



Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

Application Type

- Addition/Alteration to Existing Structure
- New Construction
- Streetscape
- Site Amenity

- Encroachment
- Master Plan
- Sign
- Other

Review Type

- Conceptual
- Final

Project Name: Belmont Road Roundabout

Project Address: Belmont Road and West Belmont Road

Brief Project Description (this is not a replacement for the required detailed narrative) :
This project consists of one lane roundabout at the intersection of Belmont Road and West Belmont Road. The improvements will provide an enhanced and safer gateway to the neighborhood, reducing neighborhood speeding and enhancing overall community livability. Please see plans for the details.

Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: Michael B. Sawyer *MBS* Email: Michael.Sawyer@richmondgov.com

City Agency: Transportation Engineering Division Phone: 646-3435

Address: 900 E Broad Street, Room 707

Main Contact (if different from Applicant): Maritza Feliz-Reyes *MFR*

Company: DPW- Transportation Engineering Division Phone: 646-6334

Email: Maritza.reyes@richmondgov.com

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

UDC Background

The UDC is a ten member advisory committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advise of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

Traffic Control Improvements – Belmont Road Roundabout

This project consists of the installation of one (1) roundabout at the existing intersection of Belmont Road and W. Belmont Road. The existing Belmont Road corridor in this area is a four lane divided, raised median street section with curb & gutter that intersects a two lane street section with shoulders and ditches. The side streets are stop controlled at this time. No on street parking loss is proposed.

A traffic study was performed in 2011 following a fatal accident at this intersection. The study determined that a traffic signal was not warranted. Some sight distance improvements were made following the results of the study and the intersection was slated for continued monitoring. This proposed roundabout is the result of the study.

The project estimated cost is \$450,000 for the roundabout. Design is 50% completed and construction is scheduled for the winter of 2015/2016. The design will require the acquisition of two small easements from two different parcels.

The project as envisioned will include: “Dwarf Buford” and “Mary Nell” trees/shrubs; “Buttered Popcorn”, Fire King”, and “Carlton” perennials/bulbs; and “Blue Pacific” ground covers inside the center roundabout.

The project will connect existing concrete sidewalks with similar materials.

The new roundabout will provide a traffic control measure at this intersection. These facilities will improve pedestrian and driver safety, while contributing to the beautification through new landscaping, and thereby enhancing the quality of life for our residents.



Roundabouts – Benefits

- Improve the efficiency of traffic flow
 - Reduce vehicle emissions
 - Reduce fuel consumption
- Case studies
 - Replacing a signalized intersection with a roundabout typically reduces carbon monoxide emissions by 25% and nitrous oxide emissions by 20%.
 - Constructing roundabouts in place of traffic signals typically reduces fuel consumption by 25%. (At 10 intersections studied in Virginia, this amounted to more than 200,000 gallons of fuel per year.)
 - Roundabouts can enhance aesthetics by providing landscaping opportunities.



Roundabouts – crash statistics

- 90% reduction in fatalities
- 76% reduction in injuries
- 35% reduction in total crashes

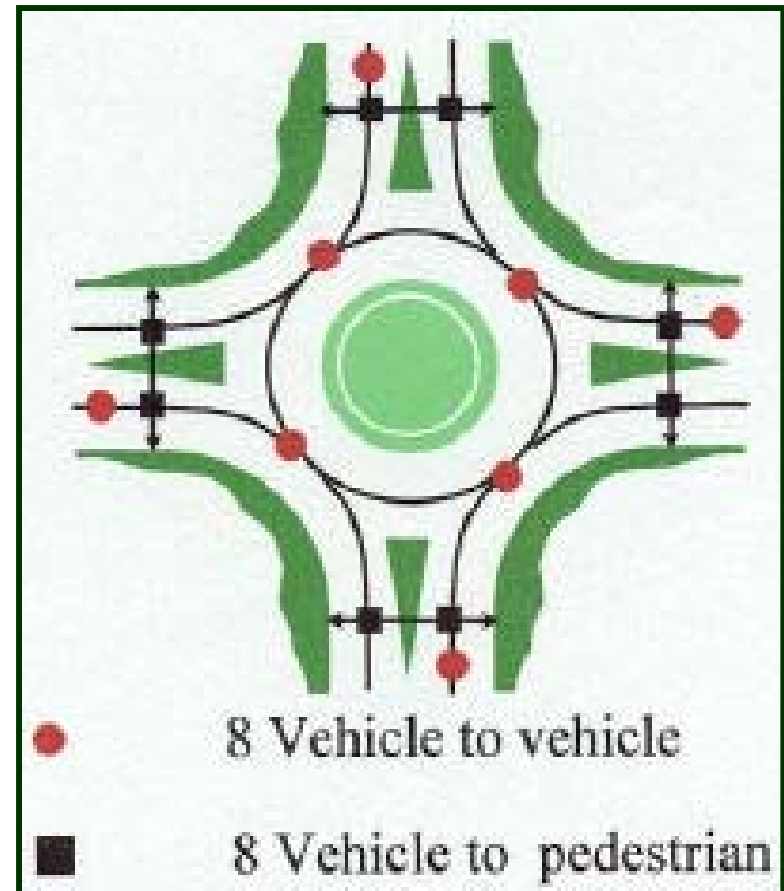
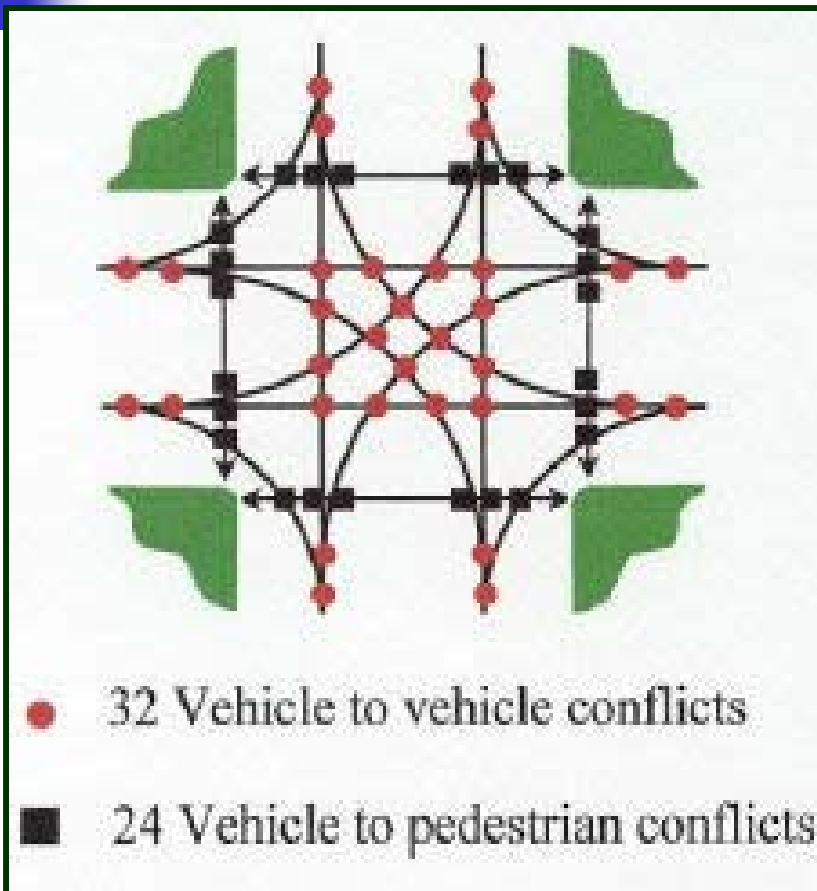
[NCHRP 572]



Roundabouts promote safety

- Traditional intersections (stop signs or traffic signals)
 - The most common types of crashes are right-angle, left-turn, rear-end and head-on collisions.
 - These types of collisions can be severe because vehicles may be traveling through the intersection at high speeds.
- At roundabouts
 - These same types of potentially serious crashes essentially are eliminated because vehicles travel in the same direction.
 - Installing roundabouts in place of traffic signals can also reduce the likelihood of rear-end crashes and their severity.

Roundabouts promote safety (continued)





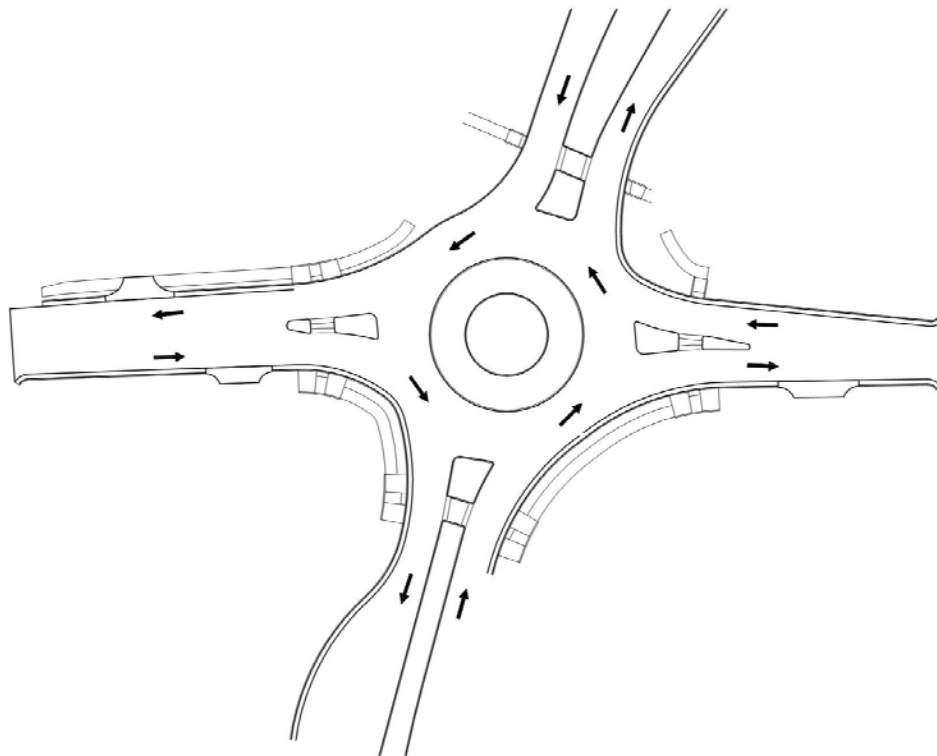
Roundabouts in the USA

- Vehicles travel counterclockwise around a raised center island, with entering traffic yielding the right-of-way to circulating traffic.
- Drivers approaching a roundabout must reduce their speeds, look for potential conflicts with vehicles already in the roundabout and be prepared to stop for pedestrians and bicyclists.
- Once in the roundabout, drivers proceed to the appropriate exit, following the guidance provided by traffic signs and pavement markings.

All movements are “right in /
right out”



BELMONT ROAD ROUNDABOUT



BELMONT ROAD AT WEST BELMONT ROAD ROUNDABOUT

JULY 9, 2015

URBAN DESIGN COMMITTEE
MEETING

BELMONT ROAD ROUNDABOUT

PLANT LIST

TREES & SHRUBS

ILEX CORNUTA 'DWARF BURFORD'
ILEX X 'MARY NELL'

PERENNIALS & BULBS

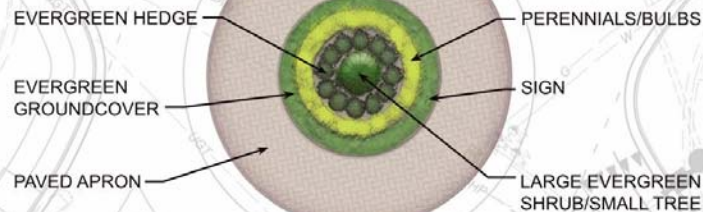
HEMEROCALLIS X 'BUTTERED POPCORN'
HEMEROCALLIS X 'FIRE KING'
NARCISSUS X 'CARLTON'

GROUNDCOVERS

JUNIPERUS CONFERTA 'BLUE PACIFIC'



HEMEROCALLIS X 'BUTTERED POPCORN'



JUNIPERUS CONFERTA 'BLUE PACIFIC'



ILEX CORNUTA 'DWARF BURFORD'



ILEX X 'MARY NELL'



BELMONT ROAD ROUNDABOUT

Landscape Plan - June 4, 2015



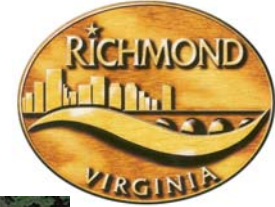
SCALE 1"=20'
 0 20' 40'



WWW.TIMMONS.COM



BELMONT ROAD ROUNDABOUT



AERIAL VIEW OF
THE
INTERSECTION

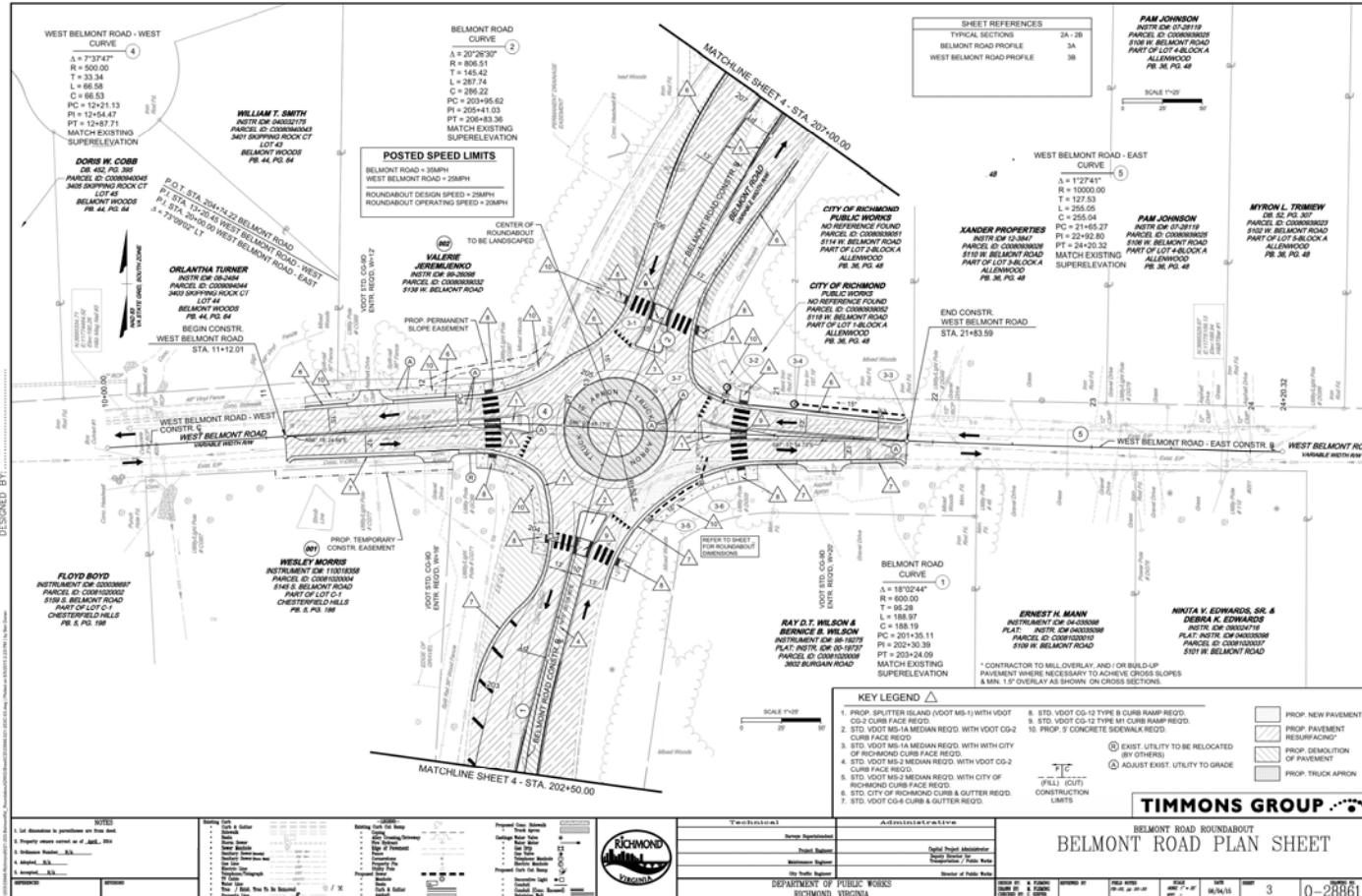


BELMONT ROAD ROUNDABOUT



PROJECT FOOTPRINT FEATURES

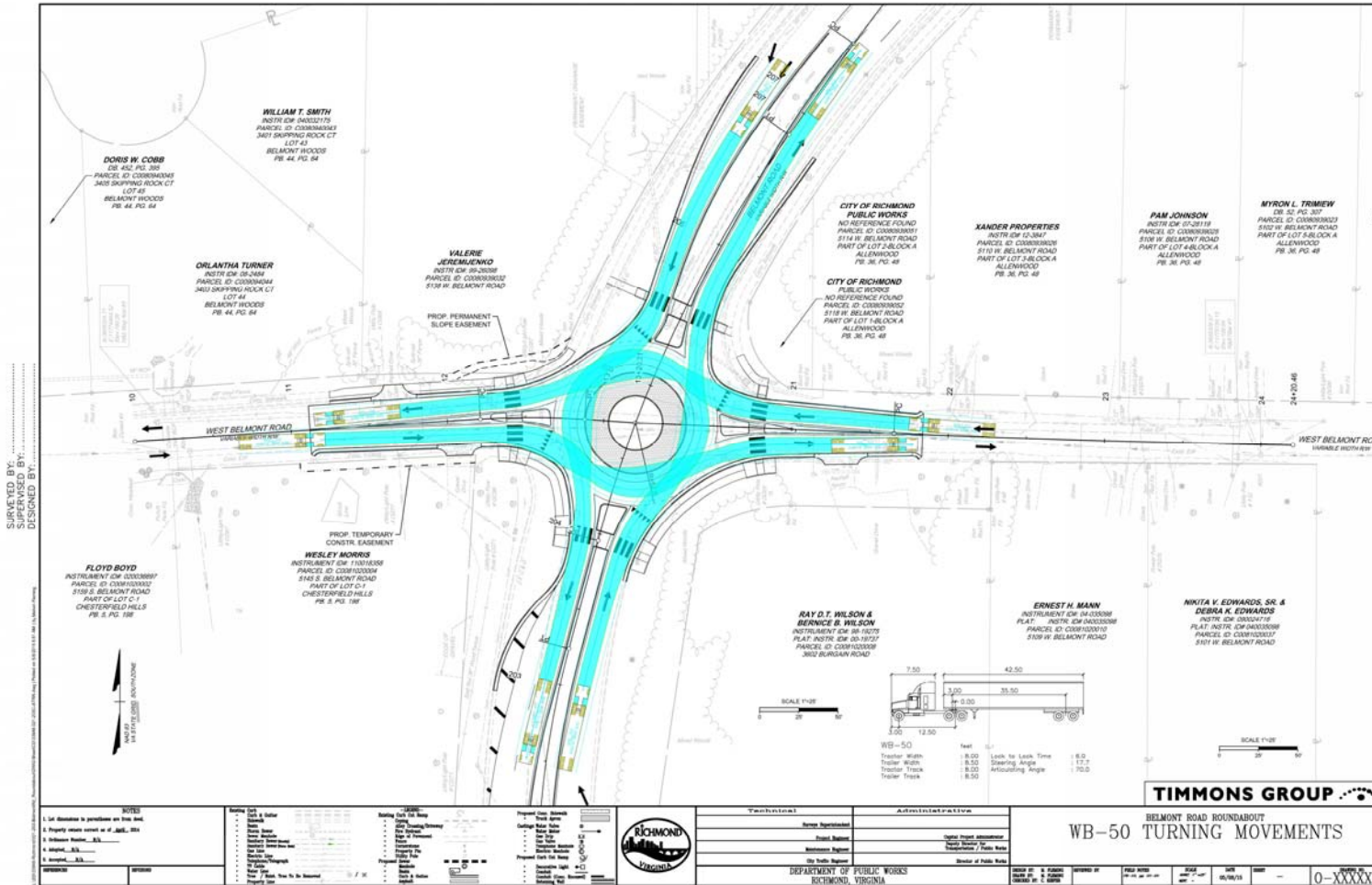
- INTERSECTION CONTROL
- CENTER ISLAND
- TRUCK APRON
- CONCRETE SIDEWALK
- LANDSCAPE



BELMONT ROAD ROUNDABOUT



AUTOTURN
FOR WB-50
VEHICLE



CITY OF RICHMOND, VIRGINIA

DEPARTMENT OF PUBLIC WORKS

ENGINEERING & TECHNICAL SERVICES

FHWA 534 DATA XXXXX			
FHWA REGION	STATE	FEDERAL PROJECT NUMBER	STATE PROJECT NUMBER
	VA.	N/A	XXX-XX-XXX

50% PRELIMINARY PLANS
NOT FOR RIGHT OF WAY OR CONSTRUCTION



BELMONT ROAD ROUNDABOUT

(INTERSECTION OF BELMONT ROAD & WEST BELMONT ROAD)

CITY OF RICHMOND	
APPROVED FOR RIGHT OF WAY	
DATE	PROJECT MANAGER
DATE	SURVEYS SUPERINTENDENT
DATE	MAINTENANCE ENGINEER
DATE	CITY TRAFFIC ENGINEER
DATE	CAPITAL PROJECTS ADMINISTRATOR
DATE	CITY ENGINEER
DATE	DIRECTOR OF PUBLIC WORKS

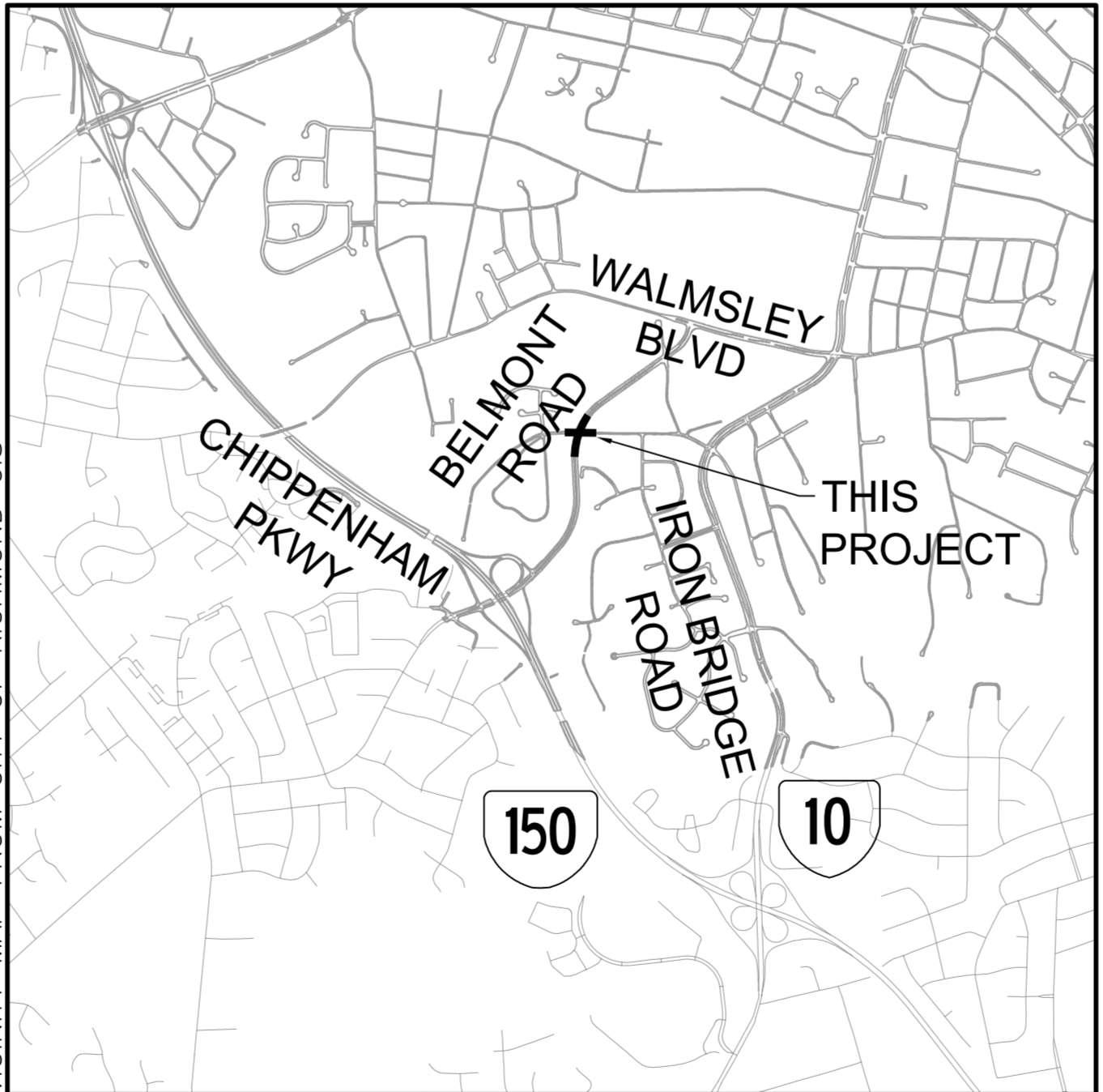
CITY OF RICHMOND	
APPROVED FOR CONSTRUCTION	
DATE	PROJECT MANAGER
DATE	SURVEYS SUPERINTENDENT
DATE	MAINTENANCE ENGINEER
DATE	CITY TRAFFIC ENGINEER
DATE	CAPITAL PROJECTS ADMINISTRATOR
DATE	CITY ENGINEER
DATE	DIRECTOR OF PUBLIC WORKS

INDEX OF SHEETS

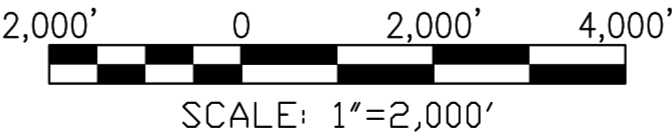
SHEET	NUMBER
COVER SHEET	1
GENERAL CONSTRUCTION NOTES	2
TYPICAL SECTIONS	2A - 2B
PLAN SHEETS	3 - 4
PROFILE SHEETS	3A - 3B

REVISIONS

NO.	DATE	COMMENTS



VICINITY MAP & PLAN SHEET LAYOUT



06/04/15

OWNER:
CITY OF RICHMOND
DEPT. OF PUBLIC WORKS
CITY HALL, RM 603, RICHMOND, VA
PROJECT MANAGER- MARITZA FELIZ-REYES
CONTACT # 804-646-6334

DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE CITY OF RICHMOND.

THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE VDOT'S 2007 ROAD AND BRIDGE SPECIFICATIONS, 2008 ROAD AND BRIDGE STANDARDS, 2011 WORK AREA PROTECTION MANUAL, 2009 MUTCD AND AS AMENDED BY THE CONTRACT PROVISIONS.

TIMMONS GROUP
YOUR VISION ACHIEVED THROUGH OURS.
1001 Boulders Pkwy., Suite 300 | Richmond, VA 23219
TEL 804.200.6500 FAX 804.560.1016 www.timmons.com
JOB# 33948.021

REVISIONS:

DRAWING NO.: O-28861

CONSTRUCTION NOTES

GENERAL NOTES

- THE CONTRACTOR SHALL PERFORM ALL WORK AND CONSTRUCTION OR INSTALLATION OF ALL ITEMS WITHIN THE EXISTING CITY OF RICHMOND RIGHT-OF-WAY.
- ALL ITEMS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF RICHMOND, THE LATEST STANDARDS AND SPECIFICATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), WHICHEVER IS MORE RESTRICTIVE, UNLESS OTHERWISE NOTED ON THE PLANS.
- PRIOR TO CONSTRUCTION OR EXCAVATION, THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF LOCATING ANY UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT THE HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. THE LOCATION OF EXISTING LINES, CONDUITS, OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THESE PLANS, AND IF SHOWN, ARE ONLY APPROXIMATELY CORRECT. THE CONTRACTOR SHALL BE LIABLE FOR ALL DAMAGE DONE TO ANY STRUCTURES OR PROPERTY THROUGH HIS NEGLIGENCE OR CARELESSNESS. THE PROJECT MANAGER SHALL BE CONTACTED IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (1-800-552-7001) PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF RICHMOND PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEERING DIVISION IN WRITING 72 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY DEVIATION FROM THE APPROVED PLANS AND/OR STANDARDS AND SPECIFICATIONS MUST BE APPROVED BY THE CITY TRAFFIC ENGINEERING DIVISION IN WRITING PRIOR TO START OF WORK.
- IF A CONFLICT IS FOUND TO EXIST, THE CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEERING DIVISION BEFORE ANY WORK IS STARTED IN ORDER TO COORDINATE THE REMAINDER OF THE WORK TO BE DONE.
- THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING RESIDENCES AND BUSINESSES DURING CONSTRUCTION. WHEN SERVICES ARE TO BE INTERRUPTED FOR CUT-INS, PLUGGING, OR ABANDONMENT ETC., THE CONTRACTOR SHALL PROVIDE THE CITY WITH 72 HOURS NOTICE. THE AFFECTED PROPERTY OWNER, RESIDENCE OR BUSINESS SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF SERVICE INTERRUPTIONS. ALL UTILITY SERVICE INTERRUPTIONS SHALL BE KEPT TO AN ABSOLUTE MINIMUM. THE CONTRACTOR SHALL PROVIDE THE PROJECT MANAGER WITH A DETAILED PLAN AND SCHEDULE FOR SERVICE INTERRUPTIONS. A MINIMUM OF FIVE (5) WORKING DAYS IN ADVANCE OF SUCH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND SHALL REPLACE AT NO ADDITIONAL COST, IF DAMAGED, AS DIRECTED BY THE CITY. EXISTING UTILITIES THAT ARE IN CONFLICT AND MAY NEED TO BE REMOVED OR RELOCATED WILL BE COORDINATED BY THE CITY. RELOCATIONS OF CITY FACILITIES WILL BE ADMINISTERED BY THE CITY DEPARTMENT OF PUBLIC UTILITIES. IN CASE OF EMERGENCIES OF UTILITY BREAKAGE/CONFLICT CONTACT:

UTILITY	TELEPHONE NUMBER
GAS	646-8300, 646-8309, 646-8310
WATER	646-8300, 646-8309, 646-8310
SEWER	646-8600, 646-8426
POWER	888-667-3000
- ALL UTILITY CLEARANCES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE OBTAINED PRIOR TO CONSTRUCTION. EXCAVATION WITHIN 1.5' OF GAS OR ELECTRIC LINES SHALL BE PERFORMED BY HAND.
- THE CONTRACTOR SHALL SUBMIT A SEPARATE INTERSECTION TRANSITION PLAN, TO THE ENGINEER FOR APPROVAL A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF INTERSECTION CONSTRUCTION. INCLUDED IN THIS PLAN SHALL BE TRAFFIC MAINTENANCE PROCEDURES TO BE USED DURING CONSTRUCTION. SEE TRAFFIC MANAGEMENT PLAN NARRATIVE ON THIS SHEET.
- INSTALLATION DIMENSIONS SHOWN WITHIN THE PLANS ARE TYPICAL. MODIFICATIONS SHALL BE MADE AS REQUIRED UNDER APPROVAL FROM THE ENGINEER.
- DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE CITY OF RICHMOND.
- THE CONTRACTOR SHALL ADEQUATELY SUPPORT, AND BE RESPONSIBLE FOR, ALL UTILITY LINES EXPOSED AS A RESULT OF CONSTRUCTION ACTIVITY SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE ACCESS THROUGH THE SITE AS DIRECTED BY THE ENGINEER AT ALL TIMES DURING CONSTRUCTION AND SHALL ENSURE THE SAFETY OF PEDESTRIANS FROM TRAFFIC AND CONSTRUCTION HAZARDS.
- THE TOTAL DISTURBED AREA FOR THE PROPOSED TRAFFIC IMPROVEMENTS IS LESS THAN 10,000 SF FOR THIS PROJECT, AND THEREFORE EXEMPTED FROM THE NEED FOR A FORMAL EROSION & SEDIMENT CONTROL PLAN.

- THE CONTRACTOR SHALL NOTIFY THE SURVEYS DIVISION OF THE CITY OF RICHMOND'S DEPARTMENT OF PUBLIC WORKS (646-0436 OR 646-5404) AT LEAST 48 HOURS PRIOR TO ANY ACTIVITIES WHICH MAY DISTURB THE LOCATION OR THE STABILITY OF ANY RIGHT-OF-WAY CORNERSTONE OR MARKER. THE CONTRACTOR WILL COORDINATE HIS WORK WITH THE SURVEYS DIVISION REPRESENTATIVE REGARDING THE PLACEMENT OR REPLACEMENT OF R/W CORNERSTONES OR MARKERS IN ANY AREAS BEING AFFECTED BY CONSTRUCTION. ALL PLACEMENT OR REPLACEMENT OF R/W CORNERSTONES OR MARKERS WILL BE PERFORMED BY SURVEYS DIVISION. THE CONTRACTOR WILL BE RESPONSIBLE FOR REIMBURSING THE CITY FOR ANY COSTS ASSOCIATED WITH REPLACING ANY R/W CORNERSTONES OR MARKERS THAT ARE DISTURBED WITHOUT GIVING PROPER NOTIFICATION.
- NO SURVEY WAS AUTHORIZED BY THE CITY FOR THE PROPOSED LAYOUT AND DESIGN OF INTERSECTION SAFETY IMPROVEMENTS. THEREFORE, CITY OF RICHMOND GIS MAPPING DATA WAS DEEMED ACCEPTABLE BY THE CITY AND USED IN LIEU OF TRADITIONAL SURVEY.
- ALL STREET EXCAVATION AND/OR RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE CITY OF RICHMOND'S RIGHT OF WAY EXCAVATION & RESTORATION MANUAL.
- IF THE CONTRACTOR WISHES TO PERFORM WORK DURING EVENING HOURS AND/OR WEEKENDS, HE MUST FIRST RECEIVE APPROVAL FROM THE CITY PROJECT MANAGER.
- CONTRACTOR SHALL OBTAIN AN APPROVED WORK IN STREET PERMIT (WISP).
- UTILITY TEST HOLE DATA WILL BE PROVIDED BY THE CITY OF RICHMOND TO THE CONTRACTOR PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL UTILITIES THAT ARE WITHIN THE CONSTRUCTION AREA SHALL BE RAISED TO GRADE. THE CONTRACTOR SHALL ENSURE THAT ALL VALVES, DRIPS, PURGES, MANHOLES, OR OTHER BOXES ASSOCIATED WITH ALL UTILITIES IN THE CONSTRUCTION AREA ARE ADJUSTED PROPERLY TO THE NEW GRADE.
- DURING EXCAVATION FOR INSTALLATION, THE CONTRACTOR SHALL TAKE CARE TO ENSURE THAT NO UTILITIES OR MAIN LINES ARE EXPOSED OR DAMAGED DURING THE EXCAVATION PROCESS. ANY VEGETATION THAT IS TO BE PLANTED SHALL NOT BE PLACED DIRECTLY OVER ANY UTILITY MAIN.
- CONSTRUCTION SHALL BE PROHIBITED ON STREETS BETWEEN THE HOURS OF 7:00 AM TO 9:00 AM AND 4:00 PM TO 6:00 PM, MONDAY THROUGH FRIDAY.

PAVEMENT MARKING AND SIGNING

- THE CONTRACTOR SHALL PREPARE THE PAVEMENT SURFACE FOR PROPER ADHESION. ANY SWEEPING OR REMOVAL OF DEBRIS, GRAVEL, DIRT, OR OTHER FOREIGN MATERIALS SHALL BE CONSIDERED AS INCIDENTAL TO THE INSTALLATION.
- THE CONTRACTOR SHALL REMOVE COMPLETELY, ALL PREVIOUS PAVEMENT MARKINGS, WHICH, IN THE OPINION OF THE PROJECT MANAGER, CONFLICT WITH THE NEW PAVEMENT MARKINGS.
- UNLESS OTHERWISE SPECIFIED, THE BASIS OF MEASUREMENT SHALL BE ALONG THE LONGITUDINAL CENTERLINE OF PAVEMENT MARKINGS. MEASUREMENT FOR LEGENDS SHALL BE PER MESSAGE, COMPLETE AND IN PLACE.
- PRIOR TO APPLICATION, THE CONTRACTOR SHALL FIELD CHECK AND LOCATE ALL PAVEMENT MARKINGS TO THE SATISFACTION OF THE PROJECT MANAGER.
- ALL MARKINGS IMPROPERLY APPLIED OR LOCATED SHALL BE REMOVED AND CORRECTLY REAPPLIED, AT THE CONTRACTOR'S EXPENSE.
- THERMOPLASTIC PAVEMENT MARKINGS SHALL NOT BE INSTALLED AT ANYTIME WITHIN A FORTY-EIGHT (48) HOUR PERIOD FOLLOWING A RAINFALL.
- MARKING MATERIAL SHALL BE APPLIED AT THE SPECIFIED DIMENSIONS AND AT A RATE TO RESULT IN A MARKING THICKNESS OF 90 MILS ± 5 MILS (NOT INCLUDING GLASS BEAD TOP DRESSING).
- THE MARKINGS SHALL BE PROVIDED IN SPECIFIED WIDTHS AND SHAPES. PREFORMED WORKS AND SYMBOLS SHALL CONFORM TO THE APPLICABLE SHAPES AND SIZES OUTLINED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR STREETS AND HIGHWAYS, LATEST EDITION.
- THE CONTRACTOR SHALL ENSURE THAT A 4" DIAMETER PVC SLEEVE IS PLACED IN IMPERVIOUS AREAS SUCH AS CONCRETE SIDEWALKS TO PERMIT THE INSTALLATION OF GROUND-MOUNTED SIGNS AT THESE LOCATIONS.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS OR IN CONTRACT DOCUMENTS, ALL PAVEMENT MARKINGS AND LEGENDS IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH VDOT SPECIFICATIONS.
- EXISTING SIGNS NOT NEEDED SHALL BE REMOVED AND TURNED OVER TO THE DEPARTMENT OF PUBLIC WORKS DESIGNATED LOCATION.
- STOP BAR, SOLID WHITE LINES BEING 2' WIDE, SHALL COMPLETELY TRAVERSE ALL TRAFFIC LANES.

MANTENANCE OF TRAFFIC GENERAL NOTES

- THE CONTRACTOR MUST ADVISE EMERGENCY COMMUNICATIONS AT 804-646-5700 OF THE CITY ON ALL PLANNED LANE CLOSURES 24 HOURS IN ADVANCE.
- TRAFFIC INCIDENTS THAT MAY OCCUR IN THE WORK ZONE:
 - INSPECTOR SHALL NOTIFY CITY PROJECT MANAGER OF THE TRAFFIC INCIDENT AND TAKE PICTURES OF THE WORK ZONE SETUP.
 - CONTRACTOR MAY HAVE TO SHUT DOWN THE WORK DEPENDING UPON THE INCIDENT SEVERITY.
 - THE CITY POLICE WILL DETERMINE THE RESPONSE NECESSARY TO ALLOW TRAVELING PUBLIC AROUND INCIDENT, TAKE CONTROL OF THE INCIDENT, AND DIRECT ITS CLEARING AND RESTORATION TO NORMAL TRAFFIC CONDITIONS.
- THE CITY POLICE INCIDENT REPORT WILL BE REVIEWED BY THE CITY PROJECT MANAGER AT 804-646-5402 TO DETERMINE ANY NEEDED MODIFICATIONS TO THE WORK ZONE LAYOUT. IF CHANGES ARE NECESSARY THEN A MEETING WILL BE CALLED WITH THE CONTRACTOR, CITY INSPECTOR AND CITY PROJECT MANAGER TO DISCUSS MODIFICATION AND IMPLEMENTATION OF AN IMPROVED TRAFFIC CONTROL PLAN.
- THE WORK ZONE SHALL BE MAINTAINED ACCORDING TO THE CITY'S DEPARTMENT OF PUBLIC WORKS SPECIAL PROVISIONS AND TRAFFIC CONTROL SPECIFICATIONS FROM THE VDOT 2011 WORK AREA PROTECTION MANUAL.
- THE CONTRACTOR WILL MAKE ARRANGEMENTS TO STORE EQUIPMENT AND MATERIALS.
- A WORK IN STREETS PERMIT (WISP) SHALL BE OBTAINED FROM THE CITY OF RICHMOND PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. THIS PERMIT CAN BE OBTAINED BY CALLING ANDRE WILLIAMS 804-646-5171.

PRELIMINARY RIGHT OF WAY DATA SHEET

PARCEL	OWNER	PERM. SLOPE EASE.	T.C.E.
001	WESLEY MORRIS	0.013 AC.	
002	VALERIE JEREMIJENKO		0.013 AC.

TIMMONS GROUP

BELMONT ROAD ROUNDABOUT CONSTRUCTION NOTES

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

DESIGN BY: M. FLEMING
DRAWN BY: M. FLEMING
CHECKED BY: C. KIEFER

REVIEWED BY:

FIELD NOTES
FB-KK, pp XX-KK

SCALE
HORIZ. 1" = 25'
VERT. -

DATE
06/04/15

SHEET
2

DRAWING NO.
0-28861

NOTES

- Lot dimensions in parentheses are from deed.
- Property owners correct as of April, 2014
- Ordinance Number N/A
- Adopted N/A
- Accepted N/A

REVISIONS

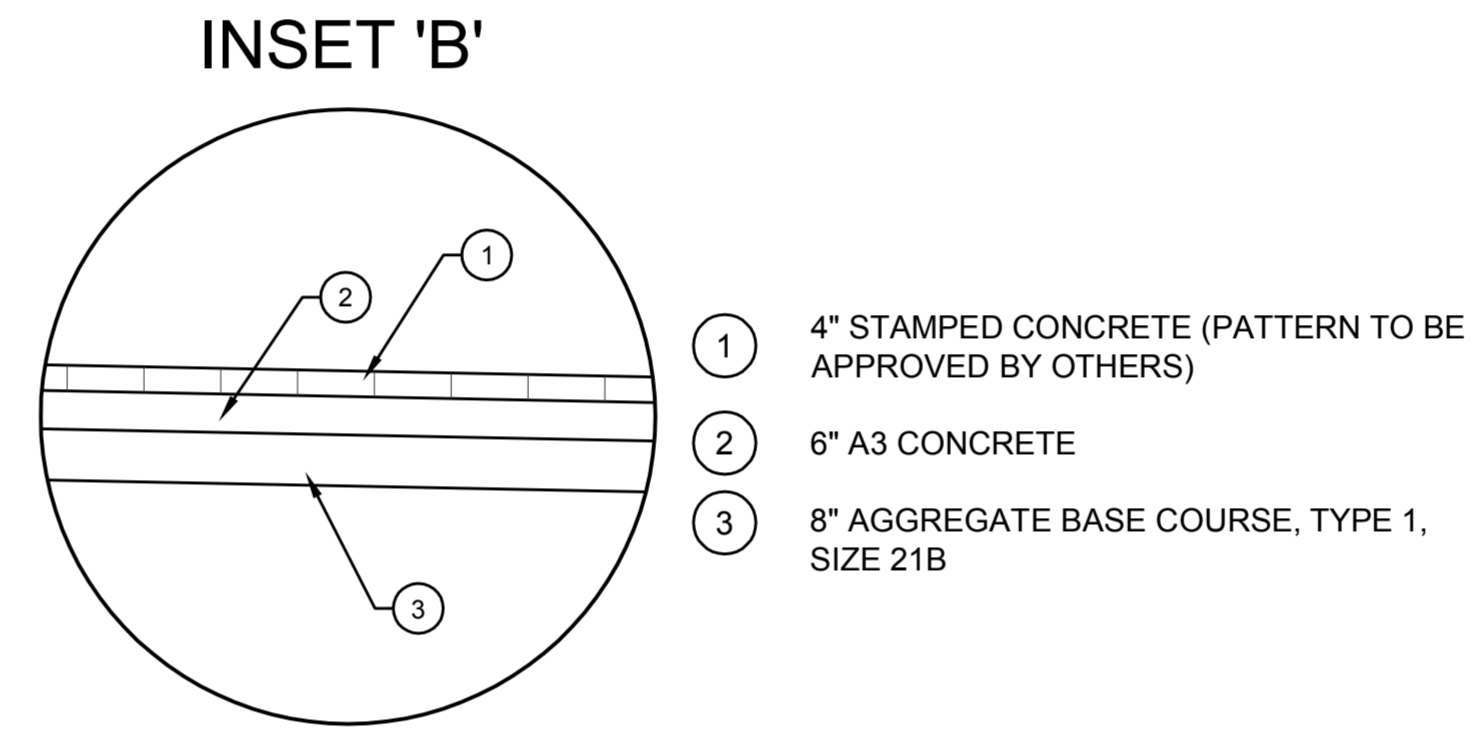
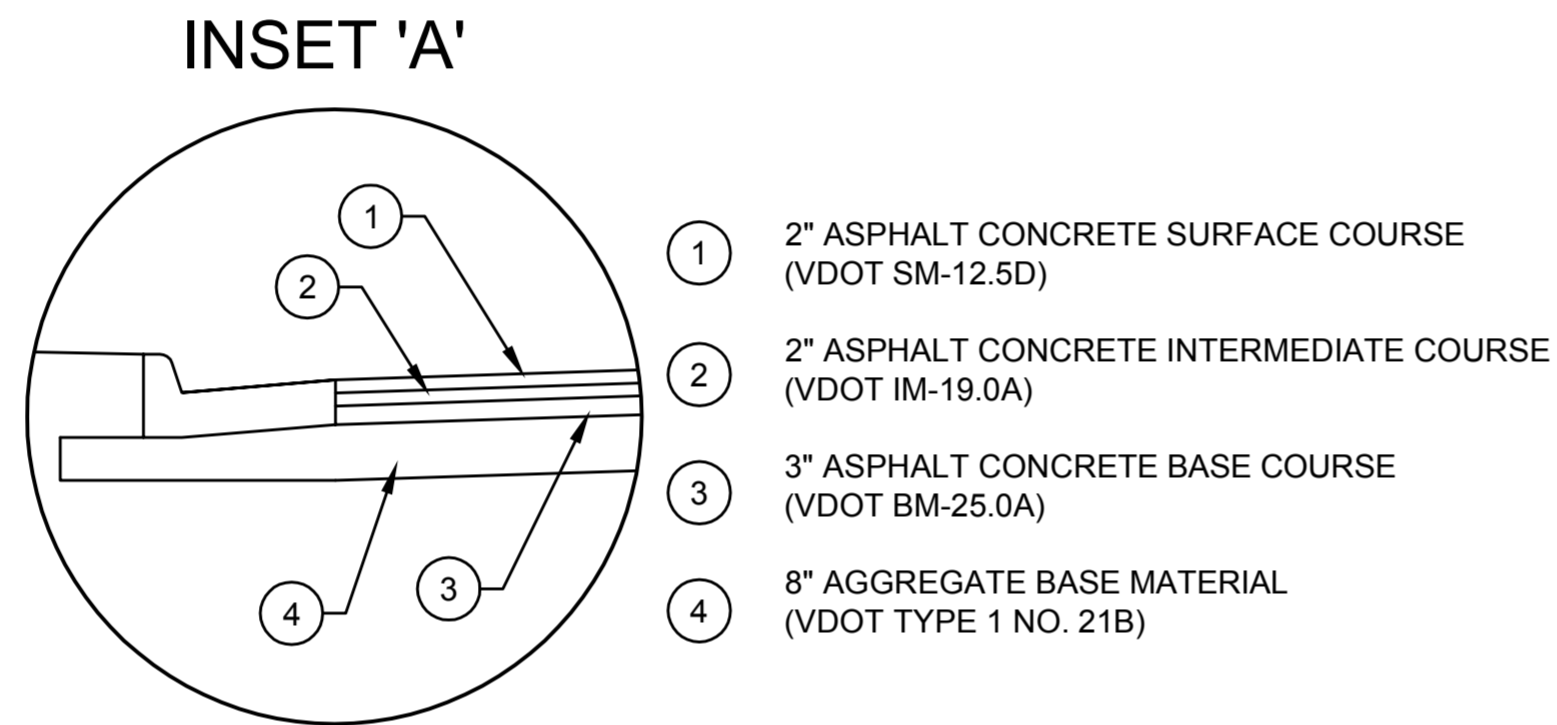
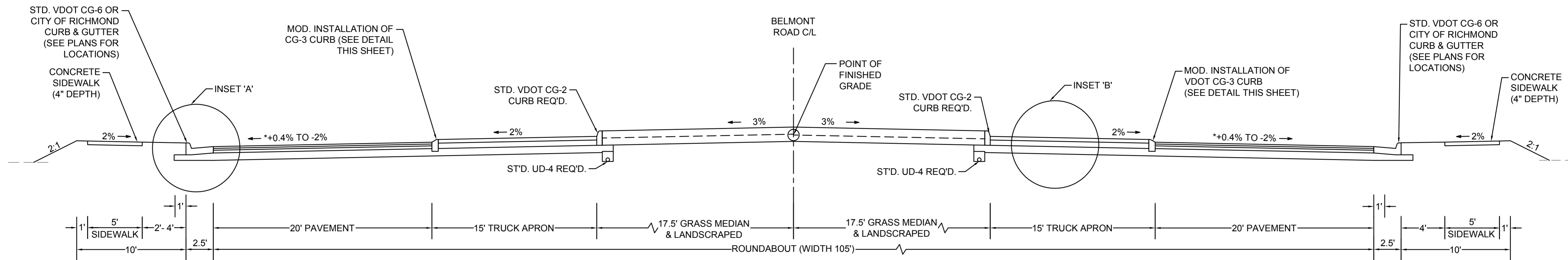
Existing Curb	Existing Sidewalk	Existing -LEGEND-	Proposed Conc. Sidewalk
• Curb & Gutter	• Sidewalk	• Existing Curb Cut Ramp	• Truck Apron
• Base	• Storm Sewer	• Coping	• Castings: Water Valve
• Sewer Manhole	• Sanitary Sewer (Swag)	• Alley Crossing/Driveway	• Water Meter
• Sanitary Sewer (Swag)	• Sanitary Sewer (Swag)	• Fire Hydrant	• Gas Drip
• Sanitary Sewer (Swag)	• Gas Line	• Edge of Pavement	• Gas Valve
• Gas Line	• Electric Line	• Fences	• Telephone Manhole
• Telephone/Polegraph	• TV Cable	• Cornerstone	• Electric Manhole
• Water Line	• Tree / Exst. Tree To Be Removed	• Property Pin	• Proposed Curb Cut Ramp
• Property Line		• Utility Pole	• Decorative Light
		• Proposed Sewer	• Conduit
		• Manhole	• Conduit (Conc. Encased)
		• Basin	• Retaining Wall
		• Curb & Gutter	
		• Asphalt	



SURVEYED BY:
SUPERVISED BY:
DESIGNED BY:

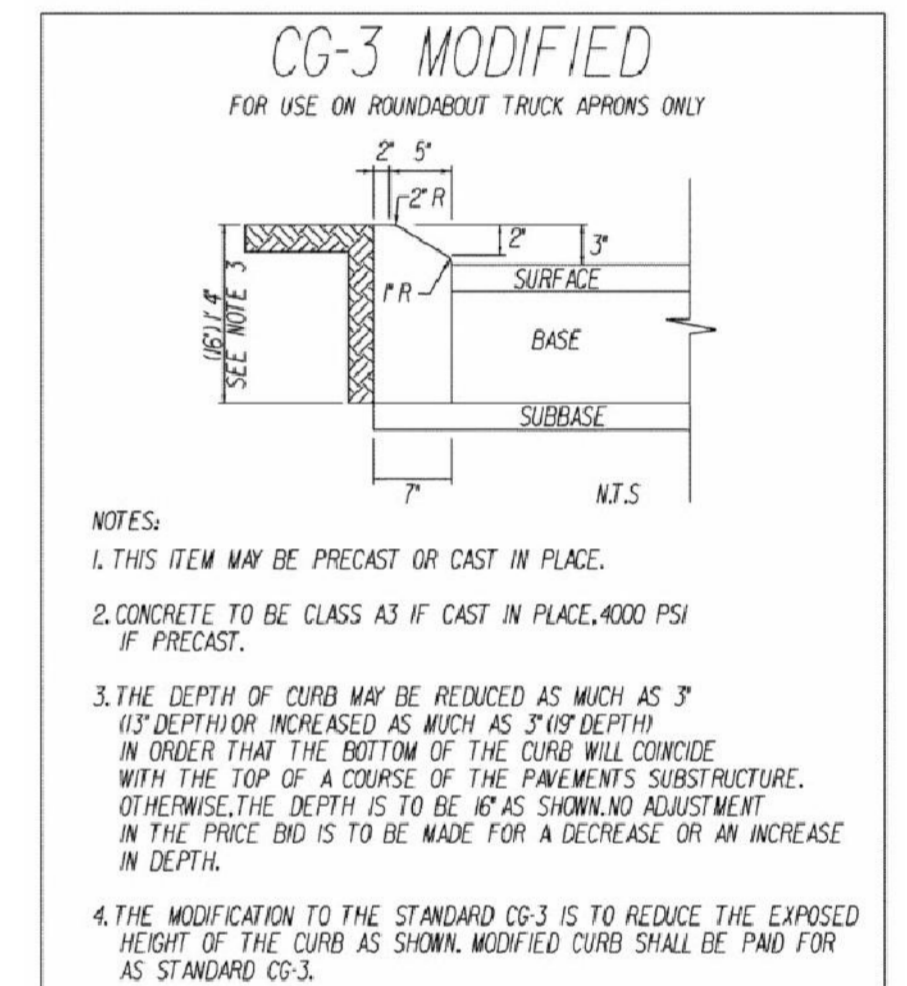
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BELMONT ROAD ROUNDABOUT TYPICAL SECTION



* SEE GRADING PLAN AND CROSS SECTIONS FOR CROSS SLOPE GRADES

Figure 7: CG-3 Modified Truck Apron Curb Detail



SURVEYED BY: TIMMONS GROUP
 SUPERVISED BY: C. KIEFER
 DESIGNED BY: M. FLEMING

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NOTES

1. Lot dimensions in parentheses are from deed.
2. Property owners correct as of April, 2014
3. Ordinance Number N/A
4. Adopted N/A
5. Accepted N/A

Existing Curb	
Curb & Gutter	---
Sidewalk	---
Basin	---
Storm Sewer	---
Sewer Manhole	---
Sanitary Sewer (small)	---
Sanitary Sewer (large)	---
Gas Line	---
Electric Line	---
Telephone/Telegraph	---
TV Cable	---
Water Line	---
Tree / Exist. Tree To Be Removed	⊗ / ⊗
Property Line	---

LEGEND

Existing Curb Cut Ramp	
Coping	---
Alley Crossing/Driveway	---
Fire Hydrant	---
Edge of Pavement	---
Fence	---
Cornerstone	---
Property Pin	---
Utility Pole	---

Proposed Conc. Sidewalk	
Truck Apron	---
Castings: Water Valve	---
Water Meter	---
Gas Drip	---
Gas Valve	---
Telephone Manhole	---
Electric Manhole	---
Proposed Curb Cut Ramp	---
Decorative Light	---
Conduit	---
Conduit (Conc. Encased)	---
Retaining Wall	---



Technical

Surveys Superintendent
Project Engineer
Maintenance Engineer
City Traffic Engineer

Administrative

Capital Project Administrator
Deputy Director for Transportation / Public Works
Director of Public Works

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

BELMONT ROAD ROUNDABOUT TYPICAL SECTIONS

DESIGN BY: M. FLEMING
DRAWN BY: M. FLEMING
CHECKED BY: C. KIEFER

REVIEWED BY:

FIELD NOTES
FB-XX, pp XX-XX

SCALE
HORIZ: 1" = 25'
VERT: -

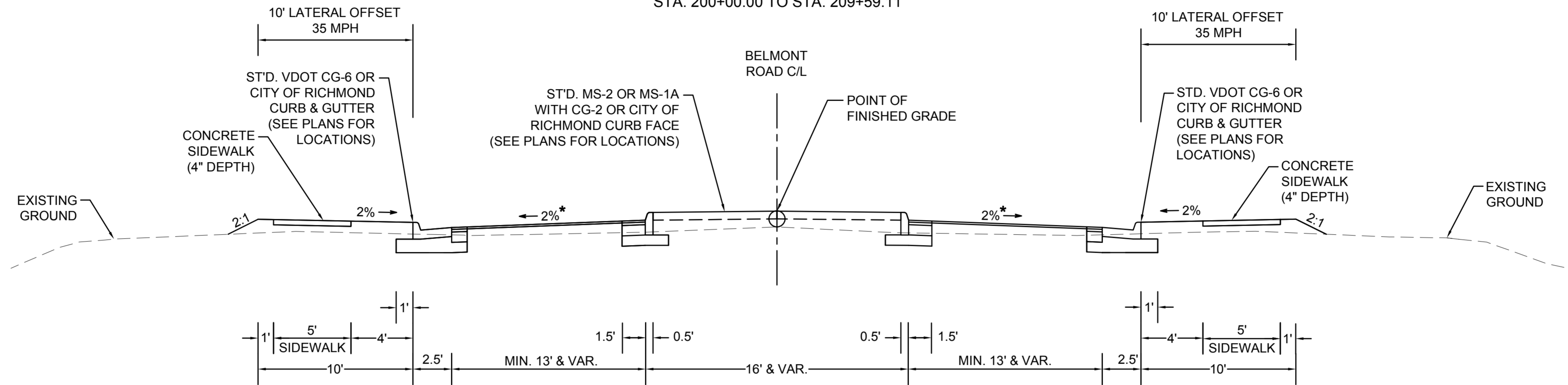
DATE
06/04/15

SHEET
2A

DRAWING NO.
0-28861

BELMONT ROAD TYPICAL SECTION

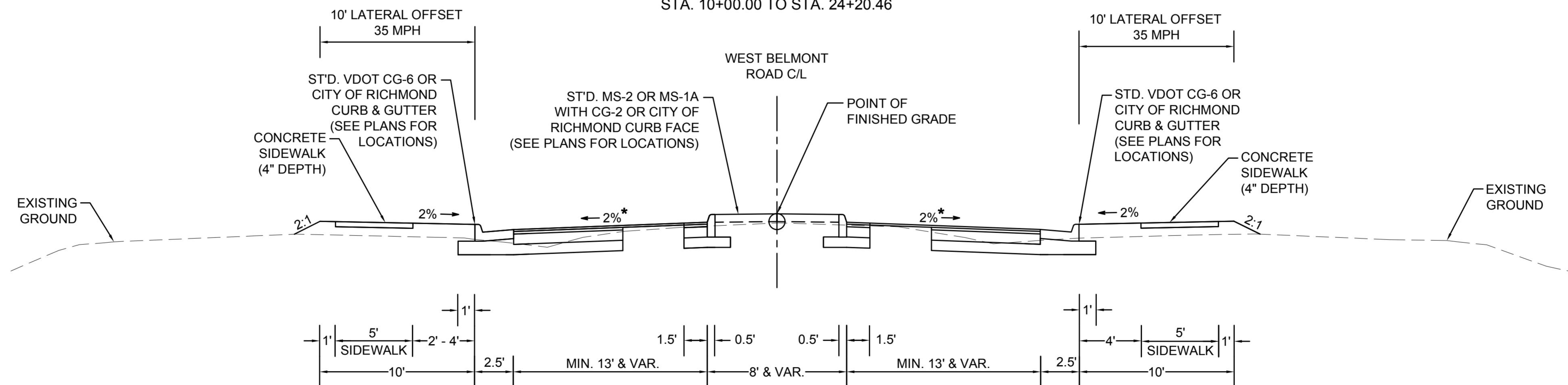
STA. 200+00.00 TO STA. 209+59.11



* CROSS SLOPES TO MATCH EXISTING ROAD
CROSS SLOPES TO MAINTAIN 1.5" MIN. OVERLAY

WEST BELMONT ROAD TYPICAL SECTION

STA. 10+00.00 TO STA. 24+20.46



* CROSS SLOPES TO MATCH EXISTING ROAD
CROSS SLOPES TO MAINTAIN 1.5" MIN. OVERLAY

NOTES

- Lot dimensions in parentheses are from deed.
- Property owners correct as of April, 2014
- Ordinance Number N/A
- Adopted N/A
- Accepted N/A

Existing Curb	Symbol
Curb & Gutter	=====
Sidewalk	=====
Basin	=====
Storm Sewer	=====
Sewer Manhole	=====
Sanitary Sewer (small)	=====
Sanitary Sewer (large)	=====
Gas Line	=====
Electric Line	=====
Telephone/Telegraph	=====
TV Cable	=====
Water Line	=====
Tree / Exist. Tree To Be Removed	=====
Property Line	=====

Existing Curb Cut Ramp	Symbol
Coping	=====
Alley Crossing/Driveway	=====
Fire Hydrant	=====
Edge of Pavement	=====
Fence	=====
Cornerstone	=====
Property Pin	=====
Utility Pole	=====

Proposed Conc. Sidewalk	Symbol
Truck Apron	=====
Castings: Water Valve	=====
Water Meter	=====
Gas Drip	=====
Gas Valve	=====
Telephone Manhole	=====
Electric Manhole	=====
Proposed Curb Cut Ramp	=====
Decorative Light	=====
Conduit	=====
Conduit (Conc. Encased)	=====
Retaining Wall	=====



Technical	Administrative
Surveys Superintendent	
Project Engineer	Capital Project Administrator
Maintenance Engineer	Deputy Director for Transportation / Public Works
City Traffic Engineer	Director of Public Works

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

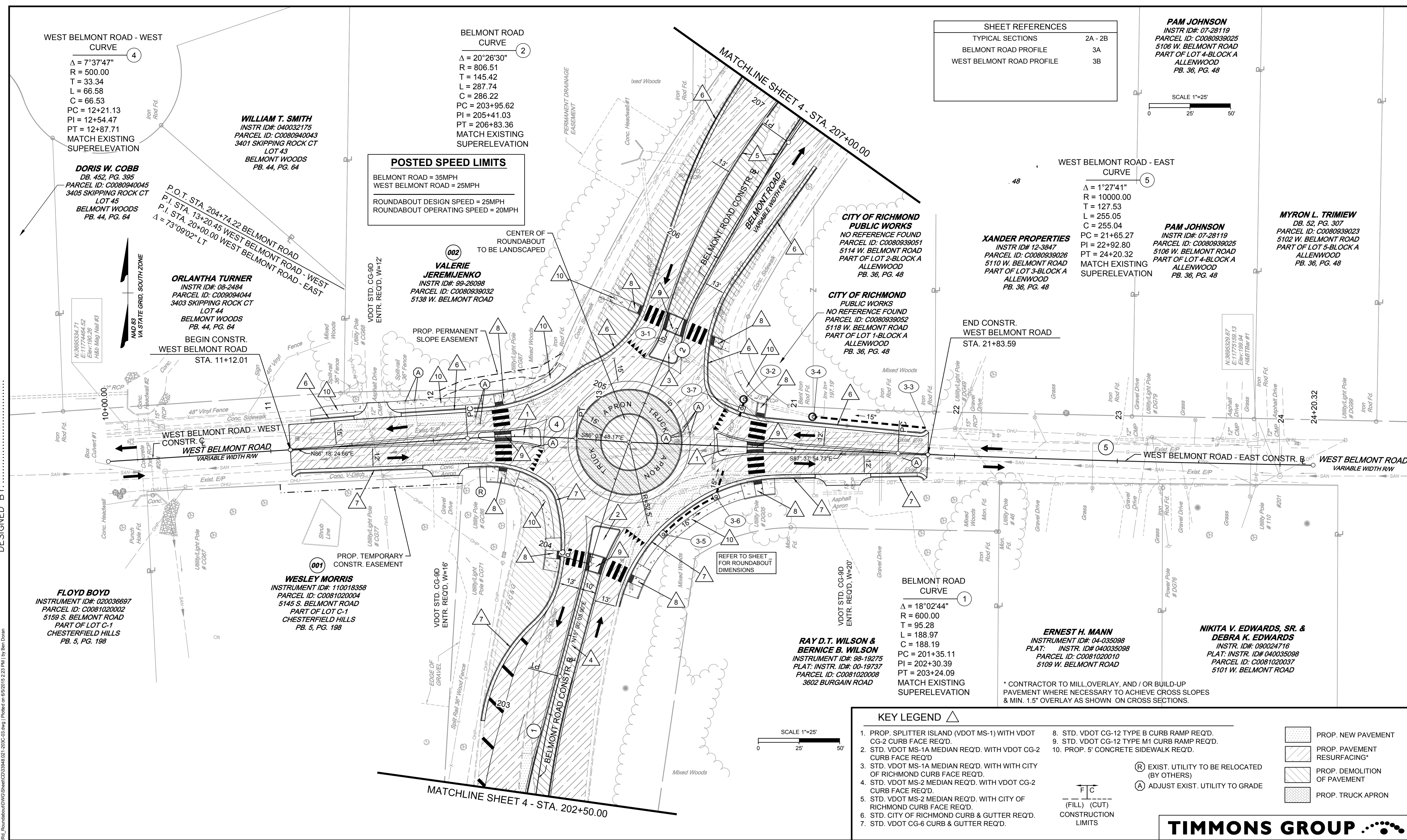
BELMONT ROAD ROUNDABOUT TYPICAL SECTIONS

DESIGN BY: M. FLEMING	REVIEWED BY:	FIELD NOTES: FB-XX, pp XX-XX	SCALE: HORIZ. 1" = 25'	DATE: 06/04/15	SHEET: 2B	DRAWING NO.: 0-28861
DRAWN BY: M. FLEMING	CHECKED BY: C. KIEFER		VERT.:			

SURVEYED BY: TIMMONS GROUP
 SUPERVISED BY: C. KIEFER
 DESIGNED BY: M. FLEMING

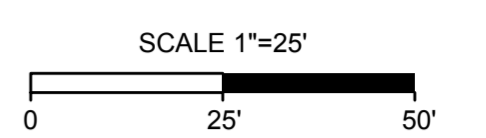
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SURVEYED BY:
 SUPERVISED BY:
 DESIGNED BY:



SHEET REFERENCES	
TYPICAL SECTIONS	2A - 2B
BELMONT ROAD PROFILE	3A
WEST BELMONT ROAD PROFILE	3B

PAM JOHNSON
 INSTR. ID#: 07-28119
 PARCEL ID: C0080939025
 5106 W. BELMONT ROAD
 PART OF LOT 4-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48



WEST BELMONT ROAD - EAST
 CURVE 5
 $\Delta = 1^{\circ}27'41''$
 $R = 10000.00$
 $T = 127.53$
 $L = 255.05$
 $C = 255.04$
 $PC = 21+65.27$
 $PI = 22+92.80$
 $PT = 24+20.32$
 MATCH EXISTING
 SUPERELEVATION

MYRON L. TRIMIEW
 DB. 52, PG. 307
 PARCEL ID: C0080939023
 5102 W. BELMONT ROAD
 PART OF LOT 5-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

PAM JOHNSON
 INSTR. ID#: 07-28119
 PARCEL ID: C0080939025
 5106 W. BELMONT ROAD
 PART OF LOT 4-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

XANDER PROPERTIES
 INSTR. ID#: 12-3847
 PARCEL ID: C0080939026
 5110 W. BELMONT ROAD
 PART OF LOT 3-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

**CITY OF RICHMOND
 PUBLIC WORKS**
 NO REFERENCE FOUND
 PARCEL ID: C0080939051
 5114 W. BELMONT ROAD
 PART OF LOT 2-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

**CITY OF RICHMOND
 PUBLIC WORKS**
 NO REFERENCE FOUND
 PARCEL ID: C0080939052
 5118 W. BELMONT ROAD
 PART OF LOT 1-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

END CONSTR.
 WEST BELMONT ROAD
 STA. 21+83.59

BELMONT ROAD
 CURVE 2
 $\Delta = 20^{\circ}26'30''$
 $R = 806.51$
 $T = 145.42$
 $L = 287.74$
 $C = 286.22$
 $PC = 203+95.62$
 $PI = 205+41.03$
 $PT = 206+83.36$
 MATCH EXISTING
 SUPERELEVATION

POSTED SPEED LIMITS
 BELMONT ROAD = 35MPH
 WEST BELMONT ROAD = 25MPH
 ROUNDABOUT DESIGN SPEED = 25MPH
 ROUNDABOUT OPERATING SPEED = 20MPH

WILLIAM T. SMITH
 INSTR. ID#: 040032175
 PARCEL ID: C0080940043
 3401 SKIPPING ROCK CT
 LOT 43
 BELMONT WOODS
 PB. 44, PG. 64

DORIS W. COBB
 DB. 452, PG. 395
 PARCEL ID: C0080940045
 3405 SKIPPING ROCK CT
 LOT 45
 BELMONT WOODS
 PB. 44, PG. 64

ORLANATHA TURNER
 INSTR. ID#: 08-2484
 PARCEL ID: C0080939044
 3403 SKIPPING ROCK CT
 LOT 44
 BELMONT WOODS
 PB. 44, PG. 64

**VALERIE
 JEREMIJENKO**
 INSTR. ID#: 99-26098
 PARCEL ID: C0080939032
 5138 W. BELMONT ROAD

BEGIN CONSTR.
 WEST BELMONT ROAD
 STA. 11+12.01

WEST BELMONT ROAD - WEST
 CONSTR. C
 WEST BELMONT ROAD
 VARIABLE WIDTH RW

WEST BELMONT ROAD - EAST
 CONSTR. B
 WEST BELMONT ROAD
 VARIABLE WIDTH RW

FLOYD BOYD
 INSTRUMENT ID#: 020036697
 PARCEL ID: C0081020002
 5159 S. BELMONT ROAD
 PART OF LOT C-1
 CHESTERFIELD HILLS
 PB. 5, PG. 198

WESLEY MORRIS
 INSTRUMENT ID#: 110018358
 PARCEL ID: C0081020004
 5145 S. BELMONT ROAD
 PART OF LOT C-1
 CHESTERFIELD HILLS
 PB. 5, PG. 198

**RAY D.T. WILSON &
 BERNICE B. WILSON**
 INSTRUMENT ID#: 99-19275
 PLAT: INSTR. ID#: 00-19737
 PARCEL ID: C0081020008
 3602 BURGAIN ROAD

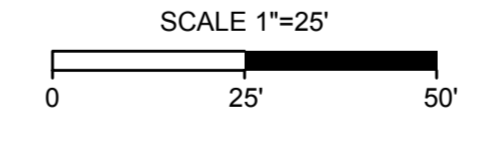
ERNEST H. MANN
 INSTRUMENT ID#: 04-035098
 PLAT: INSTR. ID#: 040035098
 PARCEL ID: C0081020010
 5109 W. BELMONT ROAD

**NIKITA V. EDWARDS, SR. &
 DEBRA K. EDWARDS**
 INSTR. ID#: 090024716
 PLAT: INSTR. ID#: 040035098
 PARCEL ID: C0081020037
 5101 W. BELMONT ROAD

* CONTRACTOR TO MILL, OVERLAY, AND / OR BUILD-UP
 PAVEMENT WHERE NECESSARY TO ACHIEVE CROSS SLOPES
 & MIN. 1.5" OVERLAY AS SHOWN ON CROSS SECTIONS.

KEY LEGEND

- | | | | |
|--|---|--|--|
| 1. PROP. SPLITTER ISLAND (VDOT MS-1) WITH VDOT CG-2 CURB FACE REQ'D. | 8. STD. VDOT CG-12 TYPE B CURB RAMP REQ'D. | | PROP. NEW PAVEMENT |
| 2. STD. VDOT MS-1A MEDIAN REQ'D. WITH VDOT CG-2 CURB FACE REQ'D. | 9. STD. VDOT CG-12 TYPE M1 CURB RAMP REQ'D. | | PROP. PAVEMENT RESURFACING* |
| 3. STD. VDOT MS-1A MEDIAN REQ'D. WITH WITH CITY OF RICHMOND CURB FACE REQ'D. | 10. PROP. 5' CONCRETE SIDEWALK REQ'D. | | PROP. DEMOLITION OF PAVEMENT |
| 4. STD. VDOT MS-2 MEDIAN REQ'D. WITH VDOT CG-2 CURB FACE REQ'D. | | | PROP. TRUCK APRON |
| 5. STD. VDOT MS-2 MEDIAN REQ'D. WITH CITY OF RICHMOND CURB FACE REQ'D. | | | |
| 6. STD. CITY OF RICHMOND CURB & GUTTER REQ'D. | | | |
| 7. STD. VDOT CG-6 CURB & GUTTER REQ'D. | | | |
| | | | EXIST. UTILITY TO BE RELOCATED (BY OTHERS) |
| | | | ADJUST EXIST. UTILITY TO GRADE |



F/C
 (FILL) (CUT)
 CONSTRUCTION
 LIMITS



BELMONT ROAD ROUNDABOUT
BELMONT ROAD PLAN SHEET

NOTES
1. Lot dimensions in parentheses are from deed.
2. Property owners correct as of April, 2014
3. Ordinance Number: N/A
4. Adopted: N/A
5. Accepted: N/A

Existing	Proposed
Curb & Gutter	Proposed Conc. Sidewalk
Sidewalk	Truck Apron
Basin	Castings: Water Valve
Storm Sewer	Water Meter
Sewer Manhole	Gas Drip
Sanitary Sewer (small)	Gas Valve
Sanitary Sewer (large)	Telephone Manhole
Gas Line	Electric Manhole
Telephone/Telegraph	Utility Pole
Electric Line	Proposed Sewer
TV Cable	Manhole
Water Line	Basin
Tree / Exist. Tree To Be Removed	Curb & Gutter
Property Line	Asphalt



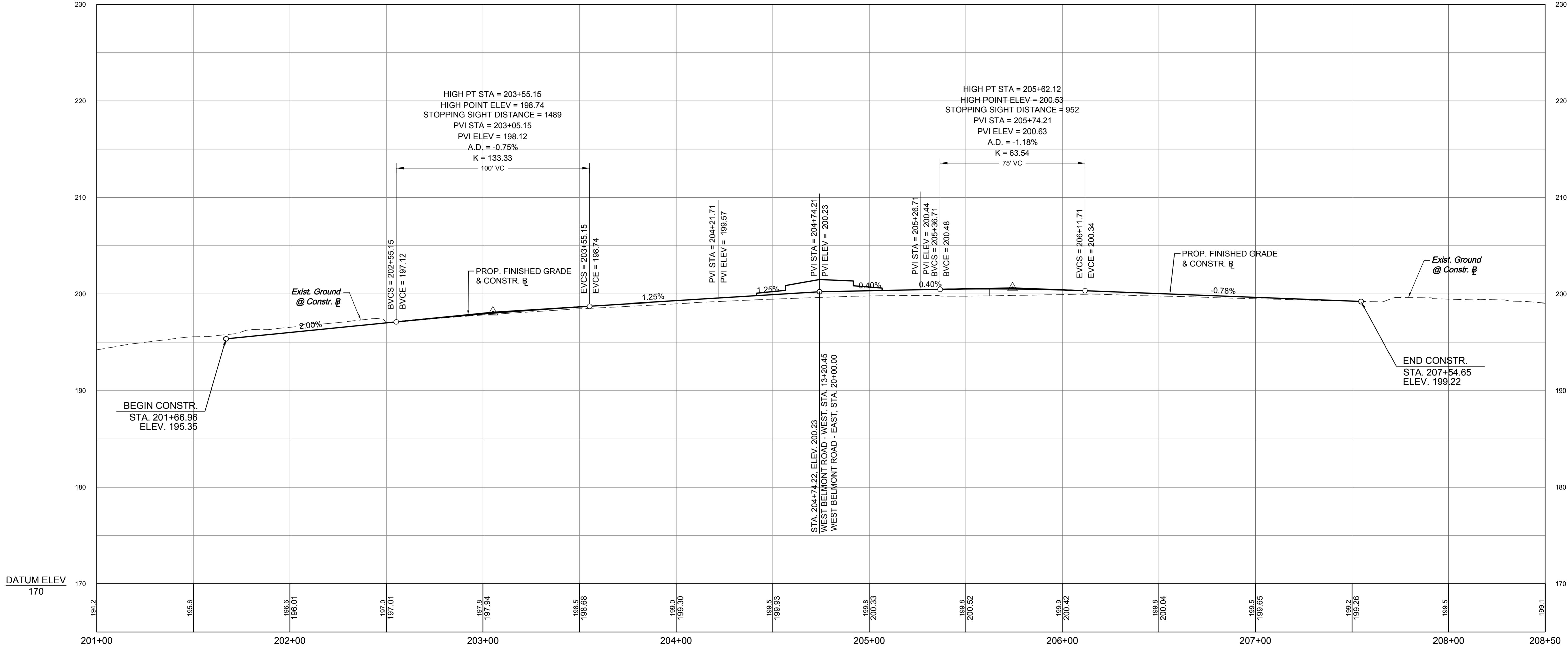
Technical	Administrative
Surveys Superintendent	Capital Project Administrator
Project Engineer	Deputy Director for Transportation / Public Works
Maintenance Engineer	Director of Public Works
City Traffic Engineer	

DEPARTMENT OF PUBLIC WORKS
 RICHMOND, VIRGINIA

DESIGN BY:	REVIEWED BY:	FIELD NOTES:	SCALE:	DATE:	SHEET:	DRAWING NO.:
M. FLEMING	M. FLEMING	FB-KK pp. XX-XX	HORIZ. 1" = 25' VERT. -	06/04/15	3	0-28861

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BELMONT ROAD



SURVEYED BY:
 SUPERVISED BY:
 DESIGNED BY:

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BELMONT ROAD ROUNDABOUT BELMONT ROAD PROFILE SHEET

- NOTES**
- Lot dimensions in parentheses are from deed.
 - Property owners correct as of April, 2014
 - Ordinance Number N/A
 - Adopted N/A
 - Accepted N/A

Existing	Proposed	Legend
Curb & Gutter	Proposed Conc. Sidewalk	Existing Curb Cut Ramp
Sidewalk	Proposed Water Valve	Coping
Manhole	Water Meter	Alley Crossing/Driveway
Storm Sewer	Gas Drip	Fire Hydrant
Sanitary Sewer (small)	Gas Valve	Edge of Pavement
Sanitary Sewer (large)	Telephone Manhole	Fence
Sanitary Sewer (over man)	Electric Manhole	Cornerstone
Gas Line	Proposed Curb Cut Ramp	Property Pin
Electric Line	Decorative Light	Utility Pole
Telephone/Telegraph	Conduit (Conc. Encased)	Proposed Sewer
TV Cable	Retaining Wall	Manhole
Water Line		Basin
Tree / Exist. Tree To Be Removed		Curb & Gutter
Property Line		Asphalt

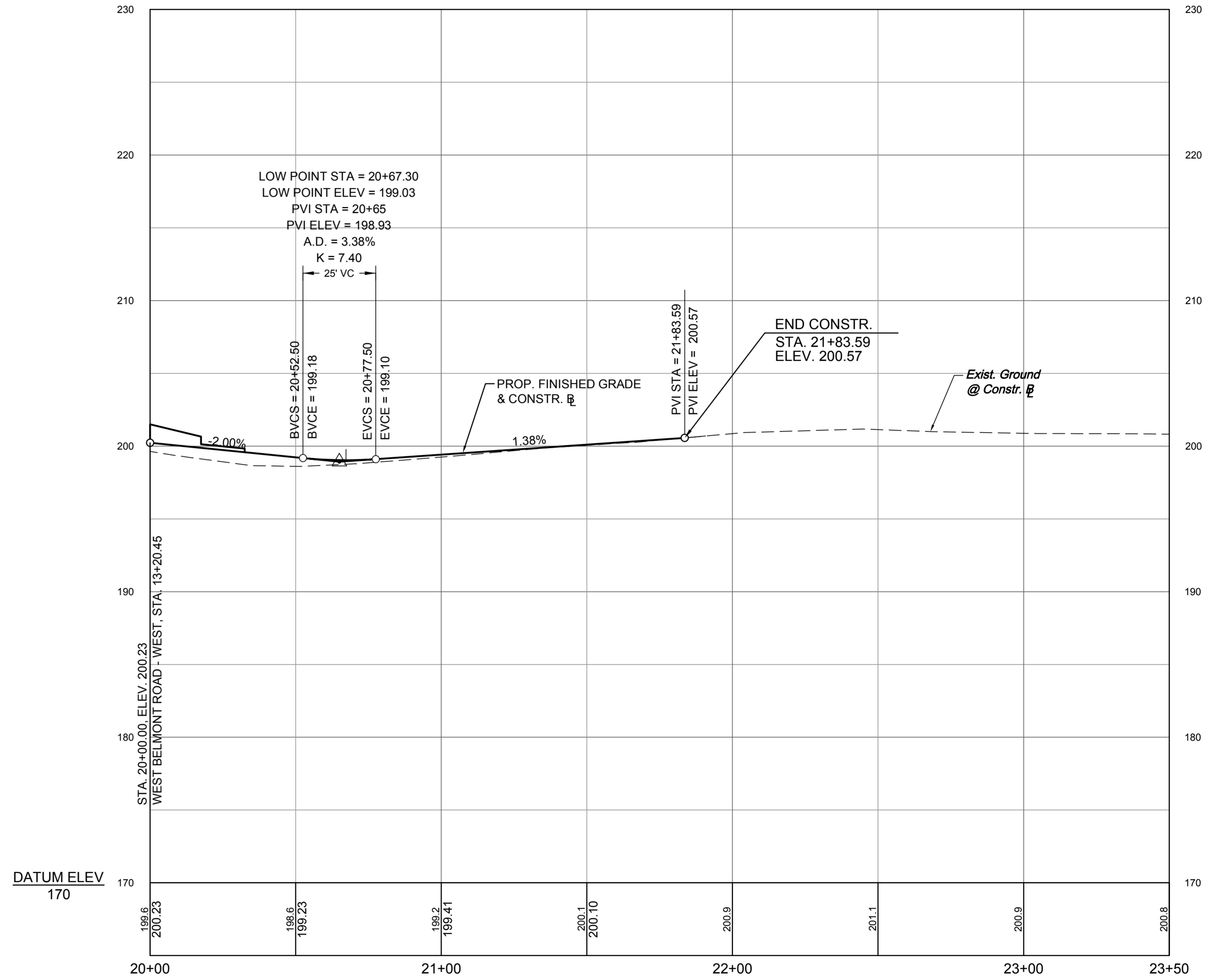
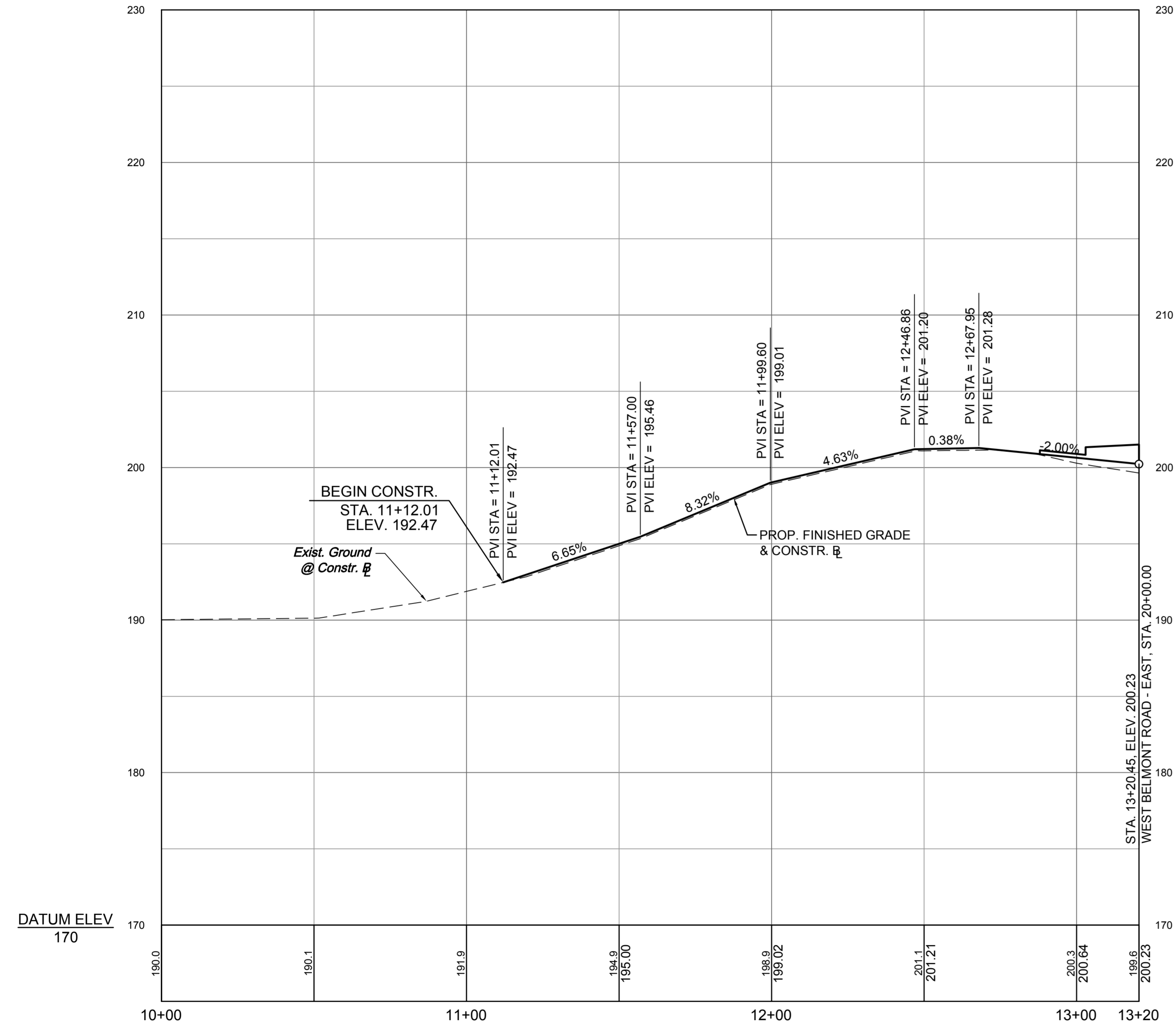


Technical	Administrative
	Surveys Superintendent
	Project Engineer
	Maintenance Engineer
	City Traffic Engineer
DEPARTMENT OF PUBLIC WORKS RICHMOND, VIRGINIA	

DESIGN BY: M. FLEMING	REVIEWED BY:	FIELD NOTES: RB-XX, pp XX-XX	SCALE: HORIZ. 1" = 25'	DATE: 06/04/15	SHEET: 3A	DRAWING NO.: 0-28861
DRAWN BY: M. FLEMING	CHECKED BY: C. KIEFER		VERT. 1" = 5'			

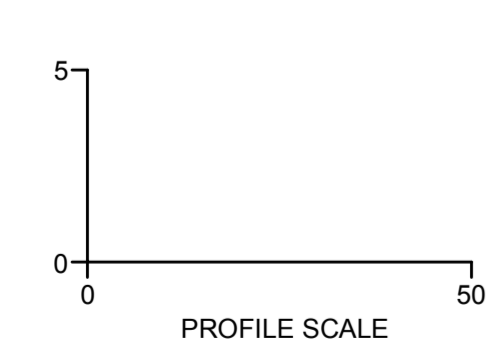
WEST BELMONT ROAD - WEST

WEST BELMONT ROAD - EAST



SURVEYED BY:
SUPERVISED BY:
DESIGNED BY:

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BELMONT ROAD ROUNDABOUT WEST BELMONT ROAD PROFILE SHEET

- NOTES**
1. Lot dimensions in parentheses are from deed.
 2. Property owners correct as of April, 2014
 3. Ordinance Number N/A
 4. Adopted N/A
 5. Accepted N/A

Existing		Proposed	
Curb & Gutter	--- ---	Proposed Conc. Sidewalk	--- ---
Sidewalk	--- ---	Truck Apron	--- ---
Basin	--- ---	Castings: Water Valve	--- ---
Storm Sewer	--- ---	Water Meter	--- ---
Sewer Manhole	--- ---	Gas Drip	--- ---
Sanitary Sewer (Open)	--- ---	Gas Valve	--- ---
Sanitary Sewer (Pipe Man)	--- ---	Telephone Manhole	--- ---
Gas Line	--- ---	Electric Manhole	--- ---
Electric Line	--- ---	Proposed Curb Cut Ramp	--- ---
Telephone/Telegraph	--- ---	Decorative Light	--- ---
TV Cable	--- ---	Conduit (Conc. Encased)	--- ---
Water Line	--- ---	Retaining Wall	--- ---
Tree / Exist. Tree To Be Removed	--- ---		
Property Line	--- ---		



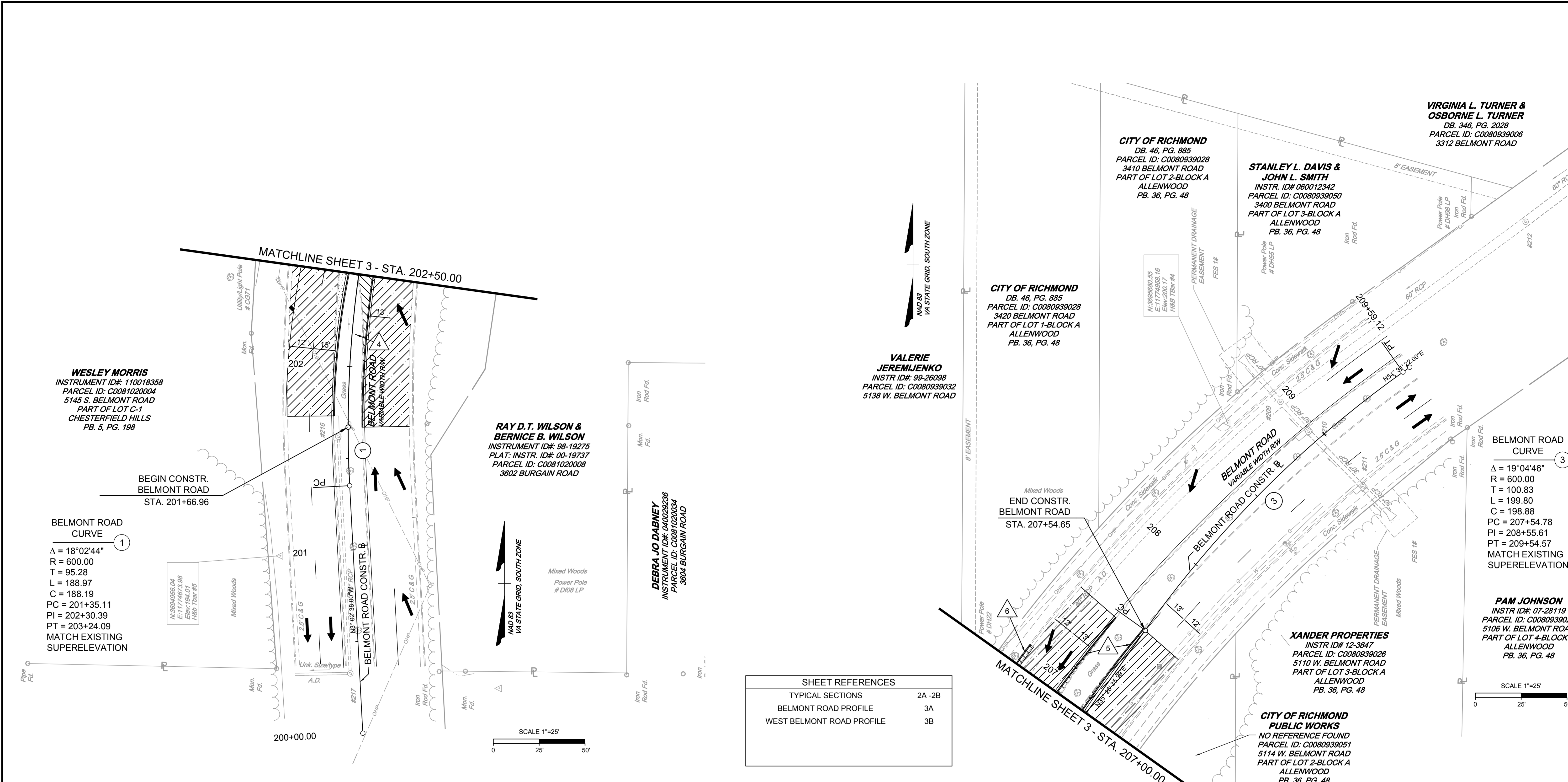
Technical	Administrative
Surveys Superintendent	
Project Engineer	Capital Project Administrator
Maintenance Engineer	Deputy Director for Transportation / Public Works
City Traffic Engineer	Director of Public Works

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

DESIGN BY: M. FLEMING	REVIEWED BY:	FIELD NOTES: FB-XX, pp XX-XX	SCALE: HORIZ. 1" = 10'	DATE: 06/04/15	SHEET: 3B	DRAWING NO.: 0-28861
DRAWN BY: M. FLEMING	CHECKED BY: C. KIEFER		VERT.:			

SURVEYED BY:
 SUPERVISED BY:
 DESIGNED BY:

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WESLEY MORRIS
 INSTRUMENT ID#: 110018358
 PARCEL ID: C0081020004
 5145 S. BELMONT ROAD
 PART OF LOT C-1
 CHESTERFIELD HILLS
 PB. 5, PG. 198

RAY D.T. WILSON & BERNICE B. WILSON
 INSTRUMENT ID#: 98-19275
 PLAT: INSTR. ID#: 00-19737
 PARCEL ID: C0081020008
 3602 BURGAIN ROAD

DEBRA JO DABNEY
 INSTRUMENT ID#: 040029236
 PARCEL ID: C0081020034
 3604 BURGAIN ROAD

VALERIE JEREMIJENKO
 INSTR ID#: 99-26098
 PARCEL ID: C0080939032
 5138 W. BELMONT ROAD

CITY OF RICHMOND
 DB. 46, PG. 885
 PARCEL ID: C0080939028
 3420 BELMONT ROAD
 PART OF LOT 1-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

CITY OF RICHMOND
 DB. 46, PG. 885
 PARCEL ID: C0080939028
 3410 BELMONT ROAD
 PART OF LOT 2-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

STANLEY L. DAVIS & JOHN L. SMITH
 INSTR. ID# 060012342
 PARCEL ID: C0080939050
 3400 BELMONT ROAD
 PART OF LOT 3-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

VIRGINIA L. TURNER & OSBORNE L. TURNER
 DB. 346, PG. 2028
 PARCEL ID: C0080939006
 3312 BELMONT ROAD

XANDER PROPERTIES
 INSTR ID# 12-3847
 PARCEL ID: C0080939026
 5110 W. BELMONT ROAD
 PART OF LOT 3-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

CITY OF RICHMOND PUBLIC WORKS
 NO REFERENCE FOUND
 PARCEL ID: C0080939051
 5114 W. BELMONT ROAD
 PART OF LOT 2-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

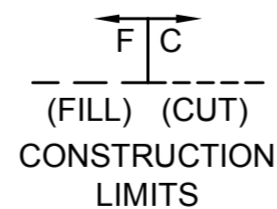
BELMONT ROAD CURVE
 Δ = 19°04'46"
 R = 600.00
 T = 100.83
 L = 199.80
 C = 198.88
 PC = 207+54.78
 PI = 208+55.61
 PT = 209+54.57
 MATCH EXISTING SUPERELEVATION

PAM JOHNSON
 INSTR ID#: 07-28119
 PARCEL ID: C0080939025
 5106 W. BELMONT ROAD
 PART OF LOT 4-BLOCK A
 ALLENWOOD
 PB. 36, PG. 48

SHEET REFERENCES	
TYPICAL SECTIONS	2A -2B
BELMONT ROAD PROFILE	3A
WEST BELMONT ROAD PROFILE	3B

KEY LEGEND

- PROP. SPLITTER ISLAND (VDOT MS-1) WITH VDOT CG-2 CURB FACE REQ'D.
- STD. VDOT MS-1A MEDIAN REQ'D. WITH VDOT CG-2 CURB FACE REQ'D.
- STD. VDOT MS-1A MEDIAN REQ'D. WITH WITH CITY OF RICHMOND CURB FACE REQ'D.
- STD. VDOT MS-2 MEDIAN REQ'D. WITH VDOT CG-2 CURB FACE REQ'D.
- STD. VDOT MS-2 MEDIAN REQ'D. WITH CITY OF RICHMOND CURB FACE REQ'D.
- STD. CITY OF RICHMOND CURB & GUTTER REQ'D.
- STD. VDOT CG-6 CURB & GUTTER REQ'D.
- STD. VDOT CG-12 TYPE B CURB RAMP REQ'D.
- STD. VDOT CG-12 TYPE M1 CURB RAMP REQ'D.
- PROP. 5' CONCRETE SIDEWALK REQ'D.



- (R) EXIST. UTILITY TO BE RELOCATED (BY OTHERS)
- (A) ADJUST EXIST. UTILITY TO GRADE
- PROP. NEW PAVEMENT
- PROP. PAVEMENT RESURFACING*
- PROP. DEMOLITION OF PAVEMENT
- PROP. TRUCK APRON

* CONTRACTOR TO MILL, OVERLAY, AND / OR BUILD-UP PAVEMENT WHERE NECESSARY TO ACHIEVE CROSS SLOPES & MIN. 1.5" OVERLAY AS SHOWN ON CROSS SECTIONS.

NOTES

- Lot dimensions in parentheses are from deed.
- Property owners correct as of April, 2014
- Ordinance Number N/A
- Adopted N/A
- Accepted N/A

Existing	Proposed
Curb & Gutter	Proposed Conc. Sidewalk
Sidewalk	Truck Apron
Basin	Castings: Water Valve
Storm Sewer	Water Meter
Sewer Manhole	Gas Drip
Sanitary Sewer (small)	Gas Valve
Sanitary Sewer (large)	Telephone Manhole
Gas Line	Electric Manhole
Electric Line	Proposed Curb Cut Ramp
Telephone/Telegraph	Decorative Light
TV Cable	Conduit
Water Line	Conduit (Conc. Encased)
Tree / Exist. Tree To Be Removed	Retaining Wall
Property Line	

Existing	Proposed
Curb Cut Ramp	Proposed Conc. Sidewalk
Alley Crossing/Driveway	Truck Apron
Fire Hydrant	Castings: Water Valve
Edge of Pavement	Water Meter
Fence	Gas Drip
Cornerstone	Gas Valve
Property Pin	Telephone Manhole
Utility Pole	Electric Manhole
Proposed Sewer	Proposed Curb Cut Ramp
Manhole	Decorative Light
Basin	Conduit
Curb & Gutter	Conduit (Conc. Encased)
Asphalt	Retaining Wall



Technical	Administrative
Surveys Superintendent	Capital Project Administrator
Project Engineer	Deputy Director for Transportation / Public Works
Maintenance Engineer	Director of Public Works
City Traffic Engineer	

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

TIMMONS GROUP

BELMONT ROAD ROUNDABOUT
BELMONT ROAD PLAN SHEET

DESIGN BY: M. FLEMING	REVIEWED BY:	FIELD NOTES: FB-XX, pp XX-XX	SCALE: HORIZ. 1" = 25'	DATE: 06/04/15	SHEET: 4	DRAWING NO: 0-28861
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