

INTRODUCED: November 8, 2021

AN ORDINANCE No. 2021-322

To authorize the special use of the properties known as 1012 West 49th Street and 1015 Herbert Street for the purpose of up to three single-family detached dwellings, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: DEC 13 2021 AT 6 P.M.

WHEREAS, the owner of the properties known as 1012 West 49th Street and 1015 Herbert Street, which are situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of up to three single-family detached dwellings, which use, among other things, is not currently allowed by sections 30-410.4, concerning lot area and width, and 30-410.5(1), concerning front yards, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: DEC 13 2021 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 1012 West 49th Street and 1015 Herbert Street and identified as Tax Parcel Nos. S006-0368/023 and S006-0368/030, respectively, in the 2021 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Division of No. 1012 W. 49th Street, in the City of Richmond, Virginia.,” prepared by McKnight & Associates, P.C., and dated February 11, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” are hereby permitted to be used for the purpose of up to three single-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Boundaryless Living LLC,” prepared by Design Intent Creative Solutions, and dated August 20, 2021, with sheet A-1 dated August 20, 2021, and last revised September 20, 2021, “1012 W49th [sic] Street, 1012 W49th [sic] Street, Richmond, VA 23225,” prepared by DHR, dated January 15, 2021, and last revised September 29, 2021, and “Plat Showing Division of No. 1012 W. 49th Street, in the City of Richmond, Virginia.,” prepared by McKnight & Associates, P.C., and dated February 11, 2021, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to three single-family detached dwellings, substantially as shown on the Plans.

(b) All building elevations and site improvements shall be substantially as shown on the Plans. Vinyl siding shall not be used as a building material.

(c) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(d) All mechanical equipment serving the Properties shall be located or screened so as not to be visible from any public right-of-way.

(e) No fewer than four off-street parking spaces shall be provided on the Property, substantially as shown on the Plans.

(f) Prior to the issuance of any certificate of occupancy for the Special Use, the division of the property located at 1015 Herbert Street into two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the

drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the public right-of-way, including new entrances to Clarence Street and Herbert Street, a new sidewalk on Clarence Street, with concrete to match the existing sidewalk, and a street tree on West 49th Street, substantially as shown on the Plans. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

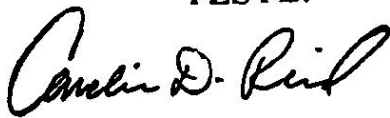
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:



City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request

File Number: PRE.2021.853

O & R Request

DATE: October 8, 2021

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Acting Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic
Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and
Development Review

RE: To authorize the special use of the properties known as 1012 West 49th Street and 1015
Herbert Street for the purpose of three single-family detached dwellings, upon certain terms
and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the properties known as 1012 West 49th Street and 1015
Herbert Street for the purpose of three single-family detached dwellings, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit to authorize construction of two single-family
detached dwellings, and one attached garage for an existing dwelling, within an R-5 Single-Family
Residential zoning district. The proposed uses, among other things, are not permitted under sections
30-410.4 and 30-410.5(1), regarding minimum lot areas and front yards, of the Code of the City of
Richmond (2020), as amended. A Special Use Permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning
Ordinance, the City Planning Commission will review this request and make a recommendation to City
Council. This item will be scheduled for consideration by the Commission at its December 6, 2021, meeting.

BACKGROUND: The property is located in the Forest View neighborhood on 1012 West 49th Street and 1015 Herbert Street. The properties, together, are a combined 15,680 sq. ft. (.228 acre) parcel of land.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Residential which is defined as "Neighborhood consisting primarily of single family houses on large or medium sized lots more homogeneous in nature." Primary Uses: Single family houses, accessory dwelling units, and open space.

Secondary Uses: Duplexes and small multi-family buildings (typically 3 10 units), institutional, and cultural. Secondary uses may be found along major streets (p. 54)

The current zoning for this property is R-5 Single-Family Residential. All adjacent properties are located within the same R 5 Residential Zone. However, the properties are adjacent to a B-2 Community Business District directly to the North on the opposite side of Clarence Street. The area is primarily single family residential, with some multi family, institutional, residential and commercial uses present in the vicinity.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: November 8, 2021

CITY COUNCIL PUBLIC HEARING DATE: December 13, 2021

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: Planning Commission
December 6, 2021

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 1012 West 49th Street - Richmond Virginia - 23225 Date: February 24, 2021
 Tax Map #: S0060368023 Fee: \$300
 Total area of affected site in acres: 0.36

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-5 Single-Family Residential
 Existing Use: Single-Family residential- unoccupied

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report.)

Three Detached Single-Family Residential homes for Adaptive and Aging-In-Place
 Existing Use: Unoccupied Single-Family Detached Residence- preparing for renovation

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Bill Sweeney

Company: BoundaryLess Living, LLC
 Mailing Address: 5101 Caledonia Road
 City: Richmond State: VA Zip Code: 23225
 Telephone: (804) 677-5677 Fax: ()
 Email: bill@hallmark-realty-group.com

Property Owner: BoundaryLess Living, LLC

If Business Entity, name and title of authorized signee: Bill Sweeney

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 5101 Calednoia Road
 City: Richmond State: VA Zip Code: 23225
 Telephone: (804) 677-5677 Fax: ()
 Email: bill@hallmark-realty-group.com

Property Owner Signature:

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

BoundaryLess-Living, LLC

5101 Caledonia Road | Richmond | Virginia 23225

Mobile: (804) 677-5677

Email: bill@hallmark-realty-group.com

APPLICANT'S REPORT FOR **SPECIAL USE PERMIT**

Project Name: Adaptive & Aging-In-Place Residential Development

Property: 1012 W 49th Street Richmond, Virginia 23225

Applicant/Owner: BoundaryLess-Living

ATTN: Bill Sweeney

February 24, 2021

Department of Planning and Development Review

Land Use Administration Division

900 E Broad Street, Room 511

Richmond, Virginia 23219

BoundaryLess-Living is a new local real estate and development company. Our sole focus is adaptive and aging-in-place residential renovations and constructions in Richmond neighborhoods. Our mission is to increase equitable, sustainable and inclusive housing options for families and individuals progressing in age and living with mixed physical/mental abilities. BoundaryLess-Living's projects provide **safer, longer, fuller** lives for these specific communities while also promoting more accessible, livable spaces for everyone.

Currently, residential options for aging-in-place and adaptive needs tend to be assisted-living developments or planned communities. Locations are often outside of, or separate from, centralized neighborhood areas and limit the choices of their residents in so many ways. There is an increasing demand for affordable, inclusive alternatives. Older, aging adults and people living with disabilities are shifting their long-term plans and expectations when it comes to where, and how, they live. These trends will only increase in the coming decades and supply already runs short of demand.

Creator and owner of BoundaryLess-Living, Mr. Bill Sweeney, understands this dilemma from personal experience. Bill became paraplegic in later adulthood. Despite living in Richmond his entire life and working in real estate for over 20 years, he could not find a suitable new home after his release from the hospital. Bill renovated an existing house in Forest Hills where he lives today with his wife, who does not live in a wheelchair. His home provides safety and accessibility, promotes independence and well-being and will continue to accommodate his individual needs and the shared needs of family and friends for years to come.

Proposed Use

BoundaryLess-Living is working to provide similar homes throughout Richmond. Our first project is located at 1012 W 49th Street on a 0.36-acre lot in Forest View (**R-5 Single-Family**

Residential). BoundaryLess-Living purchased the property and existing house in October 2020. The house is currently unoccupied and being prepared for adaptive and aging-in-place renovation. We are submitting a Deed of Division to split the lot by-right for the renovated home so the property can be sold upon completion (June/July 2021). We are seeking special use to further develop the remaining lot-area for two more adaptive and aging-in-place homes for single-family residential use.

Special Use Proposal

BoundaryLess-Living proposes subdividing the lot for a total of three detached single-family residential homes designed/built for adaptive and aging-in-place. The property meets by-right R-5 code ordinances for two. We are applying for a Special Use Permit to build two new homes in addition to the existing, renovated house.

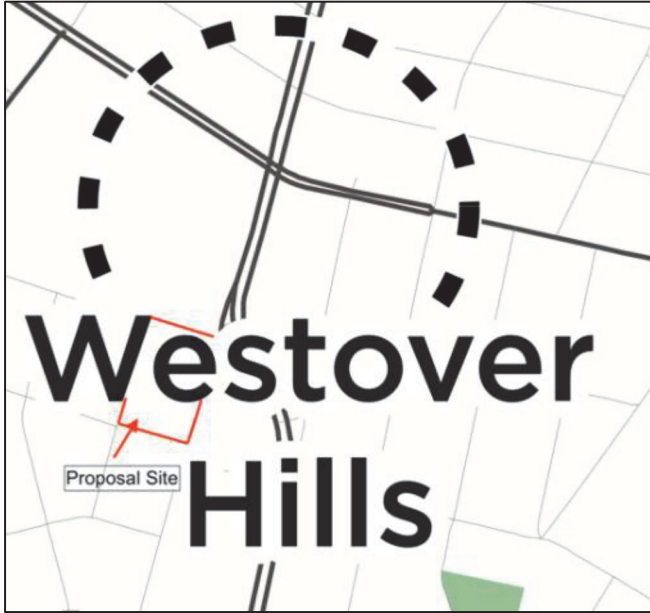
Each new construction will face the street corresponding to its location on the lot. The new house behind 1012 W 49th Street faces Clarence Street and shares a driveway with the renovated home. Its lot area is 4,800 sq feet (special use) with a front yard setback of 15 feet (special use). Its building footprint and all other setbacks comply with existing R-5 requirements. The second new home faces Herbert Street at the back of the lot. Its lot area is 4,522.2 sq feet (special use) also with a front yard setback of 15 feet (special use). This third home's footprint and additional setbacks will also comply with current regulations.

Our special use would permit smaller lot-areas and diminished front yard setbacks proportionate to their smaller areas. [***please refer to plans and site-designs for specific requests for lot sizes and dimensions***]. Smaller lot areas and front yard setbacks will not compromise the safety or comfort of the new homes or adversely affect the surrounding area. Slightly more condensed property layouts will improve accessibility and safety standards for people aging and living with mixed physical/mental abilities and provide more backyard/green space setback from roads.

Compliance with Richmond Master Plan

1012 W 49th Street is located in a node and area of interest according to "Richmond 300: A Guide For Growth." The lot runs the length of the end of a residential block 0.1 miles from a Forest Hill Avenue and Westover Hills Boulevard intersection. This particular intersection has been marked by the city's 300 Master Plan as an area for strategic development.

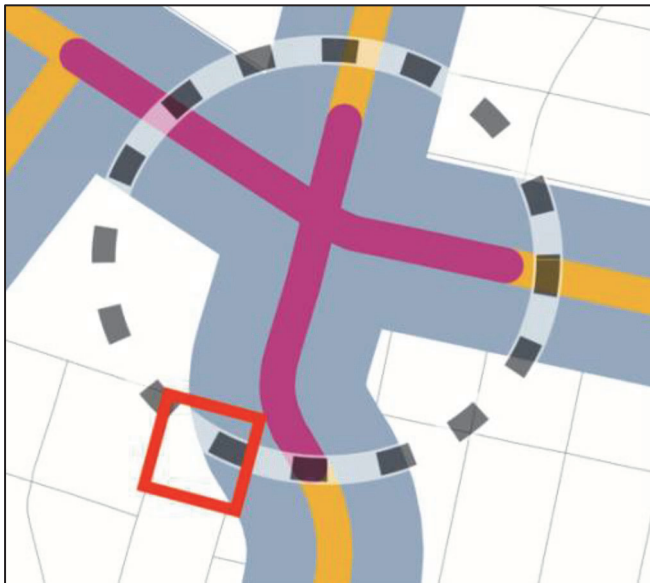
The city plans to work with developers, designers and builders to achieve the goals set out in Richmond's 300 Master Plan. Adaptive and aging-in-place homes in this area are mutually beneficial to residents and the city's goals for equity, sustainability, diversity and high-quality of life. Individuals and families in need of accessible homes also need accessible, livable communities. Our special use development can provide both.



Nodes Map



Future Land Use Map



Future Connections



Realign City Facilities

Image Sources: Richmond Planning & Development Review, Richmond 300: A Guide For Growth: Master Plan Executive Summary, City of Richmond, Final September 2020

Additionally, our proposed special use will **NOT**:

- a. ... ***be detrimental to the safety, health, morals or general welfare of the community involved***

Our special use will not adversely impact the community involved or disrupt current R-5 residential standards for the district. Our proposal directly benefits individuals and families in need of adaptive and aging-in-place housing options and will improve the safety of the block when new ADA curbs/sidewalks are added.

More broadly, our subdivision aligns with the city's goals for inclusivity, diversity and equity. Our lot is located in a node identified by the Richmond 300 Master Plan. New businesses and parks, public transportation hubs and integrated access to medical facilities are just a few target points for the coming years. New projects for public access and beautification are already being discussed. Adaptive and aging-in-place homes within/near designated nodes are an effective way to implement inclusive, equitable development for Richmond neighborhoods.

- b. ... ***tend to create congestion in the streets, roads, alleys, and other public ways and places in the area involved***

All three homes will have an attached garage for on-site parking and will not require residents to park on the street. Super cans will have designated areas for storage on the property between collection days.

The new home facing Herbert street will not overflow into the alley way and will not create congestion in the two-way, paved roadway. The intersecting streets (W 49th and Clarence) are low levels of service set back from busier roads. The traffic flow on Westover Hills and Forest Hills Boulevards will not be affected.

There are two non-residential properties in the surrounding area. Across Clarence is a Dollar General with a large parking lot. Our new homes will not overflow into the commercial space or impact existing access. Across W 49th is Westover Baptist Church and other community facilities. Their parking access is located off Westover Hills Blvd and will not be affected.

- c. ... ***create hazards from fire, panic or other danger***

BoundaryLess-Living is focused on renovating and building homes that provide safer, longer, fuller lives for individuals and families who are aging and living with disabilities. Our subdivision will uphold the highest safety and accessibility standards for the residents AND the neighborhoods we work in. The location of the lot at the end of a residential block is not in a congested area and has several access points for maintenance and emergency services, as well as close proximity to medical care. The subdivision will not compromise the safety of the neighboring properties or general area.

- d. ... ***tend to cause overcrowding of land and an undue concentration of***

The current ratio of units per acre in the city is 8-to-1. The lot will have three units on 0.36 acres, which is an equivalent 12% ratio.

The lot is located at the end of a residential block bordered by three low level of service streets. It is an ideal location for multiple new homes because it only borders one existing residence, 1010 W 49th Street, and will not create undue concentration of use or disturbance for multiple neighbors. The residents of 1010 W 49th Street are aware and supportive of our project for adaptive and aging-in-place homes on the lot.

e. ... ***adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation, or other public requirements, conveniences, and improvements***

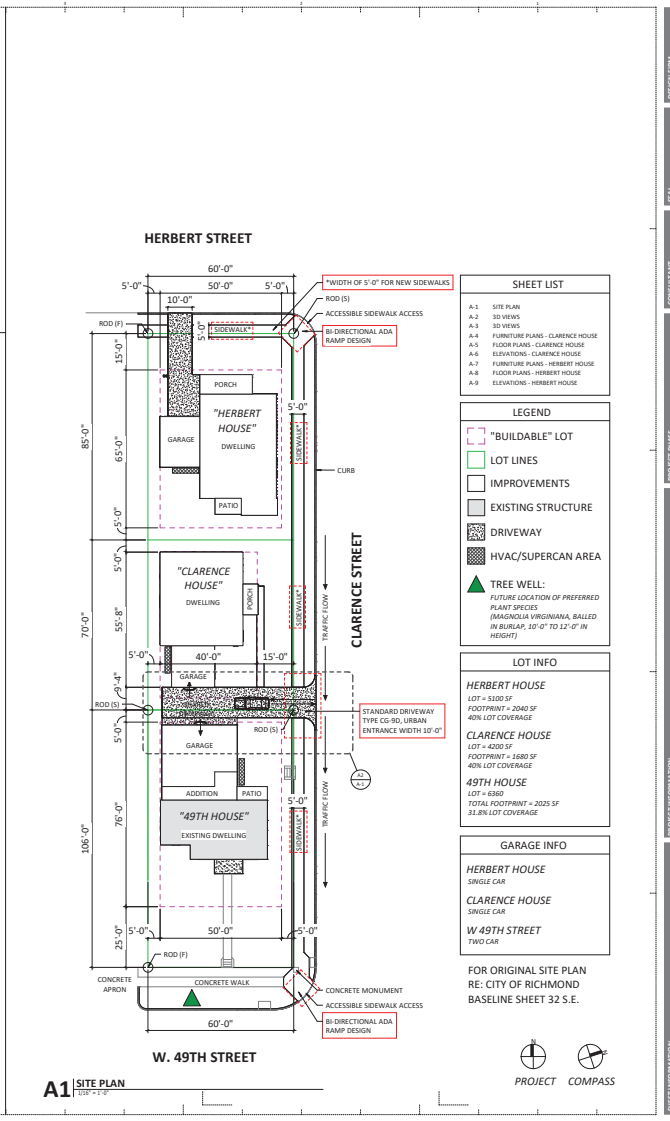
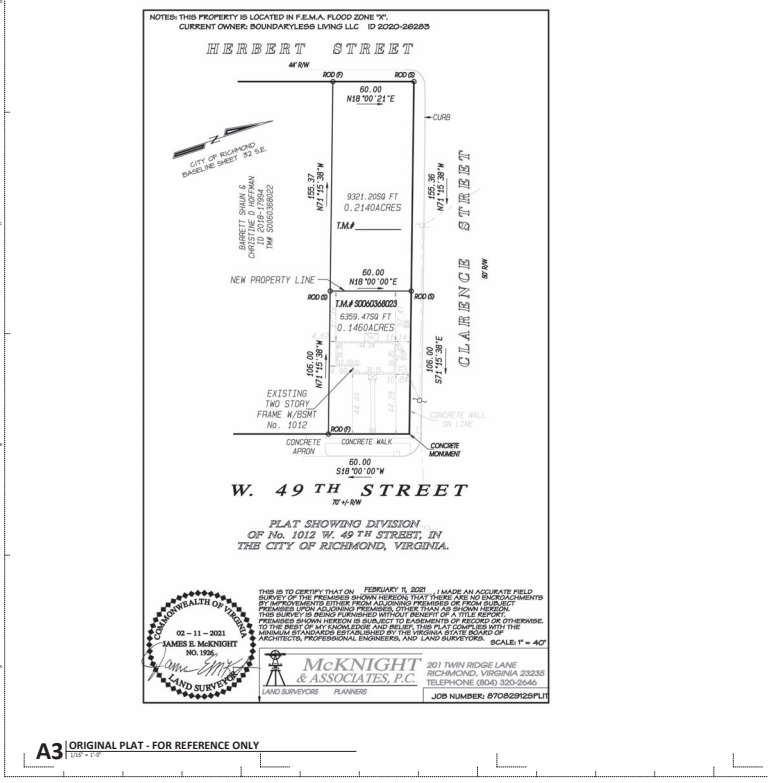
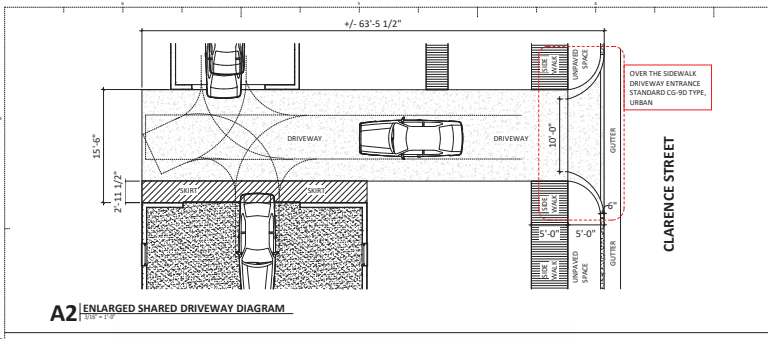
BoundaryLess-Living has met with Richmond's Land Use Administration and Development Review Board about our proposal. We discussed utility access, water access, additional sewage infrastructure, additional permits and surveys and other standard requirements for residential development. In general, our proposal was deemed reasonable and feasible per current zoning requirements **with** special use to subdivide the lot. There are currently no neighboring schools, parks, or playgrounds. Our 811 report for the renovation of 1012 W 49th Street shows no major utility lines or infrastructure in 1012 W 49th Street building area.

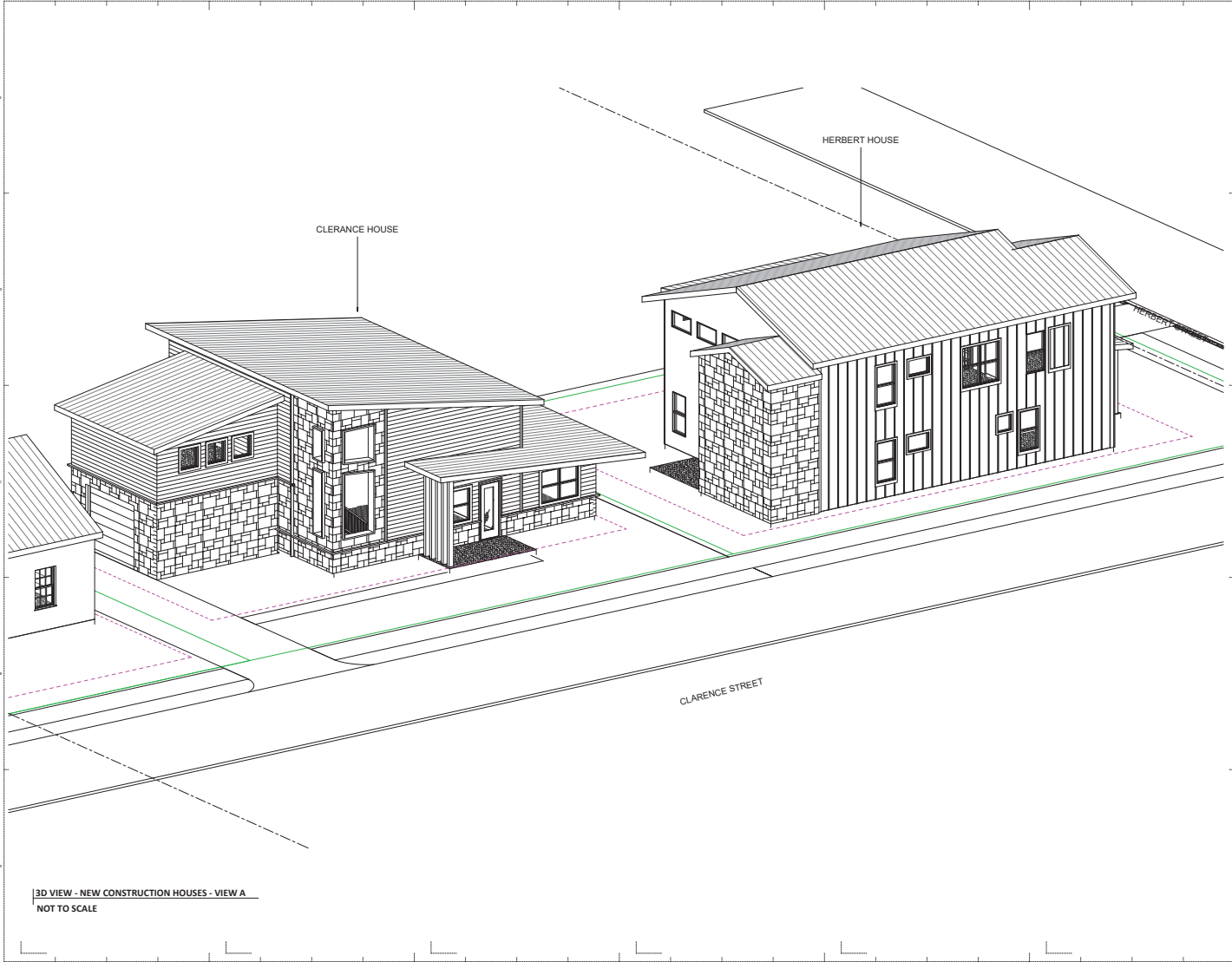
f. ... ***interfere with adequate light and air***

The subdivision will not significantly change the existing light or air conditions of the location or surrounding area. All three homes will comply with the building height and efficiency standards of neighboring R-5 residences. The subdivision will not build above 35' in height nor install or require residential features/utilities that would increase or impede light or energy standards for the area.

Completed Checklist

1. **Application Form:** submitted completed and signed 2/24/2021 ✓
2. **Application Fee:** \$300- Waiting on invoice/payment option through Online Permit Portal ✓
3. **Applicant's Report:** ***A written report must be submitted describing the proposed use:*** submitted as PDF via email along with Application Form ✓
4. **Plans:** submitted as PDFs. Two plans showing site-layout and building plans with dimensions, setbacks, and other measurements for subdivision proposal. Two plans for exterior elevation and building permits for renovation of existing house ✓
5. **Survey Plat:** submitted two survey plats. One original for 1012 W 49th Street property and one survey plat for lot-split ✓





3D VIEW - NEW CONSTRUCTION HOUSES - VIEW A
NOT TO SCALE

9/29/2021 11:58 AM - PLOT DATE

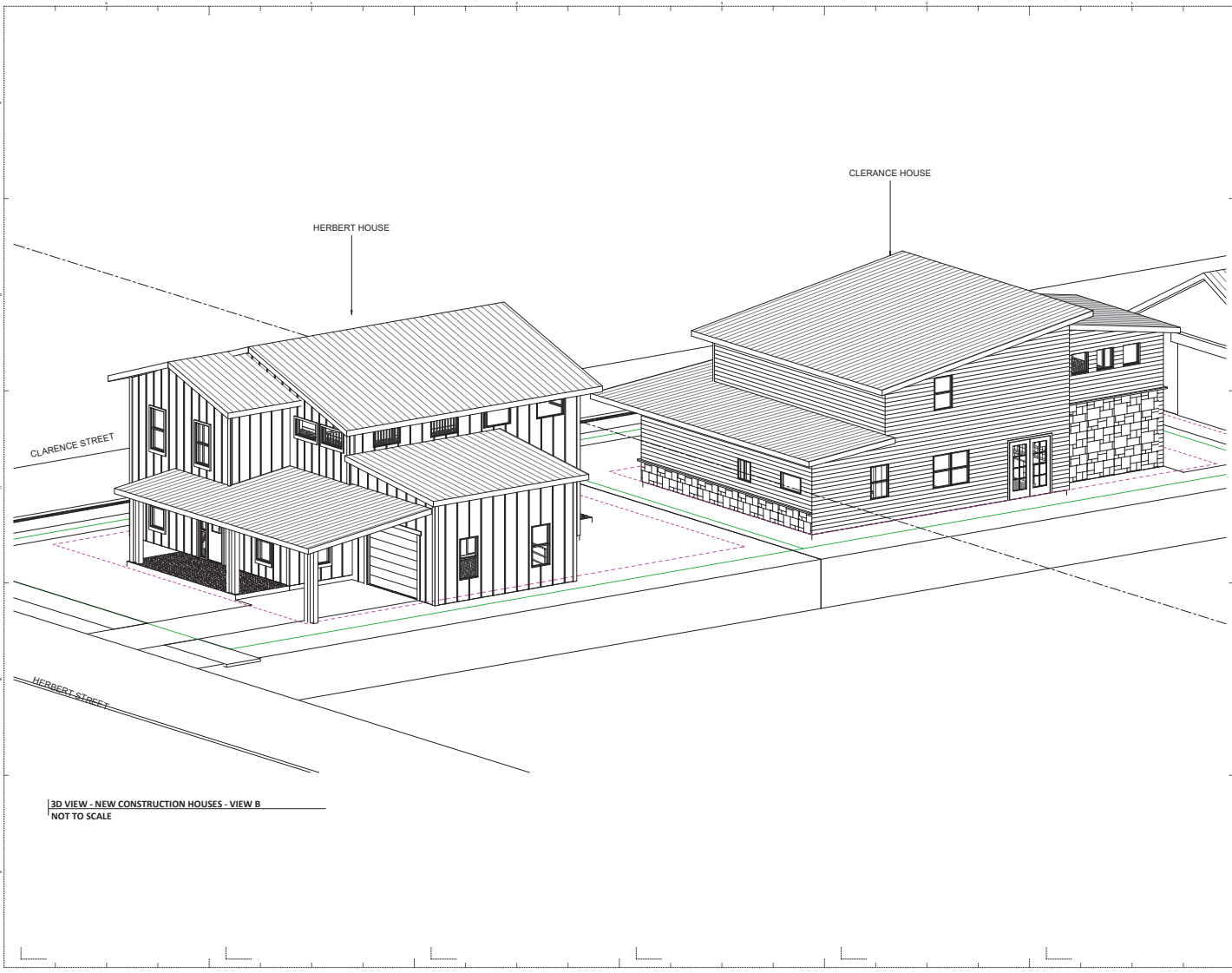
DESIGN INTENT
CREATIVE SOLUTIONS
ARCHITECTURE & DESIGN
410 513 8300
james@designintent.ca
designintent@designintent.com

PROJECT NAME
**SPECIAL USE PERMIT
DRAWINGS**

PROJECT INFORMATION
BOUNDARYLESS LIVING LLC
BILL SWEENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

PROJECT #: N/A
ISSUE DATE: 08.20.2021
REVISIONS:
DESCRIPTION DATE

SHEET INFORMATION
3D VIEWS
A-2



9/29/2021 11:33:00AM - PLOT DATE

DESIGN INTENT
CREATIVE SOLUTIONS
ARCHITECT & DESIGN
410 513 8800
jason@designintent.ca
designintent@designintent.ca

DESIGN FIRM
SCALE

PROJECT NAME
CONSULTANT

SPECIAL USE PERMIT
DRAWINGS

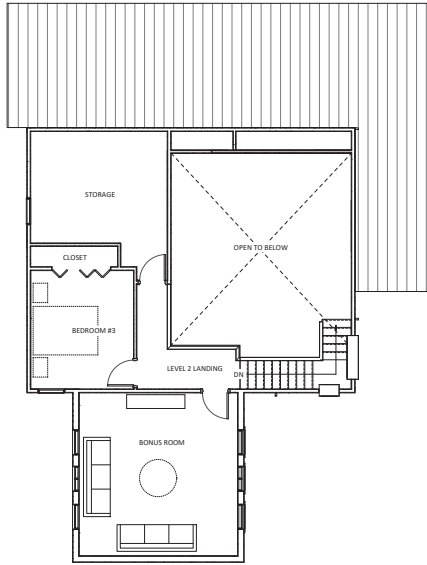
PROJECT ORIGINATOR
BOUNDARYLESS LIVING LLC
BILL SWEENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

PROJECT #: N/A
ISSUE DATE: 08.20.2021

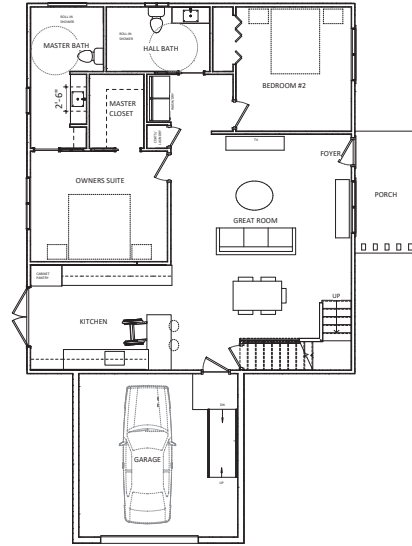
REVISIONS:	DESCRIPTION	DATE

SHEET INFORMATION
3D VIEWS
A-3

9/29/2021 11:11 AM - PLOT DATE



A2 LEVEL 2 - FURNITURE PLANS - CLARENCE HOUSE



FOOTPRINT TOTAL = 1680 SF
LOT AREA = 4200 SF

A1 LEVEL 1 - FURNITURE PLANS - CLARENCE HOUSE

DESIGN INTENT
CREATIVE SOLUTIONS
PLANNING & DESIGN
416.533.8800
jason@creativeintent.com
design@creativeintent.com

PROJECT NAME
**SPECIAL USE PERMIT
DRAWINGS**

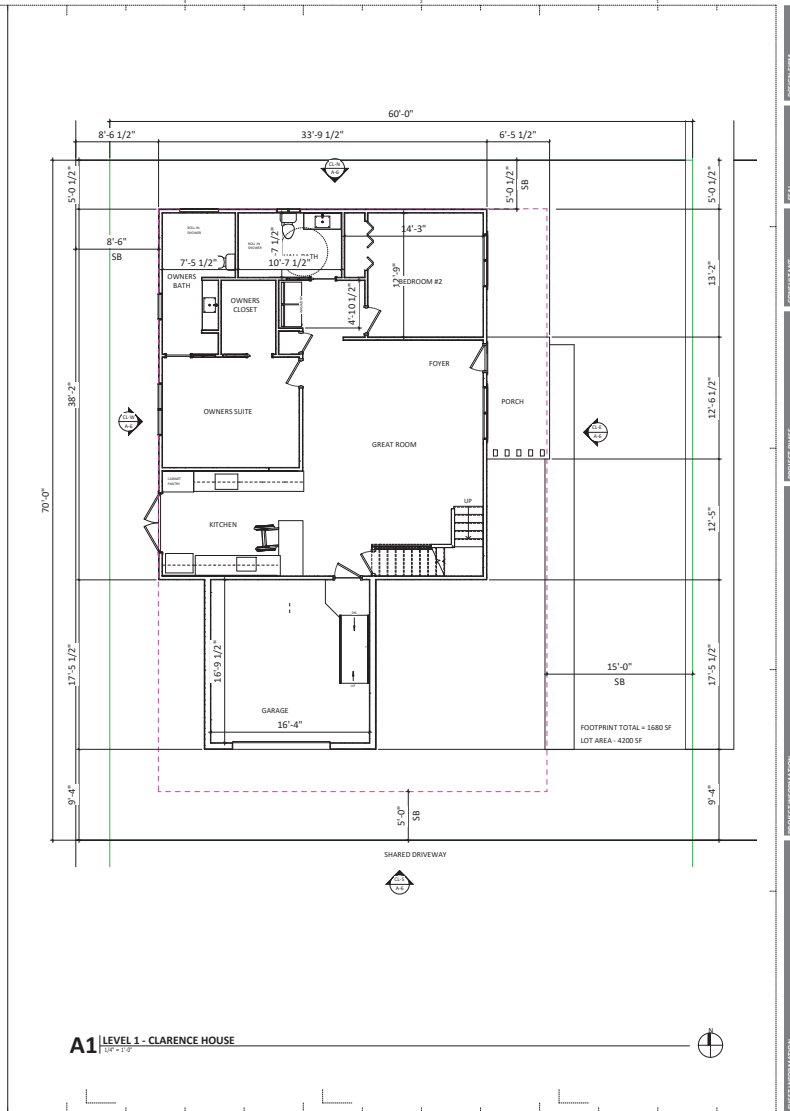
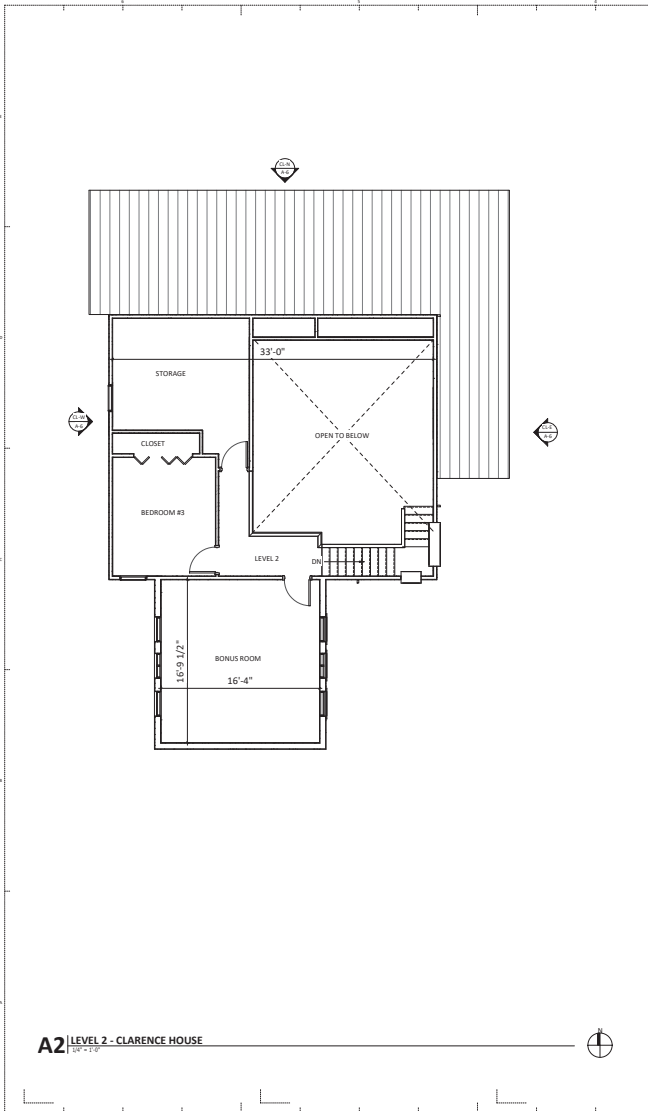
PROJECT ORIGINATOR
BOUNDARYLESS LIVING LLC

BILL SWEEENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

PROJECT #: N/A
ISSUE DATE: 08.20.2021
REVISIONS:

DESCRIPTION DATE
FURNITURE PLANS -
CLARENCE HOUSE
A-4

Kevin J. Vack



DESIGN INTENT
CREATIVE SOLUTIONS
ARCHITECT & DESIGN
410 S. 14th St.
P.O. Box 1000
Des Moines, IA 50319
515.281.1100
info@creativeintent.com
www.creativeintent.com

DESIGN FIRM

SPECIAL USE PERMIT
DRAWINGS

PROJECT NAME
BOUNDARYLESS LIVING LLC

PROJECT LOCATION
BILL SWEEENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

PROJECT # N/A
ISSUE DATE: 08.20.2021
REVISIONS:
REVISION DESCRIPTION DATE

FLOOR PLANS
CLARENCE HOUSE

A-5

DESIGN INTENT
CREATIVE SOLUTIONS
PLANNING & DESIGN
416-233-8800
jacob@creativeintent.com
design@creativeintent.com

DESIGN FIRM
SCALE

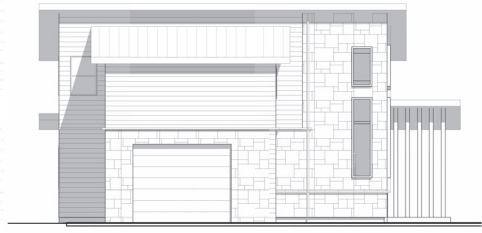
CONSULTANT

PROJECT NAME
**SPECIAL USE PERMIT
DRAWINGS**

PROJECT INFORMATION
BOUNDARYLESS LIVING LLC
BILL SWEENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

PROJECT #: N/A
ISSUE DATE: 08.20.2021
REVISIONS:
REVISION DESCRIPTION DATE

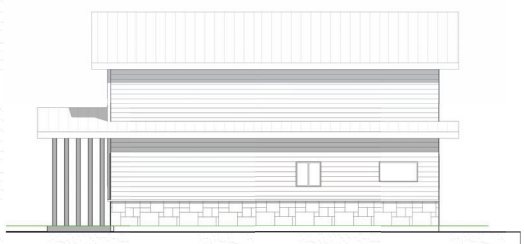
ELEVATIONS - CLARENCE
HOUSE
SHEET INFORMATION
A-6



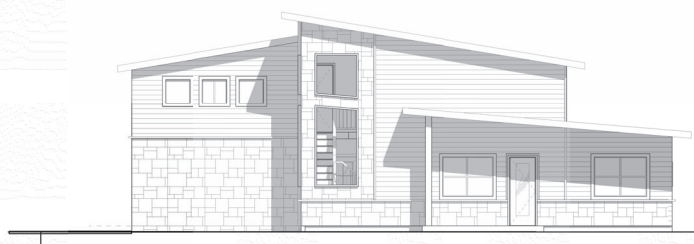
CL-S CLARENCE SOUTH
1/4" = 1'-0"



CL-W CLARENCE WEST
1/4" = 1'-0"



CL-N CLARENCE NORTH
1/4" = 1'-0"

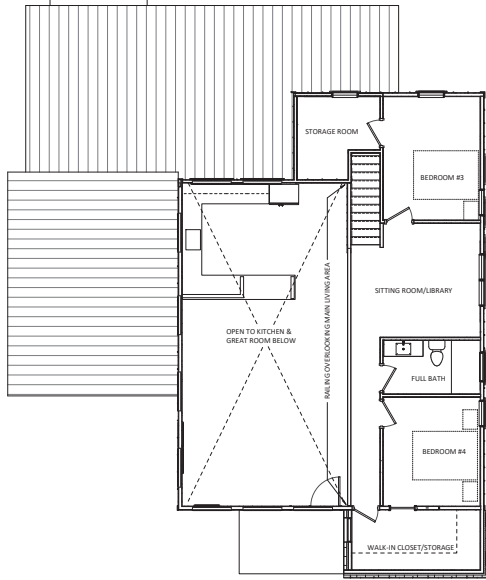


CL-E CLARENCE EAST
1/4" = 1'-0"

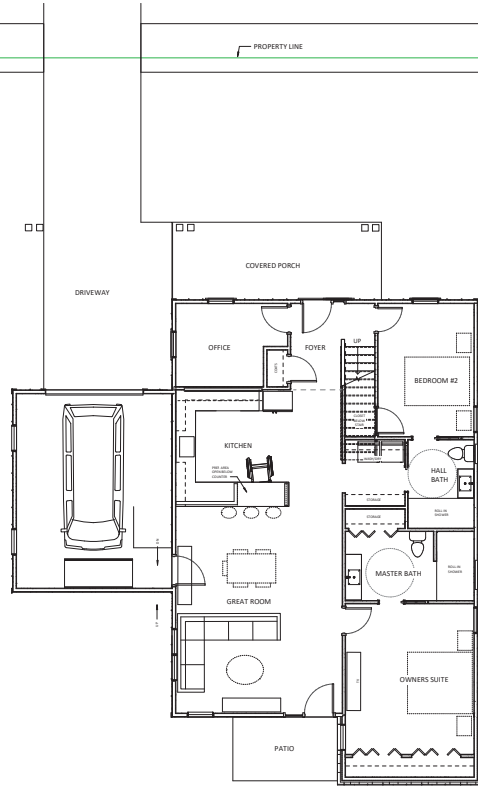
9/29/2021 11:33:54AM - PLOT DATE

9/29/2021 11:31:56 AM - PLOT DATE

A2 LEVEL 2 FURNITURE PLANS - HERBERT HOUSE



A1 LEVEL 1 FURNITURE PLANS - HERBERT HOUSE



FOOTPRINT TOTAL = 2040 SF
LOT AREA = 5500 SF

DESIGN INTENT
CREATIVE SOLUTIONS
PLANNING & DESIGN
410 252 5800
jason@designintent.ca
designintentcreativesolutions.com

DESIGN FIRM

SJAL

CONSULTANT

PROJECT NAME
**SPECIAL USE PERMIT
DRAWINGS**

PROJECT ORIGINATOR
BOUNDARYLESS LIVING LLC
BILL SWENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

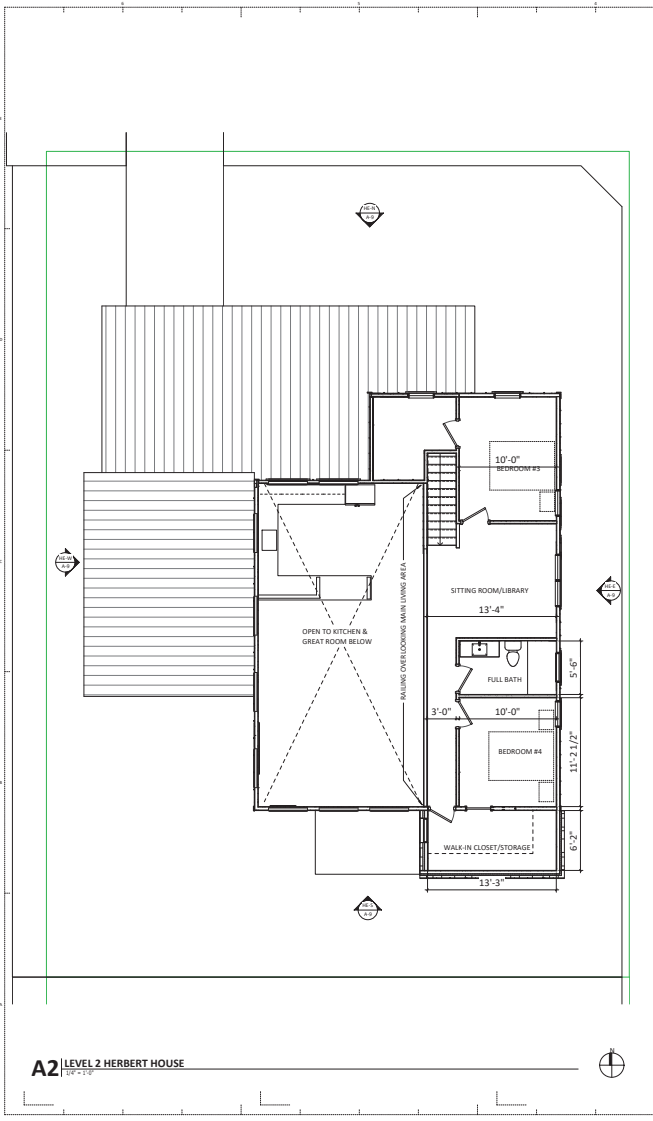
PROJECT #: N/A
ISSUE DATE: 08.20.2021
REVISIONS:
DESCRIPTION DATE

SHEET INFORMATION
FURNITURE PLANS -
HERBERT HOUSE

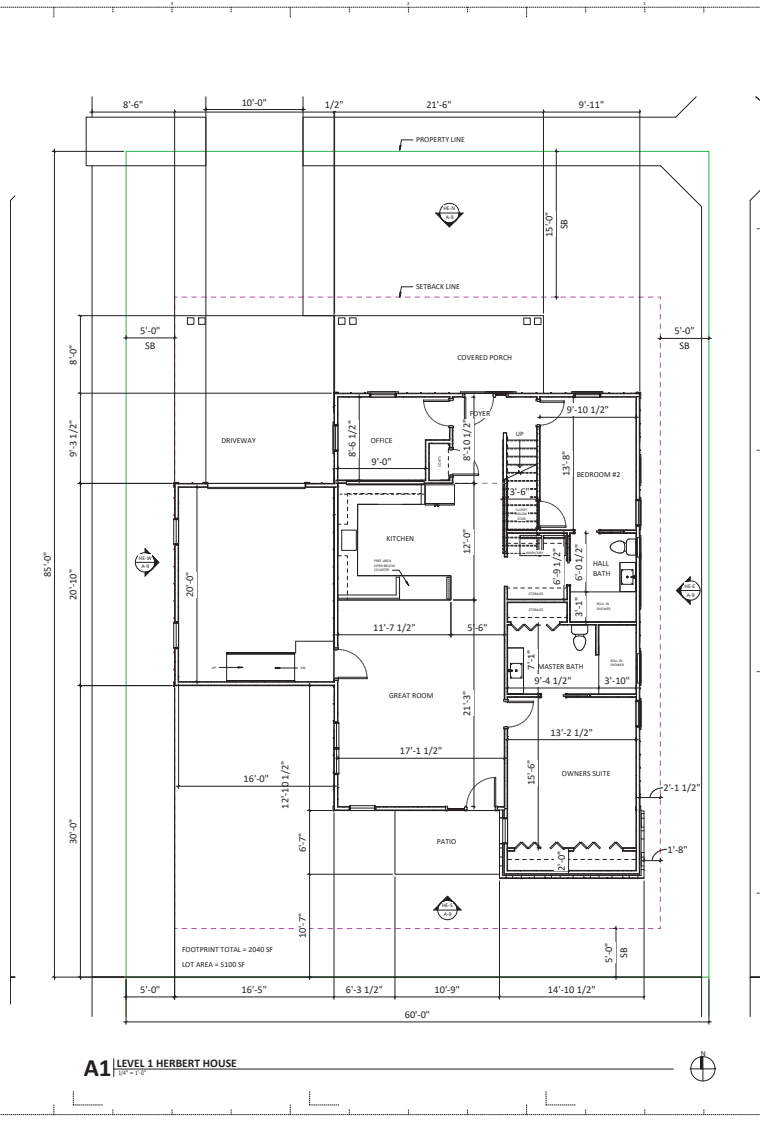
A-7

9/29/2021 11:33 AM - PLOT DATE

A2 LEVEL 2 HERBERT HOUSE



A1 LEVEL 1 HERBERT HOUSE



DESIGN INTENT
CREATIVE SOLUTIONS
ARCHITECT & DESIGN
1400 S. 1000
TAMPA, FL 33610
info@designintent.com
designintent.com

DESIGN FIRM

SPECIAL USE PERMIT
DRAWINGS

PROJECT NAME

BOUNDARYLESS LIVING LLC

BILL SWENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

PROJECT LOCATION

FLOOR PLANS - HERBERT HOUSE

PROJECT # : N/A
ISSUE DATE : 08.20.2021
REVISIONS :
DESCRIPTION DATE

SHEET INFORMATION

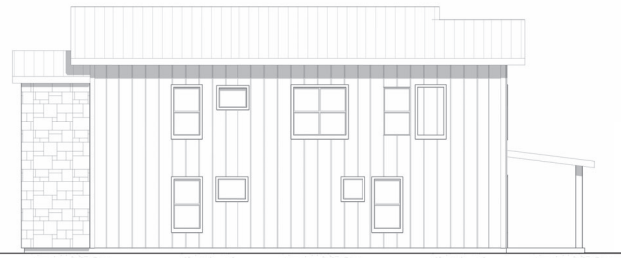
A-8



HE-W HERBERT WEST
1/4" = 1'-0"



HE-S HERBERT SOUTH
1/4" = 1'-0"



HE-E HERBERT EAST
1/4" = 1'-0"



HE-N HERBERT NORTH
1/4" = 1'-0"

9/29/2021 13:31 AM - PLOT DATE

DESIGN INTENT
CREATIVE SOLUTIONS
ARCHITECTURE & DESIGN
416-233-8800
jason@creative-solutions.biz
design@creative-solutions.com

PROJECT NAME
**SPECIAL USE PERMIT
DRAWINGS**

PROJECT ORIGINATOR
BOUNDARYLESS LIVING LLC

BILL SWEENEY - PRESIDENT
BOUNDARYLESS LIVING
HALLMARK REALTY GROUP

PROJECT #: N/A
ISSUE DATE: 08.20.2021
REVISIONS: _____
DESCRIPTION: _____ DATE: _____

ELEVATIONS - HERBERT
HOUSE

A-9

Reviewed per the 2015 Virginia Residential Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

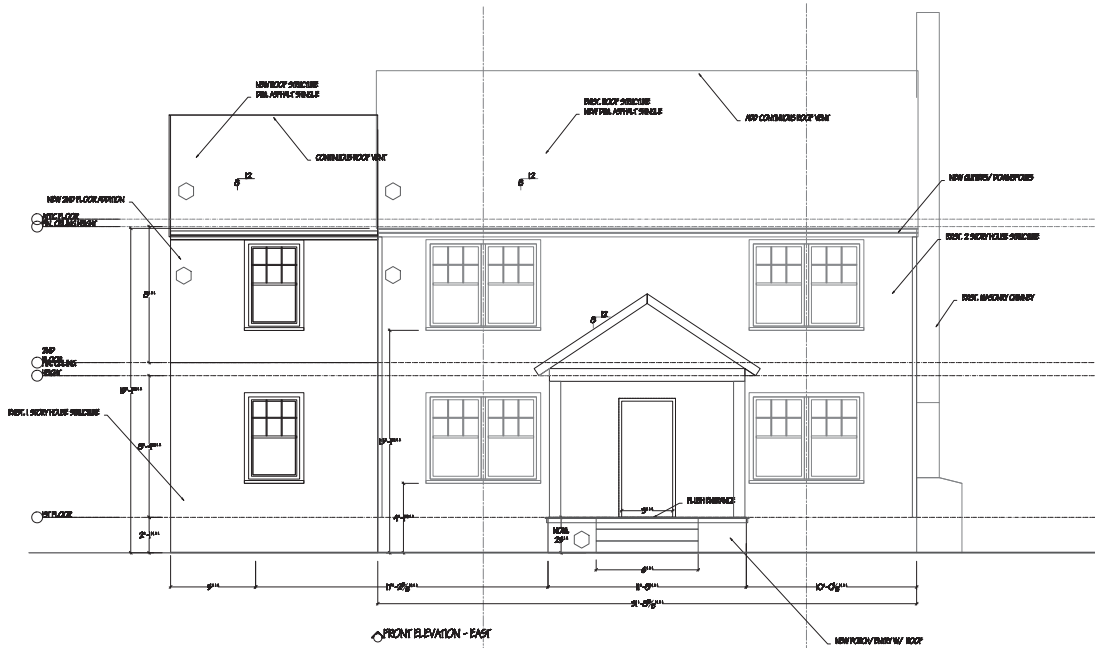
Building Permit - Approved Construction Documents
Under general authority of the Building Code, the approved set of construction documents shall take effect on the job site as if they are all and not be subject to further approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not release the holder from complying with construction instructions, Virginia Uniform Statewide Building Code and City of Richmond (ordinances) whether noted, implied or omitted.
Project: 20211607-1012-W-400-34-8L-CF-0001-A-2021-04062021-1-27-21
AM 3.E

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5101 CALDEDONIA ROAD
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Date: 1/15/21
Revised date: 30/21
FINAL - DHR,
9/29/21

PAGE 1

Field verify all dimensions and conditions, and obtain licensed engineer approval, prior to starting work and/or ordering materials.

Reviewed per the 2015 Virginia Residential Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

Building Permit - Approved Construction Documents
Under general authority of the Building Code, the approved set of construction documents shall not be used for the job until all other city rules and the building official's approval from the Building Official. This permit does not approve any structural, mechanical or plumbing work. This approval does not release the holder from complying with manufacturer's instructions, Virginia Uniform Statewide Building Code and City of Richmond (ordinances) whether noted, implied or omitted.
Project: 202116407-1012 W. 49TH STREET (2021) 4/2/21 04/29/2021 1:27:30
A.E.

BOUNDARILESS LIVING, LLC
5101 CALDEDONIA ROAD
RICHMOND, VA 23225

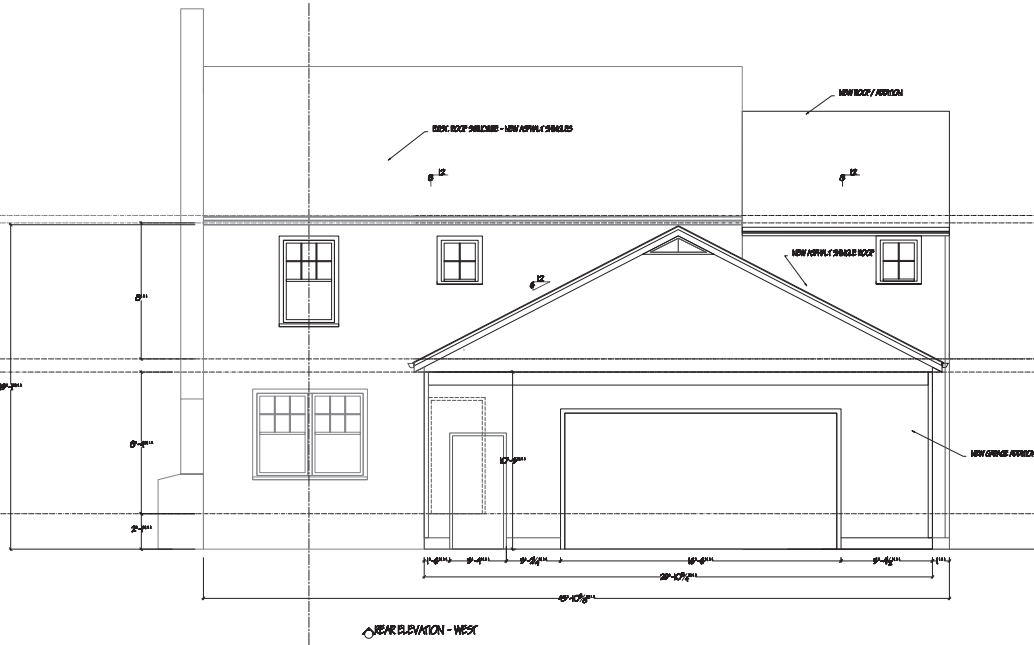
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9/29/21

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Building Permit - Approved Construction Documents
Under general authority of the Building Code, the approved and construction documents shall be held on the job site at all times and shall not be altered without approval from the Building Official. The owner shall not approve any alterations, modifications or additions. The approved code is for the use of the building and construction documents. Virginia Building Code and City of Richmond (ordinance) whether noted, included or omitted.
Project: 83210407-1012-W-48th-Sk-01-DIV-28795-4-2021 04/29/2021 7:27:38 AM

BOUNDARYLESS LLC
5101 CALDEDONIA ROAD
RICHMOND, VA 23225

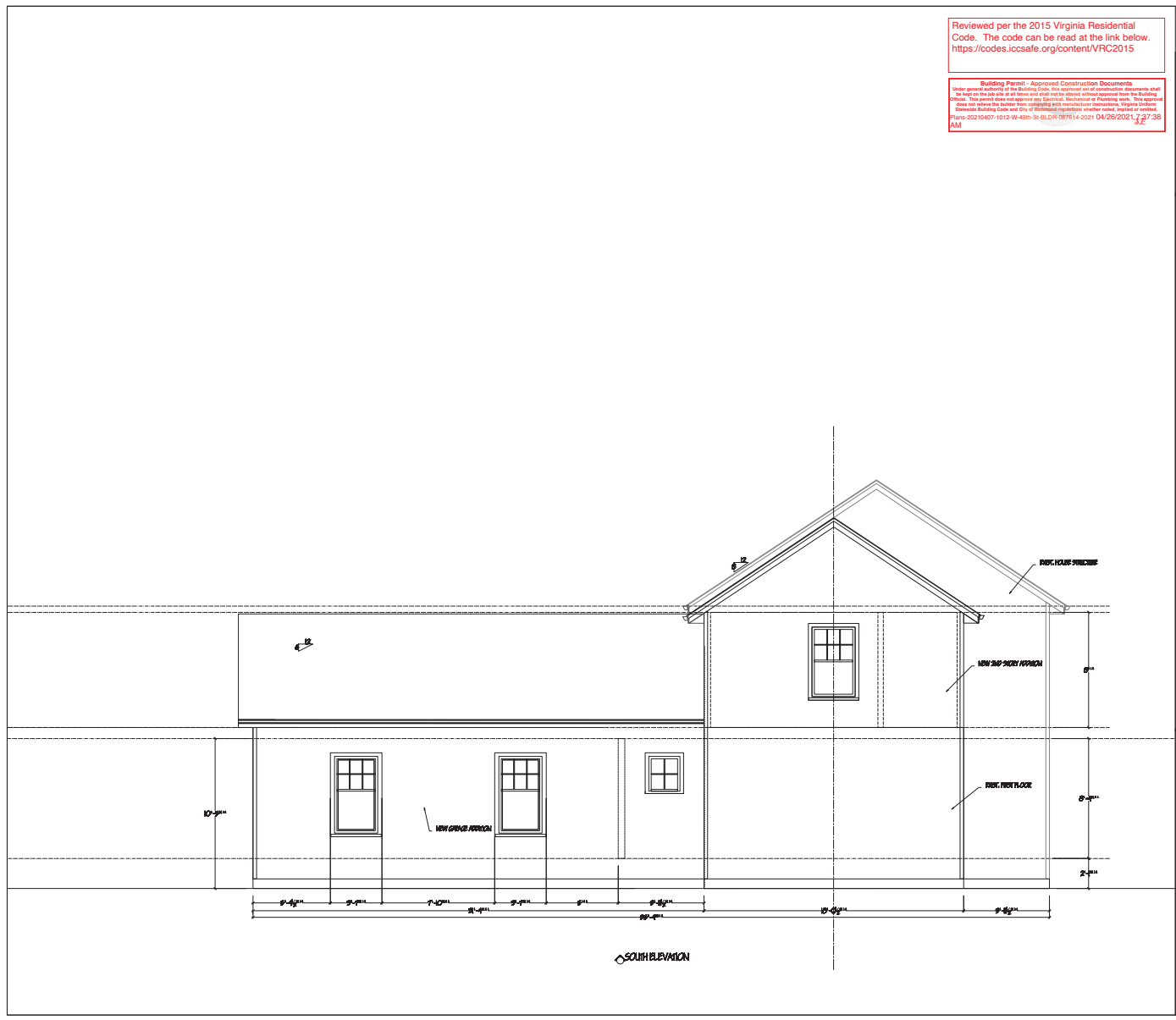
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3/29/21

PAGE 3

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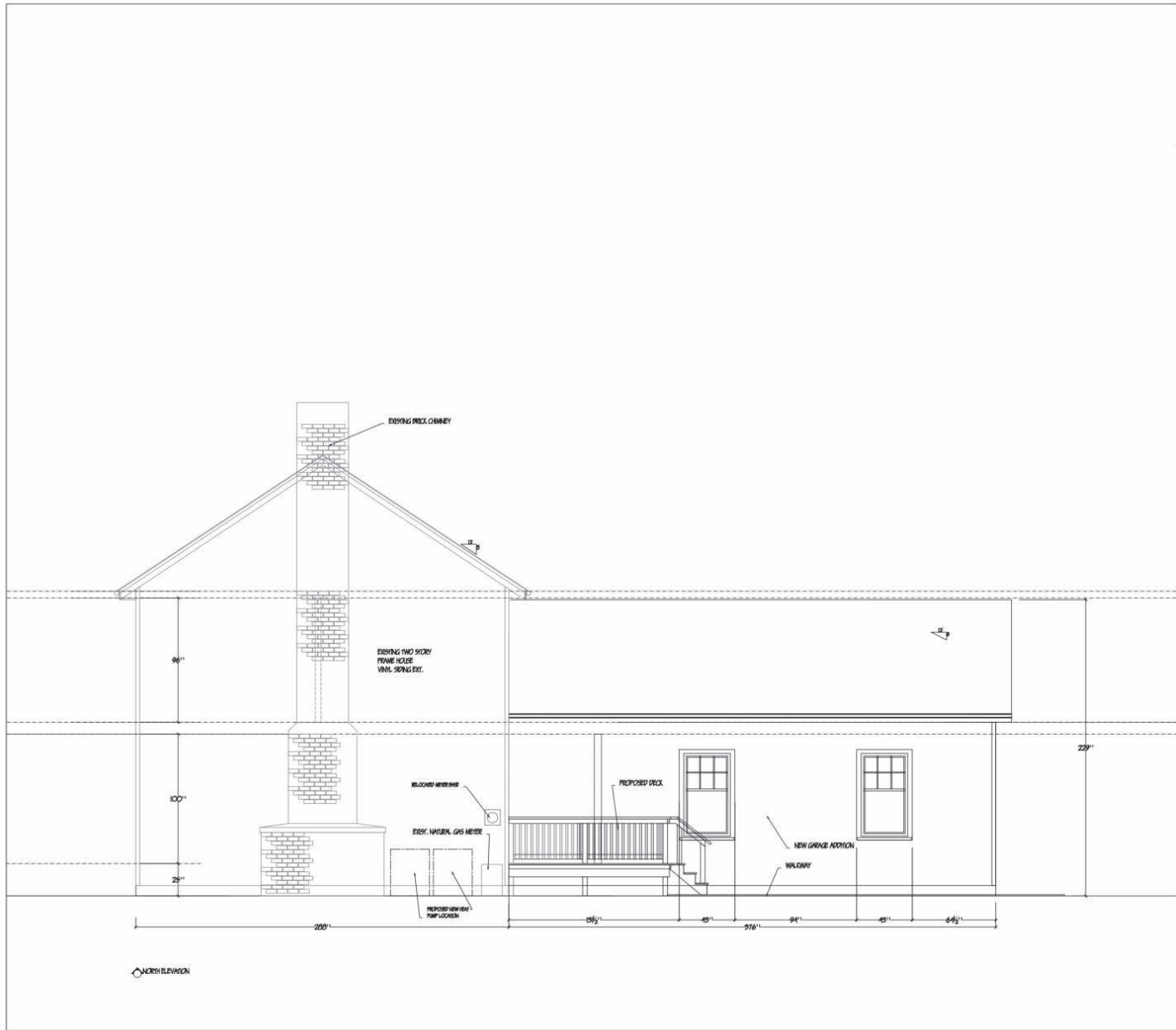
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RICHMOND, VA 23225

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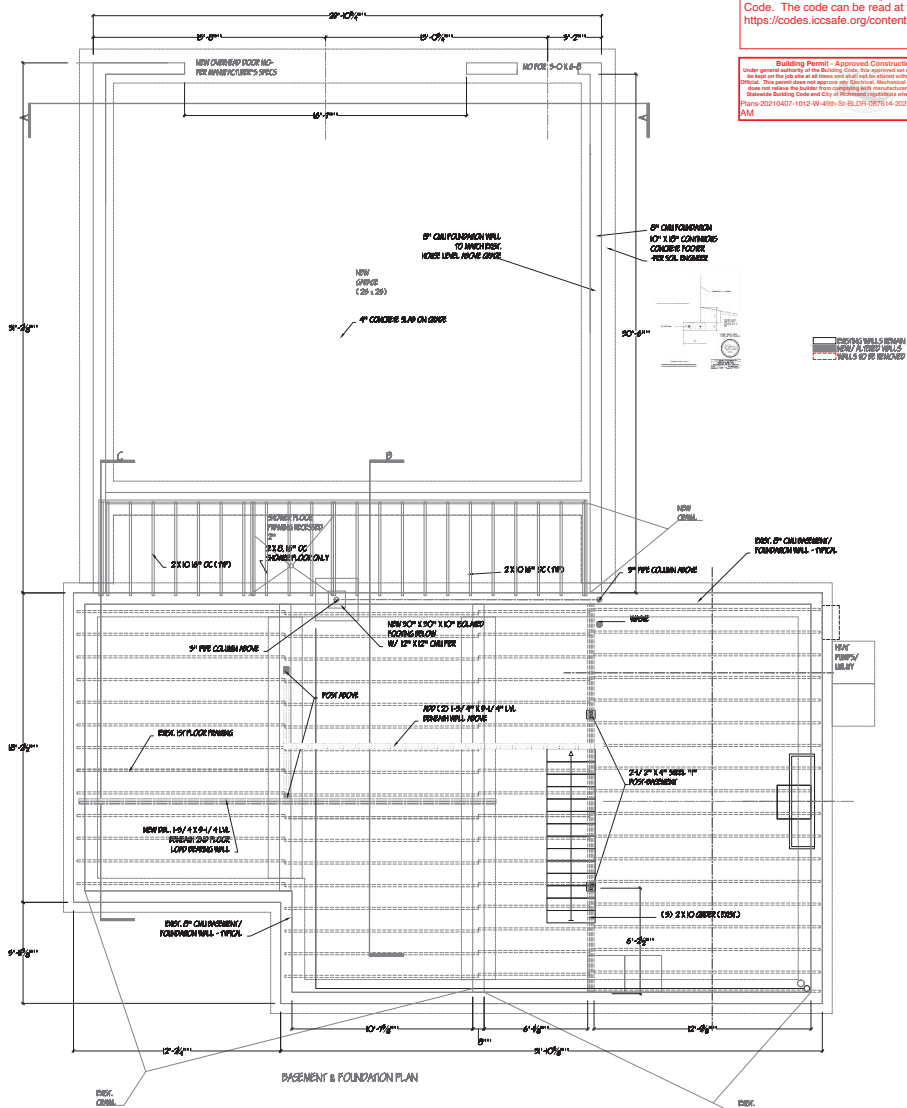
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Scale: 1/4"=1'
Date: 4/24/2021
Revised date:
**FINAL -
DHR, 9/29/21**
PAGE 4

Field verify all
dimensions and
conditions, and obtain
licensed engineer
approval, prior to
starting work and/or
ordering materials

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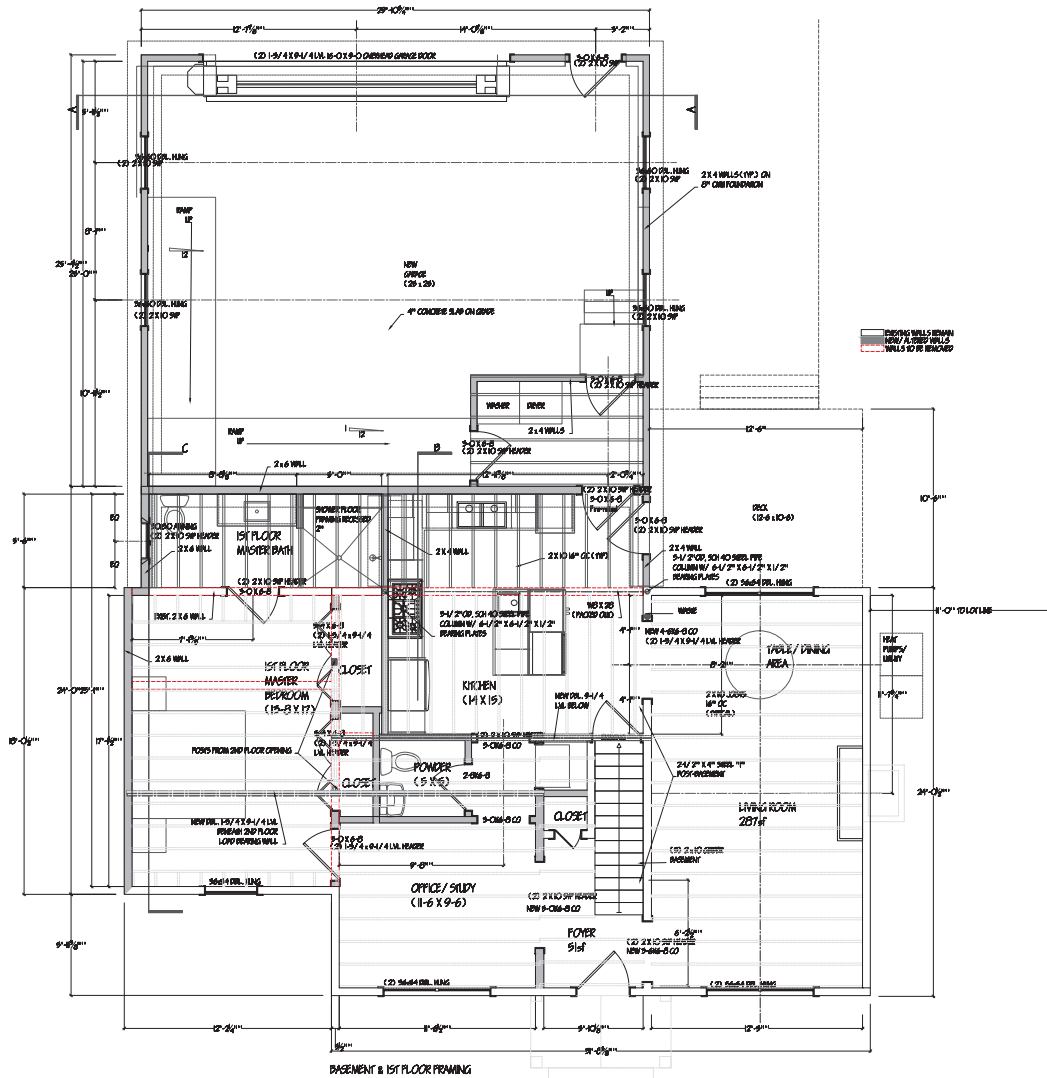
1012 WA9TH STREET
1012 WA9TH STREET
RICHMOND, VA 23225

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Scale: 1/4"=1'
Date: 11/23/20
Revised dates: 3/30/20, 12/8/20, 12/1/21, 1/26/21, 1/29/21
1/30/21
2/20/21
2/23/21, 4/2/21
PAGE 4 FOUNDATION

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8/29/21

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BASEMENT & 1ST FLOOR DRAWING

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 Revised dates: 1/30/21, 1/26/21, 1/29/21, 2/23/21, 4/2/21
 PAGE 5

FINAL - DHR, 9/29/21

Field verify all dimensions and conditions, and obtain licensed engineer approval, prior to starting work and/or ordering materials.

Building Permit - Approved Construction Documents
 Under general authority of the Building Code, this approval of construction documents shall be based on the plan and specifications as shown and shall not be deemed an approval of the building official. This permit does not apply to electrical, mechanical or plumbing work. This approval does not release the building owner from their responsibility to obtain all necessary permits. Building Permitting Code and City of Richmond Construction Code are hereby approved.
 Plans 20210407-1012-W-899-SL-BLDH 087614-0021 04/26/2021 7:36:59 AM

Reviewed per the 2015 Virginia Residential Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

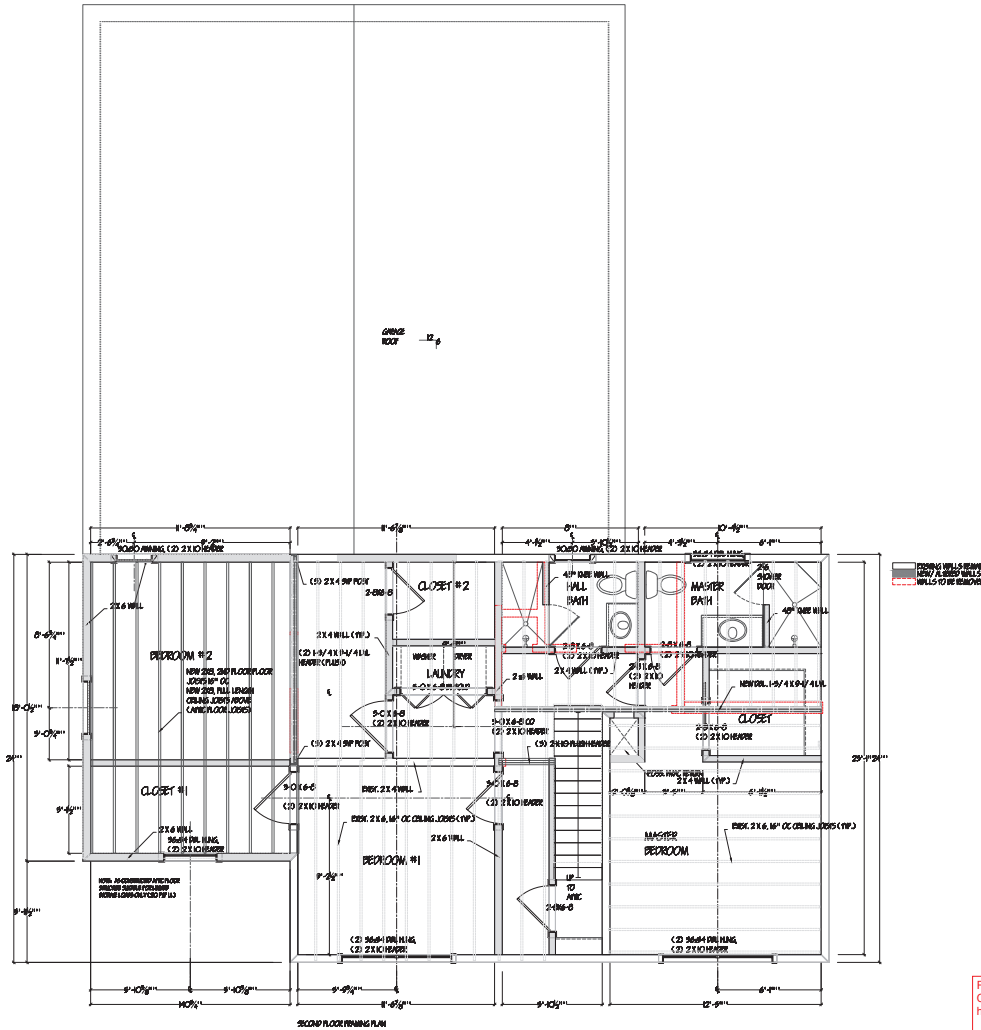
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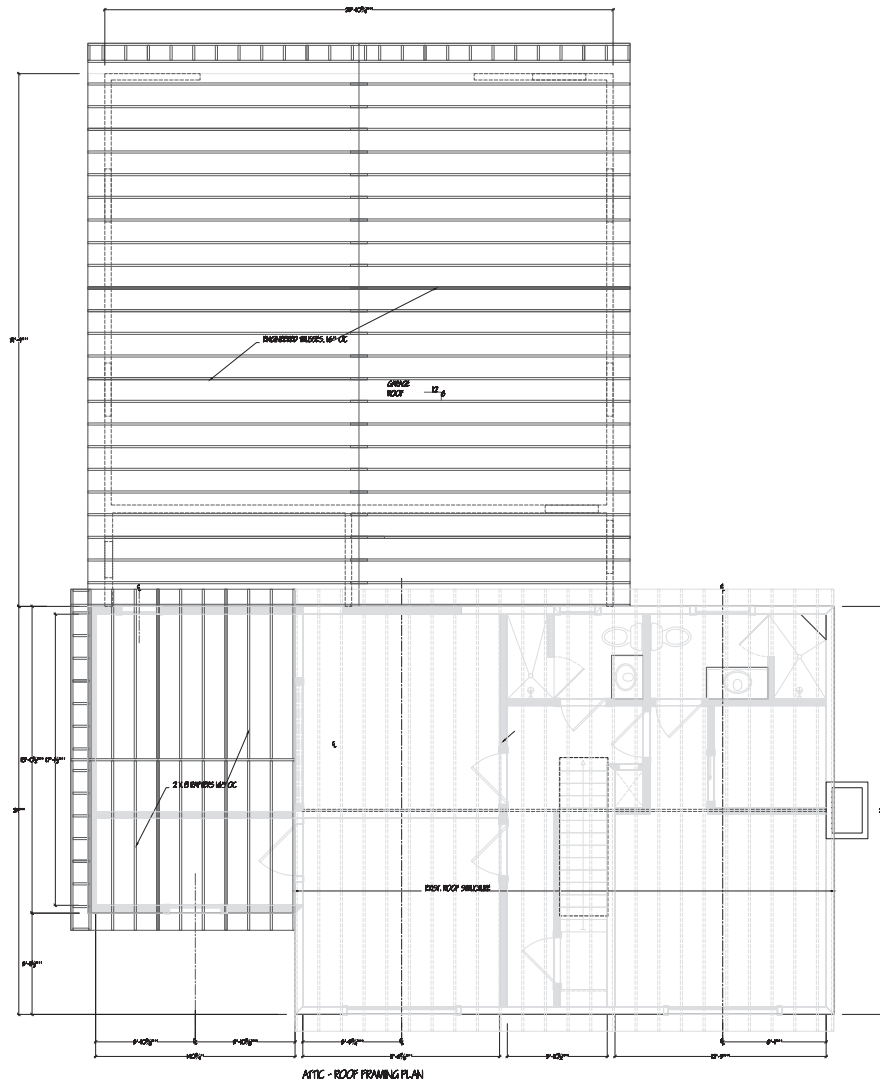
Reviewed per the 2015 Virginia Residential Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

Building Permit - Approved Construction Documents
 Under general authority of the Building Code, this approved set of construction documents shall be held in the public file and all items shall not be altered without approval from the Building Official. This permit does not approve any electrical, mechanical or plumbing work. This approval does not release the building from applicable local, state and federal regulations, codes and standards. Building Code and City of Richmond Building Department website for details. Plans 20210407-1012-W-458-SL-BL-CF-087614-0021 04/26/2021 7:27:55 AM

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 Revised dates: 7/7/20, 12/8/20, 1/5/21, 1/15/21, 1/26/21, 1/30/21, 2/20/21, 2/23/21, 4/2/21
 PAGE 6

FINAL - DHR, 9/29/21

Field verify all dimensions and conditions, and obtain licensed engineer approval, prior to starting work and/or ordering materials.



ATTIC - ROOF FRAMING PLAN

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 1/15/21, 1/30/21

2/23/21, 4/2/21
 PAGE 7

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 Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

Building Permit - Approved Construction Documents
 Under general authority of the Building Code, this approval and of construction documents shall
 be based on the plan and specifications and shall not be construed as approval from the Building
 Official. This approval does not approve any electrical, mechanical or plumbing work. This approval
 does not approve the building materials, manufacturer or manufacturer in building. Virginia Building
 Code and Building Code and any other applicable regulations and codes shall be used.
 Plans: 20210407-1012-W-49th-Str-BLDH-08PE14-2021 04/28/2021 7:38:02
 AM

FINAL - DHR, 9/29/21
 Field verify all
 dimensions and
 conditions, and obtain
 licensed engineer
 approval, prior to
 starting work and/or
 ordering materials.

POUNDRESS LIVING, LLC
5101 CALEDONIA DRIVE
RICHMOND, VA 23229

804-784-5075

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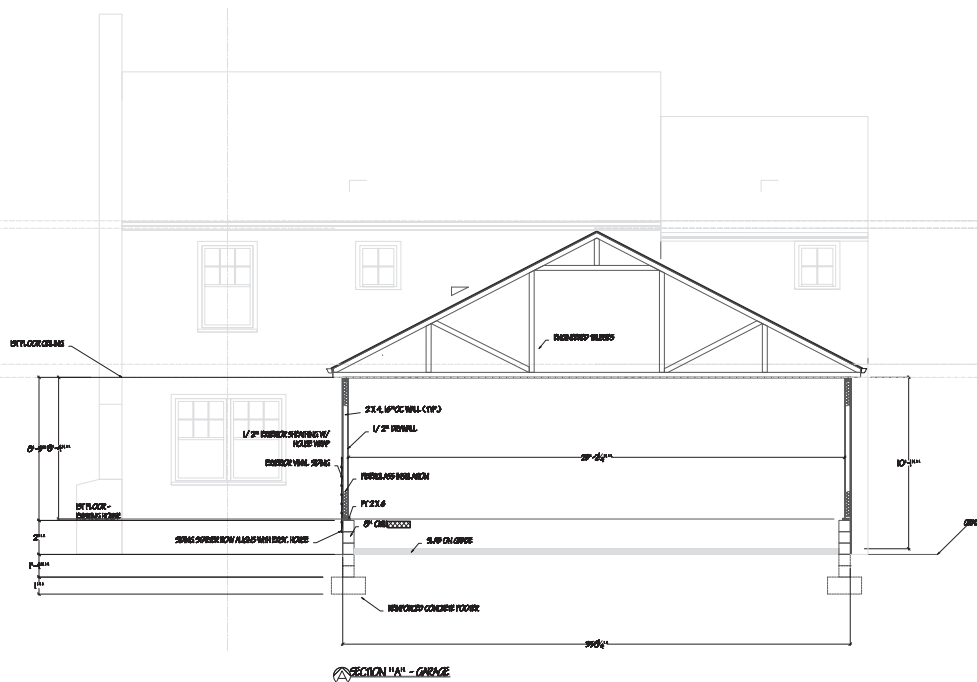
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Scale: 1/4"=1'-0"
Date: 1/15/21
Revised date: 3/30/21

4/2/21
PAGE 8

FINAL - DHR, 9/29/21

Field verify all
dimensions and
conditions, and obtain
licensed engineer
approval, prior to
starting work and/or
ordering materials



Reviewed per the 2015 Virginia Residential
Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VIRC2015>

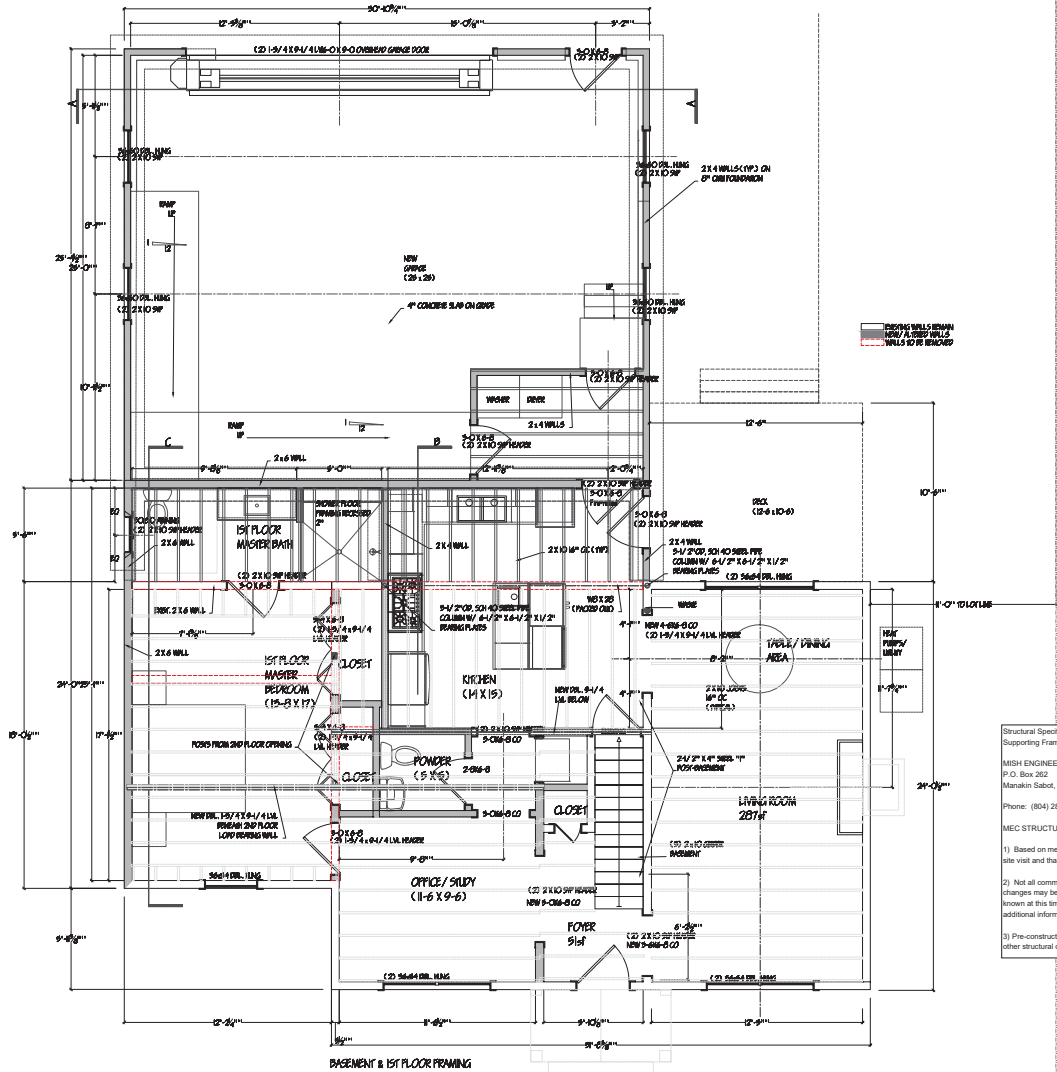
Building Permit - Approved Construction Documents
Under general authority of the Building Code, this approved set of construction documents shall
be held in the public file of all laws and regulations and shall not be removed or returned from the Building
Department. This permit does not approve any future modification or remodeling work. This approval
does not allow the builder from copying, selling, manufacturing, distributing, Virginia Uniform
Statewide Building Code and City of Richmond Building Code, whether revised, updated or amended.
Plan#: 20210407-1012-W-49th-St-BLD-0876-14-2021-04/26/2021 7:28:08
AM

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5101 CALEDONIA ROAD
RICHMOND, VA 23225

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1012 W 94TH STREET
RICHMOND, VA 23225

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Structural Specification of Planned New LVL & Steel Headers, Beams & Supporting Framing by:
MISH ENGINEERING CONCEPTS, P.L.C.
P.O. Box 262
Manakin Sabot, VA 23103
Phone: (804) 285-3346

MEC STRUCTURAL NOTES:

- 1) Based on measurements and information obtained during 1/26/2021 site visit and that contained in this drawing.
- 2) Not all common-practice shoring and construction details included; and changes may be required due to as-constructed framing conditions not known at this time. Please contact engineer at (804) 285-3346 for additional information and on-site review.
- 3) Pre-construction meeting with contractor to review framing, shoring and other structural details is recommended.



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Scale: 1/4"=1'
Date: 11/23/20
Revised date: 1/30/21, 1/26/21, 1/29/21
1/30/21
2/20/21
2/23/21
PAGE 5

FINAL - DHR, 9/29/21
Field verify all dimensions and conditions, and obtain licensed engineer approval, prior to starting work and/or ordering materials.

Building Permit - Approved Construction Documents
I hereby grant authority of the Building Code. This approval is not a construction document and shall be used as the basis for all work and shall not be deemed approval from the Building Code. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not release the applicant from (804)285-3346 construction requirements, Virginia Uniform Statewide Building Code and City of Richmond (804)285-3346 construction requirements. Revised 9/28/20
Plans 20210407-1012-W-48H-SL-BLDR-087614-2021 04/26/2021 7:38:29 AM

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<https://codes.iccsafe.org/content/VIRC2015>

Reviewed per the 2015 Virginia Residential Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

Building Permit - Approved Construction Documents
 Under general authority of the Building Code, the approval and of construction documents shall be based on the job site as all times and shall not be altered without approval from the Building Official. This approval does not represent any structural, mechanical or plumbing work. This approval shall not be used as a basis for obtaining any construction documents. Virginia Building Standards Building Code and City of Richmond Regulations whether related, included or omitted.
 11/23/2020 10:47:10 AM - 4910-10-BL-01-0876-14-2021 04/26/2021 7:28:55 AM

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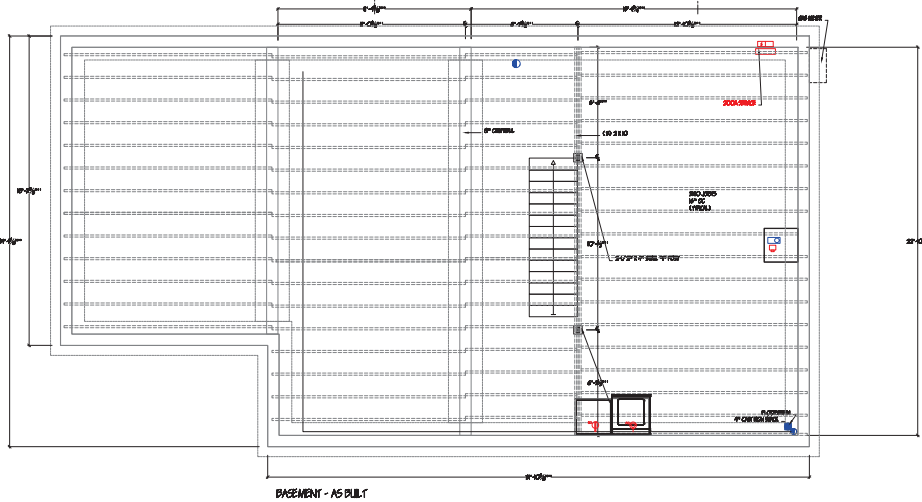
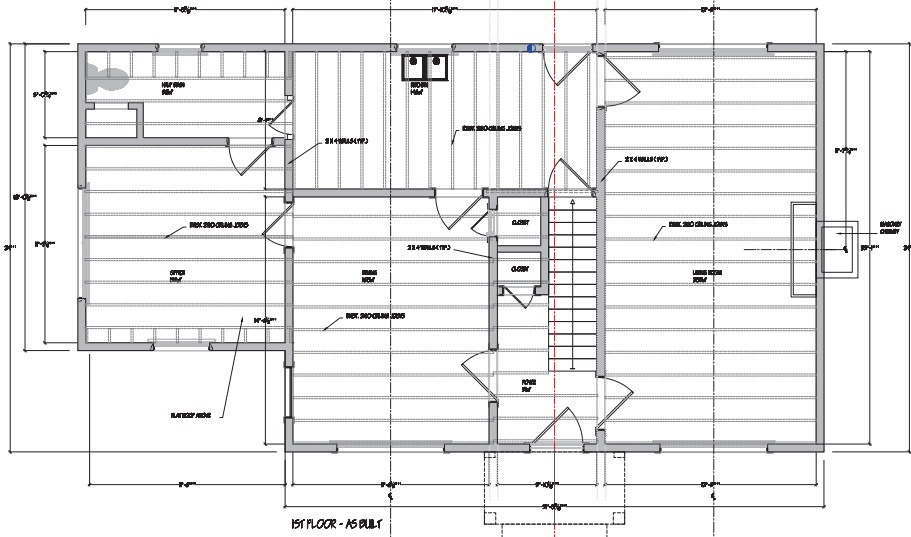
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 Revised: 09/30/21

PAGE 1

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Field verify all dimensions and conditions, and obtain licensed engineer approval, prior to starting work and/or ordering materials.



Reviewed per the 2015 Virginia Residential Code. The code can be read at the link below.
<https://codes.iccsafe.org/content/VRC2015>

Building Permit - Approved Construction Documents
 Under general authority of the Building Code, this approval and all construction documents shall be held as the public record of all those who shall not be liable without approval from the Building Official. This permit does not approve any electrical, mechanical or plumbing work. This approval does not release the holder from obtaining any mechanical, electrical, plumbing, fire, or other necessary Building Code and City of Richmond inspections whether noted, implied or omitted.
 Permit: 20211407-1012-W-400-10-RL-010-2020-A-0001 04/26/2021 2:28:47 AM

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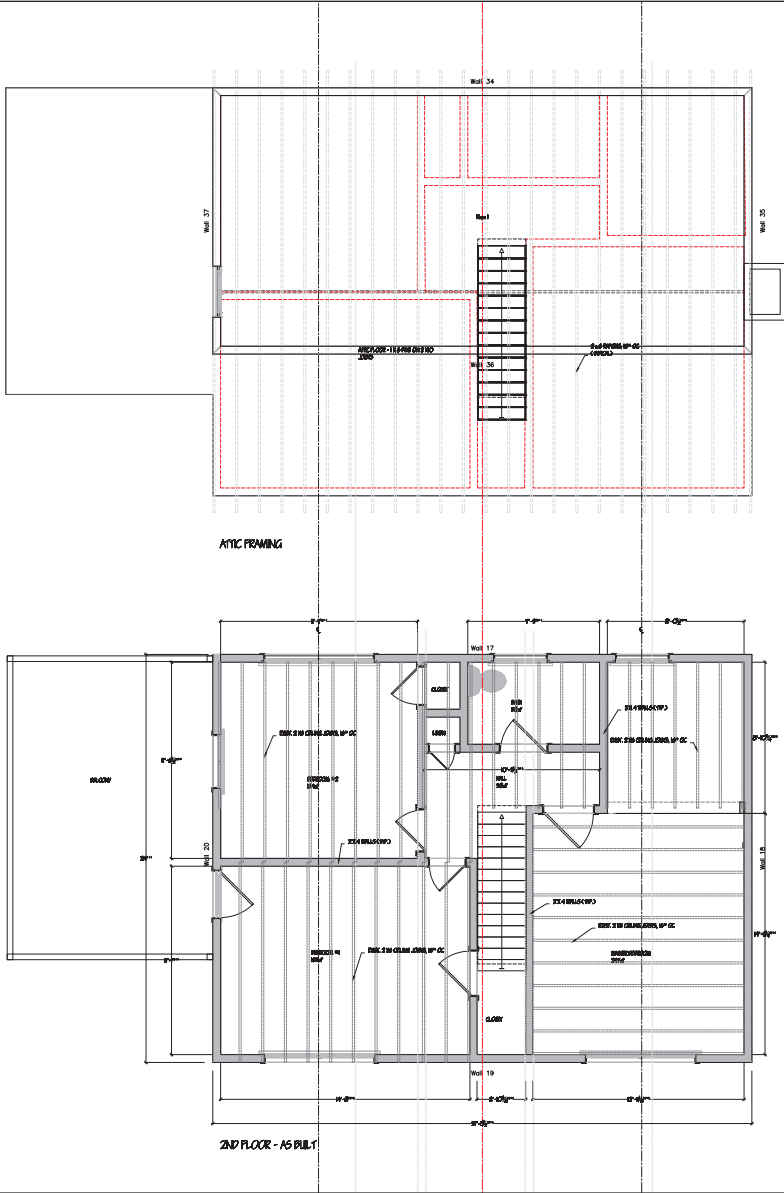
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 Scale: 1/4"=1'-0"
 Date: 11/23/2020
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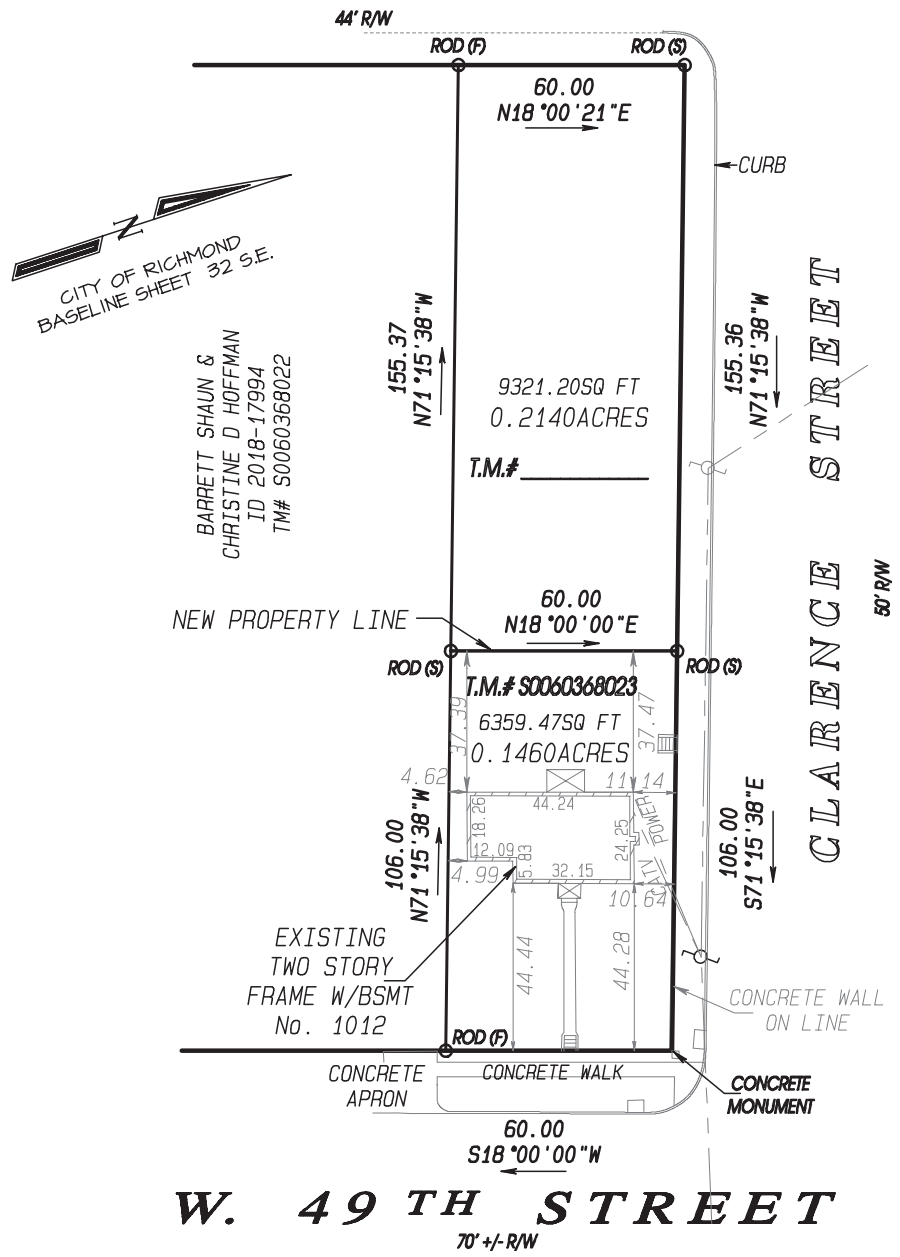
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FINAL - DHR, 9/29/21
 Field verify all dimensions and conditions, and obtain licensed engineer approval, prior to starting work and/or ordering materials.



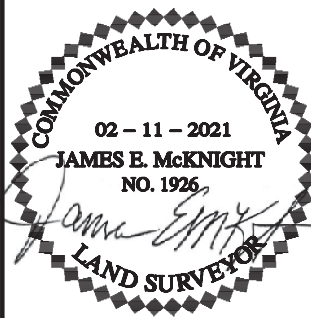
NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
 CURRENT OWNER: BOUNDARYLESS LIVING LLC ID 2020-26283

HERBERT STREET



W. 49 TH STREET

PLAT SHOWING DIVISION OF No. 1012 W. 49 TH STREET, IN THE CITY OF RICHMOND, VIRGINIA.



THIS IS TO CERTIFY THAT ON FEBRUARY 11, 2021, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS. SCALE: 1" = 40'

McKNIGHT & ASSOCIATES, P.C.
 LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE
 RICHMOND, VIRGINIA 23235
 TELEPHONE (804) 320-2646

JOB NUMBER: 870829125PLIT