



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Commission of Architectural Review
Certificate of Appropriateness Application

900 E. Broad Street, Room 510

Richmond, VA 23219

804-646-6569

Property (location of work)

Property Address: 3104 E Broad St , Richmond, VA, 23223 (BLDR-147901-2024) Current Zoning: R-6

Historic District: St John's Church

Application is submitted for: (check one)

- Alteration
 Demolition
 New Construction

Project Description (attach additional sheets if needed):

Changes to the front: Paint similar to property next door (3106 E Broad St). Change windows like-to-like.
Handcrafted repair of the moldings where necessary. Side: Partial demo of existing masonry wall to extend area.

Applicant/Contact Person: Jean Carlos

Company: Hispanos Unidos Multi-Services

Mailing Address: 7501 Boulder View Dr, Suite 120

City: Richmond State: VA Zip Code: 23225

Telephone: (703)801-0415

Email: hispanosunidosms@gmail.com

Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

Property Owner: SER HOMES LLC - Atallah Mahases

If Business Entity, name and title of authorized signer: Atallah Mahases, Partner

Mailing Address: 5109 HARVEST GLEN DR,

City: GLEN ALLEN State: VA Zip Code: 23059

Telephone: (804)497-0985

Email: amahases72@gmail.com

Billing Contact? No

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 6/24/24



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 3104 E Broad St, Richmond, VA

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|---|---|
| <input checked="" type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input checked="" type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- | | | |
|--|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> list of proposed window and door | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |

RENOVATION TO EXISTING RESIDENCE

3104 E BROAD STREET

RICHMOND, VIRGINIA 23223

CONTACT:
 NAME: SAM ALVAREZ
 DESIGN SERVICES
 SALVAENGINE@GMAIL.COM
 EMAIL:
 PHONE: (757) 402-7695

REVISIONS:	DATE:	DESCRIPTION
1	09/02/2024	CITY COMMENTS
2	10/08/2024	CITY COMMENTS
3	11/19/2024	CITY COMMENTS
4	03/12/2025	CITY COMMENTS

ABBREVIATIONS

#	And	FA	Fire Alarm	PL	Plate
L	Angle	FD	Floor Drain	PLAM	Plastic Laminate
@	At	FDN	Foundation	PLAS	Plastic
O	Diameter	FE	Fire Extinguisher	PLYWD	Plywood
#	Found or Number	FIN	Finish	PR	Pair
A/C	Air conditioning	FL	Flooring	P.TRTD	Pressure Treated
ACOUS	Acoustical	FLASH	Flashing	P.T.D.	Paper Towel Dispenser
ACT	Acoustic Ceiling Tile	FLOUR	Fluorescent	PTD	Painted
ADJ	Adjacent	FT	Foot or Feet	QT	Quarry Tile
AFF	Above Finished Floor	FTG	Footing	R	Riser
AGGR	Aggregate	FURR	Furring	RAD	Radius
ALUM	Aluminum	FOB	Face of Brick	RD	Roof Drain
APPROX	Approximate	FOS	Face of Stud	REF	Reference
ARCH	Architectural	GA	Gauge	RESIL	Resilient
ASB	Asbestos	GALV	Galvanized	RM	Room
ASPH	Asphalt	GB	Grab Bar	RO	Rough Opening
B.C.	Base Cabinet	GMB	Gypsum Wallboard	S	South
BD	Board	GEN	General	SC	Solid Core
BITUM	Bituminous	GL	Glass	SCN	Solid Core Wood Schedule
BLDG	Building	GND	Ground	SCHD	Schedule
BLK	Block	HP	Handicapped Person	SD	Soap Dispenser
BLKG	Blocking	HPT	H.P. Toilet	SECT	Section
BM	Beam	HC	Hollow Core	SF	Square Feet
BOT	Bottom	HDWD	Hardwood	SHT	Sheet
BUR	Built Up Roof	HDWE	Hardware	SIM	Similar
CAB	Cabinet	HGT	Height	SPEC	Specification
C.B.	Catch Basin	HM	Hollow Metal	SQ	Square
C.B.	Catch Basin	HORIZ	Horizontal	SS	Stainless Steel
CEM	Cement	HR	Hour	S.S.K	Service Sink
CI	Cast Iron	HW	Hot Water Heater	STA	Station
CL	Closet	HVAC	Heating/Ventilating/Air Conditioning	STD	Standard
CT	Ceramic Tile	ID	Inside Diameter (dim)	STL	Steel
CLG	Celling	ILO	In Lieu Of	SUSP	Suspended
CLR	Clear	INSUL	Insulation	SYM	Symmetrical
C.M.U.	Concrete Masonry Unit	INT	Interior	SYS	System
C.O.	Clean Out	INTERM	Intermediate	T	Tread
COL	Column	INV	Invert	TC	Top of Curb
CONC	Concrete	JAN	Janitor	TEL	Telephone
CONSTR	Construction	JNT/JT	Joint	TER	Terrazzo
CONT	Continuous	KCJ	Keyed Control Joint	T&G	Tongue & Groove
CTR	Center	LAM	Laminated	THK	Thick
DBL	Double	LAV	Lavatory	TP	Top of Pavement
DEPT	Department	LT.FIX.	Light Fixture	TPD	Toilet Paper Dispenser
DF	Drinking Fountain	L.F.	Linear Feet	TV	Television
DET	Detail	MAX	Maximum	TM	Top of Wall
DEMO	Demolition	MECH	Mechanical	TYP	Typical
DIAG	Diagonal	MEMB	Membrane	UNF	Unfinished
DIM	Dimension	MFR	Manufacturer	VCT	Vinyl Composition Tile
DIS	Dispense	MH	Manhole	VERT	Vertical
DN	Down	MIN	Minute	VIF	Verify In Field
DR	Door	MISC	Miscellaneous	VNC	Vinyl Wall Covering
DWG	Drawing	MO	Masonry Opening	W	West
E	East	MTD	Mounted	W	With
EA	Each	MTL	Metal	WC	Water Closet
EJ	Expansion Joint	N	North	WH	Water Heater
EL	Elevation	NIC	Not In Contact	W/O	Without
ELEC	Electrical	NAT	Natural	WP	Waterproof
ELEV	Elevator	NO or #	Number	WSC	Mainscot
EMER	Emergency	NOM	Nominal	WT	Weight
ENCL	Enclosure	NTS	Not To Scale	WNF	Welded Wire Fabric
EQ	Equipment	OA	Overall		
ENC	Electric Water Cooler	OC	On Center		
EXIST	Existing	OD	Outside Diameter (dim)		
EXP	Expansion	OH	Overhead		
EXT	Exterior	OPNS	Opening		
		OPP	Opposite		

INDEX OF DRAWINGS

- 3 C-1 COVER SHEET
- C-2 PHOTOGRAPHS
- A-1 DEMO & NEW WORK PLANS
- A-2 FRAMING & DETAILS
- A-3 ELEVATIONS
- A-4 DETAILS

PROJECT DATA

CODE REFERENCE: 2018 IRC WITH AMENDMENTS
 PARCEL ID: E0000731023
 ACREAGE: 0.082
 ZONING: R-6

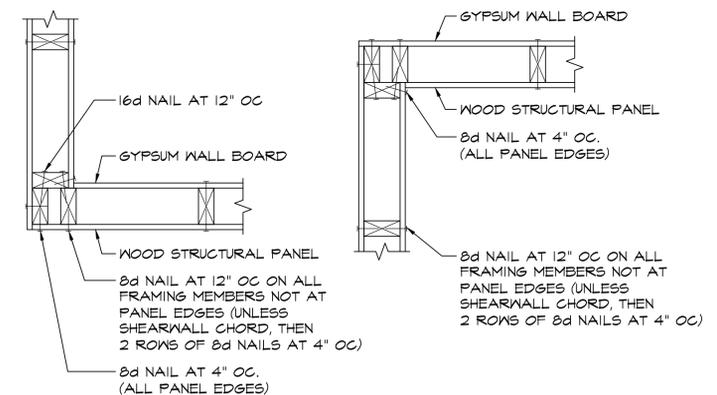
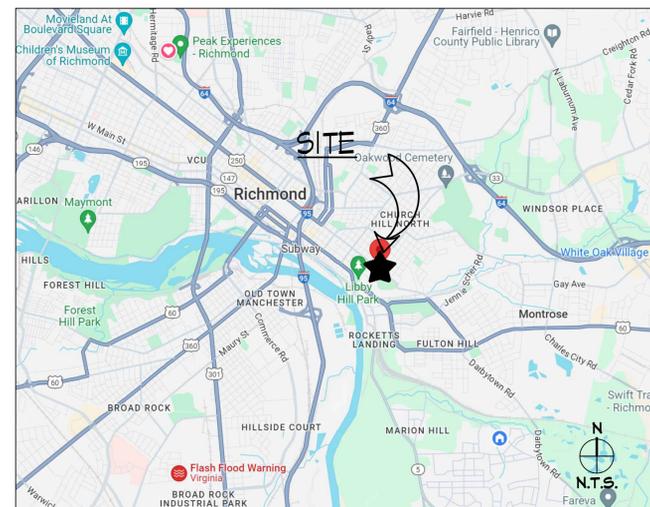
GENERAL NOTES

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES, ORDINANCES AND LAWS.
- ALL DIMENSIONS NOTED AS ± ARE EXISTING. THE CONTRACTOR IS TO VERIFY ALL FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES ARISE, THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE WORK W/ ALL TRADES.
- DIMENSIONS ARE GIVEN TO FACE OF WOOD STUDS/CMU OR OUTSIDE FACE OF EXIST. MASONRY.
- AFTER DEMOLITION, PATCH AND REPAIR ALL ADJACENT SURFACES AS REQUIRED. MATCH EXISTING SURFACES AT ALL AREAS OF DEMOLITION, EQUIPMENT REMOVAL, ETC..
- DOOR JAMBS SHALL BE LOCATED 6" FROM ADJACENT WALL UNLESS OTHERWISE INDICATED. FULL SIDE MUST BE A MINIMUM 18" FROM ADJACENT WALL.
- ALL WOOD USED IN EXTERIOR CONDITIONS SHALL BE PRESSURE TREATED.
- ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

SCOPE OF WORK

EXISTING 2-STORY RESIDENCE TO BE SELECTIVELY DEMOLISHED ON THE INTERIOR ONLY. PARTIAL REMOVAL OF THE EXTERIOR WALL ON THE EAST SIDE OF THE BUILDING. A NEW FOUNDATION WILL BE PLACED WHERE NEW CONSTRUCTION IS PROPOSED. THE EXISTING CONTINUOUS FOOTING, 8" CMU WALL TO REMAIN, EXTERIOR WALL AND INTERIOR LOAD BEARING WALL TO BE PARTIALLY REMOVED.

VICINITY MAP



CORNER FRAMING DETAILS
 NOT TO SCALE

GENERAL NOTES

- NEW CONSTRUCTION SHALL CONFORM IN ALL RESPECTS TO THE 2018 VIRGINIA RESIDENTIAL CODE AND ITS AMENDMENTS AND ADDITIONS THERETO.
- ALL DIMENSIONS SHOWN HEREIN ARE FROM FACE OF STUD TO FACE OF STUD OR MASONRY, UNLESS OTHERWISE NOTED.
- ELECTRICAL, PLUMBING AND MECHANICAL WORK FOR THIS PROJECT IS TO BE ACCOMPLISHED BY DESIGN/BUILD CONTRACT AS ALLOWED BY THE VIRGINIA CONSTRUCTION CODE.
- INSTALLATION OF ALL PRODUCTS SHALL BE AS REQUIRED BY THE MANUF. LATESTS PRINTED INSTRUCTIONS AND REQUIREMENTS AT THE TIME OF PERMITTING.
- UNLESS OTHERWISE DETERMINED, SELECTED SUBCONTRACTORS SHALL SUPPLY ALL MISC. BLOCKING, BRACING, METAL, TRIM, FASTENERS, HARDWARE, ETC., AS REQUIRED TO COMPLETE THE WORK OF THEIR RESPECTIVE TRADE.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTIONS, OBTAIN CLARIFICATION FROM THE DESIGNER.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL TRADES.
- AFTER DEMOLITION, PATCH AND REPAIR ALL ADJACENT SURFACES AS REQUIRED. MATCH EXISTING SURFACES AT ALL AREAS OF DEMOLITION, EQUIPMENT REMOVAL, ETC.
- ALL EXISTING UNDESIRABLE PLANT GROWTH, TRASH DEBRIS AND OTHER SITE STRUCTURES SHALL BE REMOVED FROM THE PROJECT SITE AREA AND LEGALLY DISPOSED OFF SITE.
- DOOR JAMBS SHALL BE LOCATED 6" FROM ADJACENT WALL UNLESS OTHERWISE INDICATED.
- ALL WOOD USED IN CONTACT WITH STEEL OR CMU SHALL BE PRESERVATIVE TREATED.

MATERIAL LEGEND

	BATT INSULATION		GYPSUM WALL BOARD OR SHEATHING
	BRICK		RIGID INSULATION
	CONCRETE		ROUGH CARPENTRY, CONT.
	EARTH		ROUGH WOOD, NON-CONT.
	FINISH WOOD		STEEL
	GRAVEL		ITEMS TO BE REMOVED, (ON DEMOLITION DWGS.)

SYMBOLS

	DOOR/WINDOW NUMBER		NORTH ARROW
	MATCH LINE		SECTION KEY
	PARTITION TYPE		ELEVATION KEY
	REVISION DELTA		DETAIL
	ELEVATION KEY		

HOUSE REMODEL COVER SHEET
 3104 E BROAD ST, RICHMOND, VA 23223

DATE: MAY 6, 2024
 JOB NO: 24-033-HOUSE REM
 SHEET NO: C-1
 DWG FILE: HOUSE REM.dwg

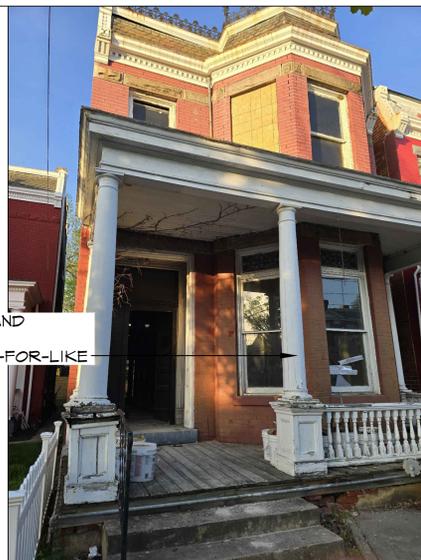
PHOTOGRAPHS



FRONT ELEVATION



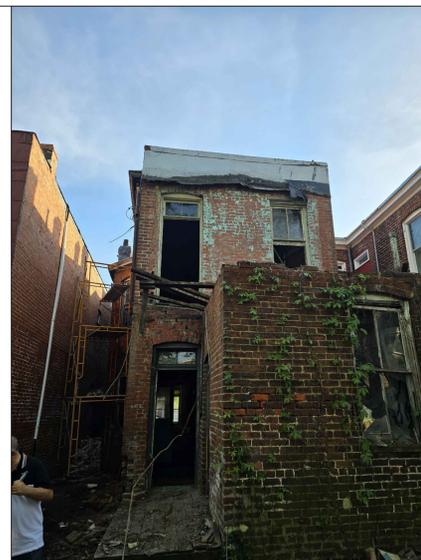
FRONT ELEVATION



FRONT ELEVATION



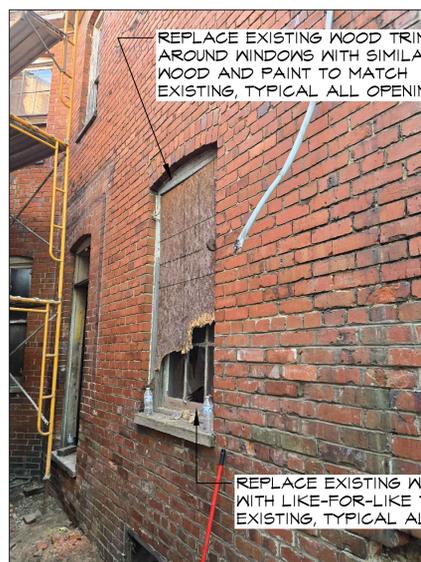
REAR ELEVATION



REAR ELEVATION



RIGHT ELEVATION



RIGHT ELEVATION



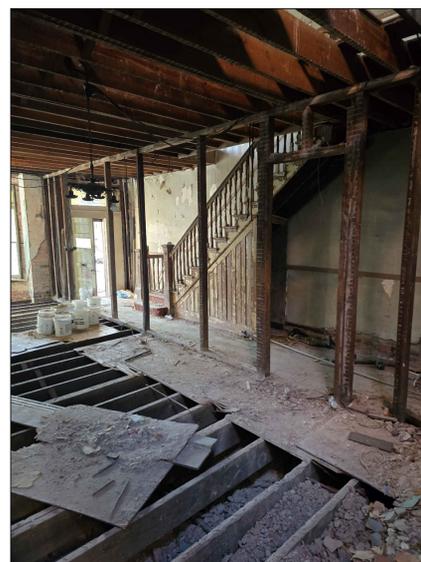
RIGHT ELEVATION



TYP EXIST 2nd FLR WINDOW



RIGHT ELEVATION



INTERIOR ELEVATION @ STAIRS



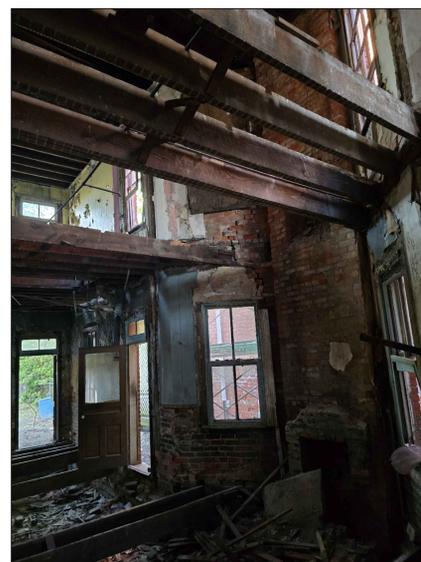
FRONT WALL



EXIST STAIRS



REAR WALL



RIGHT WALL (PARTIAL DEMO)

REBUILD EXISTING VESTIBULE

REPLACE EXISTING WOOD TRIM AROUND WINDOWS WITH SIMILAR WOOD AND PAINT TO MATCH EXISTING, TYPICAL ALL OPENINGS

EXISTING TRIM AND COLUMNS TO BE REPLACED LIKE-FOR-LIKE

RE-POINT BRICK, TYP ENTIRE STRUCTURE

EXISTING UTILITY ROOM TO BE DEMOLISHED DUE TO UNSTABLE CONDITIONS AND UNSUITABLE FOR A SECOND FLOOR ADDITION

REPLACE EXISTING WOOD TRIM AROUND WINDOWS WITH SIMILAR WOOD AND PAINT TO MATCH EXISTING, TYPICAL ALL OPENINGS

DEMOLISH EXISTING BUMPOUT COMPLETELY

REPOINT EXISTING MORTAR JOINTS, TO MATCH EXISTING

REPLACE EXISTING WINDOWS WITH LIKE-FOR-LIKE TO MATCH EXISTING, TYPICAL ALL OPENINGS

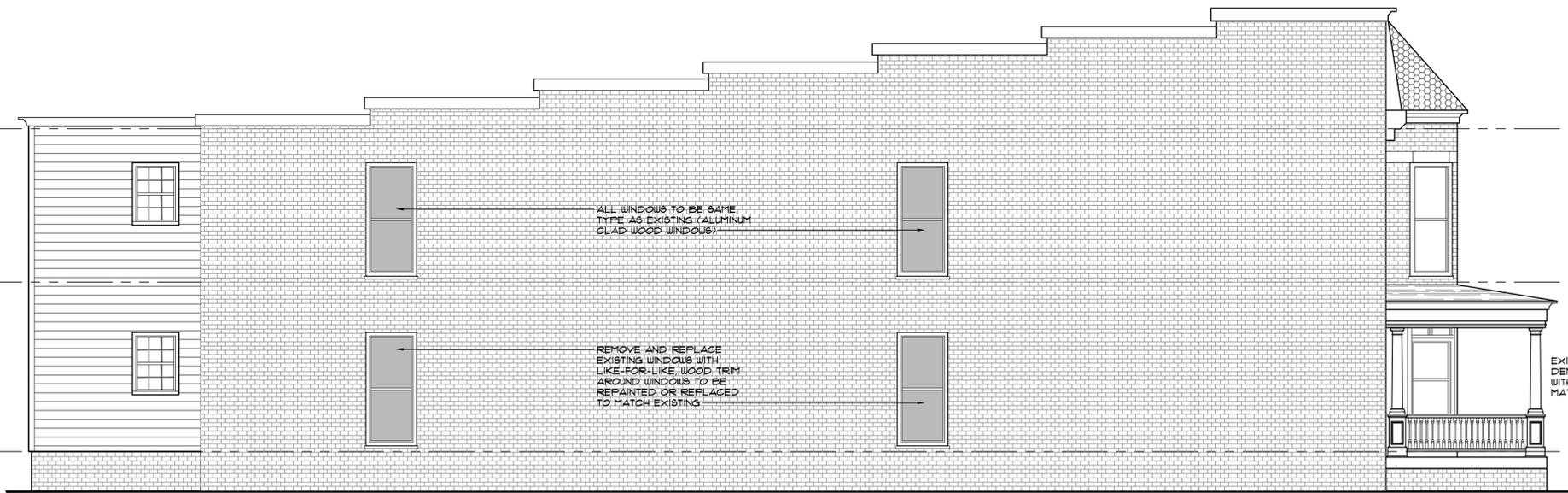
REVISIONS:	DATE:	REV #	DESCRIPTION
	09/02/2024	1	CITY COMMENTS
	10/08/2024	2	CITY COMMENTS
	11/19/2024	3	CITY COMMENTS
	03/12/2025	4	CITY COMMENTS

HOUSE REMODEL PHOTOGRAPHS

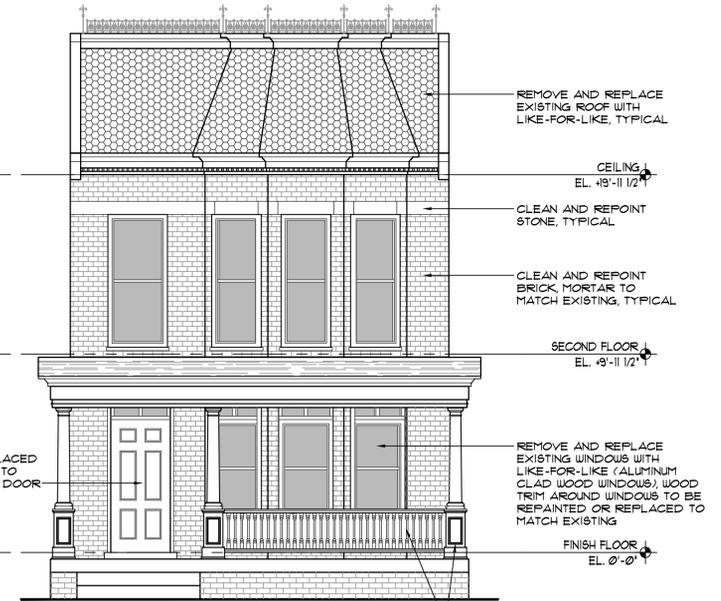
3104 E BROAD ST, RICHMOND, VA 23223

DATE:	MAY 6, 2024
JOB NO:	24-033-HOUSE REM
SHEET NO:	C-2
DWG FILE:	HOUSE REM.dwg

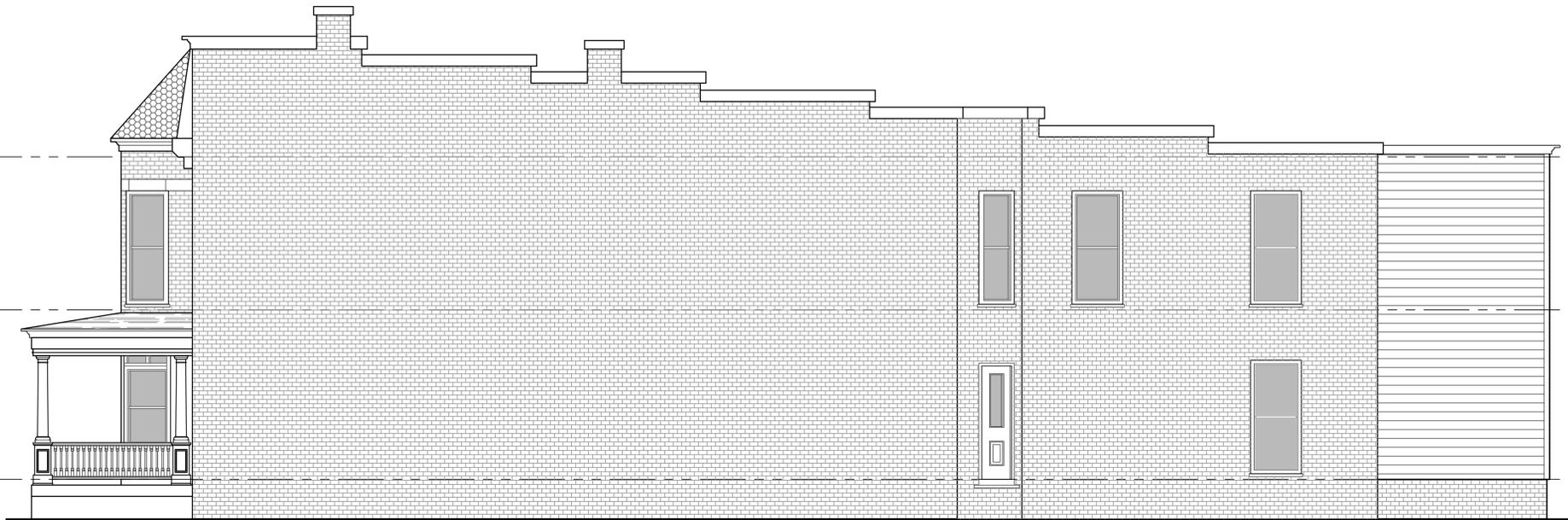
DATE	REV #	DESCRIPTION
09/02/2024	1	CITY COMMENTS
10/08/2024	2	CITY COMMENTS
11/19/2024	3	CITY COMMENTS
03/12/2025	4	CITY COMMENTS



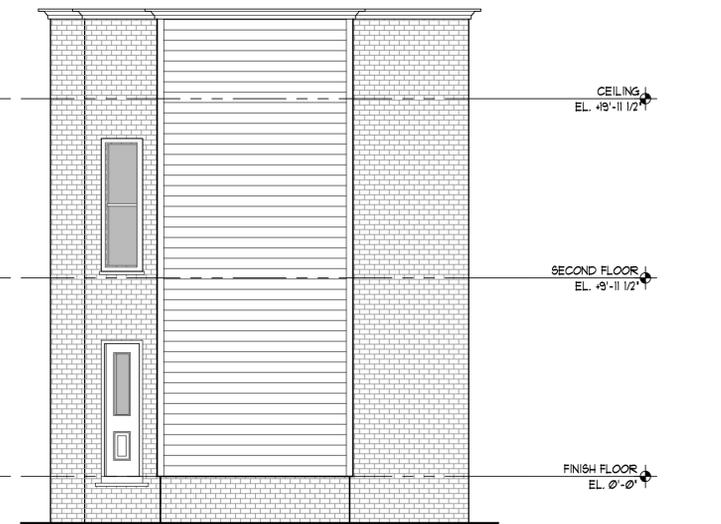
LEFT ELEVATION 2
SCALE: 1/4" = 1'-0" A-3



FRONT ELEVATION 1
SCALE: 1/4" = 1'-0" A-3



RIGHT ELEVATION 4
SCALE: 1/4" = 1'-0" A-3

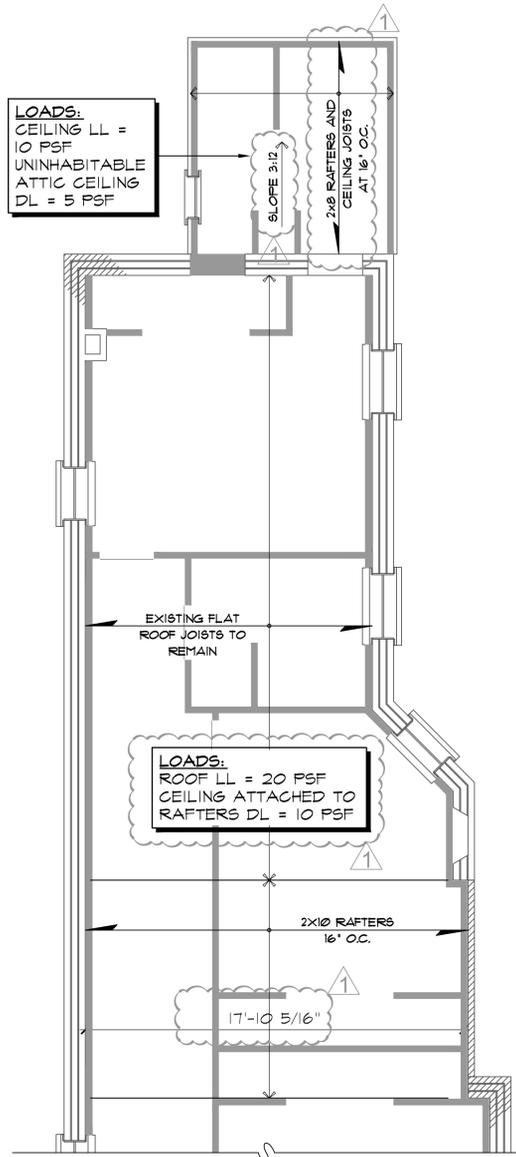


REAR ELEVATION 3
SCALE: 1/4" = 1'-0" A-3

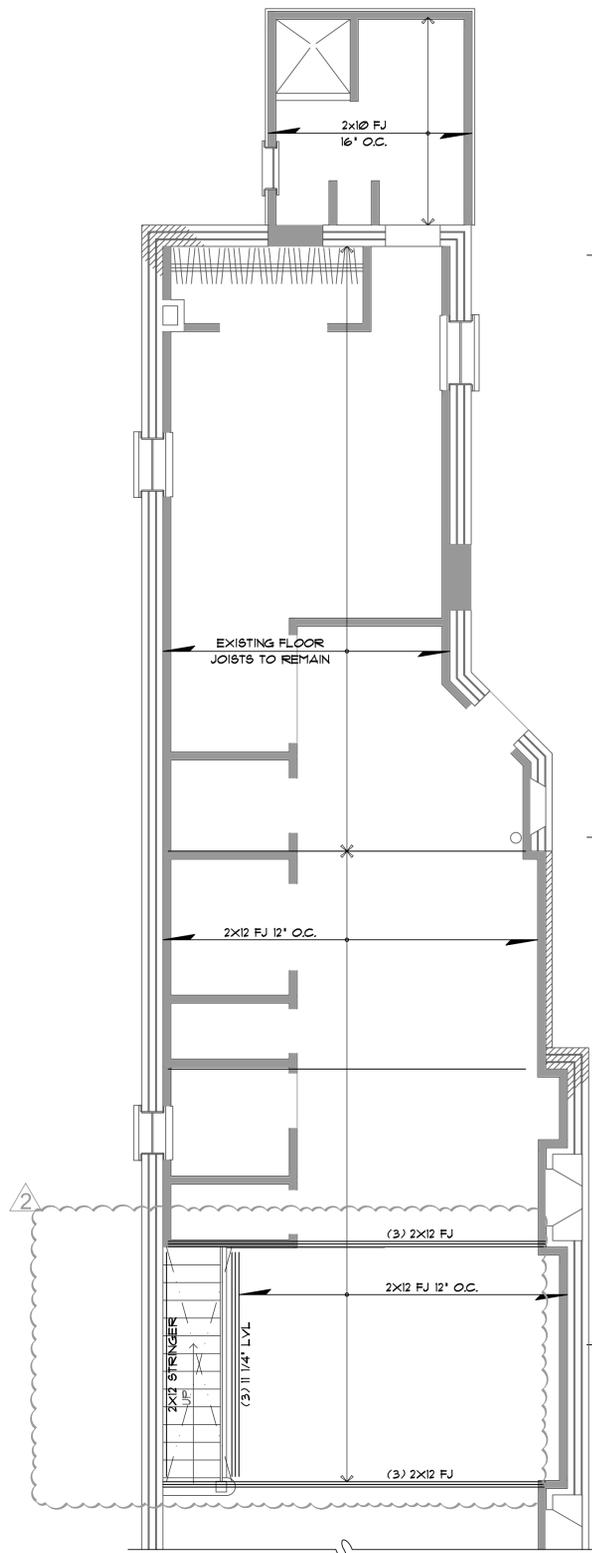
HOUSE REMODEL ELEVATIONS

3104 E BROAD ST, RICHMOND, VA 23223

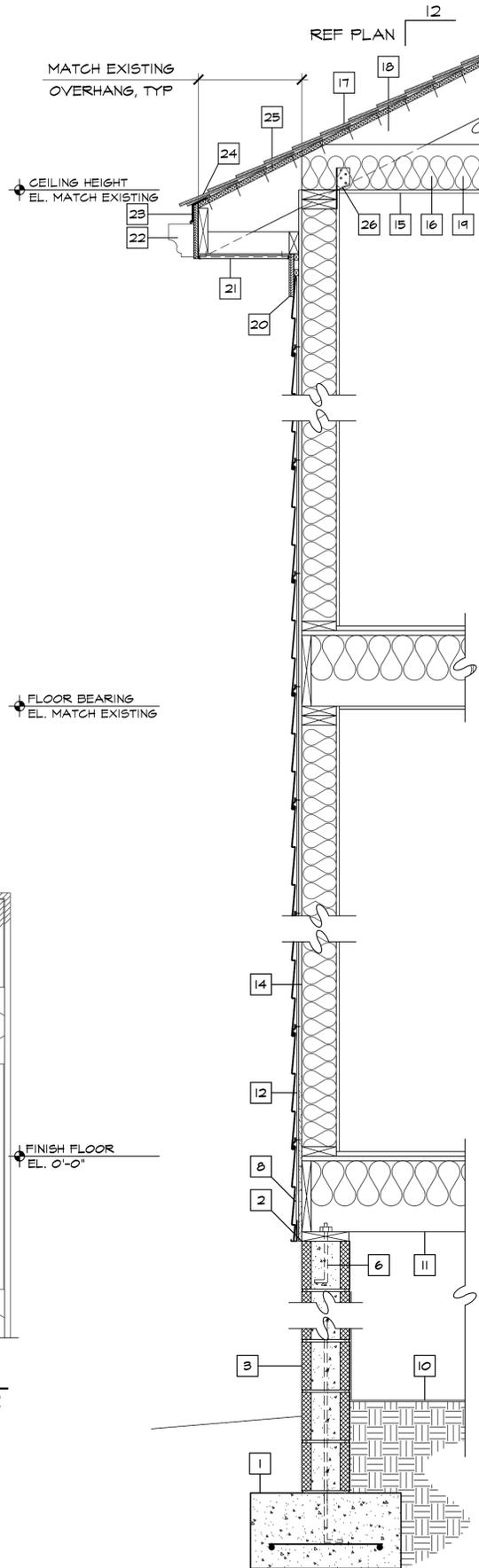
DATE:	MAY 6, 2024
JOB NO.:	24-033-HOUSE REM
SHEET NO.:	A-3
DWG FILE:	HOUSE REM.dwg



ROOF FRAMING PLAN 2
SCALE: 1/4" = 1'-0"
A-2



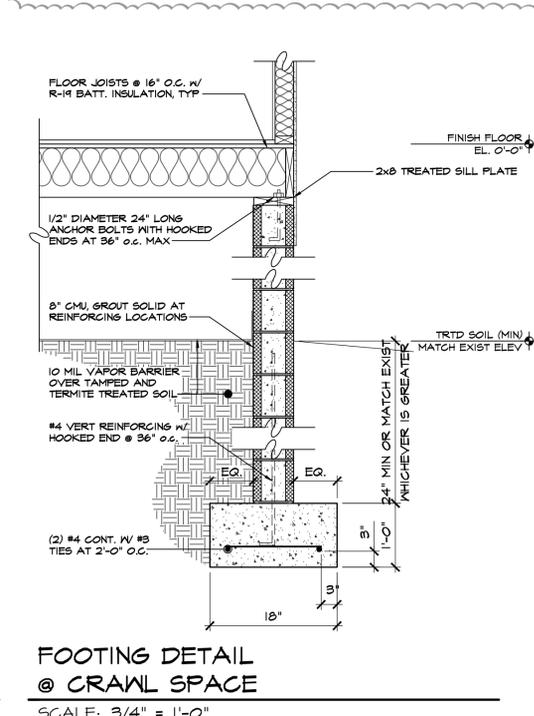
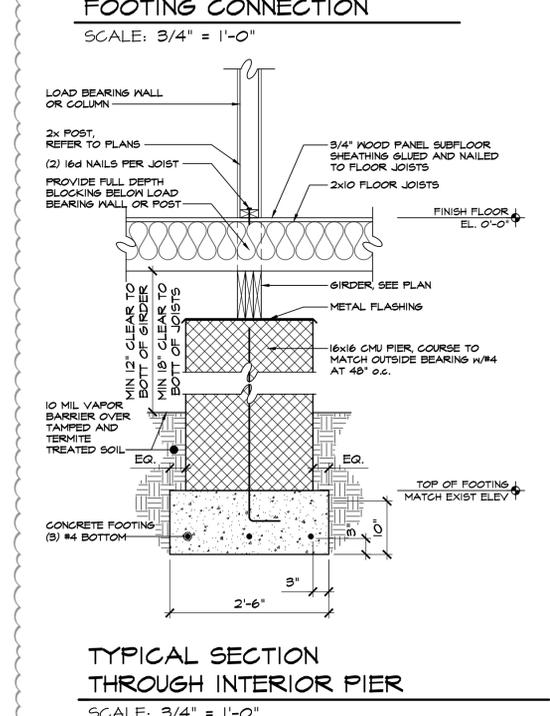
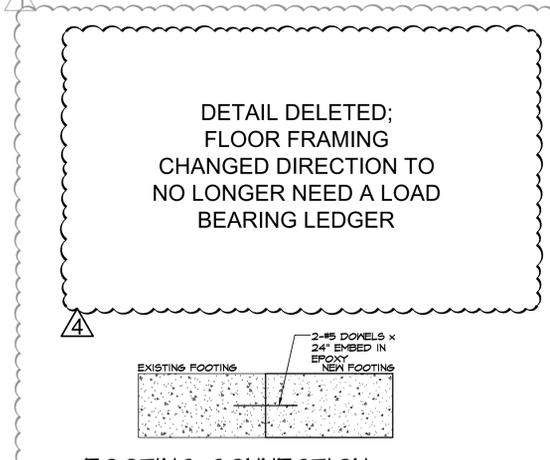
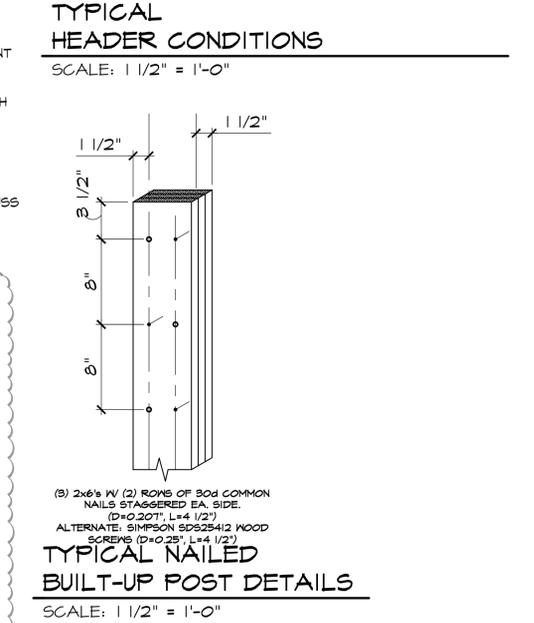
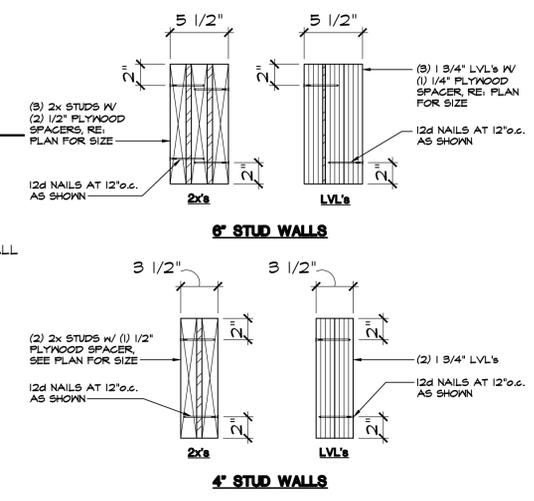
SECOND FLOOR FRAMING PLAN 1
SCALE: 1/4" = 1'-0"
A-2



TYPICAL WALL SECTION
SCALE: 1" = 1'-0"

TYPICAL WALL SECTION NOTES

- 1 CONCRETE FOOTING. SEE CORRESPONDING DETAIL FOR SIZE AND REINFORCING.
- 2 TREATED SILL PLATE. SEE PLAN
- 3 CMU, GROUTED SOLID AT REINFORCING LOCATIONS. TYP. PROVIDE HORIZONTAL JOINT REINFORCING @ EACH COURSE.
- 4 NOT USED
- 5 NOT USED
- 6 1/2" DIAMETER ANCHOR BOLTS AT 36" O.C. MAX. IN SAME CELL AS VERTICAL REINFORCING. LOCATE BOLTS 12" FROM CORNER OF SILL PLATE(S) MAX., TWO (2) ANCHORS MINIMUM PER SILL PLATE. SECURE SILL PLATE TO ANCHOR BOLTS WITH 3" X 3" X 1/4" WASHERS & NUT, TYP.
- 7 NOT USED
- 8 SIDING TERMINATION, PROVIDE ADEQUATE FLASHING, TYPICAL
- 9 NOT USED
- 10 SEALED PLASTIC VAPOR BARRIER.
- 11 FLOOR JOISTS @ 16" O.C. W/ R-19 BATT. INSULATION, TYP. - SEE PLAN
- 12 TYVEK HOUSE WRAP OVER 5/8" EXTERIOR SHEATHING.
- 13 BATT INSULATION, R-24 AT WALL.
- 14 WALL STUDS @ 16" O.C.
- 15 1/2" GNB TYPICAL, TAPED, FINISHED & PAINTED ON WALL AND CEILING.
- 16 BATT INSULATION, R-49 AT CEILING.
- 17 ASPHALT SHINGLES, AS SELECTED BY OWNER.
- 18 ROOF TRUSSES @ 24" O.C. - SEE PLAN
- 19 CEILING JOIST AT 16" O.C. - REF PLAN
- 20 FRIEZE BOARD.
- 21 VINYL VENTED SOFFIT, TO MATCH EXISTING.
- 22 PREFIN. GUTTER, TO MATCH EXISTING.
- 23 1 X 10 FASCIA BOARD, PAINT OR WRAP W/METAL AS REQUIRED T.M.E.
- 24 METAL FLASHING, TO MATCH EXISTING.
- 25 15# ASPHALT SATURATED ROOFING FELT OVER 1/2" PLYWOOD.
- 26 SIMPSON H2.5 (OR EQUAL) HURRICANE TIE @ EACH TRUSS END, TYPICAL.
- 27 3/4" PLY SUBFLOOR



REVISIONS:

DATE	REV #	DESCRIPTION
09/02/2024	1	CITY COMMENTS
10/08/2024	2	CITY COMMENTS
11/19/2024	3	CITY COMMENTS
03/12/2025	4	CITY COMMENTS

HOUSE REMODEL
FRAMING & DETAILS
3104 E BROAD ST, RICHMOND, VA 23223

DATE:
MAY 6, 2024

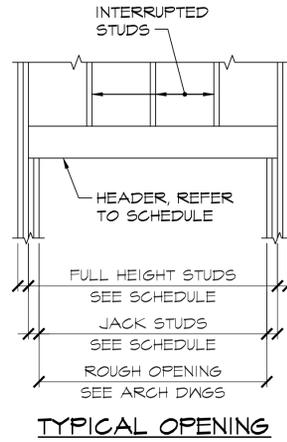
JOB NO.:
24-033-HOUSE REM

SHEET NO.:
A=2

DWG FILE:
HOUSE REM.dwg

WOOD HEADER SCHEDULE NOTES:

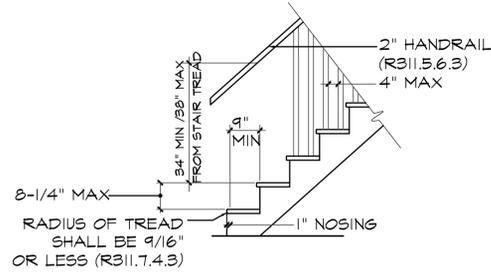
1. HEADER SCHEDULE APPLIES TO MEMBERS IN PERIMETER AND INTERIOR BEARING WALLS NOT OTHERWISE NOTED ON DRAWINGS.
2. FULL HEIGHT STUDS APPLY TO EXTERIOR WALLS AND SHEARWALLS ONLY. PROVIDE SINGLE FULL HEIGHT STUD TO ALL OTHER WALLS.
3. WHERE SPECIFIED JACK STUDS AND FULL HEIGHT STUDS WILL NOT FIT WITHIN THE WALL, PROVIDE FRAMING ANCHORS CAPABLE OF SUPPORTING THE FULL REACTION OF THE HEADER, AND FRAME HEADER INTO THE SIDE OF THE FULL HEIGHT STUDS.
4. PROVIDE PLYWOOD FLITCH PLATES OR SPACERS AS REQUIRED.
5. FOR HEADERS AT LARGER OPENINGS AND HEADERS WITH SPECIAL LOADS, REFER TO PLAN FOR HEADER CONSTRUCTION.



TYPICAL WOOD HEADER DETAIL
NOT TO SCALE

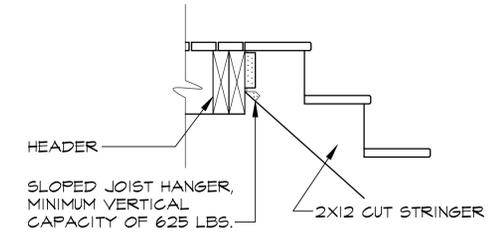
ROUGH OPENING	COMPOSITION	JACK STUDS		FULL HEIGHT STUDS	REMARKS
		1ST FLOOR	2ND FLOOR		
0 TO 4'-0"	(2) 2x8	2	1	2	---
4'-1" TO 6'-0"	(2) 2x10	2	2	3	---
6'-1" TO 7'-6"	(2) 2x12	2	2	4	---
7'-7" TO 9'-0"	(2) 3/4"x117/8" LVL	3	2	5	---

* REFER TO PLAN FOR HEADER SIZE, IF NOT SHOWN USE SCHEDULES



NOTES:
1. STAIR WIDTH SHALL BE 3'-0" CLEAR MINIMUM, IF NOT SHOWN ON PLAN

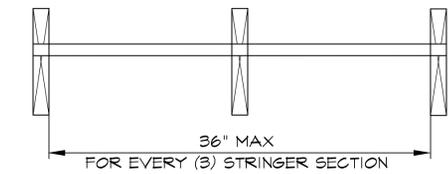
STAIR DETAIL
NOT TO SCALE



STAIR STRINGER ATTCHMENT DETAIL

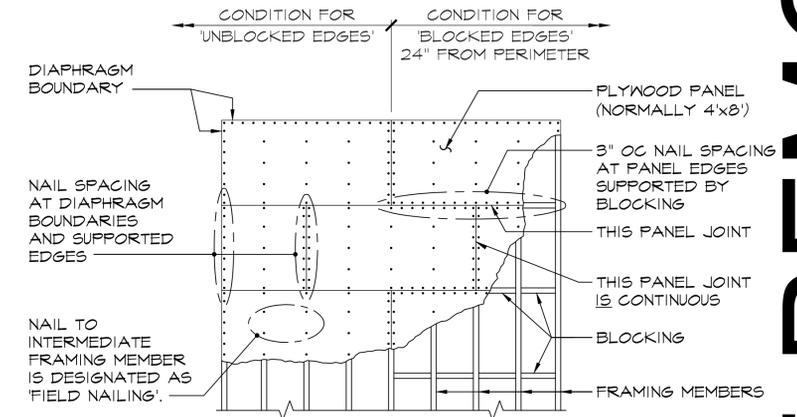
NOT TO SCALE

ATTACHMENT PER TREAD AT EACH LEDGER:
2X - (2)8d THREADED NAILS OR (2)#8 SCREWS > 2-1/2" LONG



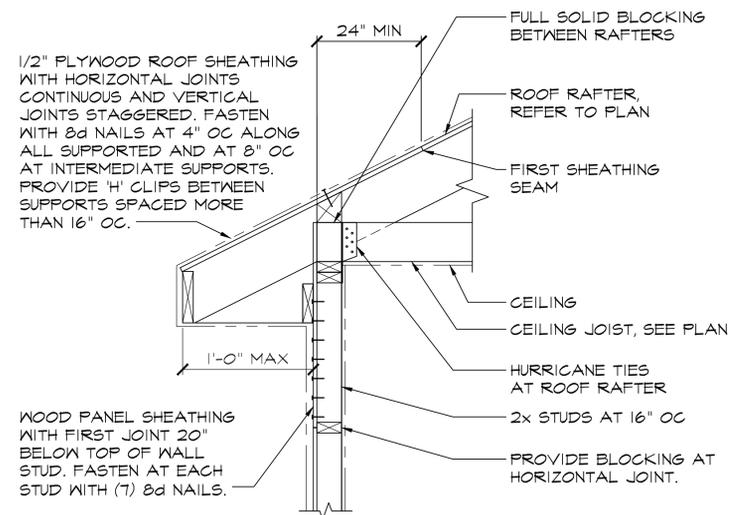
TREAD CONNECTION DETAIL

NOT TO SCALE



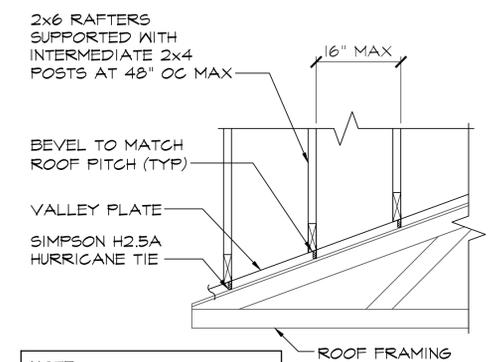
TYPICAL ROOF DIAPHRAGM DETAIL

NOT TO SCALE



TYPICAL RAFTER BEARING SECTION

NOT TO SCALE



NOTE:
REFER TO 'TYPICAL VALLEY FRAMING DETAIL' FOR INFORMATION NOT NOTED

TYPICAL OVER FRAMING DETAIL

NOT TO SCALE

REVISIONS:	DATE:	DESCRIPTION:
1	09/02/2024	CITY COMMENTS
2	10/08/2024	CITY COMMENTS
3	11/19/2024	CITY COMMENTS
4	03/12/2025	CITY COMMENTS

HOUSE REMODEL
3104 E BROAD ST, RICHMOND, VA 23223

DATE:	MAY 6, 2024
JOB NO.:	24-033-HOUSE REM
SHEET NO.:	A = 4
DWG FILE:	HOUSE REM.dwg