic development, and urban sustainability.

I respectfully request your consideration and approval of this Special Use Permit to allow for the development of these duplexes, which I am confident will serve as a valuable asset to both the Chestnut Hill neighborhood and the broader Richmond community.

Thank you for your time and attention to this matter. I look forward to your response and the opportunity to contribute to the growth and prosperity of our city.

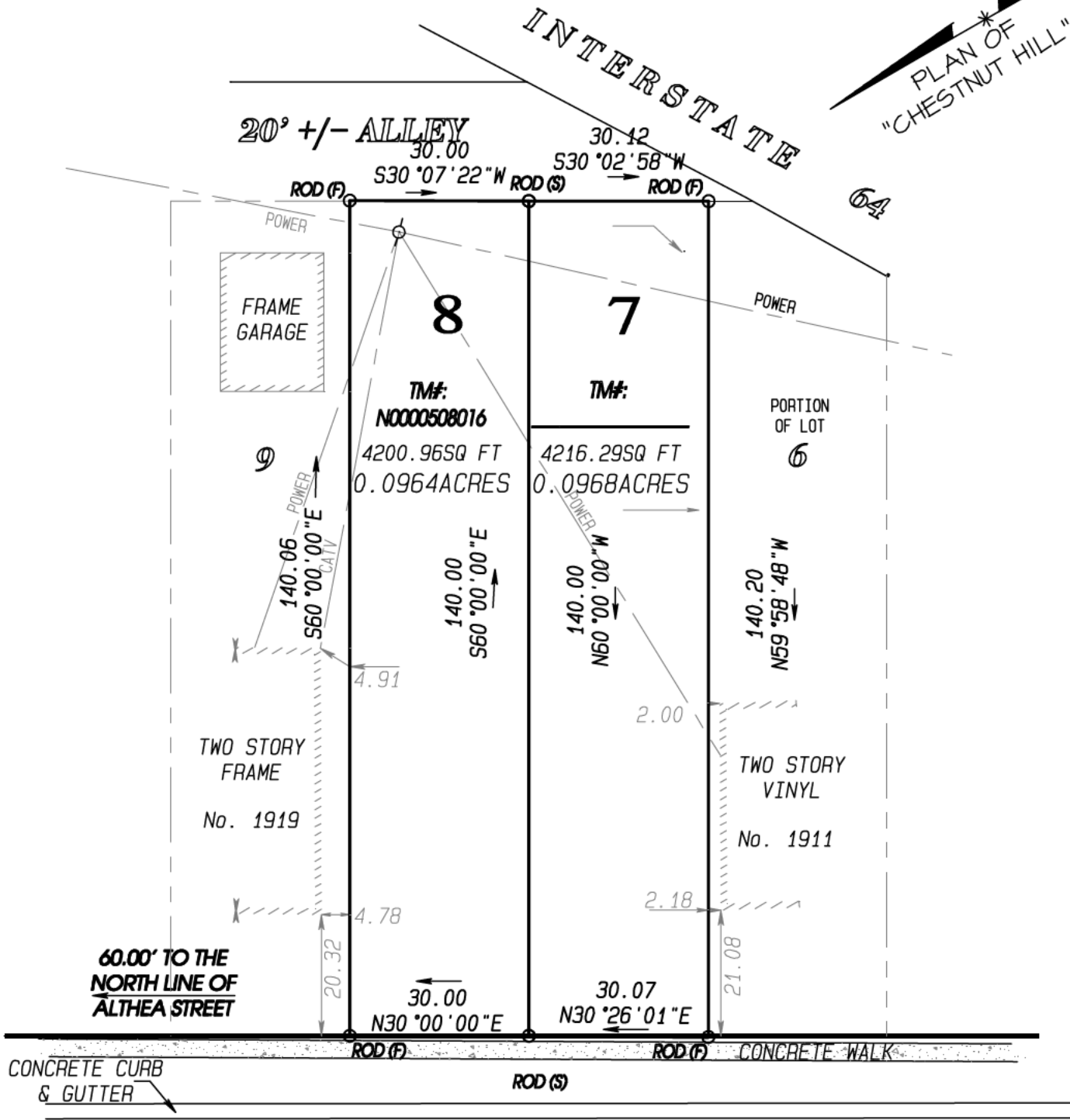
Sincerely,

Sarah Stamper

Owner/Manager, Rent RVA Now LLC

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
CURRENT OWNER: RENT RYA NOW LLC ID: 2024-11901

PLAN OF
"CHESTNUT HILL"



5TH AVENUE

60' +/- R/W

PLAT SHOWING DIVISION
OF LOTS 7 & 8, BLOCK "38", PLAN OF
"CHESTNUT HILL", IN THE
CITY OF RICHMOND, VIRGINIA.

THIS IS TO CERTIFY THAT ON FEBRUARY 21, 2025, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS.

SCALE: 1" = 25'



McKNIGHT
& ASSOCIATES, P.C.

LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE
RICHMOND, VIRGINIA 23235
TELEPHONE (804) 320-2646

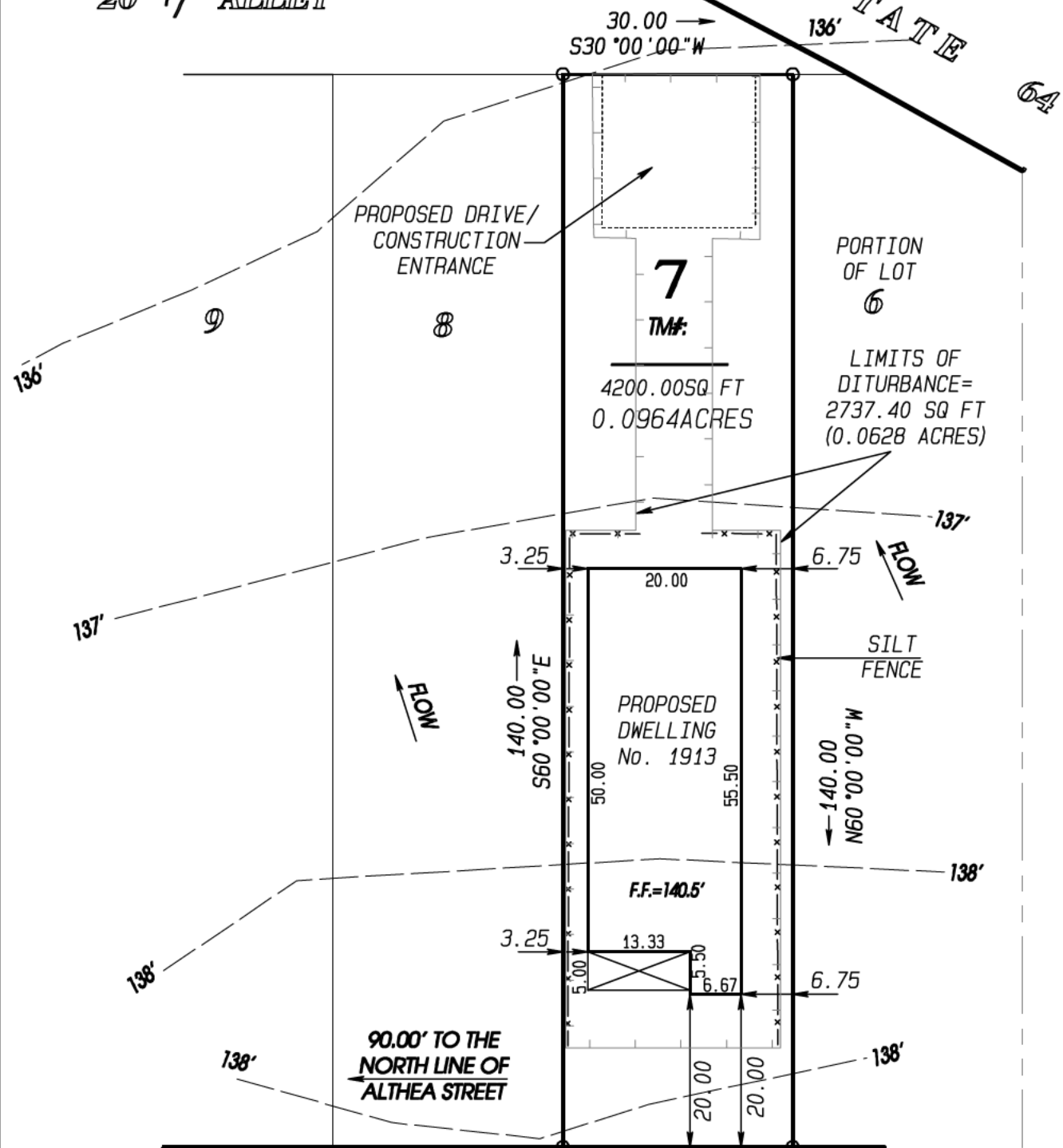
JOB NUMBER: 88013215PP

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
CURRENT OWNER: RENT RYA NOW LLC ID: 2024-11901
CONTOURS OVERLAYED FROM GIS.

PLAN OF
"CHESTNUT HILL"

20' +/- ALLEY

INTERSTATE



CONCRETE CURB
& GUTTER

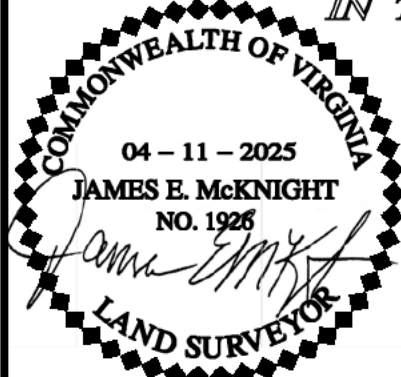
12" +/-
TULIP POPLAR
TO BE PROTECTED

14" +/-
CHINESE ELM
TO BE PROTECTED

5TH AVENUE

60' +/- R/W

PLOT PLAN SHOWING PROPOSED IMPROVEMENTS
ON LOT 7, BLOCK "38", PLAN OF "CHESTNUT HILL",
IN THE CITY OF RICHMOND, VIRGINIA.



McKNIGHT
& ASSOCIATES, P.C.

LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE
RICHMOND, VIRGINIA 23235
TELEPHONE (804) 320-2646

JOB NUMBER: 88013213PP

SCALE: 1" = 20'

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
CURRENT OWNER: RENT RYA NOW LLC ID: 2024-11901
CONTOURS OVERLAYED FROM GIS.



20' +/- ALLEY

INTERSTATE

64

PROPOSED DRIVE/
CONSTRUCTION ENTRANCE

30.00 →
S30°00'00"W

PORTION
OF LOT
6

8

7

LIMITS OF
DITURBANCE=
2737.40 SQ FT
(0.0628 ACRES)

TM#:
N0000508016
4200.00SQ FT
0.0964ACRES

137'

3.25

6.75

20.00

137'

FLOW

140.00 →
S60°00'00"E

PROPOSED
DWELLING
No. 1915

FLOW

140.00 →
N60°00'00"W

138'

F.F.=140.5'

3.25

SILT
FENCE

6.75

60.00' TO THE
NORTH LINE OF
ALTHEA STREET

138'

138'

CONCRETE CURB
& GUTTER

← 30.00
N30°00'00"E

CONCRETE WALK

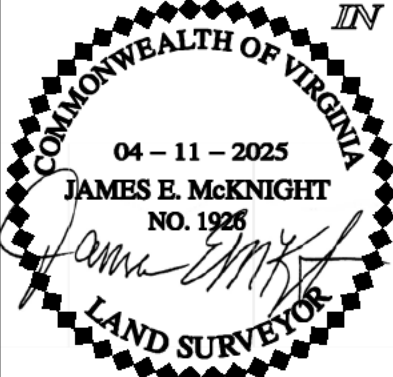
12" +/-
TULIP POPLAR
TO BE PROTECTED

14" +/-
CHINESE ELM
TO BE PROTECTED

5TH AVENUE

60' +/- R/W

PLOT PLAN SHOWING PROPOSED IMPROVEMENTS
ON LOT 8, BLOCK "38", PLAN OF "CHESTNUT HILL",
IN THE CITY OF RICHMOND, VIRGINIA.



SCALE: 1" = 20'

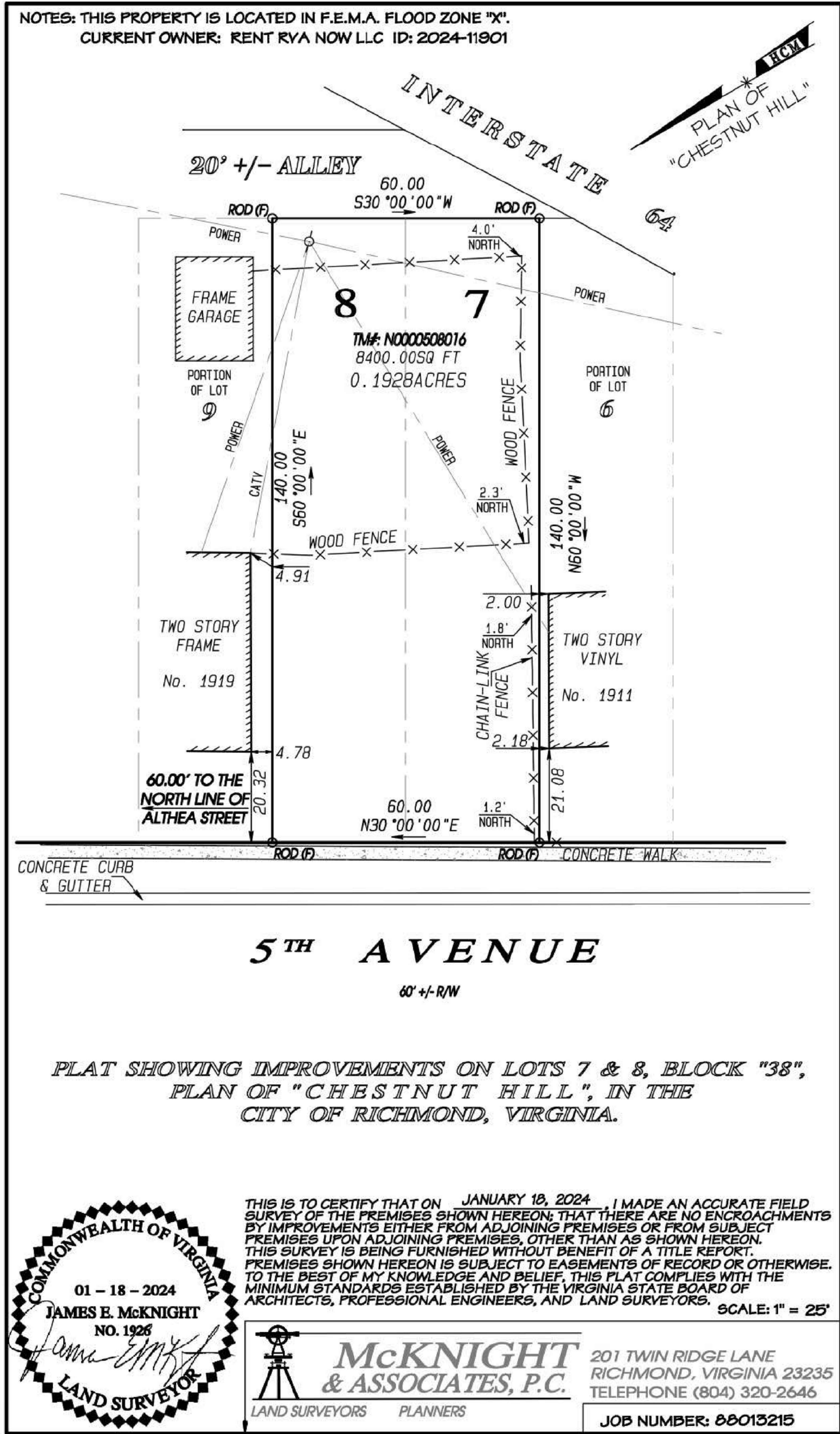
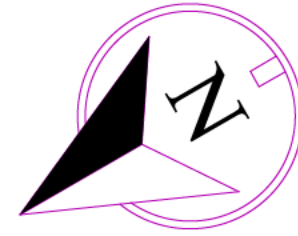
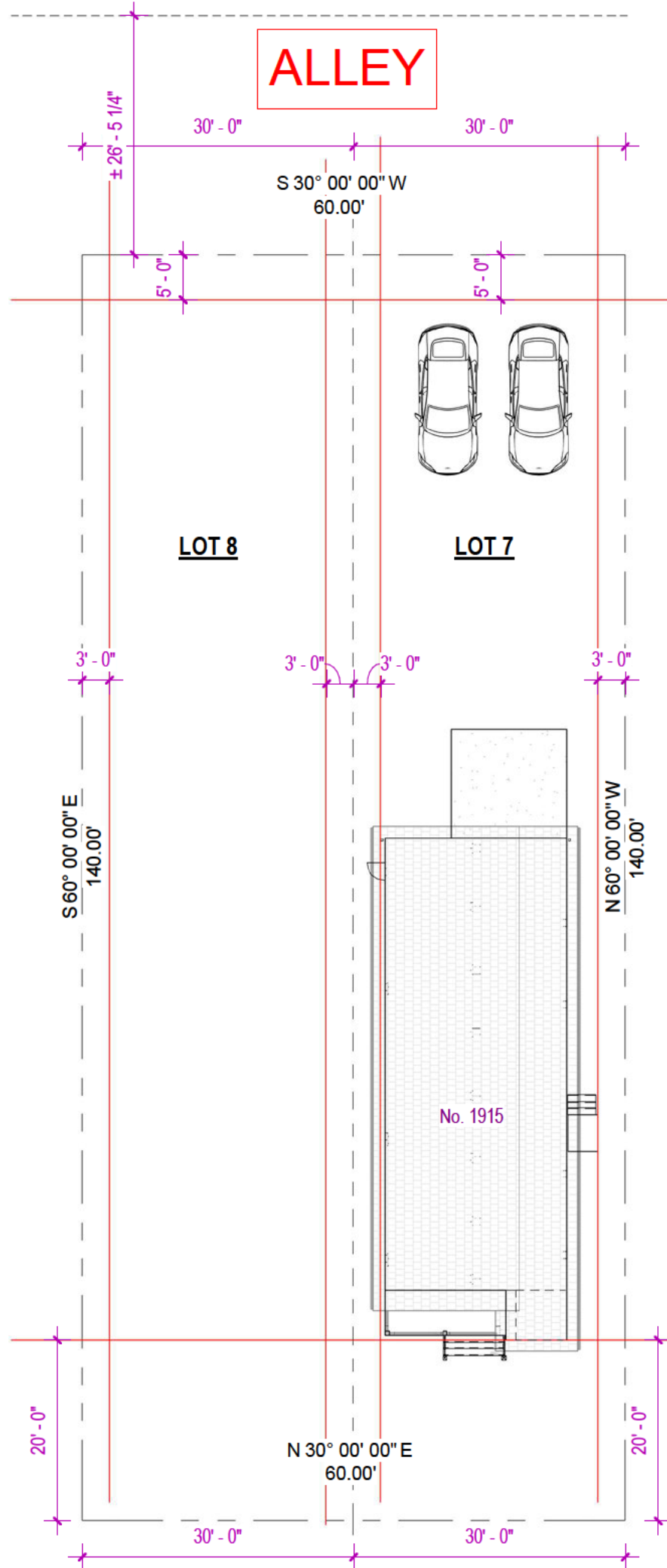


McKNIGHT
& ASSOCIATES, P.C.

LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE
RICHMOND, VIRGINIA 23235
TELEPHONE (804) 320-2646

JOB NUMBER: 88013215PP

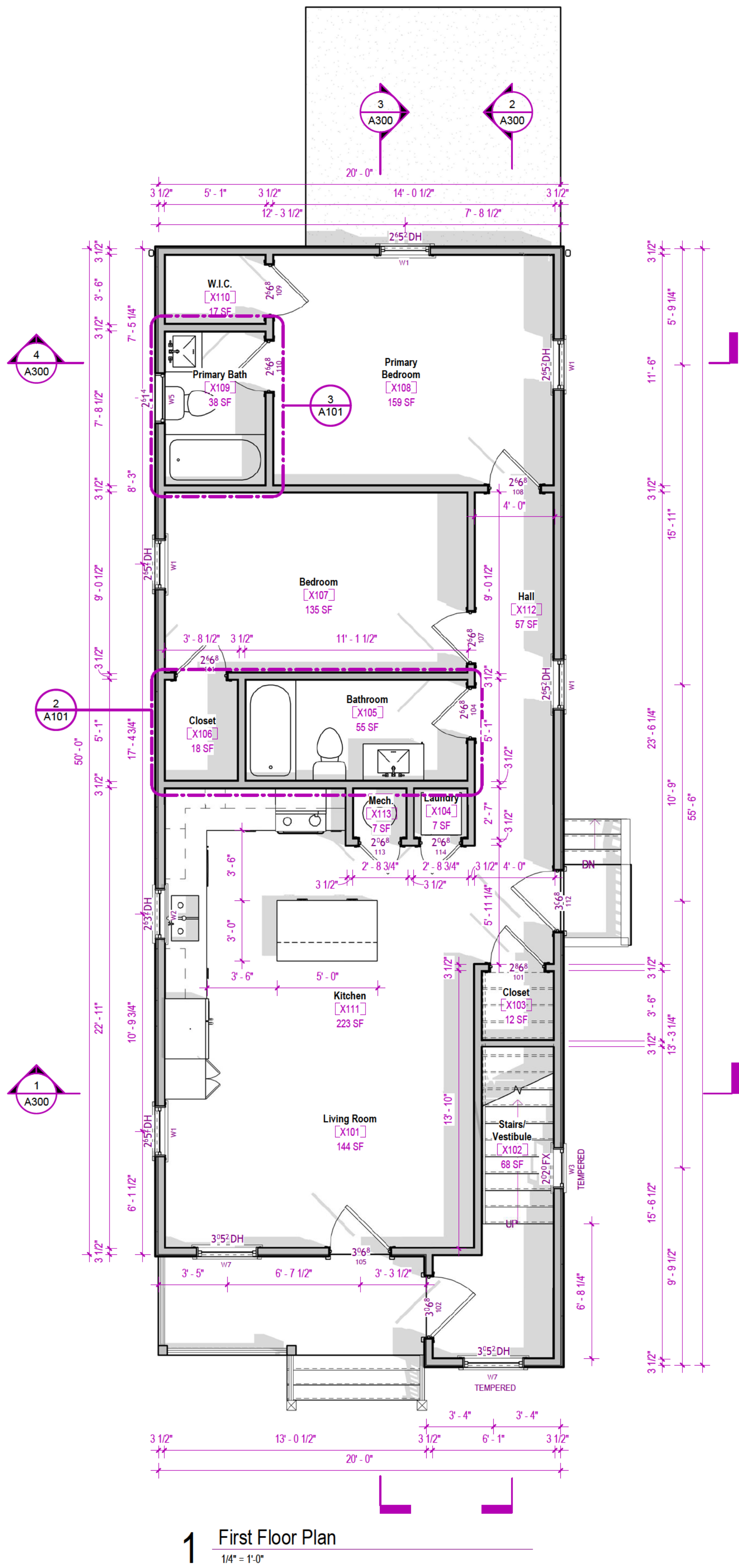


Rent RVA Now LLC
Duplex
1915 5th Ave
Richmond, VA 23222

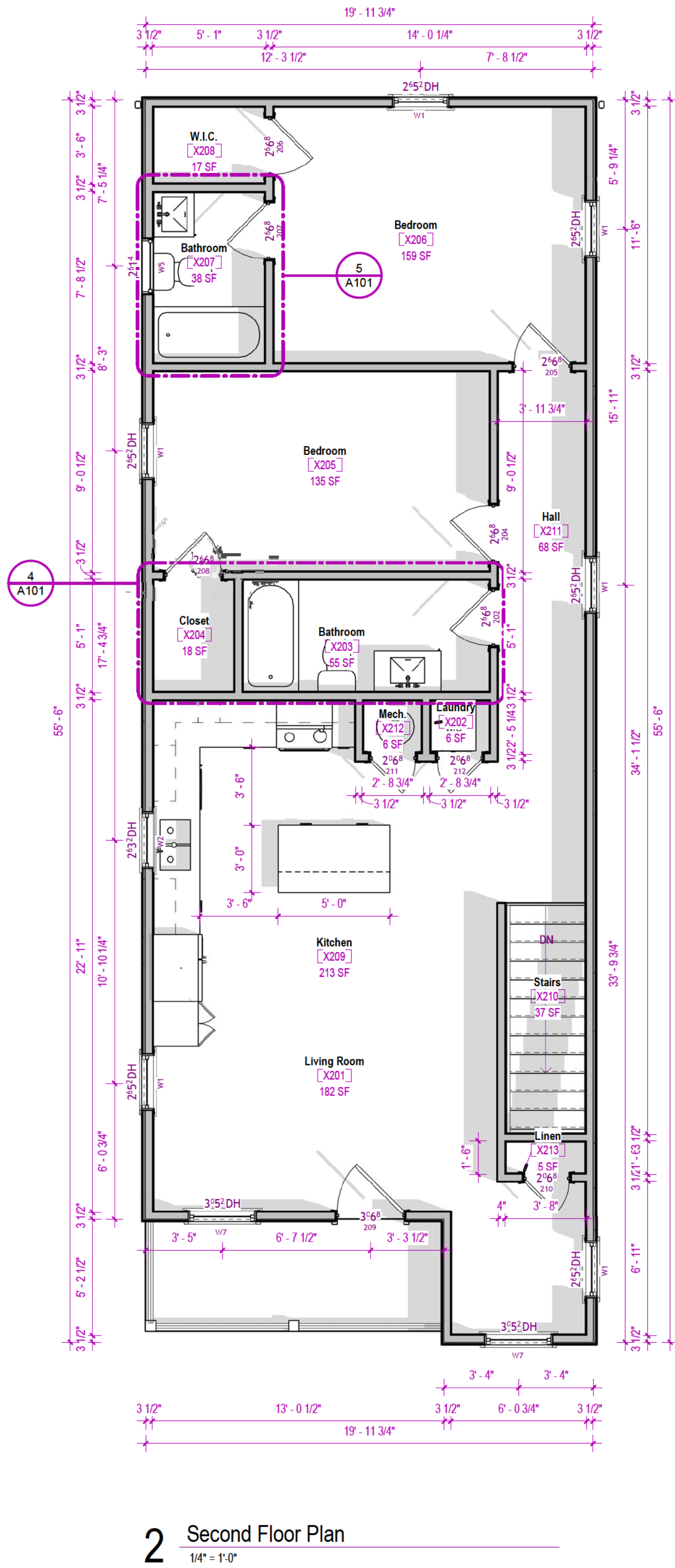
Key Plan

Rev	Description	Date
CONSTRUCTION DOCUMENTS		
ARCHITECTURE		
SITE AND ZONING		
Drawn By: Matthew R. Jones		
Checked By: Checker		
Scale: 1/16" = 1'-0"		
Project #: 254		

Z001



1 First Floor Plan
1/4" = 1'-0"



2 Second Floor Plan
1/4" = 1'-0"

Door Schedule - Simple						
Level	Mark	Manufacturer	Model	Width	Height	Comments
First Floor	101			2'-8"	6'-8"	
First Floor	102			3'-0"	6'-8"	
First Floor	104			2'-6"	6'-8"	
First Floor	105			3'-0"	6'-8"	
First Floor	107			2'-6"	6'-8"	
First Floor	108			2'-6"	6'-8"	
First Floor	109			2'-6"	6'-8"	
First Floor	110			2'-6"	6'-8"	
First Floor	111			2'-6"	6'-8"	
First Floor	112			3'-0"	6'-8"	
First Floor	113			2'-0"	6'-8"	
First Floor	114			2'-0"	6'-8"	
Second Floor	202			2'-6"	6'-8"	
Second Floor	204			2'-6"	6'-8"	
Second Floor	205			2'-6"	6'-8"	
Second Floor	206			2'-6"	6'-8"	
Second Floor	207			2'-6"	6'-8"	
Second Floor	208			2'-6"	6'-8"	
Second Floor	209			3'-0"	6'-8"	
Second Floor	210			2'-0"	6'-8"	
Second Floor	211			2'-0"	6'-8"	
Second Floor	212			2'-0"	6'-8"	

Window Schedule								
Level	Type	Mark	Manufacturer	Model	Width	Height	Sill Height	Head Height
First Floor	W1				2'-6"	5'-2"	1'-5"	6'-8"
First Floor	W1				2'-6"	5'-2"	1'-5"	6'-8"
First Floor	W1				2'-6"	5'-2"	1'-5"	6'-8"
First Floor	W1				2'-6"	5'-2"	1'-5"	6'-8"
First Floor	W2				2'-6"	3'-2"	3'-6"	6'-8"
First Floor	W3				2'-0"	2'-0"	4'-8"	6'-8"
First Floor	W5				2'-6"	1'-4"	5'-4"	6'-8"
First Floor	W7				3'-0"	5'-2"	1'-6"	6'-8"
First Floor	W7				3'-0"	5'-2"	1'-6"	6'-8"
Second Floor	W1				2'-6"	5'-2"	1'-6"	6'-8"
Second Floor	W1				2'-6"	5'-2"	1'-6"	6'-8"
Second Floor	W1				2'-6"	5'-2"	1'-6"	6'-8"
Second Floor	W1				2'-6"	5'-2"	1'-6"	6'-8"
Second Floor	W1				2'-6"	5'-2"	1'-6"	6'-8"
Second Floor	W1				2'-6"	5'-2"	1'-6"	6'-8"
Second Floor	W2				2'-6"	3'-2"	3'-6"	6'-8"
Second Floor	W5				2'-6"	1'-4"	5'-4"	6'-8"
Second Floor	W7				3'-0"	5'-2"	1'-6"	6'-8"
Second Floor	W7				3'-0"	5'-2"	1'-6"	6'-8"

Room Schedule							
Number	Name	Area	Perimeter	Floor Finish	Wall Finish	Ceiling Finish	Comments
X101	Living Room	144 SF	49'-5 1/4"				
X102	Stairs/Vestibule	68 SF	42'-11 3/4"				
X103	Closet	12 SF	13'-11 3/4"				
X104	Laundry	7 SF	10'-3 1/4"				
X105	Bathroom	55 SF	32'-1"				
X106	Closet	18 SF	17'-2 3/4"				
X107	Bedroom	135 SF	47'-11 3/4"				
X108	Primary Bedroom	159 SF	50'-8 3/4"				
X109	Primary Bath	38 SF	25'-2 3/4"				
X110	W.I.C.	17 SF	16'-9 3/4"				
X111	Kitchen	223 SF	71'-2 3/4"				
X112	Hall	57 SF	37'-2 3/4"				
X113	Mech.	7 SF	10'-3 1/4"				
X201	Living Room	182 SF	68'-5"				
X202	Laundry	6 SF	10'-0 1/4"				
X203	Bathroom	55 SF	32'-1"				
X204	Closet	18 SF	17'-2 3/4"				
X205	Bedroom	135 SF	47'-11 3/4"				
X206	Bedroom	159 SF	50'-8 1/2"				
X207	Bathroom	38 SF	25'-2 3/4"				
X208	W.I.C.	17 SF	16'-9 3/4"				
X209	Kitchen	213 SF	68'-5 3/4"				
X210	Stairs	37 SF	28'-0 3/4"				
X211	Hall	68 SF	42'-8"				
X212	Mech.	6 SF	10'-0"				
X213	Linen	5 SF	9'-9 3/4"				

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Rent RVA Now LLC
Duplex
1915 5th Ave
Richmond, VA 23222

Key Plan

Rev	Description	Date
CONSTRUCTION DOCUMENTS		

ARCHITECTURE

FLOOR PLAN

Drawn By: Matthew R. Jones
Checked By: Checker
Scale: 1/4" = 1'-0"
Project #: 254

A100

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Key Plan

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ARCHITECTURE

FLOOR PLAN

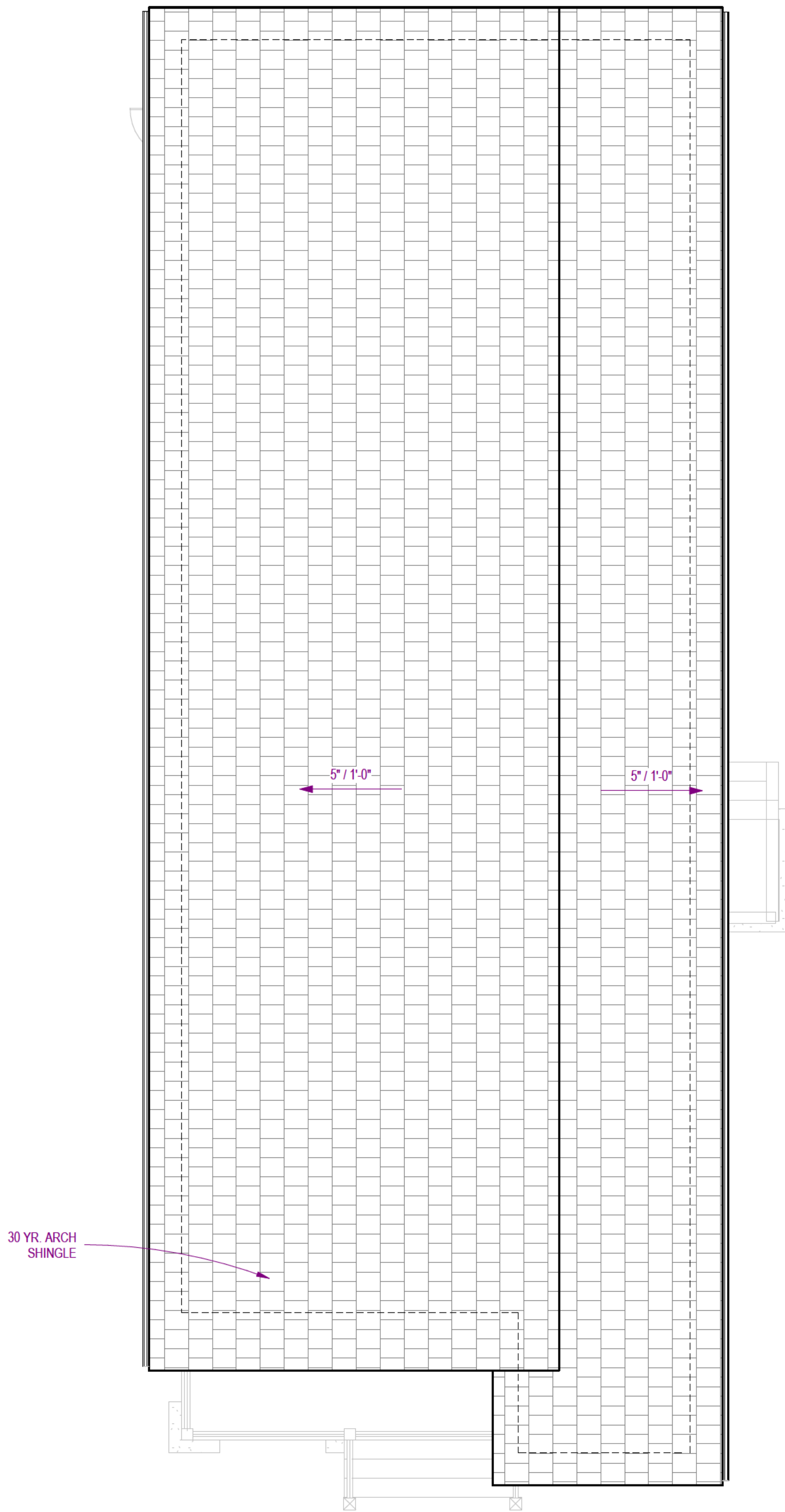
Drawn By: Matthew R. Jones

Checked By: Checker

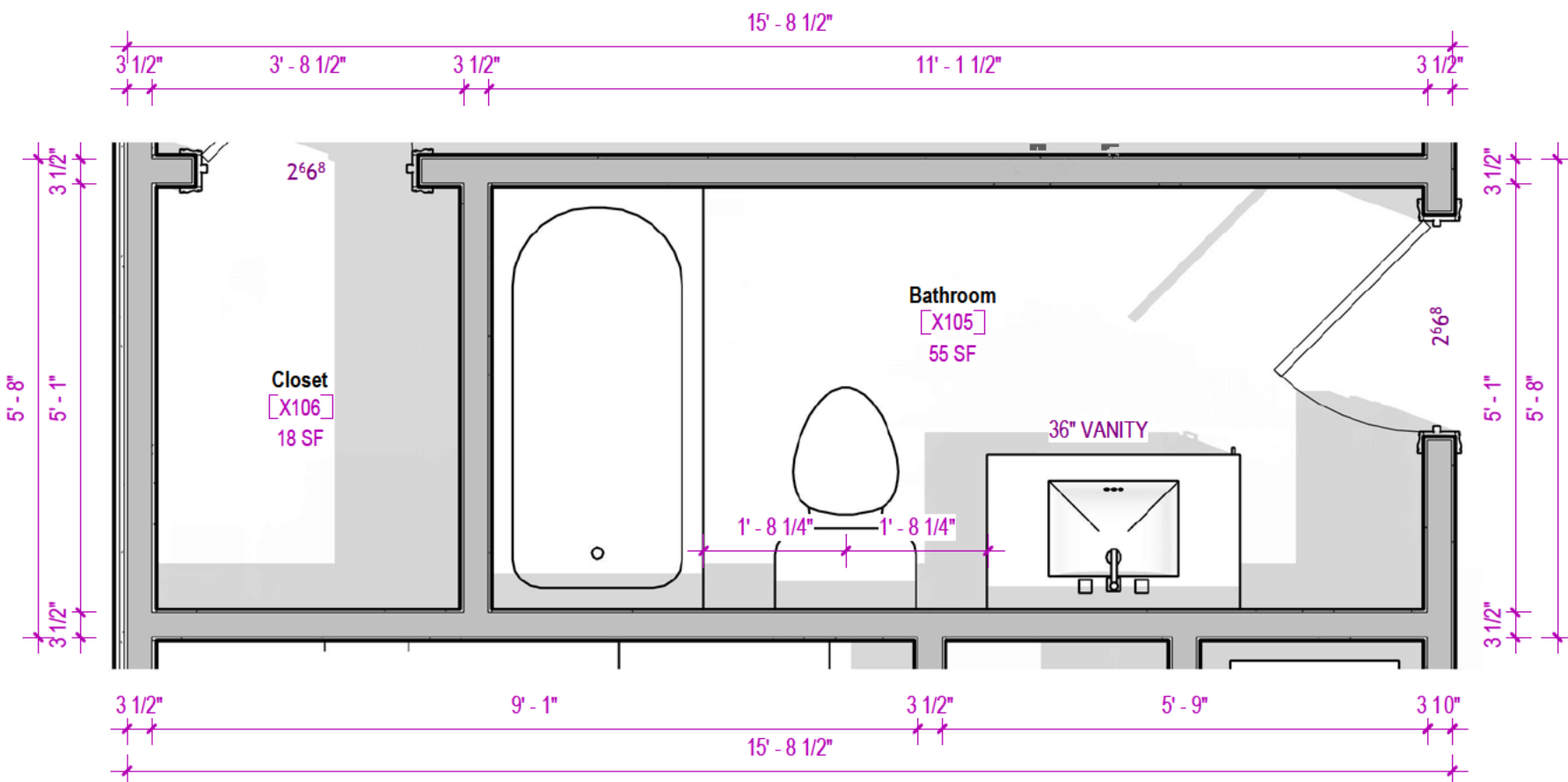
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Project #: 254

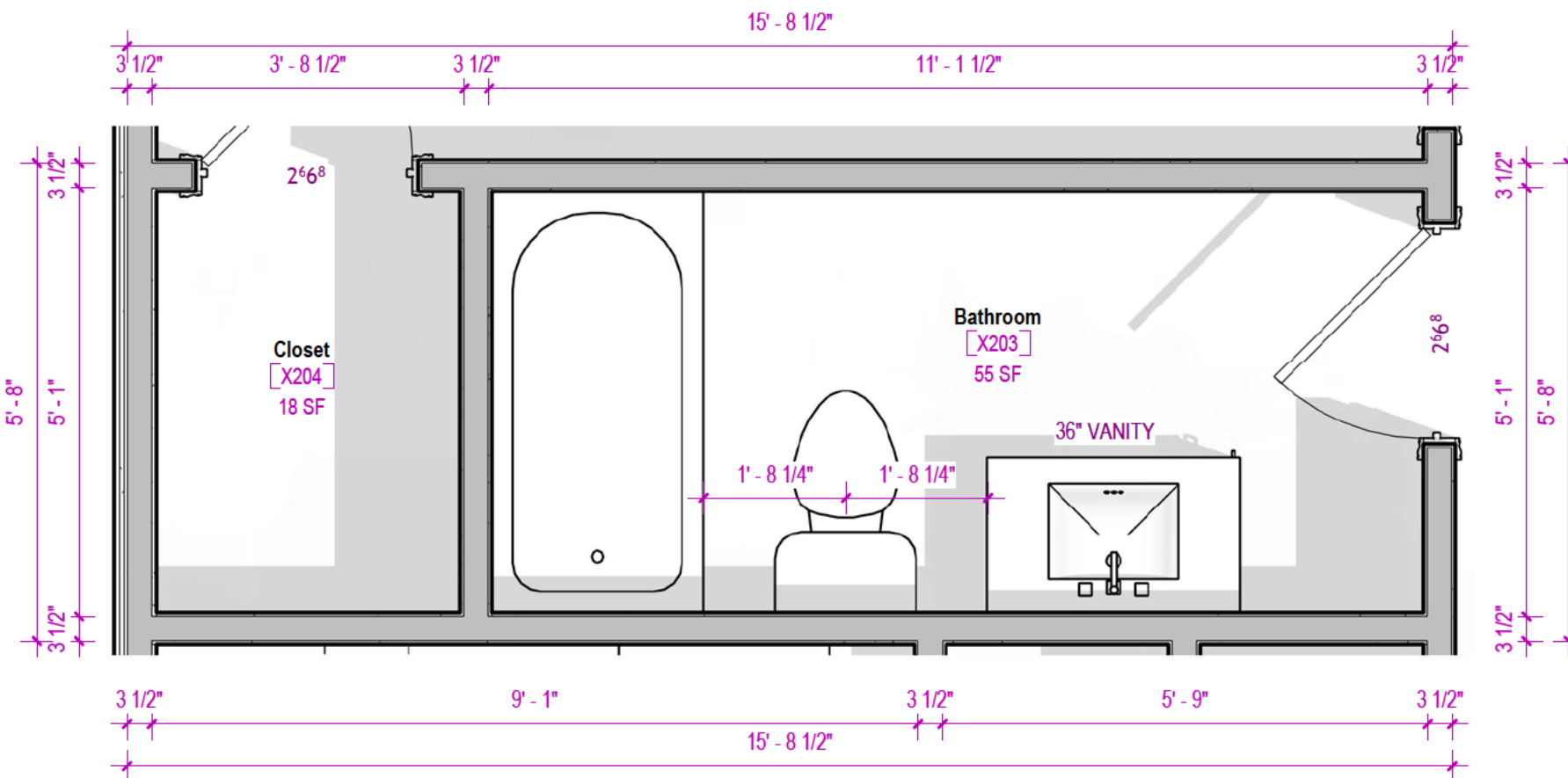
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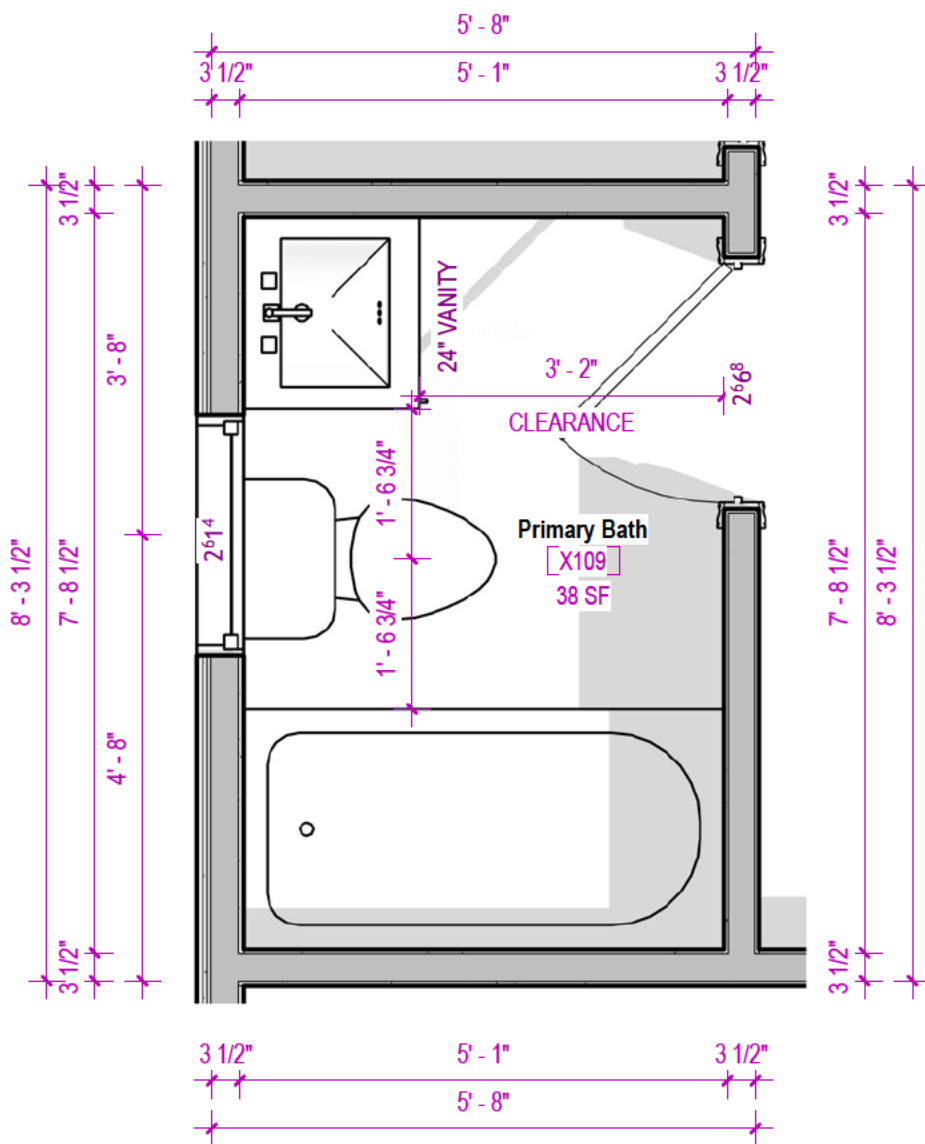
1 Roof Plan



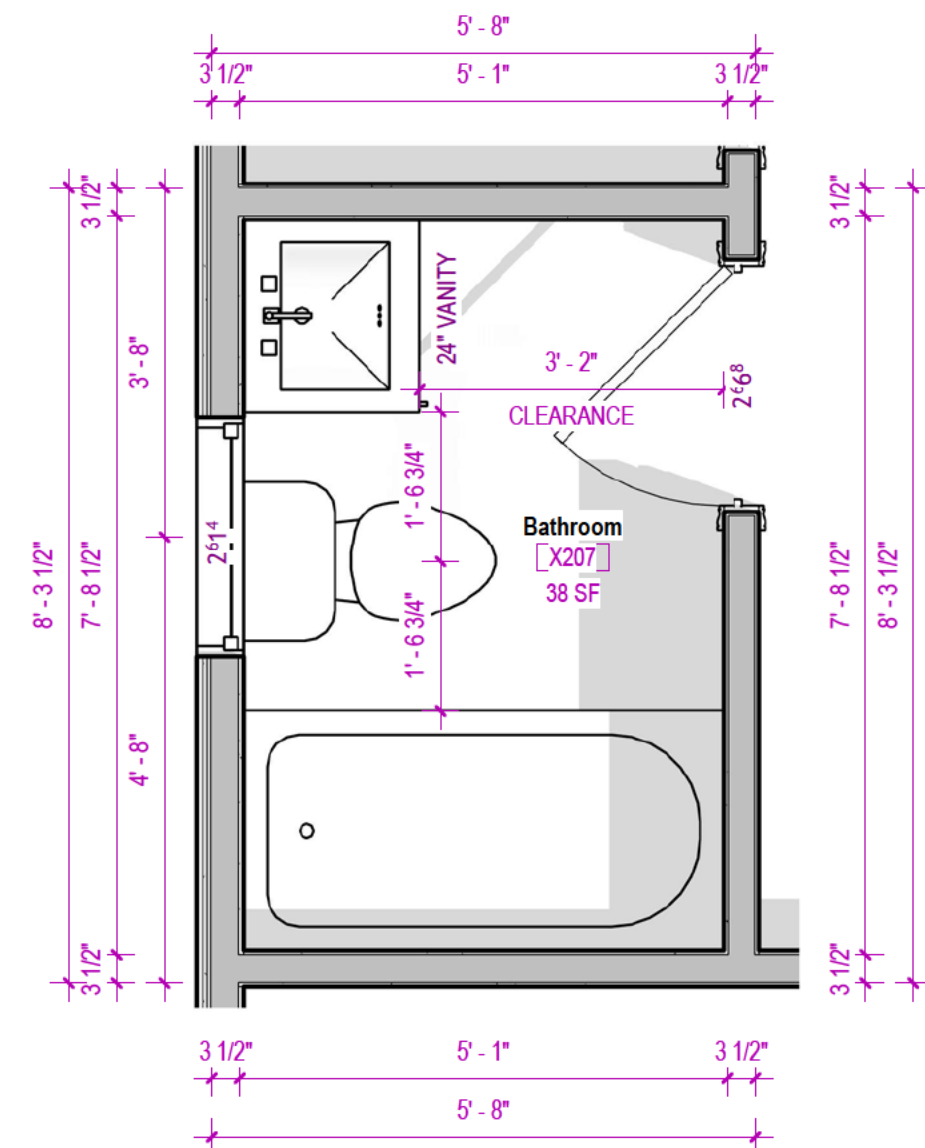
2 A - FP01 - First Floor - Bathroom 1 Callout
1/2" = 1'-0"



4 A - FP02 - Second Floor - Bathroom 1 Callout
1/2" = 1'-0"



3 A - FP01 - First Floor - Bathroom 2 Callout



5 A - FP02 - Second Floor - Bathroom 2 Callout
1/2" = 1'-0"

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ARCHITECTURE

EXTERIOR ELEVATIONS

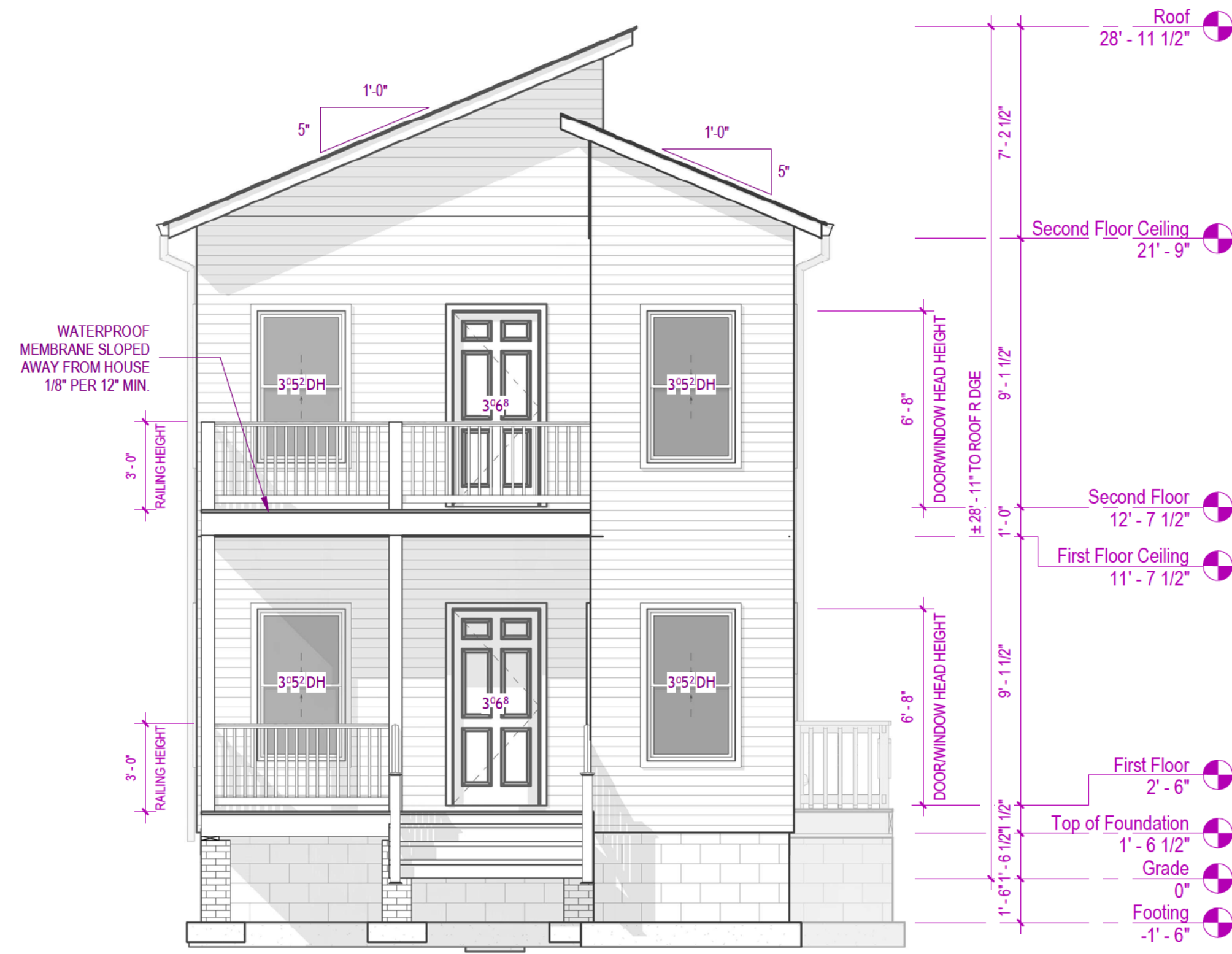
Drawn By: Matthew R. Jones

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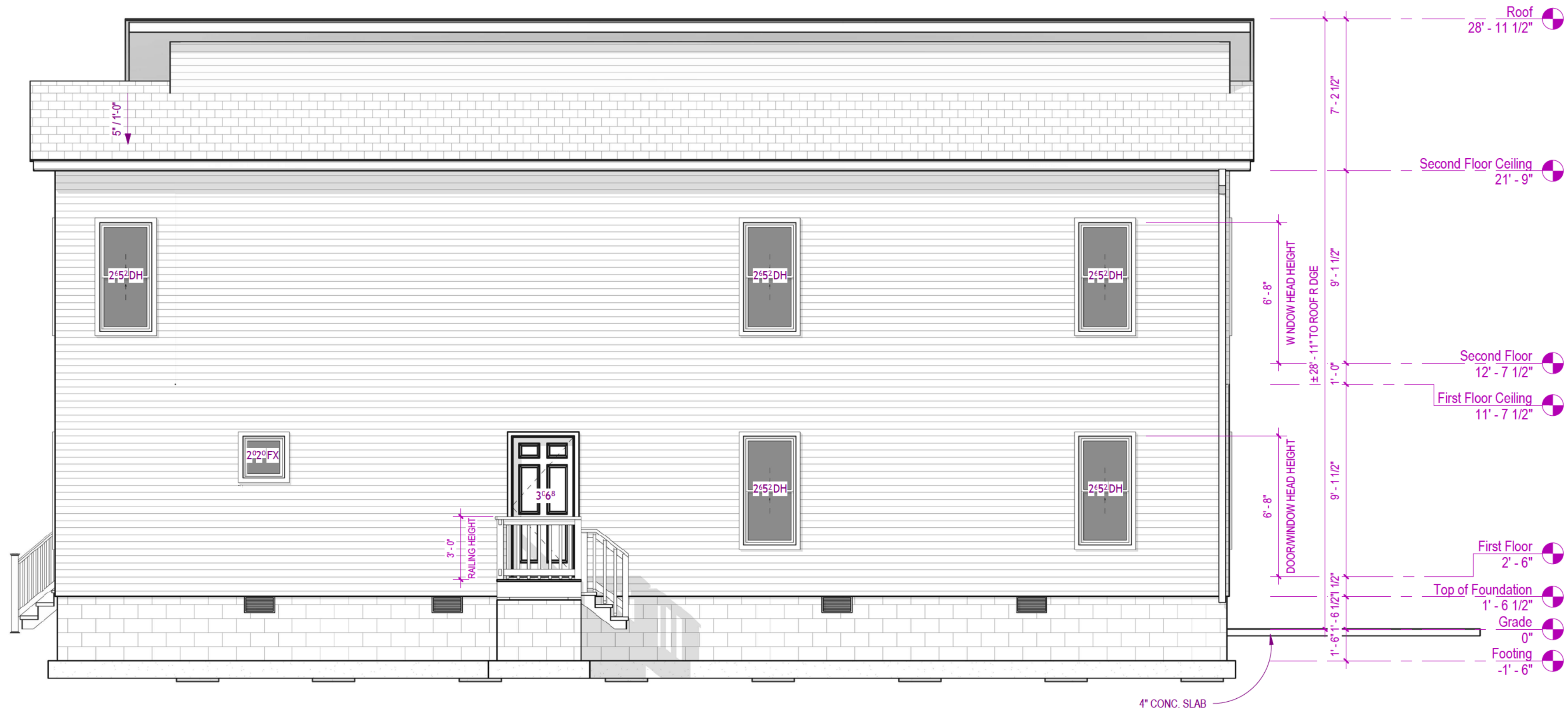
Scale: 1/4" = 1'-0"

Project #: 254

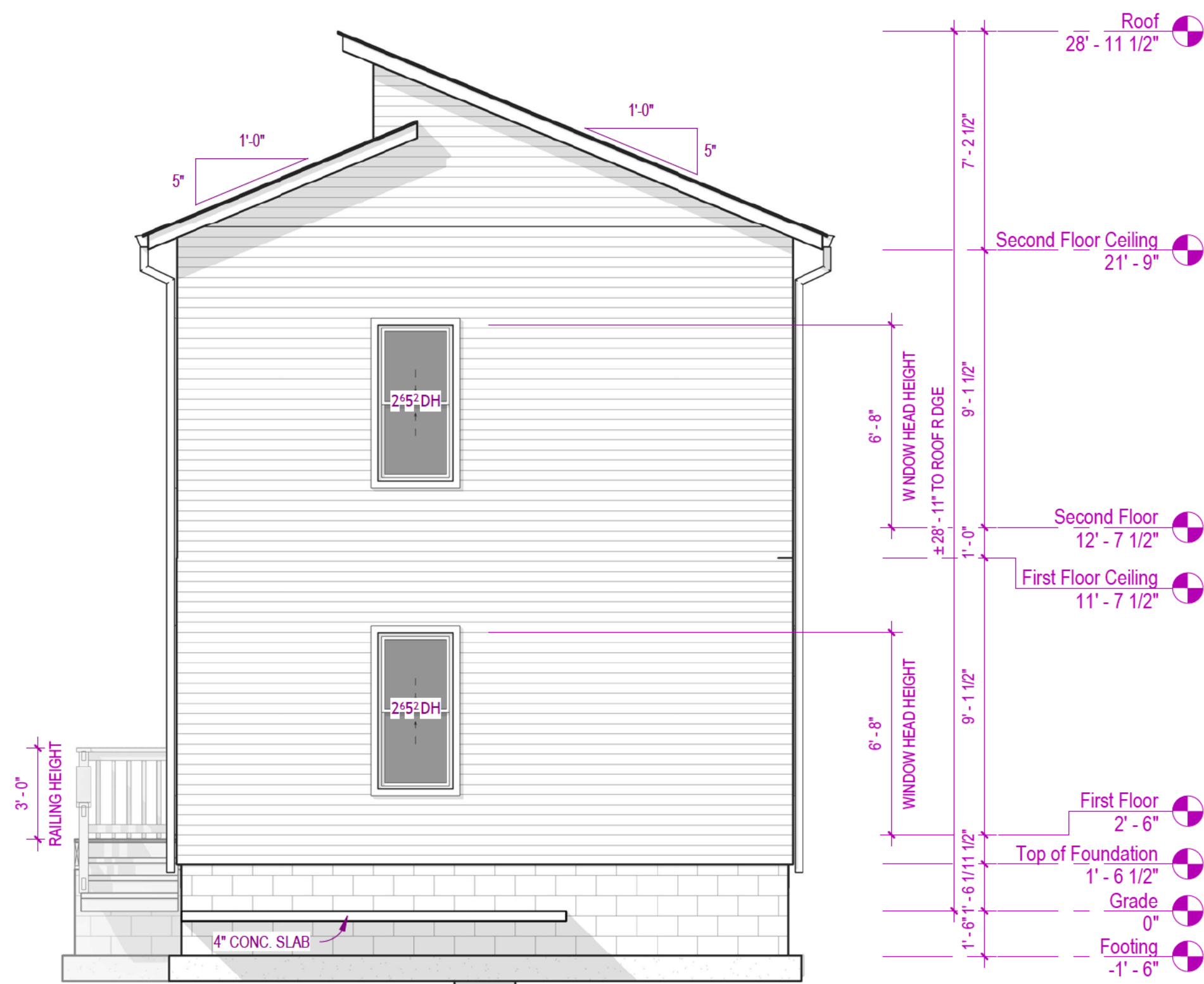
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1 Right
 $1/4" = 1'-0"$



2 Left
1/4" = 1'-0"

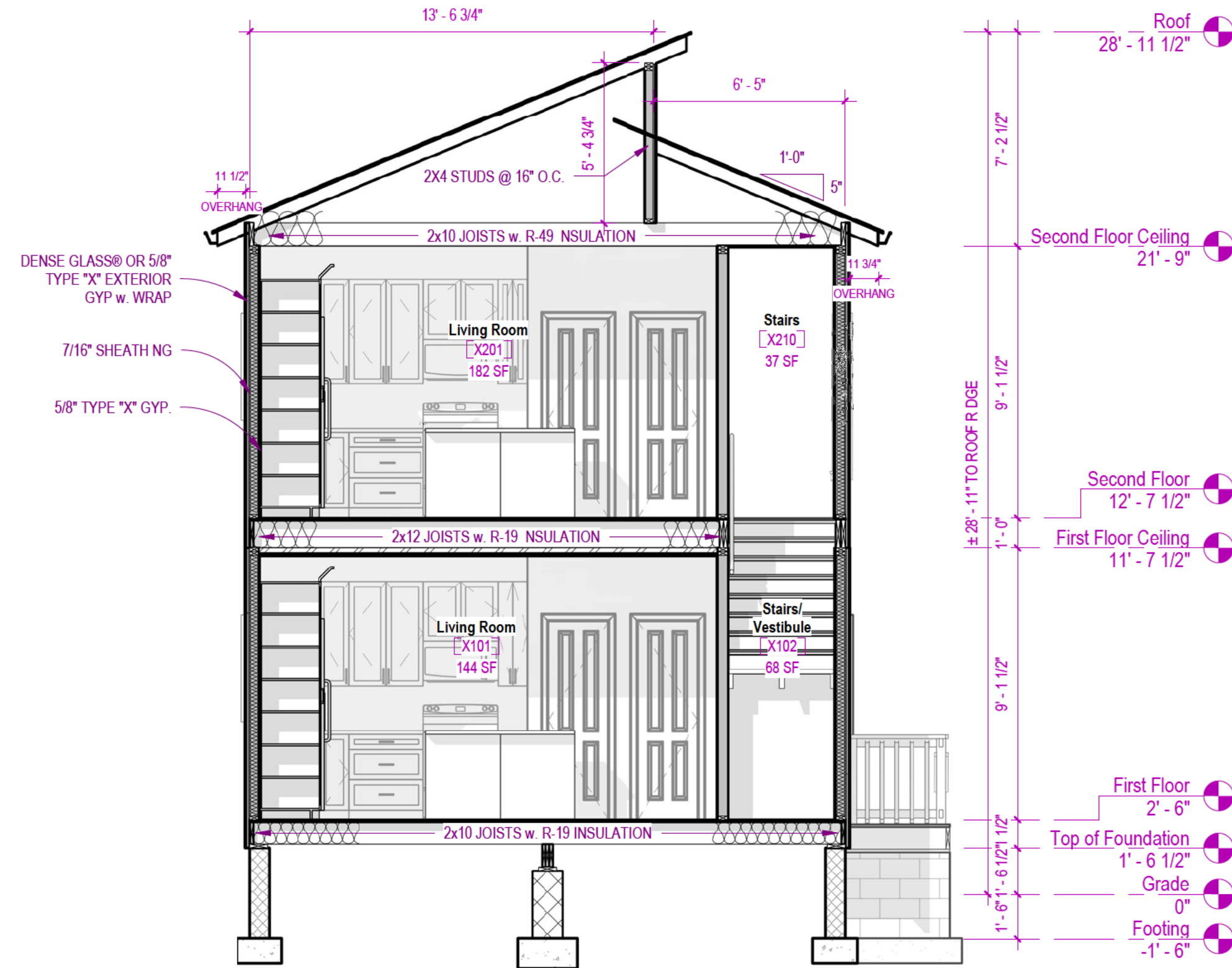


3 Rear
1/4" = 1'-0"

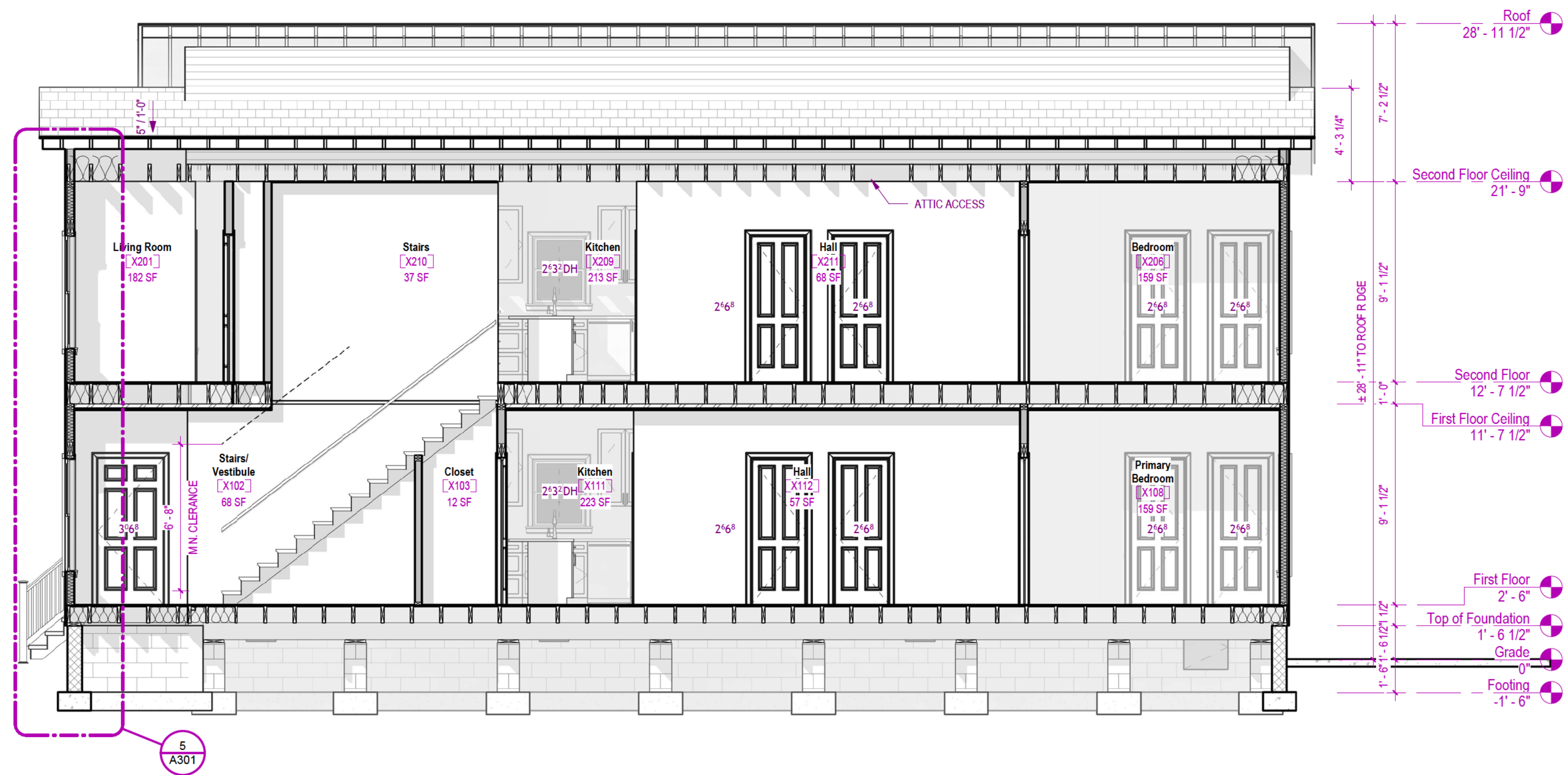


4 Right
 $1/4" = 1'-0"$

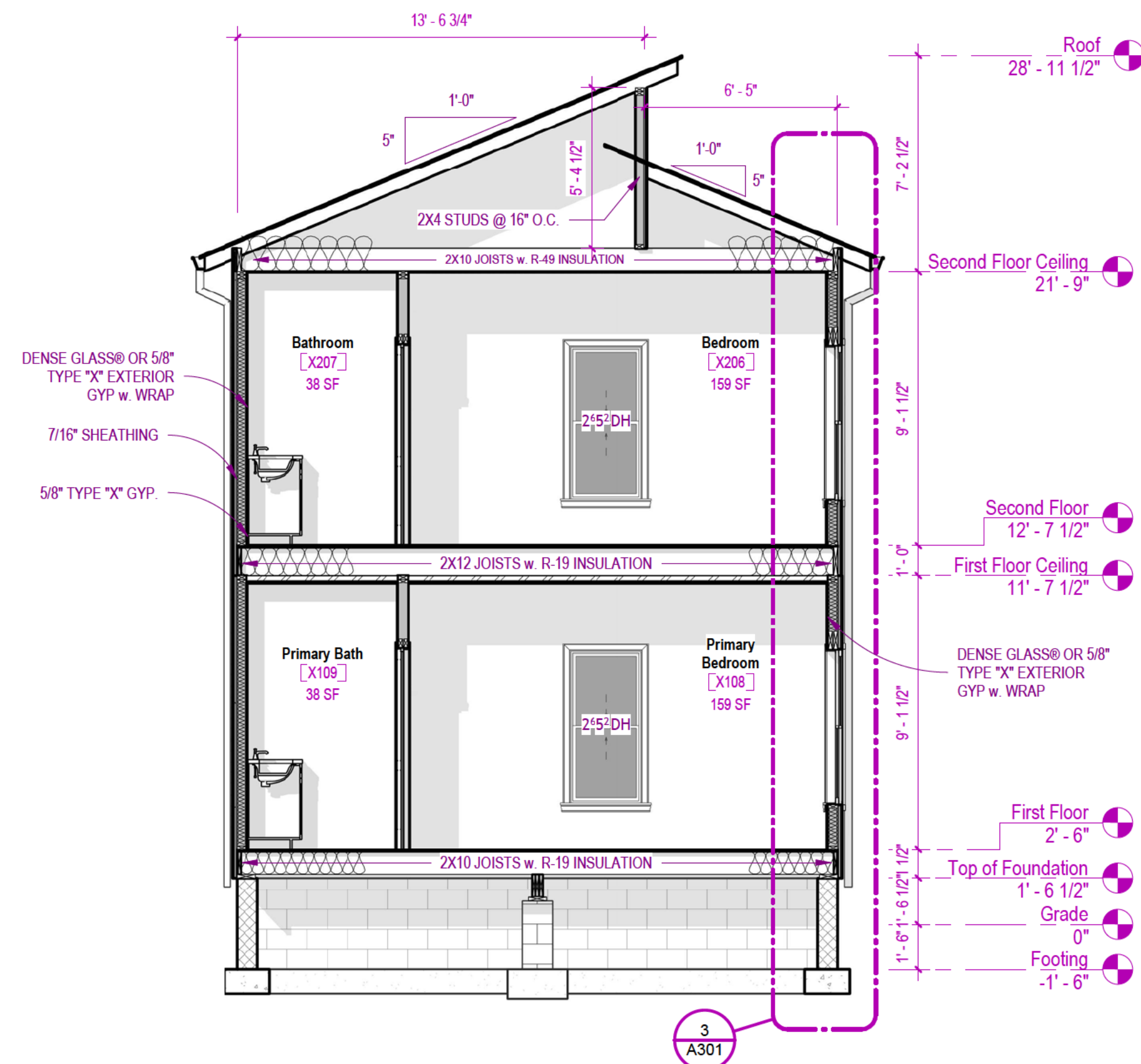
6/13/2025 2:11:44 PM D:\Revit\Customer Projects\Sarah Boswick Stampen\1915 5th Ave\Revit\1915 5th Ave Duplex - Two-Story (V4).rvt



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



3 Section 3
1/4" = 1'-0"

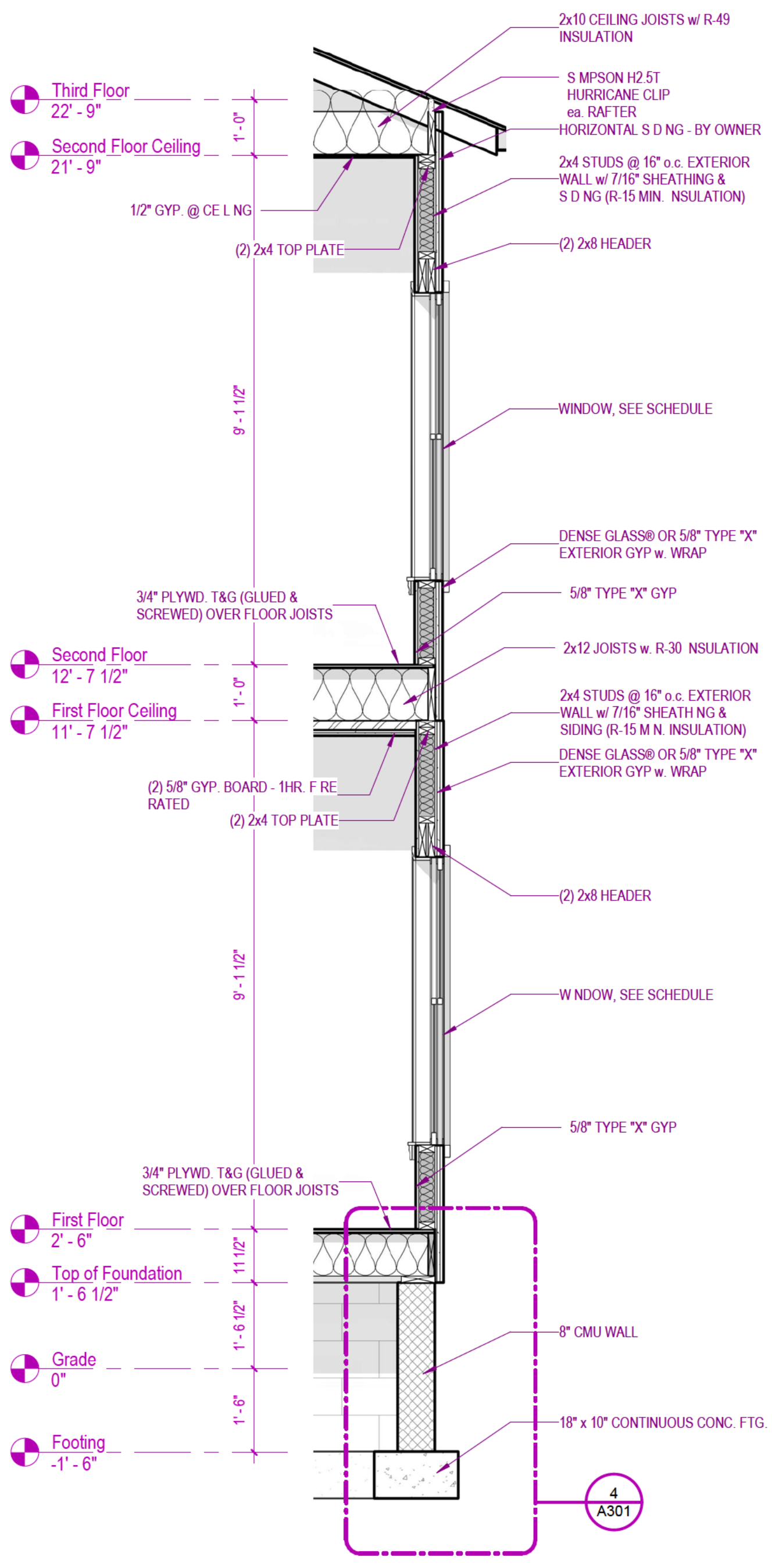


4 Section 4
1/4" = 1'-0"

Rev	Description	Date
CONSTRUCTION DOCUMENTS		

GENERAL STRUCTURAL NOTES:
1. ALL OPENINGS SHALL HAVE HEADERS AS FOLLOWS:
0'-0" - 3'-11" = (2) 2x6
4'-0" - 5'-11" = (2) 2x10
6'-0" - 7'-0" = (2) 2x12
7'-1" - 11'-0" = (2) 11 7/8" LVL
6'-0" AND UP HEADERS SHALL HAVE 4x4 POSTS
OTHER SIZES NOTED - STRUCTURE SHOWN ON PLANS SHALL OVERRIDE THIS SCHEDULE
2. PROVIDE HURRICANE STRAPPING AND JOIST HANGERS AT ALL LOCATIONS AS REQUIRED BY CODE AND CONTINUOUS UPLIFT PREVENTION. ALSO PROVIDE APPROPRIATE HANGERS AT ALL JOISTS AND BEAMS.
3. WHERE (2) 2x HEADERS ARE REQUIRED, INSTALL (2) 1/2" x PLYWOOD SPACERS BETWEEN EACH MEMBER.
4. ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2x6 JACK STUDS AT EACH END.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ACTUAL RISERS AND TREAD DIMENSIONS AND NUMBER REQUIRED, HEADROOM CLEARANCES, ETC. DUE TO ACTUAL FLOOR TO FLOOR HEIGHTS IF THEY DEVIATE FROM THE DRAWINGS.
6. SPRAYED-N FOAM INSULATION WHERE NOTED TO BE ICYNENE OR APPROVED EQUAL.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING IN FIELD ALL FINISH TO FINISHED DIMENSIONS FOR PURPOSES OF FINISHED CARPENTRY, APPLIANCE CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.

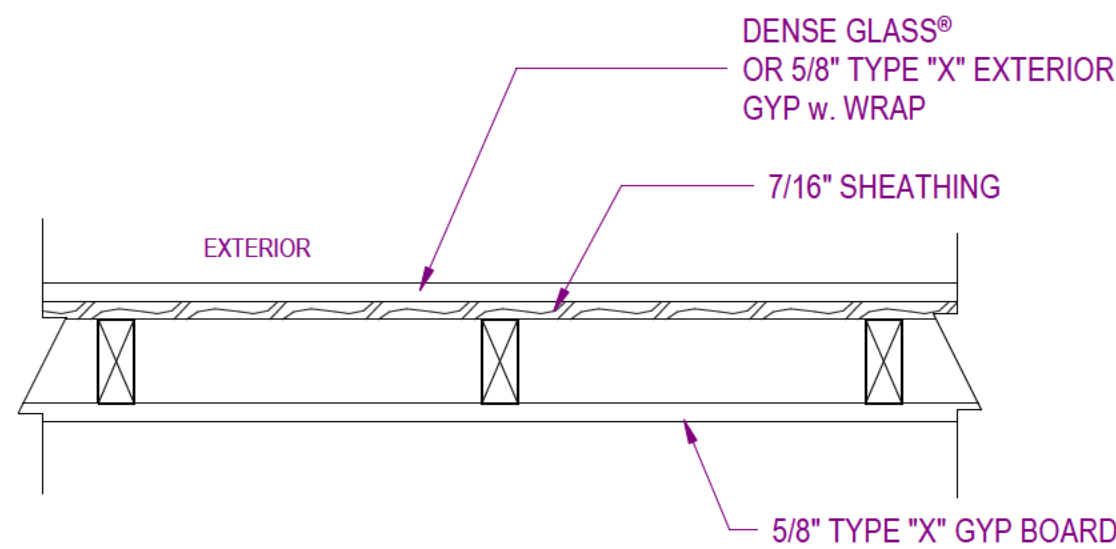
FIRE-RATED WALL NOTES:
1-HOUR FIRE-RATED EXTERIOR WALL ASSEMBLY (UL DESIGN U305)
WALL CONSISTS OF 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDES OF 2x6 STUDS @ 16" O.C., WITH 7/16" OSB STRUCTURAL SHEATHING LOCATED BETWEEN THE EXTERIOR GYPSUM AND FRAMING. ASSEMBLY PROVIDES 1-HOUR FIRE RESISTANCE FROM BOTH SIDES AND SATISFIES PRESCRIPTIVE BRAC NG REQUIREMENTS UNDER RC R602.10 (METHOD CS-WSP).
ALL FASTENING TO BE INSTALLED PER UL U305 AND IRC TABLE R602.3(1). CONTINUOUS SHEATHING TO BE NAILED AT 6" O.C. AT PANEL EDGES AND 12" O.C. IN FIELD UNLESS NOTED OTHERWISE.



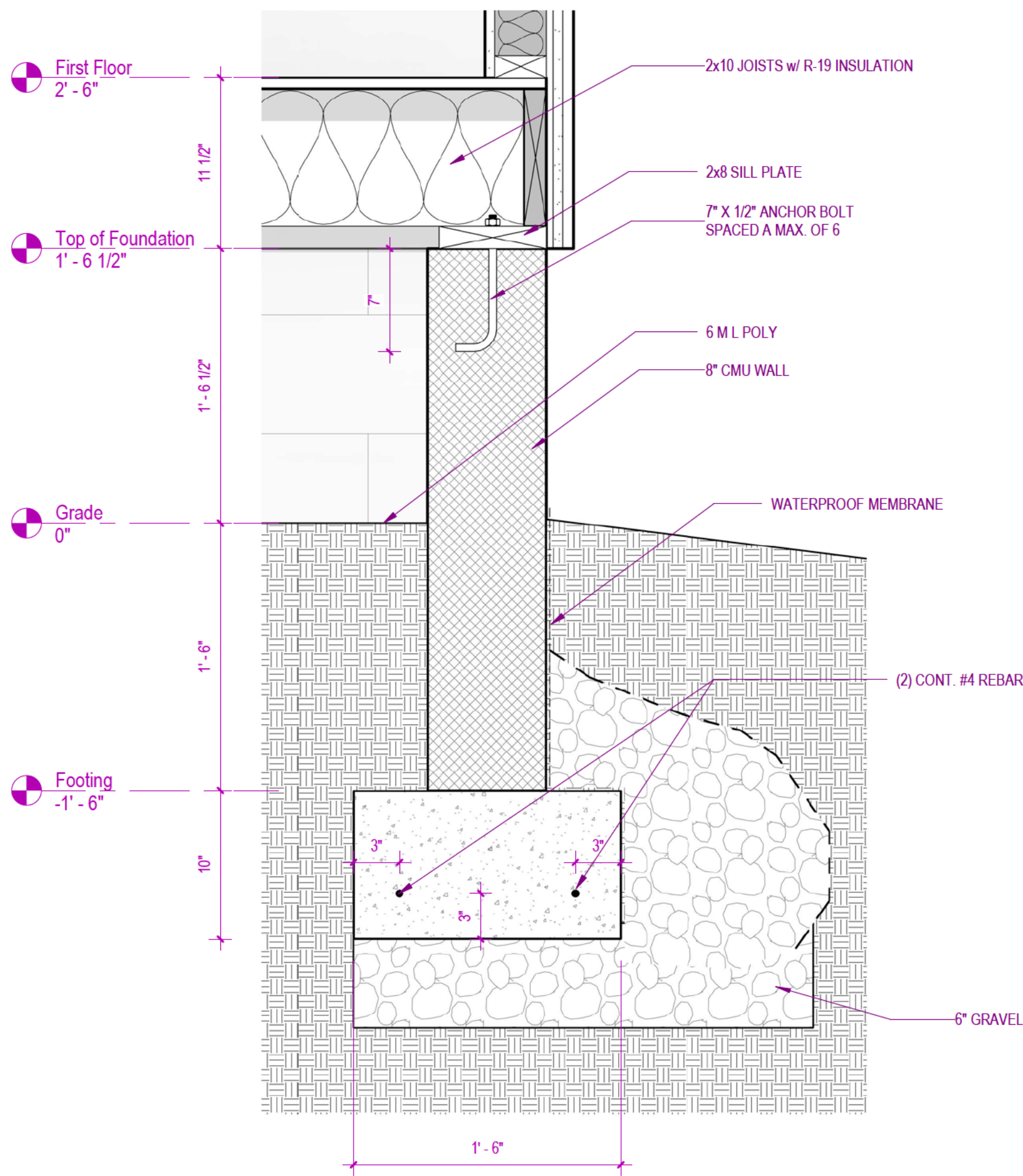
3 Section 3 - Wall Section
1/2" = 1'-0"

CALCULATED FIRE RESISTANCE PER 2021 IBC TABLES 722.6.2(1) AND 722.6.2(2)	
DESCRIPTION	TIME (MINUTES)
WOOD FLOOR JOISTS 16" O.C.	10
5/8-INCH GYPSUM WALL BOARD	30
5/8-INCH GYPSUM WALL BOARD	30
TOTAL CALCULATED RESISTANCE	70

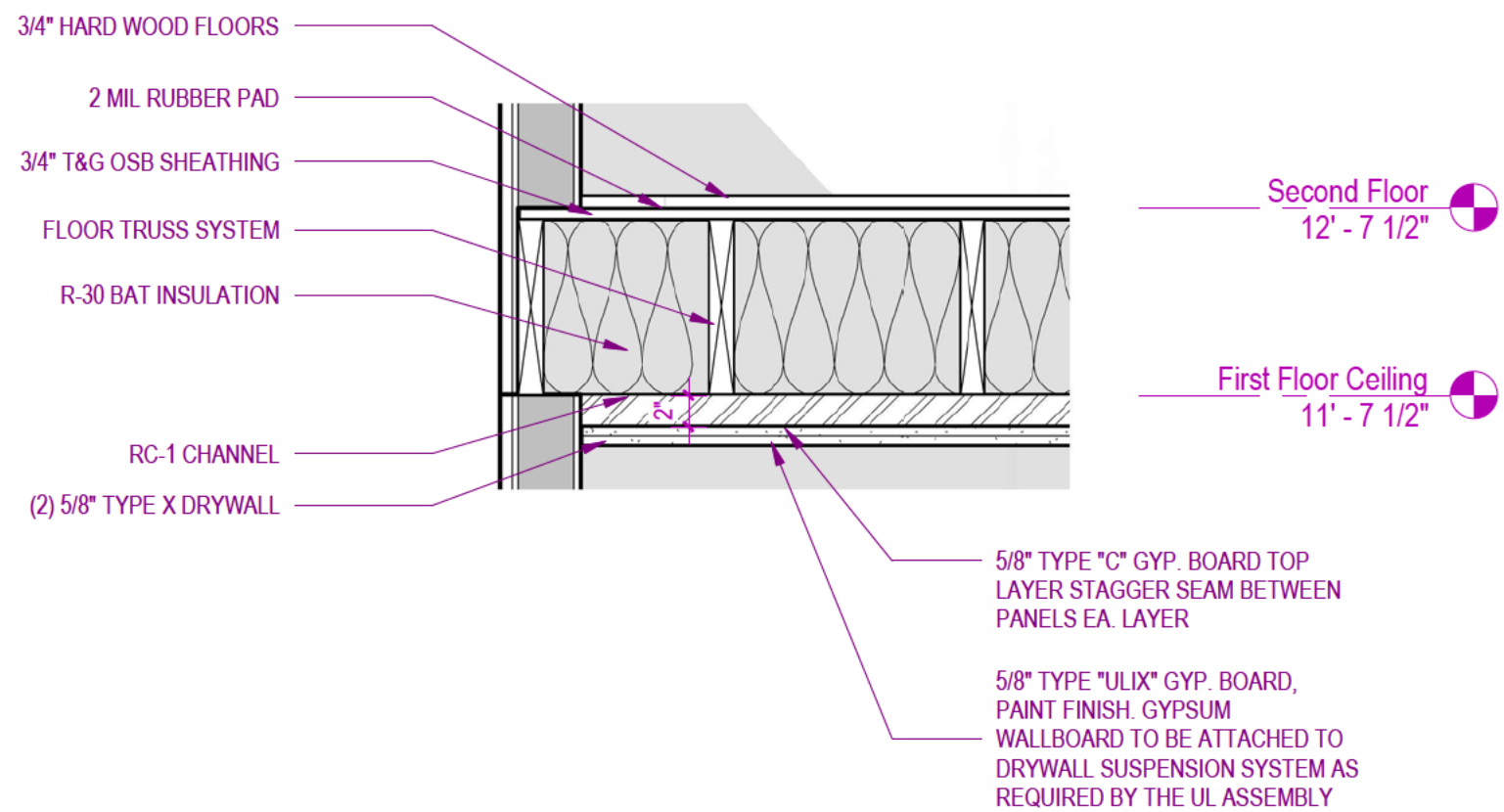
2 1-HR Floor-Ceiling Assembly - Calculated
1 1/2" = 1'-0"



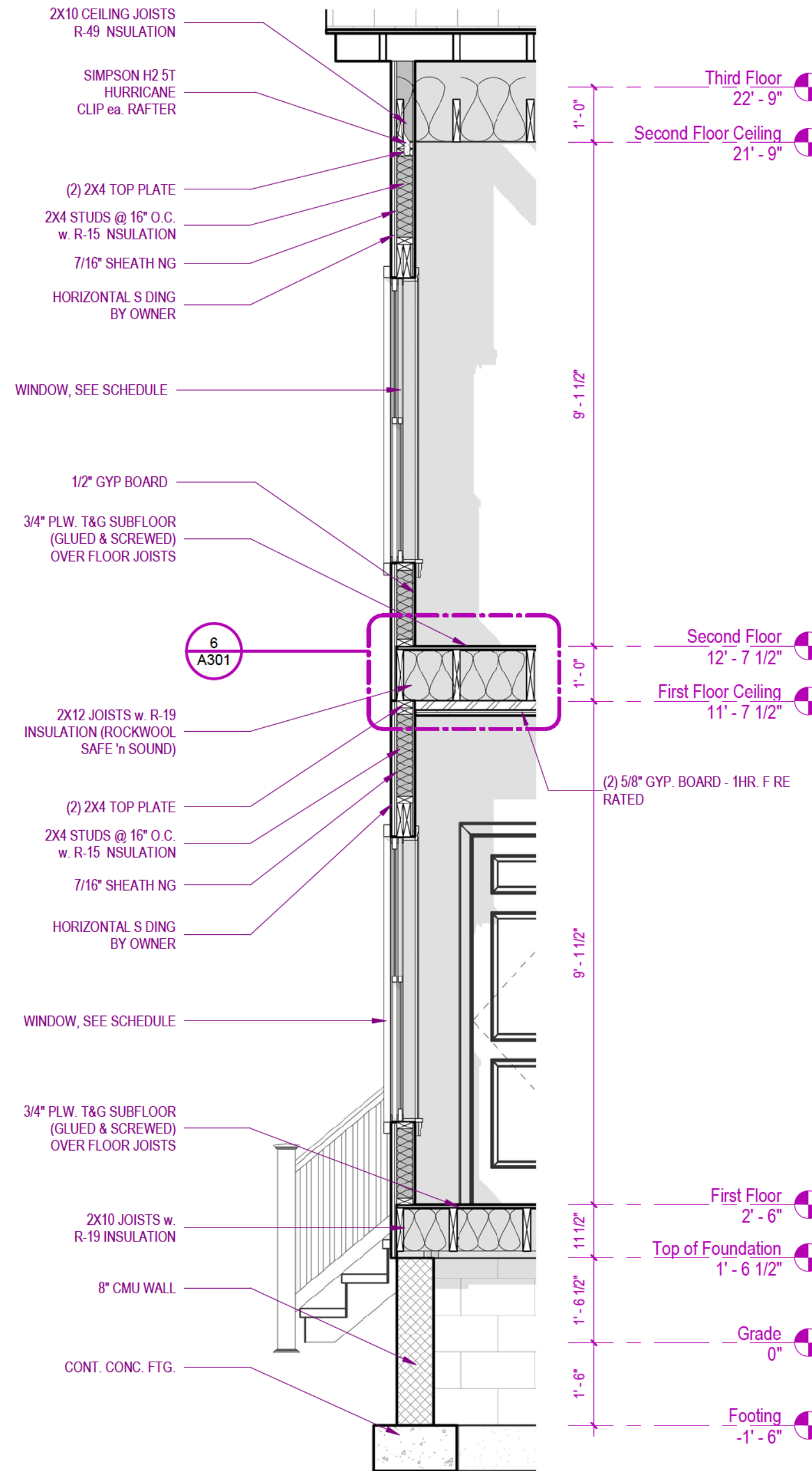
1 1-HR Wall Assembly
1 1/2" = 1'-0"



4 Section 3 - Foundation Section
1 1/2" = 1'-0"



6 Section 2 - Ceiling Assembly
1" = 1'-0"



5 Section 2 - Wall Section
1/2" = 1'-0"

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Key Plan

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CONSTRUCTION DOCUMENTS		

ARCHITECTURE

SECTIONS & DETAILS

Drawn By: Matthew R. Jones
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Scale: As indicated
Project #: 254

A301

GENERAL NOTES

- ADHERING TO THE PROCEDURES ESTABLISHED IN THE NOTES BELOW SHALL BE THE GENERAL CONTRACTOR'S (G.C.) RESPONSIBILITY.
- G.C. TO BE LICENSED TO WORK IN THE COMMONWEALTH OF VIRGINIA.
- THE ARCHITECTURAL DRAWINGS ARE ONLY A DIMENSIONAL GRAPHIC REPRESENTATION OF THE CONCRETE AND/OR STUDS WITH RESPECT TO THE SURROUNDING FINISHES.
- G.C. SHALL NOT DEVIATE FROM THE DRAFTSMAN'S CONTRACT DOCUMENTS UNLESS APPROVED BY THE DRAFTSMAN'S OFFICE.
- G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE DRAFTSMAN OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- THE GENERAL CONTRACTOR SHALL NOT PERMIT HIS REPRESENTATIVES TO MEASURE BY SCALE THE DRAFTSMAN'S CONTRACT DOCUMENTS. UNLESS CLEAR DIMENSIONS SHALL BE CLARIFIED BY THE DRAFTSMAN'S OFFICE.
- THE GENERAL CONTRACTOR SHALL NOT SUBSTITUTE SPECIFIED ITEMS OR A DETAILED ASSEMBLY WITHOUT NOTIFYING DRAFTSMAN.
- THE GENERAL CONTRACTOR SHALL REVISE, COORDINATE, AND APPROVE SHOP DRAWINGS WITH THE PARTIES AND TRADES CONCERNED PRIOR TO SUBMITTAL FOR FINAL REVIEW.
- THE SHOP DRAWINGS SUBMITTED BY THE GENERAL CONTRACTOR TO THE DRAFTSMAN'S OFFICE FOR FINAL REVIEW SHALL BE CONSIDERED, AS GENERAL PROCEDURE, TO CLARIFY THE REMARKS FROM THE GENERAL CONTRACTOR'S REPRESENTATIVE. NEVERTHELESS, THEY SHALL NEVER INFER A DEVIATION FROM THE DRAFTSMAN'S CONTRACT DOCUMENTS AND/OR A CHANGE IN THE SCOPE OF WORK. THESE CLARIFICATIONS SHALL BE ACCOMPLISHED THROUGH INSTRUCTIONS TO THE GENERAL CONTRACTOR (I.T.C.), REQUESTING A CHANGE ORDER (R.C.O.).
- ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDED INSTRUCTIONS.

STRUCTURAL CODES AND SPECIFICATIONS:

- THE STRUCTURAL PLANS, TO THE BEST OF OUR KNOWLEDGE, COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC) AND 2021 VIRGINIA RESIDENTIAL CODE.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, AND ALL APPLICABLE FEDERAL AND STATE CODES, STANDARDS, AND LAWS.
- STRUCTURAL CONCRETE: LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE'S "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318-02).
- MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES WERE BASED ON RECOMMENDATION OF ASCE 7.

CONSTRUCTION NOTES

- ALL WORK TO CONFORM WITH THE PREVAILING CODES, INCLUDING THE VIRGINIA RESIDENTIAL CODE, AND THE NATIONAL ELECTRIC CODE.
- PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS SHALL BE LICENSED AND SHALL FILE SEPARATE APPLICATIONS FOR PERMITS, AS REQUIRED.
- INTERIOR WALLS TO BE 1/2" SCREW-APPLIED SHEETROCK, TRIP.
- Ceilings & Walls at Mechanical Room and Garage shall have 5/8" fireproof sheetrock.
- Sheetrock to be triple-taped except closets to be double-taped and garage to be single-taped.
- WONDER BOARD TO BE BACKER TO BE INSTALLED ALONG ALL TUB AND SHOWER AREAS. WATER-RESISTANT GYPSUM BOARD TO BE USED IN ALL DAMP ROOMS.
- HVAC CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND DUCT LOCATIONS PRIOR TO INSTALLATION WHICH SHALL BE APPROVED BY THE DRAFTSMAN AND OWNER.
- WINDOW MANUFACTURER SHALL PROVIDE SHOP DRAWINGS AND SPECIFICATIONS WHICH SHALL BE APPROVED BY THE DRAFTSMAN.
- BUILDING AND SURROUNDING SITE SHALL BE KEPT CLEAN AND NEAT AT ALL TIMES. EXTERIOR MOLDING SHALL BE PRIMED ON ALL SIDES, INCLUDING CUT ENDS AND BACK PRIOR TO INSTALLATION AND PAINTING.

DESIGN LOADS & CRITERIA

- THE STRUCTURAL COMPONENTS HAVE BEEN DESIGNED FOR THE FOLLOWING LOADS:

A. LIVE LOAD:	
a) FIRST FLOOR AND CORR. DORS.	40 PSF
b) SLEEPING ROOMS	30 PSF
c) GARAGE	50 PSF
d) EXTERIOR DECKS	40 PSF
e) STAIRS	100 PSF
f) ROOF LIVE LOADS	20 PSF
g) ROOF DEAD LOADS	10 PSF
B. BASIC GROUND SNOW LOAD: WITH APPLICABLE SNOW SHADOWING FACTORS	
	20 PSF
C. ULTIMATE DESIGNED WIND SPEED: EXPOSURE "B"	
	115 MPH

GENERAL CONCRETE NOTES

- ANY DISTURBED FOUNDATIONS, WALLS, OR OTHER BEARING STRUCTURES SHALL BE BRACED AND REINFORCED IF MODIFICATION IS NECESSARY. MODIFICATIONS SHALL NOT AFFECT EXISTING BEARING CAPACITY.
- ALL SLABS ON GROUND, FOOTINGS, WALLS, ETC. TO BE STONE CONCRETE: 3000 P.S.I. AT 28 DAYS.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATION OF ALL SLOTS, PIPE SLEEVES, ANCHOR BOLTS, DUCTS, ETC. AS REQUIRED FOR OTHER TRADES BEFORE CONCRETE IS POURED.
- ALL SLOTS SHALL BE FILLED WITH CONCRETE TO THE SAME DEPTH AS SLABS AFTER PIPING IS INSTALLED.
- CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS.

FOUNDATION NOTES:

- BUILDING FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL OR LEDGE HAVING MINIMUM BEARING CAPACITY OF 3000 POUNDS PER SQUARE FOOT.
- IF AN UNSUITABLE SOIL WILL BE DISCOVERED IN THE AREA UNDERNEATH OF THE NEW FOOTINGS (ORGANICS, LOOSE FILL, AND ETC.), SOIL SHALL BE REPLACED WITH COMPACTED FILL OF GRAVEL OR CRASHED STONE. PLACE BACKFILL IN LIFTS NOT EXCEEDING 9" IN LOOSE LIFT THICKNESS. NOTIFY THE ENGINEER BEFORE PROCEEDING WITH STRUCTURAL BACKFILL TO CONFIRM SUITABILITY OF BEARING STRATUM. FOUNDATION BACKFILL MATERIAL IS TO BE CONTROLLED FILL MATERIAL, A UNIFORMLY GRADED MIXTURE OF SAND AND GRAVEL WEIGHING NO LESS THAN 120 PCF DRY DENSITY AFTER ON-SITE COMPACTION. THE MIXTURE IS TO HAVE NO STONE GREATER THAN 3" ANY ONE DIMENSION AND IS TO HAVE LESS THAN 10 % BY WEIGHT, PASSING A #20 SIEVE. THE FILL SHALL BE PLACED IN MAXIMUM LIFTS OF 8 INCHES BEFORE COMPACTION.

REINFORCED CONCRETE NOTES:

- ALL CONCRETE SHALL BE NORMAL WEIGHT STONE CONCRETE UNLESS NOTED. THE MAXIMUM SIZE OF THE COARSE AGGREGATE SHALL BE 3/4". THE CONCRETE IS TO BE PROPORTIONED TO HAVE 4" +/- 1" SLUMP AND 5% +/- 1 % ENTRAINED AIR. HIGH RANGE WATER REDUCING AGENTS ARE PERMITTED. CHLORIDE ION CONTAINING ADDITIVES ARE NOT PERMITTED.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE IN 28 DAYS SHALL BE AS FOLLOWS:
F_c = 3,000 PSI FOR ALL FOOTINGS, PERS AND FOUNDATION
F_c = 3,500 PSI FOR INTERIOR AND EXTERIOR SLABS ON GRADE, SIDEWALKS AND SIDEWALKS
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM STANDARD SPECIFICATION FOR DEFORMED NEW BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT A615 GRADE 60. REINFORCEMENT SHALL BE DETAILLED ACCORDING TO ACI MANUAL OF STANDARD PRACTICE, ACI 315, LATEST EDITION. ALL REINFORCING BAR SPLICES SHALL BE CLASS "C" TENSION SPLICES, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM SPECIFICATION A185 WITH A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ----- 3"
EXPOSED TO EARTH OR WEATHER (WHERE FORMS ARE USED)
#6 BARS AND LARGER ----- 2"
#5 BARS AND SMALLER ----- 1 1/2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND
SLABS OR WALL ----- 1 1/2"
BEAMS OR PIERS ----- 1 1/2"
- PROVIDE #4 DIAGONAL BARS, 4' 0" LONG AT ALL RE-ENTRANT CORNERS.
2-#4 TOP FOR ALL SLABS ON GRADE.
- REINFORCING BARS AND WELDED WIRE FABRIC SHALL NOT BE WELDED, TACK-WELDED OR USED FOR STRIKING AN ARC.
- ALL GROUT SHALL BE NON-SHRINK GROUT WITH A MINIMUM COMPRESSIVE (CUBE) STRENGTH OF 8,000 PSI AT 28 DAYS.
- PROVIDE A MINIMUM OF FOUR (4) COMPRESSIVE STRENGTH TEST CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED, BUT NOT LESS THAN FOUR FOR EACH DAY'S PLACEMENT.

GERNERAL WOOD NOTES:

- STUD BEARING WALLS, SHEAR WALLS, AND ROOF DECKS SHALL BE FRAMED WITH THE MEMBER SIZES AND/OR TYPES AT THE SPACING SHOWN ON PLAN. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL PLUMBING PIPING, HVAC DUCTING AND RECESSED LIGHTING FIXTURES, ETC. PRIOR TO LAYOUT TO MINIMIZE INTERFERENCE THAT MAY REQUIRE THE ALTERING OR STRENGTHENING OF THE INSTALLED FRAMING.
- WALLS SHALL BE INSTALLED STRAIGHT AND PLUMB. ROOFS SHALL BE INSTALLED AT THE PITCHES INDICATED ON THE ARCHITECTURAL DRAWINGS.
- JOISTS AND RAFTERS SHALL BE INSTALLED DIRECTLY OVER BEARING STUDS UNLESS OTHERWISE DETAILLED.
- JOISTS SHALL BE SUPPORTED LATERALLY AT EACH SUPPORT BY FULL DEPTH SOLID BLOCK NOT 2 INCHES IN THICKNESS, EXCEPT WHERE JOISTS ARE SUPPORTED BY A FLUSH HEADER OR NAILED TO A R.M. JOIST.
- PROVIDE A MINIMUM OF TWO STUDS AT EACH END OF ALL FLUSH FRAMED HEADERS OR BEAM, UNLESS MORE ARE INDICATED ON PLAN. PROVIDE ONE JACK STUD AND ONE FULL KING STUD AT EACH END OF ALL DROPPED HEADERS OR BEAMS, UNLESS MORE JACK AND KING STUDS ARE INDICATED ON PLAN.
- FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL HANGERS MADE BY SIMPSON STRONG-TIE, CO., INC. OR KANT-SAG CONNECTORS BY UNITED STEEL PRODUCTS CO. OF WIDTH AND DEPTH APPROPRIATE FOR THE SUPPORTED MEMBER. INSTALL WITH THE TYPE AND QUANTITY OF FASTENERS RECOMMENDED BY THE MANUFACTURER.
- STRUCTURAL WOOD FRAMING USED IN EXTERIOR APPLICATIONS OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER, COA PRESERVATIVE PRESSURE-TREATED WOOD. ALL EXTERIOR STAIR FRAMING TO BE CONSTRUCTED USING PRESSURE AND FIRE RETARDANT TREATED WOOD RECOMMENDED BY THE MANUFACTURERS SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER, COA PRESERVATIVE PRESSURE-TREATED WOOD.
- BUILT-UP MEMBERS OF THREE PLYS OR LESS SHALL HAVE ADJACENT PLYS CONNECTED TOGETHER WITH 3/4" DIAMETER ROWS OF SCREWS AT 16" O.C. STAGGERED UP AND DOWN WITH 2 INCH CLEARANCE AT TOP AND BOTTOM EDGES. BUILT-UP MEMBERS OF MORE THAN 3 PLYS SHALL BE ASSEMBLED WITH (2) TWO ROWS OF 1/2" DIAMETER THRU BOLTS AT 16" O.C. WITH 2 INCH CLEARANCE AT TOP AND BOTTOM EDGES.
- EACH ROOF TRUSS SHALL BE CONNECTED TO WALL DOUBLE PLATE WITH (2) H8 CONNECTOR BY SIMPSON STRONG-TIE BAND JOIST SHALL BE CONNECTED TO TOP PLATE WITH MSTC 52 STRAP @ 64" O.C. CONNECTOR BY SIMPSON STRONG-TIE. INSTALL SILL PLATE TIE-DOWNS TO SATISFY MINIMUM REQUIRED 5/8" Ø BOLTS SPACED @ 48" O.C. AND 10" MAXIMUM FROM EACH CORNER. INSTALL ADDITIONAL STRAPS AS SHOWN ON TYPICAL FRAMING DETAILS.

LUMBER NOTES

- DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION MANUAL.
- ALL STRUCTURAL LUMBER TO BE #2 GRADE SOUTHERN YELLOW PINE OR BETTER, AND SHALL BE FREE OF ANY DEFECTS WHICH MAY AFFECT ITS STRUCTURAL INTEGRITY, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE ALL ACCESSORIES THAT ARE NOT CALLED OUT ON THE PLANS, SUCH AS JOIST ANCHORS, JOIST HANGERS, FRAMING ANCHORS, POST BASES, AND CAPS, METAL BRIDGING, ETC. AS REQUIRED FOR THE COMPLETION OF THE PROJECT.
- ALL JOISTS SHALL HAVE JOIST HANGERS AND HURRICANE STRAPS.
- PROVIDE BRIDGING AT 8' 0" MAXIMUM.
- ALL INTERIOR BEARING STUD WALLS TO BE BRACED AT THIRD POINTS.
- EXTERIOR WALLS TO BE 2" X 4" SOUTHERN YELLOW PINE WOOD STUD CONSTRUCTION.
- DOUBLE JOISTS REQUIRED AT PARALLEL PARTITIONS.
- ROOF FRAMING TO BE BRACED TO PARTITIONS.
- STRAPS TO BE PROVIDED AT NON-PARALLEL CEILING JOISTS AND RAFTERS.

STRUCTURAL WOOD FRAMING NOTES:

- THE FOLLOWING SHALL APPLY FOR WOOD FRAMED CONSTRUCTION:
 - ALL WOOD FRAMING SHALL BE SOUTHERN YELLOW PINE MINIMUM GRADE NUMBER 1, UNLESS NOTED OTHERWISE.
 - WOOD MEMBERS SHALL HAVE MAXIMUM MOISTURE CONTENT OF 19 PERCENT.
 - ALL PLYWOOD SHALL BE APPROPRIATE AS INDICATED ON DRAWINGS.
 - ALL BOLTS USED FOR WOOD FASTENING SHALL CONFORM TO ASTM A307, LOW-CARBON STEEL WITH EXTERNALLY AND INTERNALLY THREADED FASTENERS, UNO.
 - STEEL CONNECTOR PLATES SHALL CONFORM TO ASTM 36.
 - LAG SCREWS SHALL CONFORM TO ANSIS/ASME STANDARD B182.1.
 - NAILING SHALL BE IN ACCORDANCE WITH TABLE 2304.10.1 OF THE 2021 INTERNATIONAL BUILDING CODE.
 - WEATHER EXPOSED WOOD AND WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
- THE DESIGN OF THE DIMENSIONAL LUMBER MEMBERS AND THEIR CONNECTIONS IS BASED ON THE LUMBER HAVING A MOISTURE CONTENT AT THE TIME OF INSTALLATION OF 19% OR LESS.
- JOISTS OR RAFTERS ARE TO BE INSTALLED WITH "CROWN" UP (I.E. POSITIVE CAMBER) AND WITHIN 1/2 INCH OF STRAIGHT, END-TO-END ALIGNMENT.
- SEVERELY DISTORTED (TWISTED, BOWED, CUPPED, CHECKED, ETC.) LUMBER SHALL NOT BE USED.
- NOTCHES IN THE TOP OR BOTTOM OF DIMENSIONED LUMBER JOISTS OR RAFTERS SHALL NOT EXCEED ONE-SIXTH THE MEMBER DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. END NOTCHES SHALL NOT EXCEED ONE-FOURTH THE MEMBER DEPTH. BORED HOLES SHALL NOT BE WITHIN TWO INCHES OF THE TOP AND BOTTOM OF THE MEMBER AND THE RADIUS SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH.
- THE NUMBER, TYPE AND SIZE OF FASTENERS FOR FRAMING AND SHEATHING ATTACHMENT SHALL BE IN ACCORDANCE WITH CHAPTER 6 TABLE R602.3(10) OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE UNLESS A STRONGER CONNECTION IS INDICATED.

DIMENSIONED WOOD FRAMING NOTES:

- THE FOLLOWING SHALL APPLY FOR WOOD FRAMED CONSTRUCTION:
 - ALL WOOD FRAMING SHALL BE SOUTHERN YELLOW PINE MINIMUM GRADE NUMBER 1, UNLESS NOTED OTHERWISE.
 - WOOD MEMBERS SHALL HAVE MAXIMUM MOISTURE CONTENT OF 19 PERCENT.
 - ALL PLYWOOD SHALL BE APPROPRIATE AS INDICATED ON DRAWINGS.
 - ALL BOLTS USED FOR WOOD FASTENING SHALL CONFORM TO ASTM A307, LOW-CARBON STEEL WITH EXTERNALLY AND INTERNALLY THREADED FASTENERS, UNO.
 - STEEL CONNECTOR PLATES SHALL CONFORM TO ASTM 36.
 - LAG SCREWS SHALL CONFORM TO ANSIS/ASME STANDARD B182.1.
 - NAILING SHALL BE IN ACCORDANCE WITH TABLE 2304.10.1 OF THE 2021 INTERNATIONAL BUILDING CODE.
 - WEATHER EXPOSED WOOD AND WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
- THE DESIGN OF THE DIMENSIONAL LUMBER MEMBERS AND THEIR CONNECTIONS IS BASED ON THE LUMBER HAVING A MOISTURE CONTENT AT THE TIME OF INSTALLATION OF 19% OR LESS.
- JOISTS OR RAFTERS ARE TO BE INSTALLED WITH "CROWN" UP (I.E. POSITIVE CAMBER) AND WITH 1/2 INCH OF STRAIGHT, END-TO-END ALIGNMENT.
- SEVERELY DISTORTED (TWISTED, BOWED, CUPPED, CHECKED, ETC.) LUMBER SHALL NOT BE USED.
- NOTCHES IN THE TOP OR BOTTOM OF DIMENSIONED LUMBER JOISTS OR RAFTERS SHALL NOT EXCEED ONE-SIXTH THE MEMBER DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. END NOTCHES SHALL NOT EXCEED ONE-FOURTH THE MEMBER DEPTH. BORED HOLES SHALL NOT BE WITHIN TWO INCHES OF THE TOP AND BOTTOM OF THE MEMBER AND THE RADIUS SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH.
- THE NUMBER, TYPE AND SIZE OF FASTENERS FOR FRAMING AND SHEATHING ATTACHMENT SHALL BE IN ACCORDANCE WITH CHAPTER 6 TABLE R602.3(10) OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE UNLESS A STRONGER CONNECTION IS INDICATED.
- PSL POSTS TO BE ANCHORED TO FOUNDATION, AND BETWEEN EACH FRAMING LEVEL TO RESIST UPLIFT FORCES. PROVIDE SIMPSON HUB-SDS25 HOLD-DOWN ANCHORS OR APPROVED SIMILAR.
- ALL EXTERIOR WALLS OF THE BUILDING ARE DESIGNED AS SHEAR WALLS TO PROVIDE STABILITY AND RESTRAINT FOR LATERAL LOADS. NAILING REQUIREMENTS FOR PLYWOOD SHEATHING ARE: 6" O.C. ALL EDGES, INCLUDING DOORS AND WINDOWS WITH BLOCKING AT ALL JOINTS. FIELD NAILING 12" O.C.
- PLYWOOD SHALL BE CDX PLYWOOD SHEATHING. NOMINAL THICKNESS TO BE AS FOLLOWS: 1/2" THICK AT EXTERIOR WALLS AND 3/4" THICK TOPS AND 3/4" THICK TONGUE AND GROOVE PLYWOOD AT FLOORS. INSTALL PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS.
- FOUNDATION SILL PLATES SHALL BE 13 E-TIMBERSTRAND LSI* BY TRUST JOIST MACMILLAN, INC. PRESSURE-TREATED WITH "STRANDGUARD" BORATE BIOCIDES. (NOTE THAT CARBON STEEL CONNECTORS MAY BE USED WITH THIS PRODUCT.)

HURRICANE TIE SCHEDULE

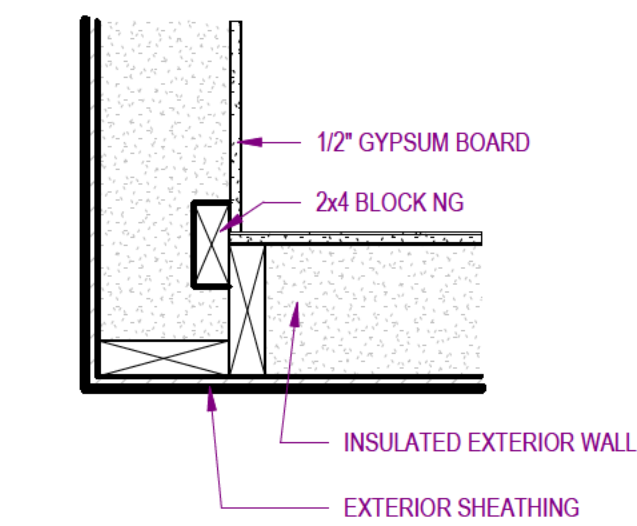
- JOIST TO TOP PLATE CONNECTION SHALL HAVE SIMPSON H5 AT ALL OCCURRENCES OR 18 GAUGE STRAPS, 12" LONG BY THE WIDTH OF THE JOIST W/ (6) 80 NAILS AT PLATE AND (6) 80 NAILS AT JOIST.
- BASE PLATE TO WALL AND WALL TO TOP PLATE CONNECTIONS SHALL HAVE SIMPSON SP4 W/ (6) 10D X 1 1/2 NAILS.
- ANCHOR BOLTS SHALL BE INSTALLED AT 4'-0" O.C.
- INSTALL JOIST AND OTHER HANGERS AT ALL JOISTS AND PROVIDE HANGERS AND CONNECTORS AT ALL CONNECTIONS AS PER CODE AND GENERAL BUILDING PRACTICE.

INSULATION SCHEDULE

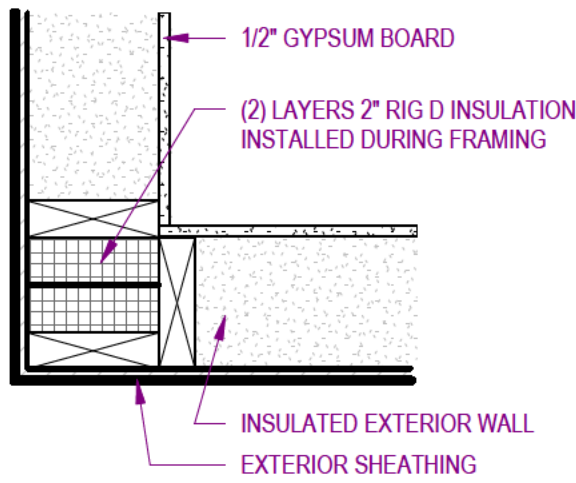
- NEW FLOORS OVER NON-INSULATED SPACE SHALL HAVE R-19 MIN. ICYNENE OR EQUIVALENT INSULATION.
- NEW CATHEDRAL CEILINGS SHALL HAVE HIGH DENSITY R-49 MIN. ICYNENE OR EQUIVALENT INSULATION.
- NEW CEILINGS SHALL HAVE HIGH DENSITY R-49 MIN. ICYNENE OR EQUIVALENT INSULATION.
- NEW WALLS SHALL HAVE R-15 MIN. ICYNENE OR EQUIVALENT INSULATION.
- NEW BASEMENT WALLS SHALL HAVE R-15 MIN. ICYNENE OR EQUIVALENT INSULATION.

LIGHTING AND ELECTRICAL NOTES

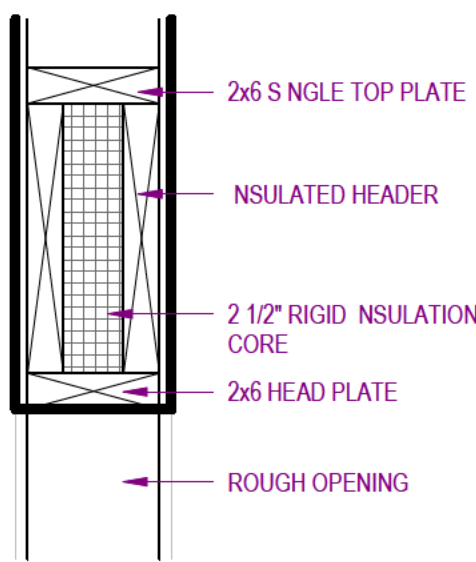
- ALL LIGHTING FIXTURES SHALL BE INSTALLED WITH LAMP.
- ALL ELECTRICAL AND LIGHTING TO BE INSTALLED ACCORDING TO NATIONAL ELECTRIC CODE AND THE VIRGINIA RESIDENTIAL CODE.
- ALL RECEPTACLES SHALL BE MOUNTED 12" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- ALL SWITCHES AND/OR CONTROLS SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.



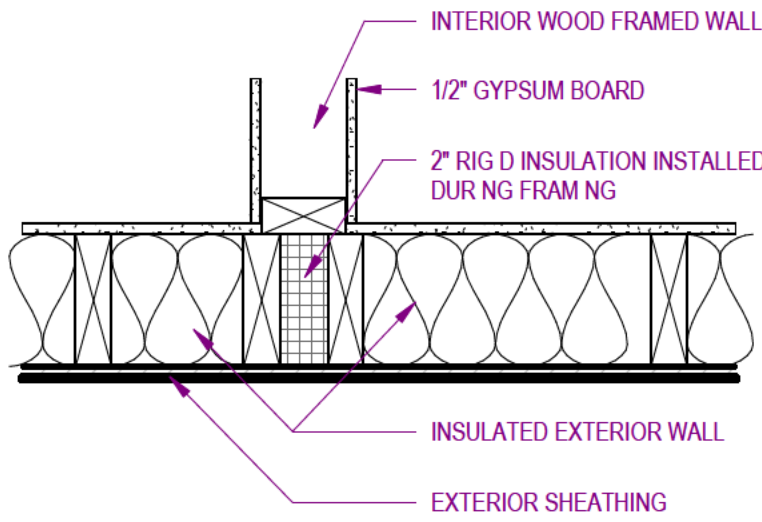
1 2 STUD CORNER WITH 2x4 BLOCKING
1 1/2" = 1'-0"



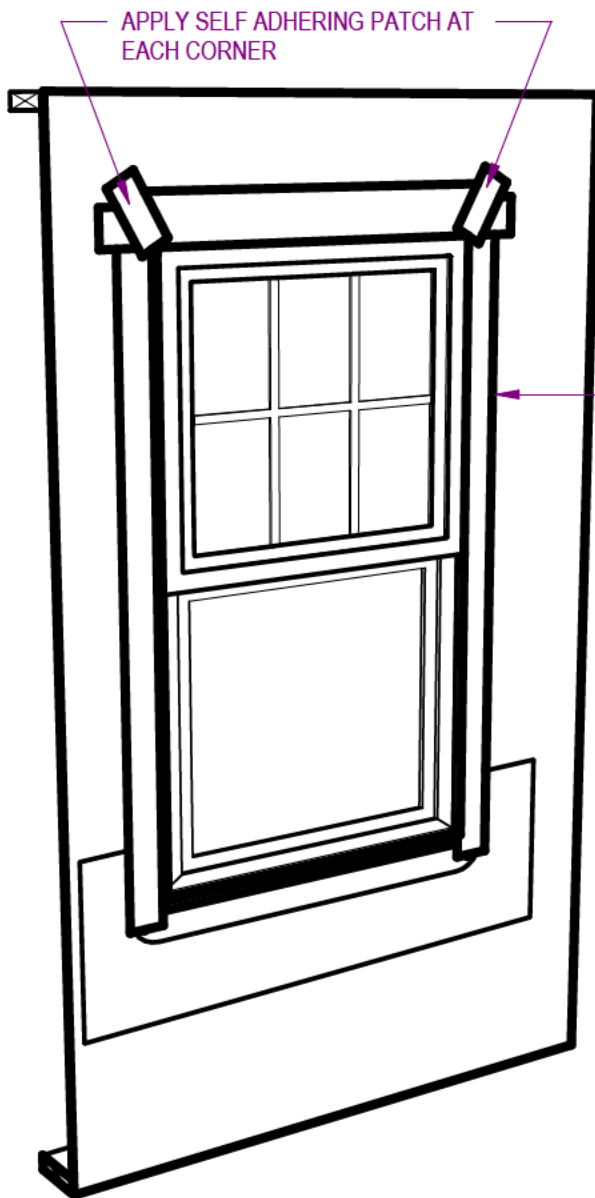
2 3 STUD CORNER WITH RIGID INSULATION
1 1/2" = 1'-0"



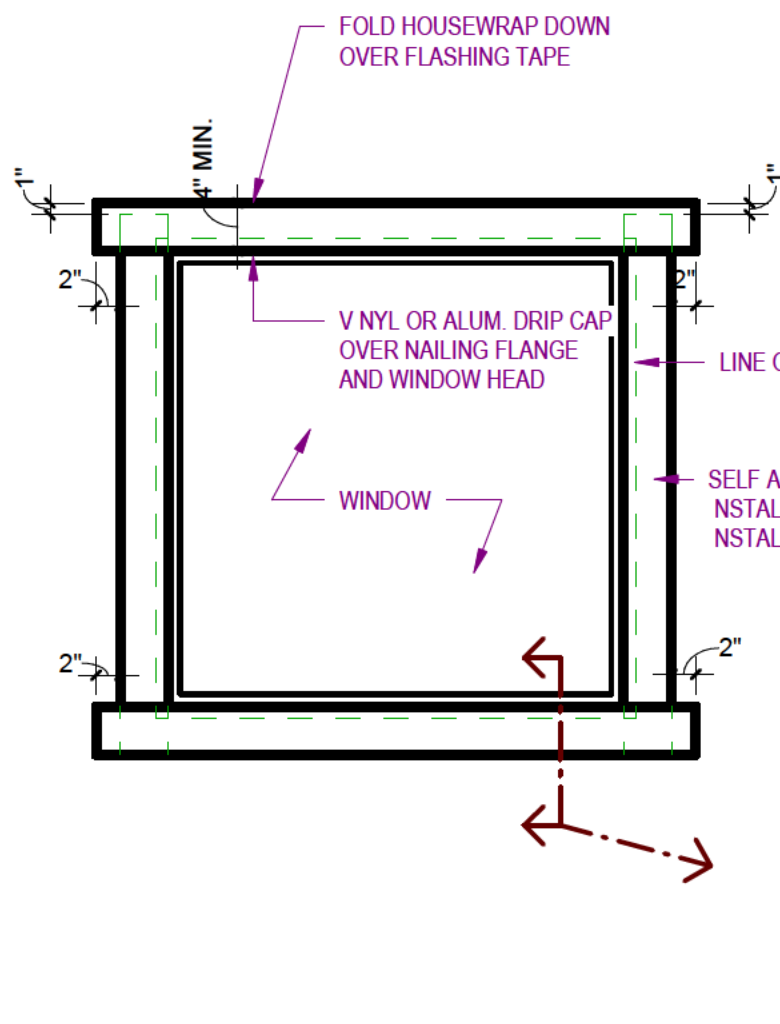
3 SITE BUILT HEADER DETAIL
1 1/2" = 1'-0"



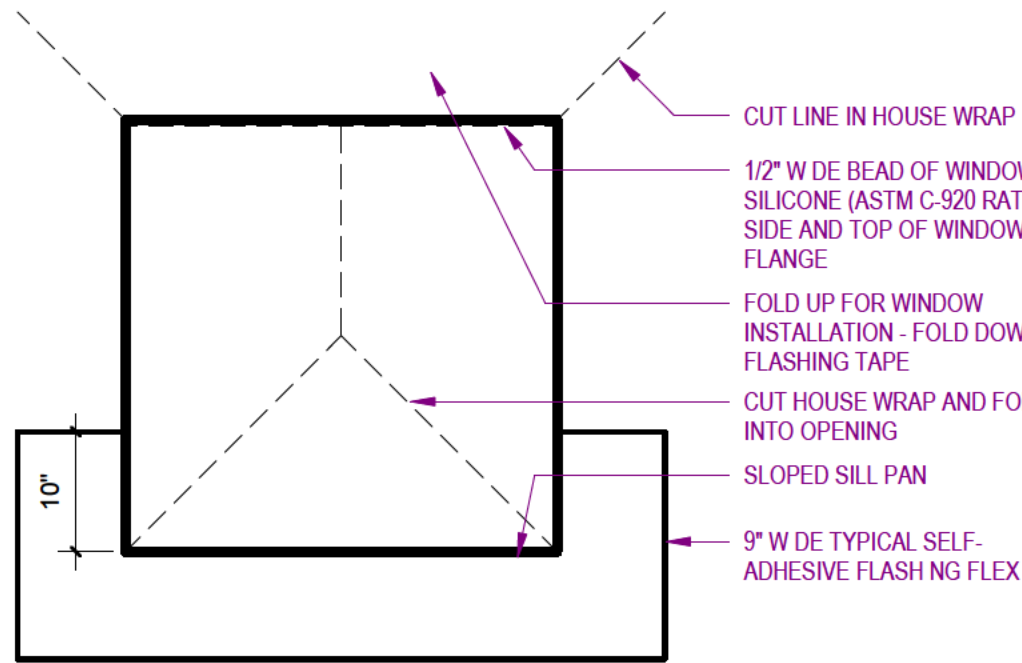
4 INTERSECTING INTERIOR WALL
1 1/2" = 1'-0"



5 Flanged Window Installation
1/2" = 1'-0"



6 TYPICAL WINDOW FLASHING DETAIL
3/4" = 1'-0"



Rent RVA Now LLC
Duplex
1915 5th Ave
Richmond, VA 23222

Key Plan

Rev	Description	Date
CONSTRUCTION DOCUMENTS		

ARCHITECTURE

STRUCTURAL NOTES

Drawn By: Matthew R. Jones
Checked By: Checker
Scale: As indicated
Project #: 254

S100

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Rent RVA Now LLC

Duplex

1915 5th Ave
Richmond, VA 23222

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ARCHITECTURE

STRUCTURAL DRAWINGS & DETAILS

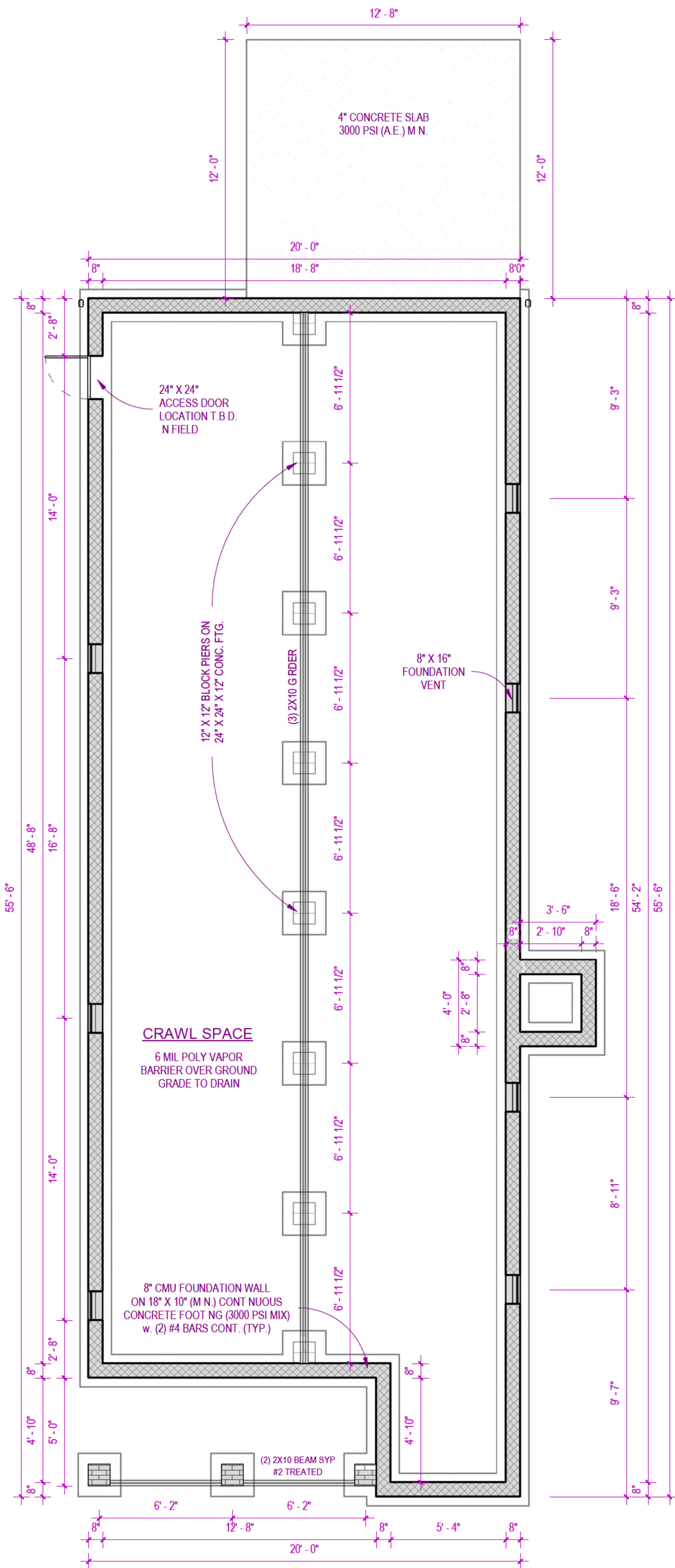
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Checked By: Checker

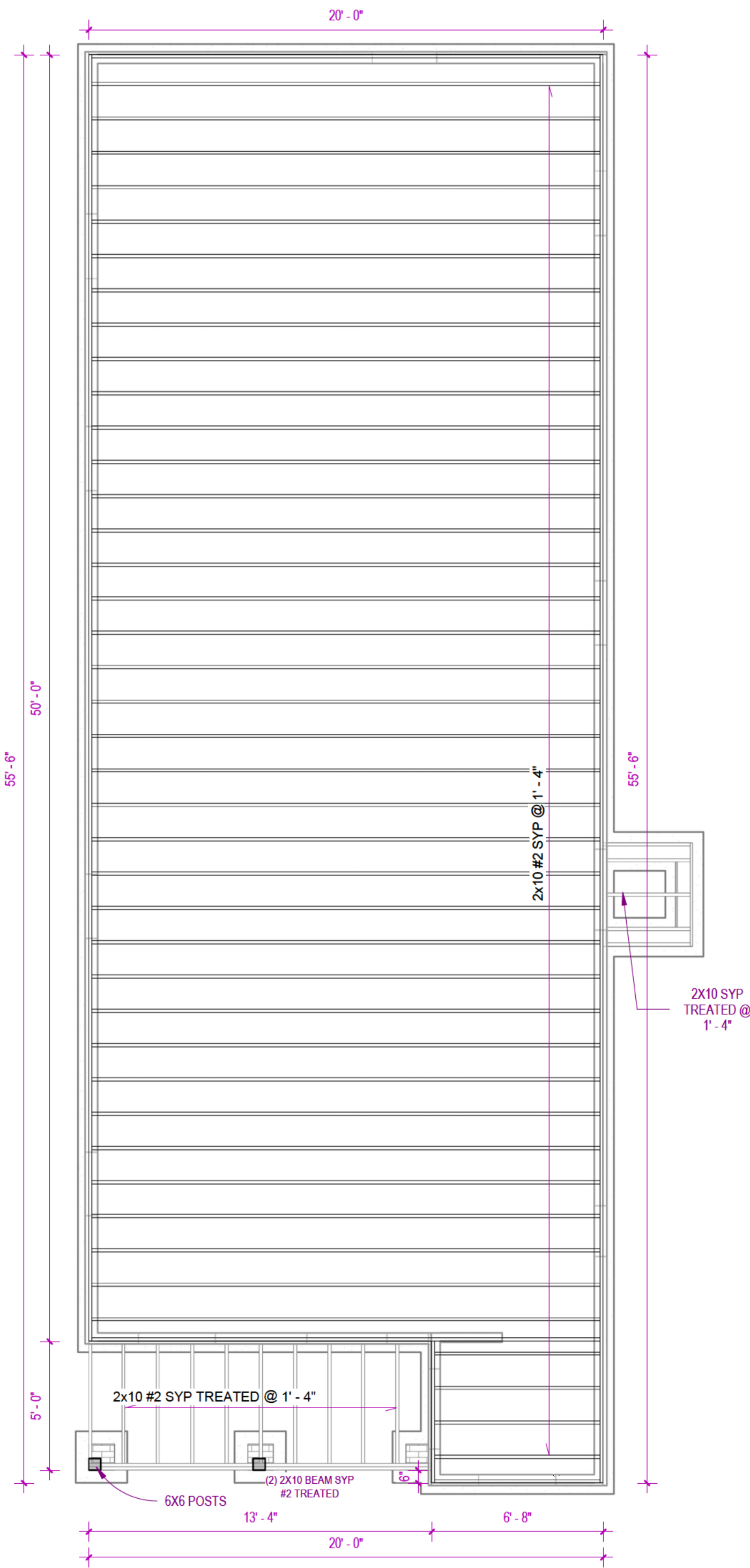
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Project #: 254

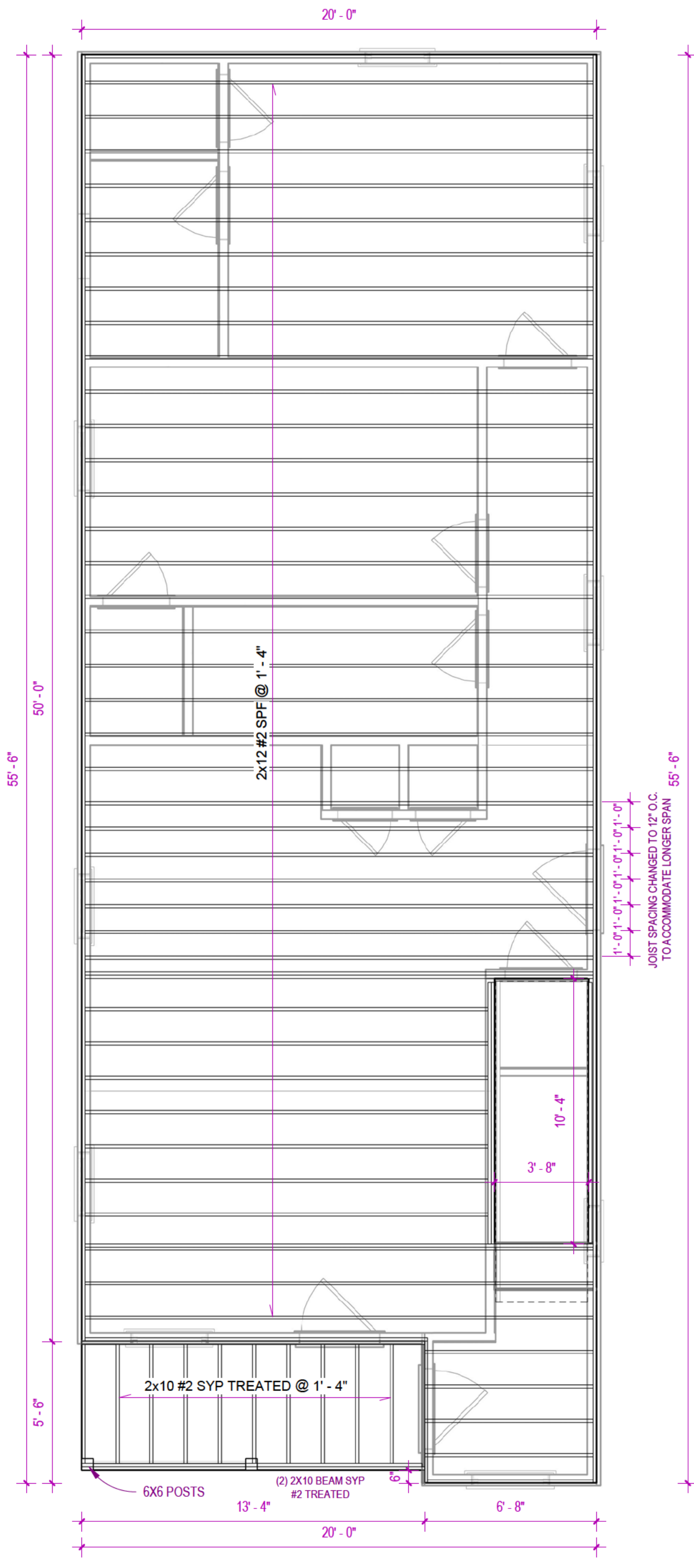
S101



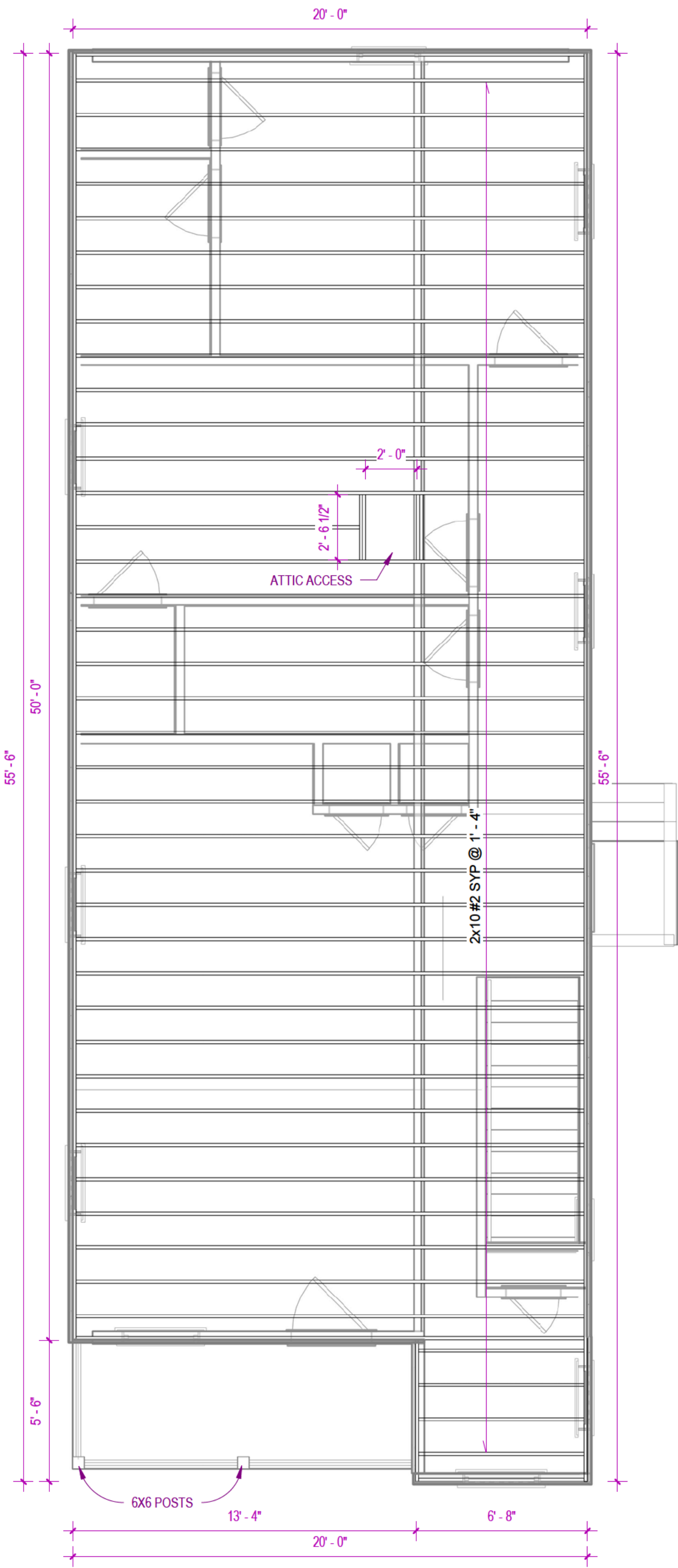
1 S - FP00 - Foundation



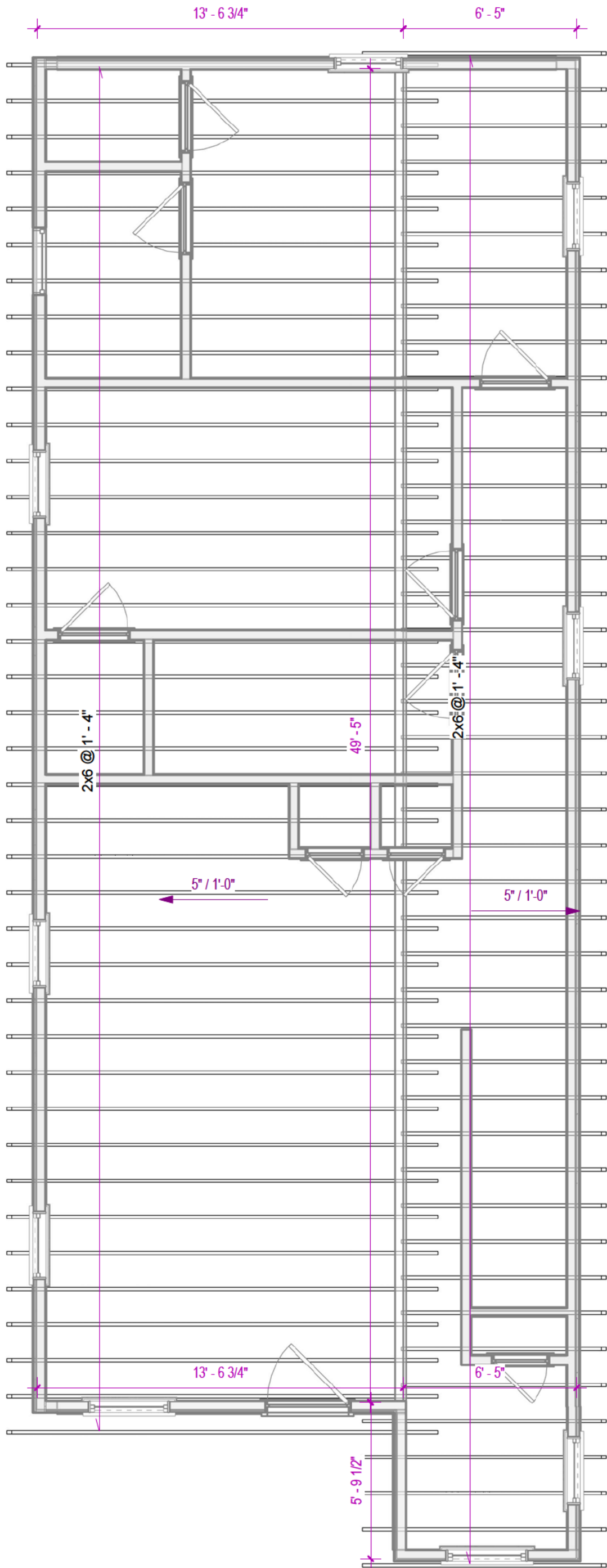
2 S - FP01 - First Floor Framing



3 S - FP02 - Second Floor Framing



1 S - FP02 - Second Floor Ceiling Framing
1/4" = 1'-0"



2 S - FP03 - Roof Framing
1/4" = 1'-0"

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Key Plan

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ARCHITECTURE

STRUCTURAL DRAWINGS & DETAILS

Drawn By: Matthew R. Jones
Checked By: Checker
Scale: 1/4" = 1'-0"
Project #: 254

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Richmond, VA 23222

Key Plan

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ARCHITECTURE

BRACED WALL PLAN

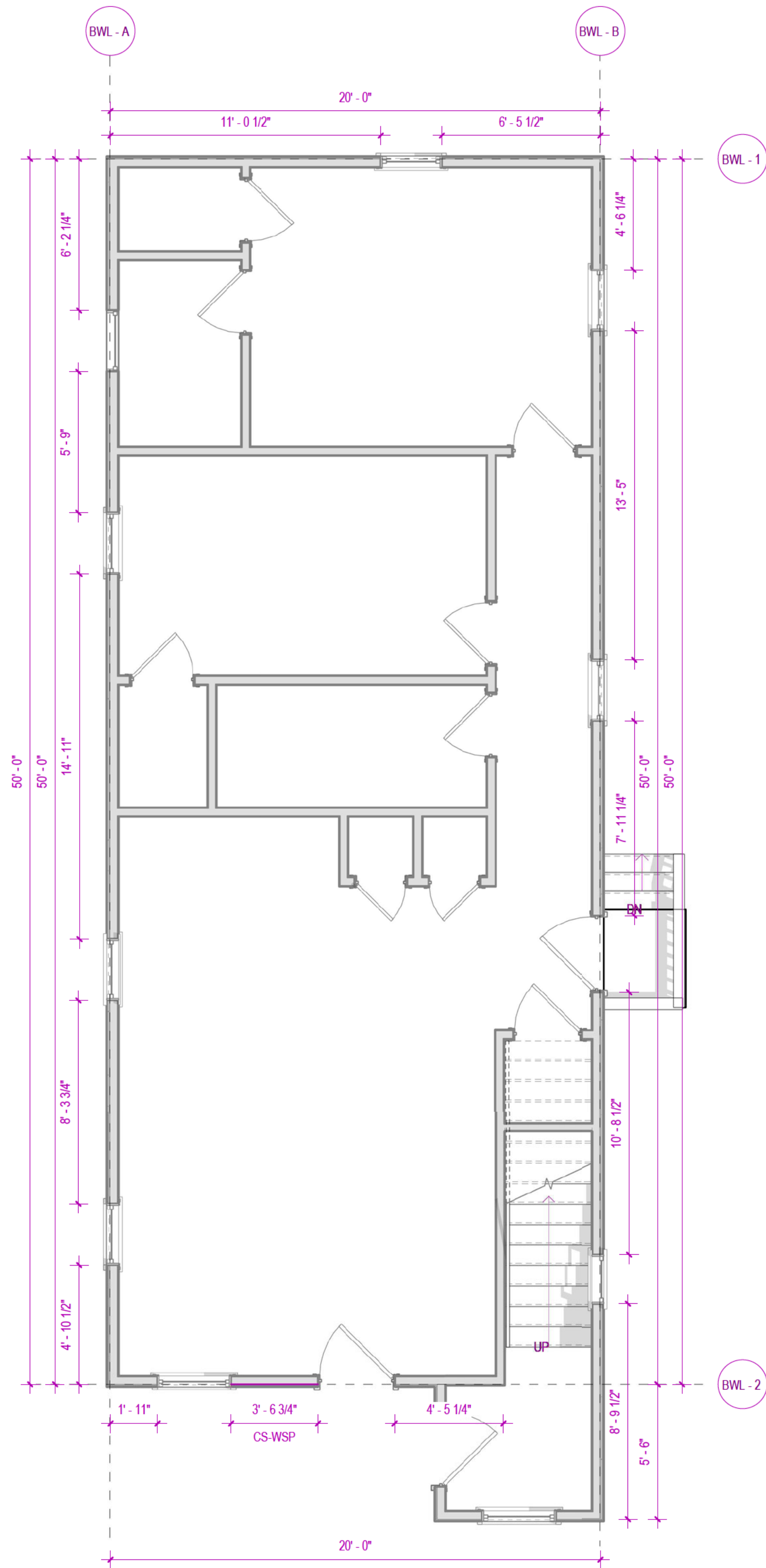
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Checked By: Checker

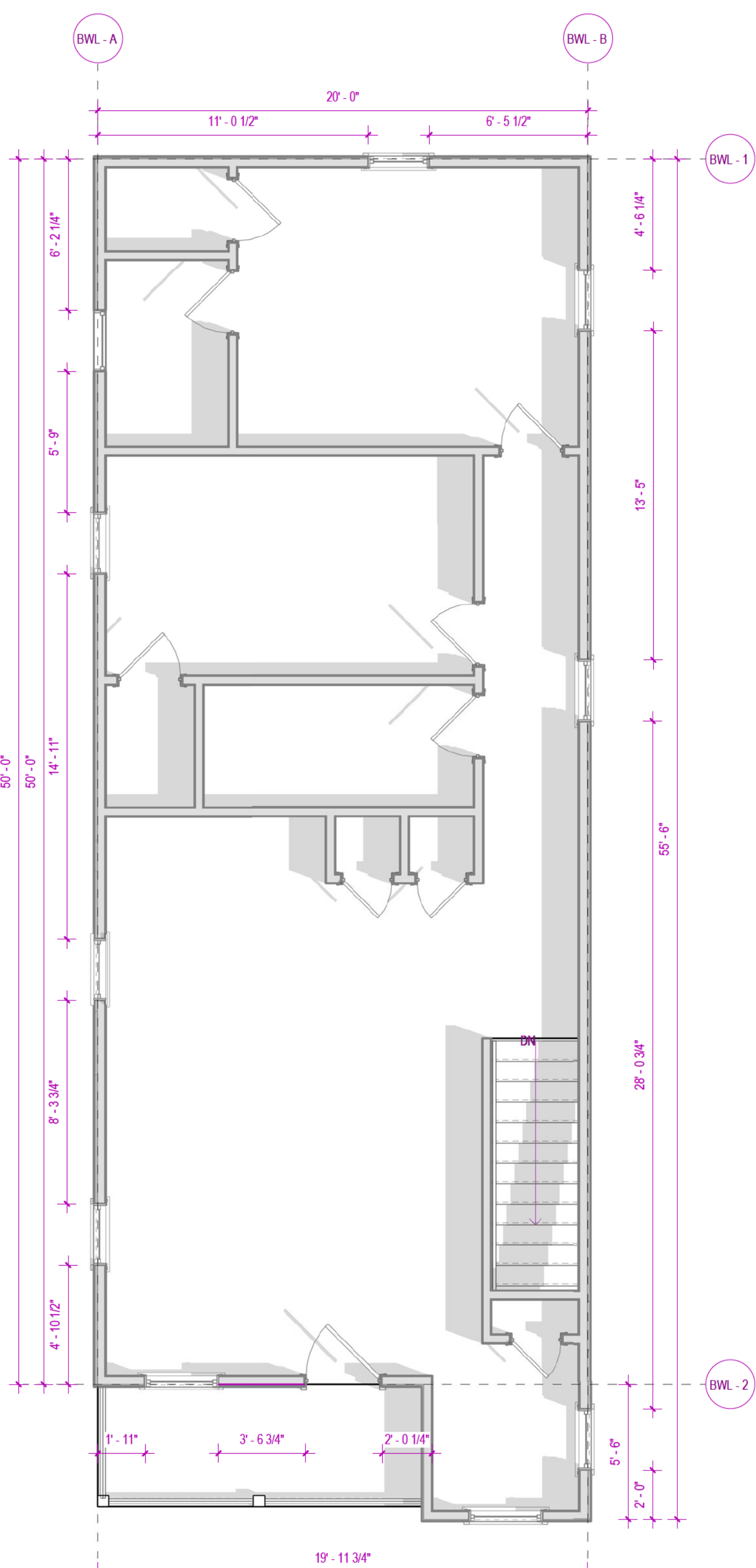
Scale: $1/4" = 1'-0"$

Project #: 254

S103



1 First Floor Plan



2 Second Floor Plan

[illegible][illegible]



**City of Richmond
Department of Planning
& Development Review**

Special Use Permit

LOCATION: 1915 5th Avenue

APPLICANT: Rent VA Now, LLC

COUNCIL DISTRICT: 6

PROPOSAL: To authorize the special use of the property known as 1915 5th Avenue for the purpose of two two-family detached dwellings, upon certain terms and conditions.

*For questions, please contact David Watson
at 804-646-1036 or David.Watson@rva.gov*

