

**January 25, 2017**

**The Citadel of Hope – Project Summary**

In 2014 and 2015, Better Housing Coalition acquired 4 parcels containing approximately 1.2 acres in Union Hill fronting Venable Street, Jessamine Street and Carrington Street to rehabilitate the Citadel of Hope building, as well as the surrounding vacant property. The properties are all zoned R-63 as is the surrounding neighborhood, based on a City-initiated rezoning in 2009. The Citadel of Hope project will be one of the first new construction multifamily project within Union Hill since the rezoning. Better Housing Coalition’s focus for the redevelopment of the property is to preserve the Citadel of Hope and honoring its presence on the street and create a pedestrian-oriented, quality residential development that is affordable. The proposed development meets the R-63 goal of “encourage[ing] development of medium density neighborhoods comprised of a mix of residential uses and to promote a pedestrian oriented urban environment that is primarily residential in character,” as well as the Design Review Guidelines.

Better Housing Coalition introduced the proposed 52 unit residential development to the Union Hill neighborhood in October 2015. The plan presented included the renovation of the Citadel of Hope and construction a three-story building on Venable Street and a three-story building on Jessamine Street containing high quality affordable housing units available working individuals and families making between \$25,000 and \$45,000. The proposed project received only positive feedback. The Zoning Administrator confirmed the R-63 zoning district permitted a 52 unit residential development in same configuration presented to the community. VHDA awarded the proposed 52 unit development received an allocation of low income housing tax credits.

In the six months following the allocation award, Better Housing Coalition has met with individual neighbors, civic associations, and City Planning staff in 18 meetings to review and refine the development plan. After denial of a Certificate of Appropriateness of the original development plan by the Commission of Architectural Review at its November 22, 2016 meeting, Better Housing Coalition again engaged with several Union Hill neighbors to develop an alternate plan to address the primary concern of massing and scale of the building on Jessamine Street. The proposed plan submitted with this application is the result of those conversations, as well as additional feedback from the City Planning staff, the Zoning Administrator.

This property has been vacant and dilapidated for over 30 years. The existing building was home to vagrants who set fires and caused considerable damage to the structure. Better Housing Coalition acquired the property understanding the R-63 zoning requirements designed the development well within those requirements, as well as meeting the Design Guidelines. Infill development in any older neighborhood is always challenging. Better Housing Coalition has worked diligently to respect and reinforce the prominence of the former Citadel of Hope on Venable Street. The new construction utilizes compatible form, architectural details, and materials. It is important the residents feel connected to the neighborhood. The development provides multiple points of direct access along Venable Street, Jessamine Street and Carrington Street. Better Housing Coalition has incorporated interior community space as well as open space for residents. Better Housing Coalition will have a permanent onsite property management office and staff to enhance neighborhood interaction. Better Housing Coalition views the property as an opportunity for the neighborhood and the City, taking a vacant property and

dilapidated building and creating a pedestrian-oriented asset within the community meeting the zoning requirements and the Design Guidelines.

The Design Guidelines provide standards for new construction for residential and commercial buildings, with commercial being used for large scale multifamily residential construction. The proposed development is a hybrid based on the revised layout to address the primary concerns. Therefore, the Citadel of Hope building on the property, as well as the surrounding residential and commercial buildings should be reviewed for the compatibility of the new construction. These include the 5 story Church Hill House, the nearly full block of attached townhouses, multiple churches with 3 story components, as well as the two and three story residential dwellings. All within the context of a new zoning district, under which new construction adjacent to the property has not yet occurred. The proposed development is appropriately sited with a form that is compatible to the surrounding neighborhood and the character of the historic district, with materials and colors that are visually compatible with original materials used throughout the district.

Richmond is experiencing exciting growth and revitalization in many of our neighborhoods and this is a good thing, adding to the vitality of the city and attracting new economic development and opportunities for residents. It is important that all of our citizens have the opportunity to stay in neighborhoods that offer easy access to community amenities and jobs. The production of high quality housing is an important component to this growth.



**2230 Venable Street**  
 Richmond, Virginia 23223

project #: 15.53  
 date: 1/27/17

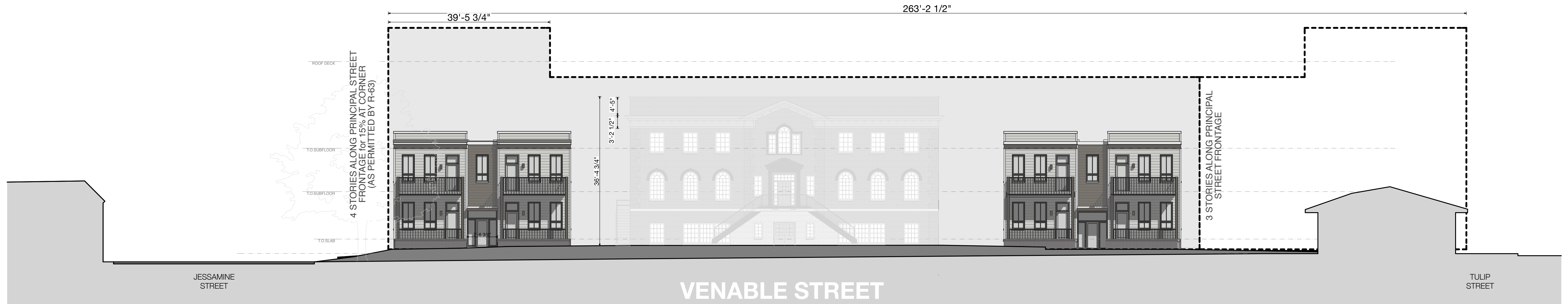
# SITE PLAN

A.1

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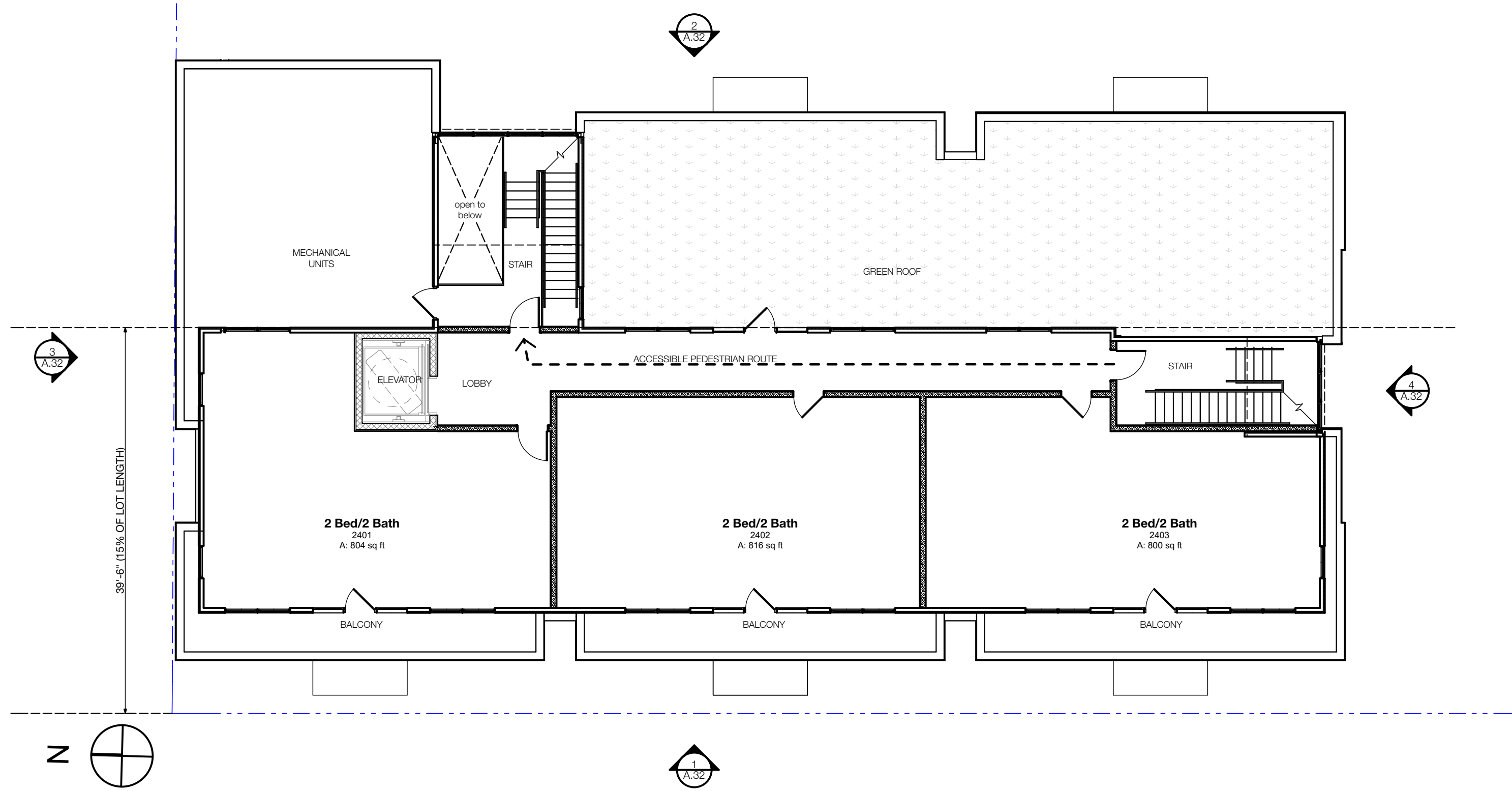
# STREET ELEVATIONS

A.2

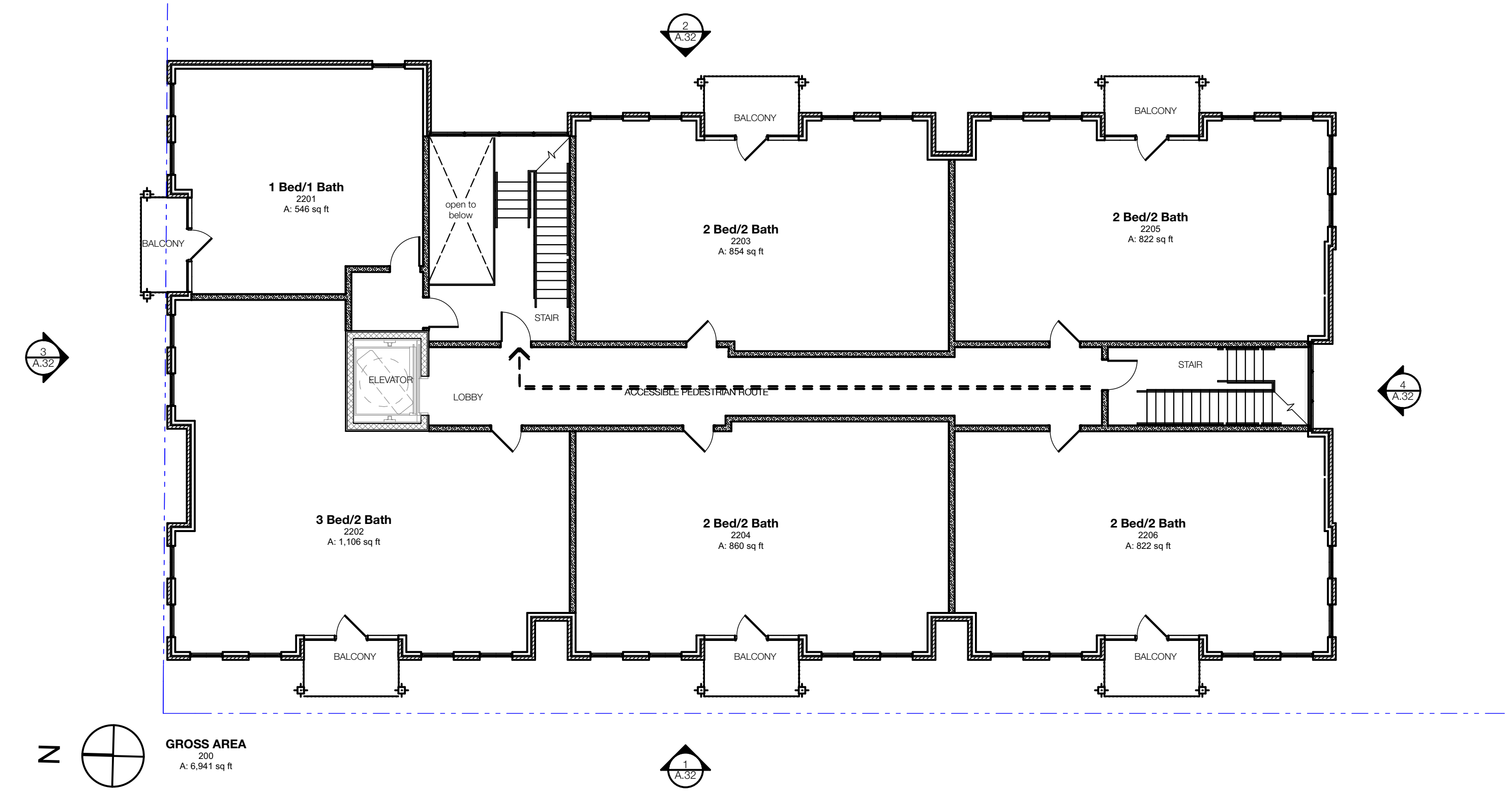
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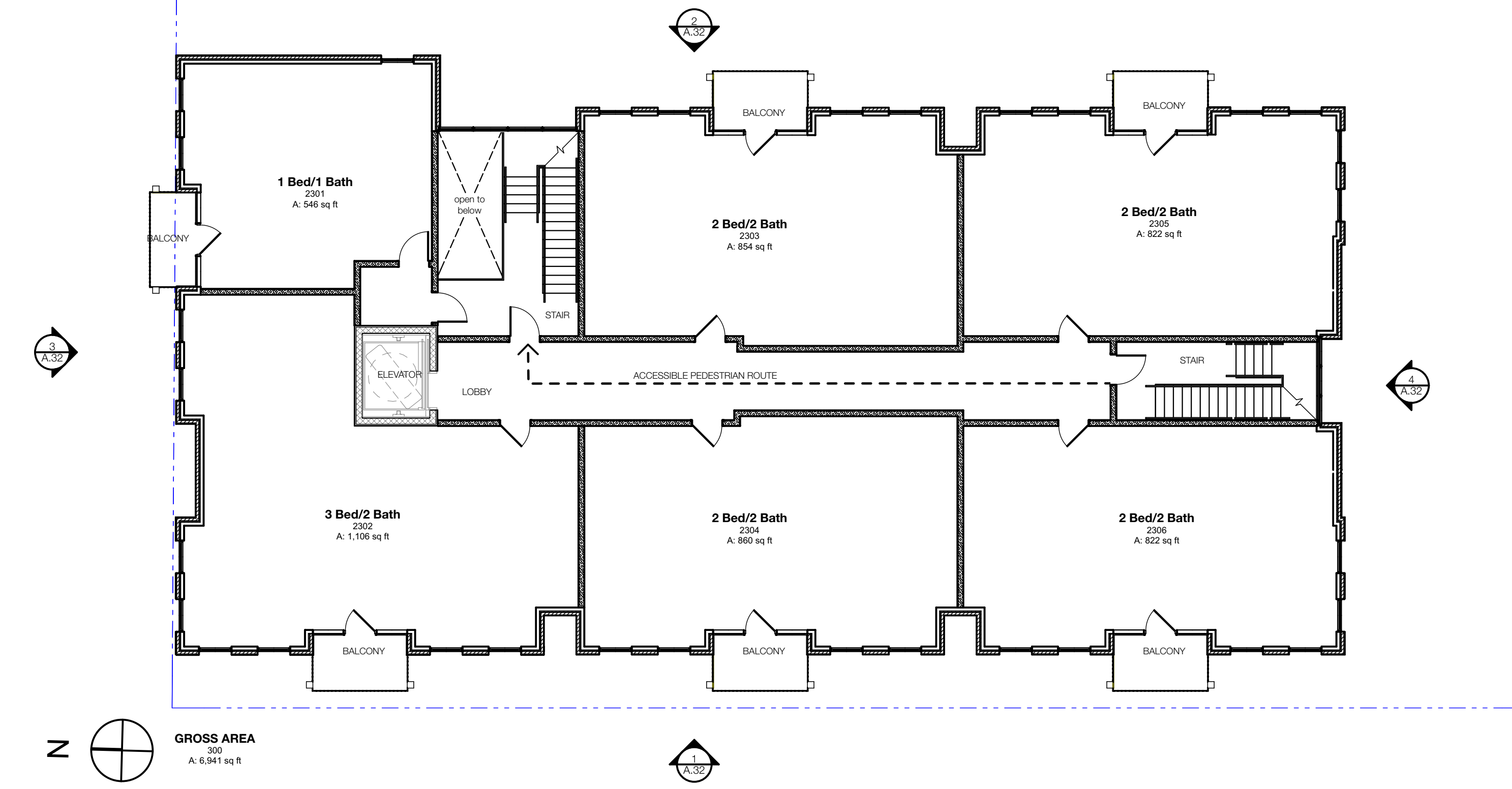




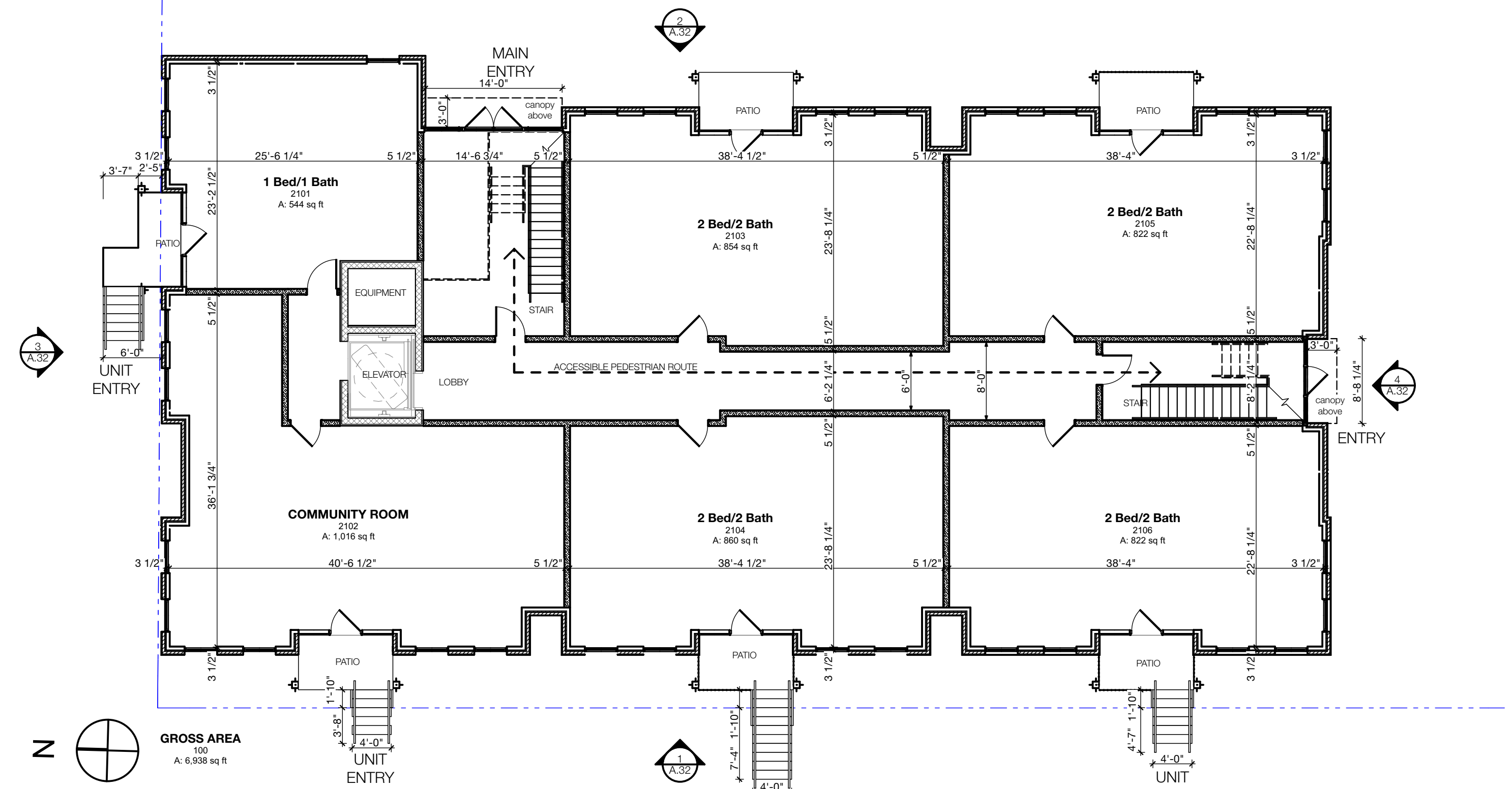
FOURTH FLOOR LAYOUT PLAN  
SCALE: 1" = 10'



SECOND FLOOR LAYOUT PLAN  
SCALE: 1" = 10'



THIRD FLOOR LAYOUT PLAN  
SCALE: 1" = 10'



FIRST FLOOR LAYOUT PLAN  
SCALE: 1" = 10'

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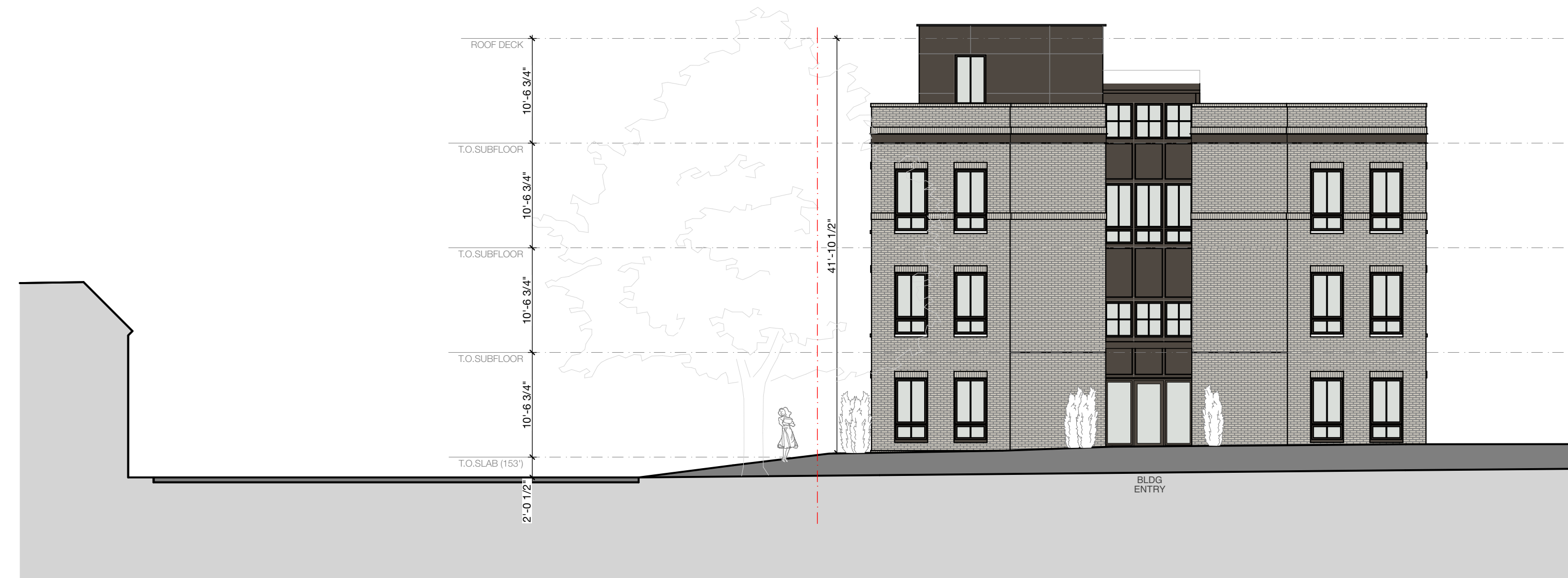
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# 4 STORY BUILDING - FLOOR PLANS

A.31

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SOUTH ELEVATION  
SCALE: 1" = 10'

4



EAST ELEVATION (PARKING ELEVATION)  
SCALE: 1" = 10'

2



NORTH ELEVATION (CARRINGTON STREET)  
SCALE: 1" = 10'

3



WEST ELEVATION (JESSAMINE STREET)  
SCALE: 1" = 10'

1

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# 4 STORY BUILDING - ELEVATIONS

A.32

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**EXTERIOR FINISHES**

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
<b>NEW BUILDINGS</b>						
ALUM1	ALUMINUM WINDOWS / DOORS			SW7020 BLACK FOX	AT BRICK BAYS	CLEAR GLASS
ALUM2	NOT USED					
ALUM3	ALUMINUM WINDOWS / DOORS			WHITE	AT CEMENTITIOUS BUILDING	CLEAR GLASS
BR1	BRICK	GLEN-GERY BRICK	TUSCAN SERIES	DARK GREY (W77)	OVERALL	MODULAR
	MORTAR COLOR			TBD	OVERALL	
BR2	BRICK	GLEN-GERY BRICK	CLASSIC IRONSPOT SERIES	TWILIGHT IRONSPOT	RECESSED & 3 STORY BUILDING	MODULAR
	MORTAR COLOR			TBD	RECESSED & 3 STORY BUILDING	
BR3	BRICK	CONTINENTAL BRICK COMPANY		OS 490	3 - STORY BUILDING	MODULAR
	MORTAR COLOR			TBD	3 - STORY BUILDING	
SL1	STONE WINDOW SILL					
MTL1	STEEL COLUMNS / BEAMS / CHANNELS			SW 7020, BLACK FOX	OVERALL	POWDER COATED - 10 YEAR WARRANTY
MTL2	NOT USED					
MTL3	COPING			SW 7020, BLACK FOX	AT BRICK BAYS	
MTL4	COPING			SW 7020, BLACK FOX	AT CEMENTITIOUS BUILDING	
MTL5	CUSTOM STEEL GUARDRAIL			SW 7020, BLACK FOX	OVERALL	
MTL6	NOT USED					
MTL7	CUSTOM STEEL TUBE SHAPED CANOPY			SW 7020, BLACK FOX	OVERALL	POWDER COATED - 10 YEAR WARRANTY
CNC1	CONCRETE STAIRS					
PT41	8" SHIP LAP CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7666, FLUER DE SEL	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT42	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7020, BLACK FOX	SEMI-GLOSS	RECESSED	MARINE GRADE - 10 YEAR WARRANTY
PT43	CEMENTITIOUS TRIM PAINT	SHERWIN WILLIAMS	SW 7351, GREEK VILLA	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT44	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7047, PORPOISE	SEMI-GLOSS	4TH STORY	MARINE GRADE - 10 YEAR WARRANTY
F60	EXTERIOR LIGHT FIXTURE			SW7020 BLACK FOX	BALCONY / PATIO	



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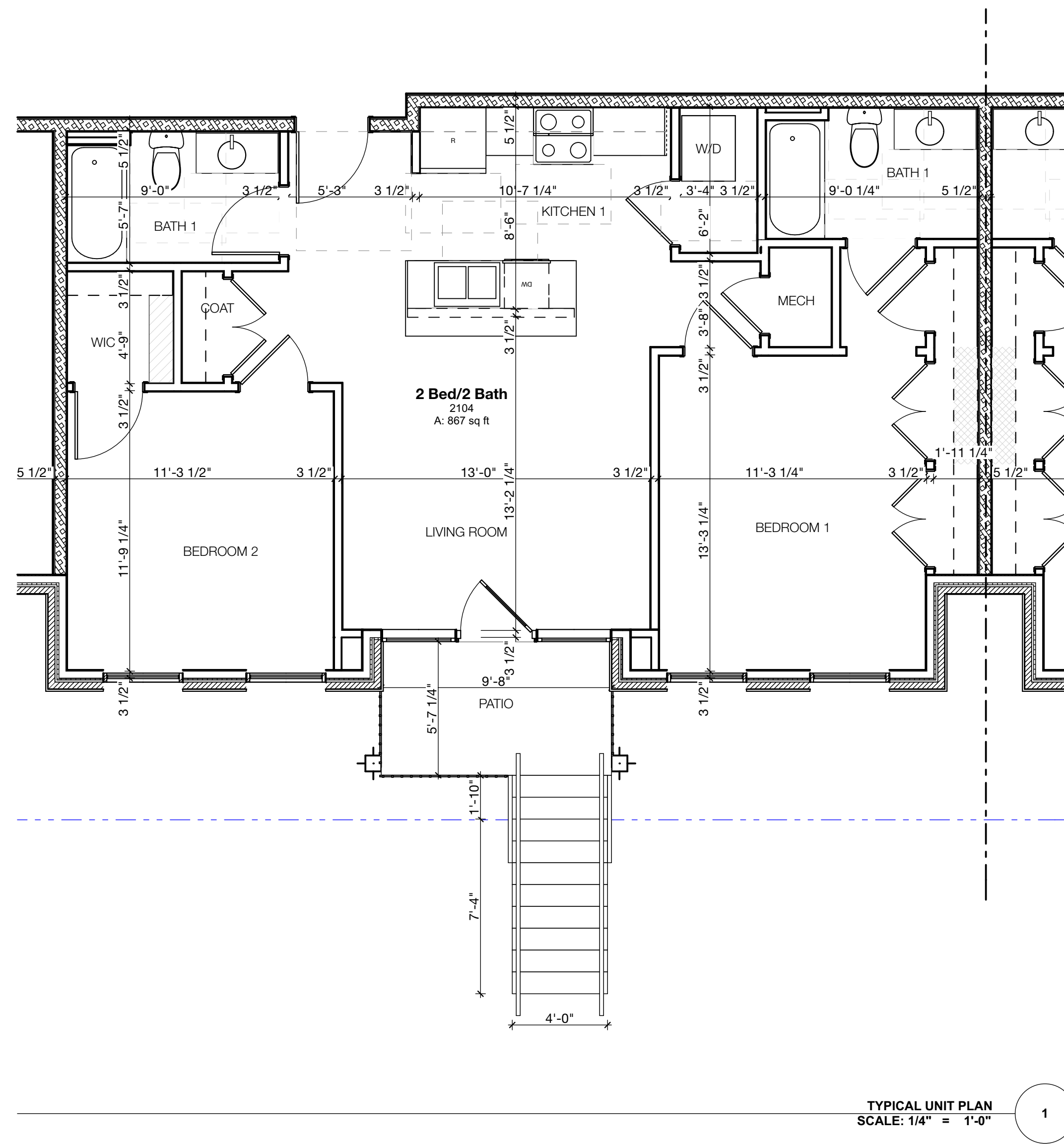
# 4 STORY BUILDING - DETAIL ELEVATION

A.33

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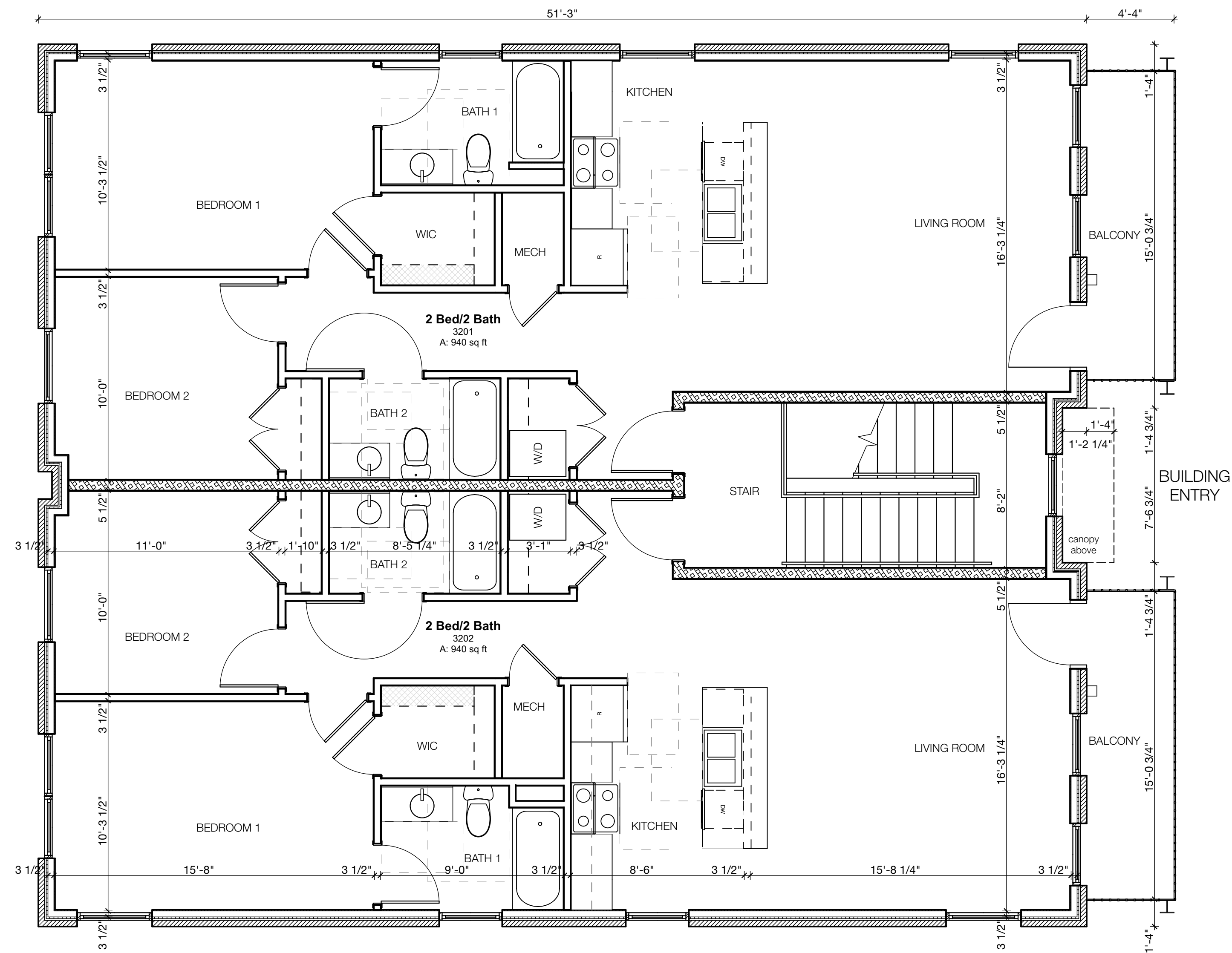
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# TYPICAL UNIT @ 4 STORY BUILDING

A.34

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TYPICAL UNIT PLAN  
SCALE: 1/4" = 1'-0" 1

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# TYPICAL FLOOR PLAN @ 2 & 3 STORY BUILDINGS

A.41

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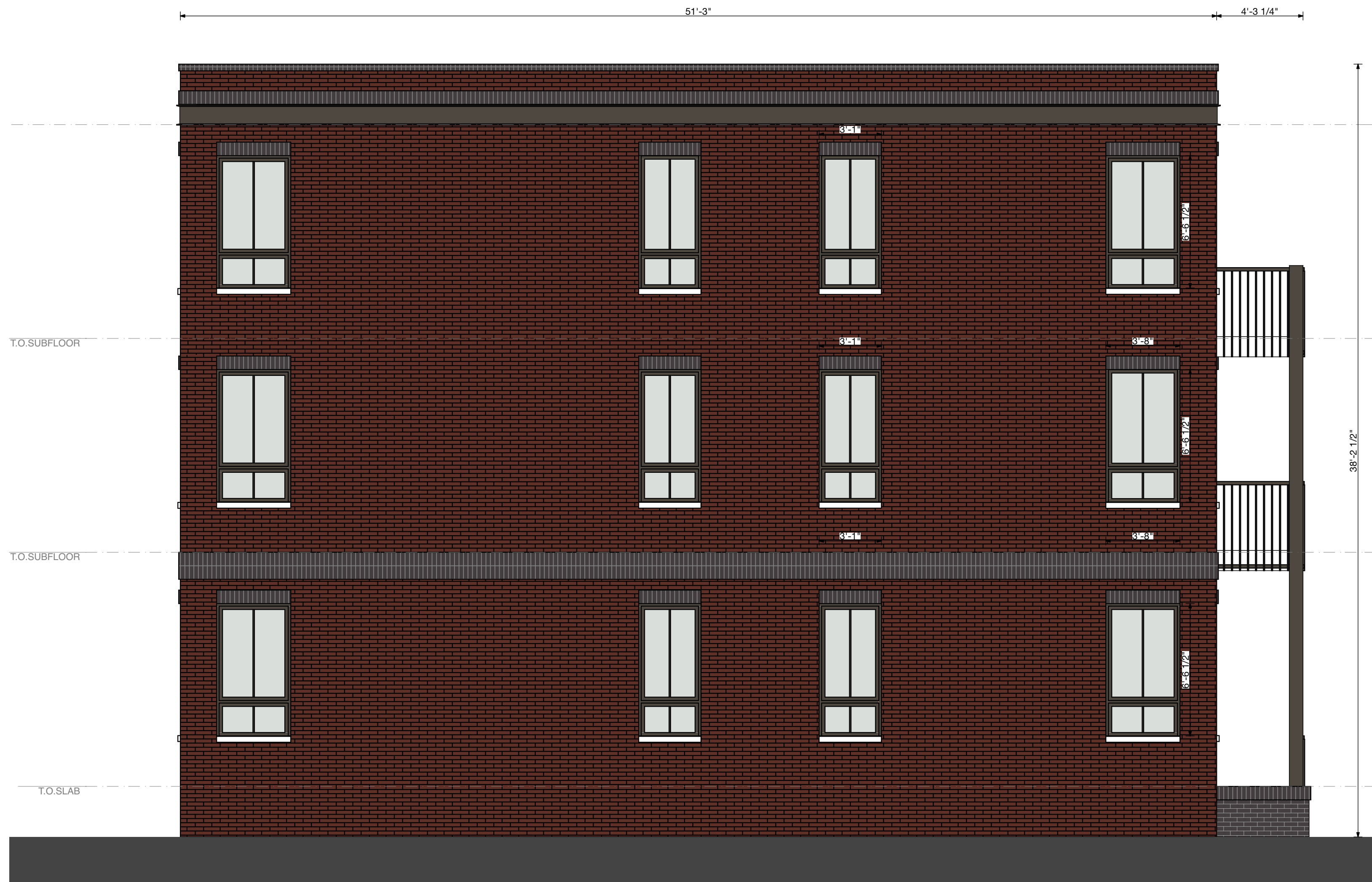
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Richmond, VA 23220  
1 804.644.4761  
1 804.644.4763



3 STORY - REAR ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
<b>NEW BUILDINGS</b>						
ALUM1	ALUMINUM WINDOWS / DOORS			SW7020 BLACK FOX	AT BRICK BAYS	CLEAR GLASS
ALUM2	NOT USED					
ALUM3	ALUMINUM WINDOWS / DOORS			WHITE	AT CEMENTITIOUS BUILDING	CLEAR GLASS
BR1	BRICK	GLEN-GERY BRICK	TUSCAN SERIES	DARK GREY (W77)	OVERALL	MODULAR
	MORTAR COLOR			TBD	OVERALL	
BR2	BRICK	GLEN-GERY BRICK	CLASSIC IRONSPOT SERIES	TWILIGHT IRONSPOT	RECESSED & 3 STORY BUILDING	MODULAR
	MORTAR COLOR			TBD	RECESSED & 3 STORY BUILDING	
BR3	BRICK	CONTINENTAL BRICK COMPANY		O/S 490	3 - STORY BUILDING	MODULAR
	MORTAR COLOR			TBD	3 - STORY BUILDING	
SL1	STONE WINDOW SILL					
MTL1	STEEL COLUMNS / BEAMS / CHANNELS		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	POWDER COATED - 10 YEAR WARRANTY
MTL2	NOT USED					
MTL3	COPING		SW 7020, BLACK FOX	SEMI-GLOSS	AT BRICK BAYS	
MTL4	COPING			TBD	AT CEMENTITIOUS BUILDING	
MTL5	CUSTOM STEEL GUARDRAIL		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	
MTL6	NOT USED					
MTL7	CUSTOM STEEL TUBE SHAPED CANOPY		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	POWDER COATED - 10 YEAR WARRANTY
CNC1	CONCRETE STAIRS					
PT41	8" SHIP LAP CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7666, FLUER DE SEL	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT42	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7020, BLACK FOX	SEMI-GLOSS	RECESSED	MARINE GRADE - 10 YEAR WARRANTY
PT43	CEMENTITIOUS TRIM PAINT	SHERWIN WILLIAMS	SW 7551, GREEK VILLA	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT44	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7047, PORPOISE	SEMI-GLOSS	4TH STORY	MARINE GRADE - 10 YEAR WARRANTY
F60	EXTERIOR LIGHT FIXTURE			SW7020 BLACK FOX	BALCONY / PATIO	



3 STORY - SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3 STORY - FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

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**3 STORY BUILDING**

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3 STORY - REAR ELEVATION  
SCALE: 1/8" = 1'-0" 3

EXTERIOR FINISHES

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<b>NEW BUILDINGS</b>						
ALUM1	ALUMINUM WINDOWS / DOORS			SW7020 BLACK FOX	AT BRICK BAYS	CLEAR GLASS
ALUM2	NOT USED					
ALUM3	ALUMINUM WINDOWS / DOORS			WHITE	AT CEMENTITIOUS BUILDING	CLEAR GLASS
BR1	BRICK	GLEN-GERY BRICK	TUSCAN SERIES	DARK GREY (M77)	OVERALL	MODULAR
	MORTAR COLOR			TBD	OVERALL	
BR2	BRICK	GLEN-GERY BRICK	CLASSIC IRONSPOT SERIES	TWILIGHT IRONSPOT	RECESSED & 3 STORY BUILDING	MODULAR
	MORTAR COLOR			TBD	RECESSED & 3 STORY BUILDING	
BR3	BRICK	CONTINENTAL BRICK COMPANY		O/S 490	3 - STORY BUILDING	MODULAR
	MORTAR COLOR			TBD	3 - STORY BUILDING	
SL1	STONE WINDOW SILL					
MTL1	STEEL COLUMNS / BEAMS / CHANNELS		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	POWDER COATED - 10 YEAR WARRANTY
MTL2	NOT USED					
MTL3	COPING		SW 7020, BLACK FOX	SEMI-GLOSS	AT BRICK BAYS	
MTL4	COPING			TBD	AT CEMENTITIOUS BUILDING	
MTL5	CUSTOM STEEL GUARDRAIL		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	
MTL6	NOT USED					
MTL7	CUSTOM STEEL TUBE SHAPED CANOPY		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	POWDER COATED - 10 YEAR WARRANTY
CNC1	CONCRETE STAIRS					
PT41	8" SHIP LAP CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7666, FLUER DE SEL	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT42	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7020, BLACK FOX	SEMI-GLOSS	RECESSED	MARINE GRADE - 10 YEAR WARRANTY
PT43	CEMENTITIOUS TRIM PAINT	SHERWIN WILLIAMS	SW 7551, GREEK VILLA	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT44	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7047, PORPOISE	SEMI-GLOSS	4TH STORY	MARINE GRADE - 10 YEAR WARRANTY
F60	EXTERIOR LIGHT FIXTURE			SW7020 BLACK FOX	BALCONY / PATIO	



3 STORY - SIDE ELEVATION  
SCALE: 1/4" = 1'-0" 2



3 STORY - FRONT ELEVATION  
SCALE: 1/4" = 1'-0" 1

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# 3 STORY BUILDING

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**EXTERIOR FINISHES**

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
<b>NEW BUILDINGS</b>						
ALUM1	ALUMINUM WINDOWS / DOORS			SW7020 BLACK FOX	AT BRICK BAYS	CLEAR GLASS
ALUM2	NOT USED					
ALUM3	ALUMINUM WINDOWS / DOORS			WHITE	AT CEMENTITIOUS BUILDING	CLEAR GLASS
BR1	BRICK MORTAR COLOR	GLEN-GERY BRICK	TUSCAN SERIES	DARK GREY (W77) TBD	OVERALL OVERALL	MODULAR
BR2	BRICK MORTAR COLOR	GLEN-GERY BRICK	CLASSIC IRONSPOT SERIES	TWILIGHT IRONSPOT TBD	RECESSED & 3 STORY BUILDING RECESSED & 3 STORY BUILDING	MODULAR
BR3	BRICK MORTAR COLOR	CONTINENTAL BRICK COMPANY		O/S 490 TBD	3 - STORY BUILDING 3 - STORY BUILDING	MODULAR
SL1	STONE WINDOW SILL					
MTL1	STEEL COLUMNS / BEAMS / CHANNELS		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	POWDER COATED - 10 YEAR WARRANTY
MTL2	NOT USED					
MTL3	COPING		SW 7020, BLACK FOX	SEMI-GLOSS	AT BRICK BAYS	
MTL4	COPING			TBD	AT CEMENTITIOUS BUILDING	
MTL5	CUSTOM STEEL GUARDRAIL		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	
MTL6	NOT USED					
MTL7	CUSTOM STEEL TUBE SHAPED CANOPY		SW 7020, BLACK FOX	SEMI-GLOSS	OVERALL	POWDER COATED - 10 YEAR WARRANTY
CNC1	CONCRETE STAIRS					
PT41	8" SHIP LAP CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7666, FLUER DE SEL	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT42	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7020, BLACK FOX	SEMI-GLOSS	RECESSED	MARINE GRADE - 10 YEAR WARRANTY
PT43	CEMENTITIOUS TRIM PAINT	SHERWIN WILLIAMS	SW 7551, GREEK VILLA	SEMI-GLOSS	OVERALL	MARINE GRADE - 10 YEAR WARRANTY
PT44	CEMENTITIOUS SIDING PAINT	SHERWIN WILLIAMS	SW 7047, PORPOISE	SEMI-GLOSS	4TH STORY	MARINE GRADE - 10 YEAR WARRANTY
F60	EXTERIOR LIGHT FIXTURE			SW7020 BLACK FOX	BALCONY / PATIO	



2 STORY - REAR ELEVATION  
SCALE: 1/4" = 1'-0"

3



2 STORY - SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

2



2 STORY - FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

1

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**2 STORY BUILDING**

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