



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

RECEIVED
NOV 21 2019

PROPERTY (location of work)
Address 506 N. 27TH STREET
Historic district CHURCH HILL

Date/time rec'd: NOV 21 2019
Rec'd by: ME
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name JON CHRISTOPHER LARRY Phone 804-474-4542
Company J. CHRISTOPHER LARRY PE Email RUGBY0312@GMAIL.COM
Mailing Address 718 COLONY OAK LANE Applicant Type: Owner Agent
MILOTTIAN, VA 23114 Lessee Architect Contractor
 Other (please specify): ENGINEER

OWNER INFORMATION (if different from above)

Name SCOTT & TAMMY TILGHMAN Company OWNER
Mailing Address 506 N 27TH STREET Phone 804-441-3214
RICHMOND, VA 23223 Email tstilghman@gmail.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)
RENOVATION OF BACK PORTION OF HOUSE (BASEMENT & FIRST FLOOR). SEE WRITE UP.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Jon Tilghman Date 11/21/19

The following outlines the scope of the project:

1. The plans have been reviewed and approved by the city zoning office with a 3'-0" offset from the property line on the south wall. The north wall will remain as existing.
2. Demolition of the basement (back door and shop) and back porch, 1st floor (kitchen, laundry and seating area) and roof on the back of the building. The original thick wall shall remain.
3. Site excavation from demolished portion of the building and additional soil removal for the extension of the basement as noted.
4. Relocation of the utility meter and extension of the electrical panel for additional loads.
5. New basement slab on grade, foundation with external walls from basement up to first floor and roof above new expansion. Exterior to be insulated to conform to state energy codes.
6. Address water leak below basement floor in old bedroom. Core and remove floor slab and clean out tree roots and other found restrictions causing water issues. Extend water extraction system into existing arctician ground water pump system. Reconnect downspout in the front of the building. Patch floor slab and replace tile to match existing.
7. Remove existing hot water heater tank, replace with new gas fired instantaneous hot water heater.
8. Provide new walls, windows and doors in basement for bar area, TV wall and new bedroom. Finish as noted.
9. Provide new flooring, walls, windows, doors on first floor for kitchen, laundry and bath room.
10. Provide new roof over new addition. Provide flashing on existing structure and gutters, downspouts and rain barrels with auxiliary drains to properly remove rain water from the site.
11. Provide Kitchen Cabinet Replacement as noted on the drawings. Incorporate sinks, appliances, lighting and counter tops as noted.
12. Provide plumbing fixtures and plumb fixtures for proper water, sewage and vent requirements.
13. Provide lighting fixtures as noted on plans.
14. Provide new windows in the basement, kitchen, laundry and second floor rooms. Windows shall have Energy Star and NFRC label, U value ≈ 0.36 , SHGC ≈ 0.52 , VT ≈ 0.53 , double glazing with thermal break, low-E coating, argon gas filled with vinyl or wood frame.

TILGHMAN'S KITCHEN AND BASEMENT RENOVATION

506 N. 27th STREET

RICHMOND, VA 23223



FRONT OF HOUSE VIEW



GOOGLE MAPS VIEW



RICHMOND CITY ZONING MAP

Drawing List	
Drawing #	Drawing Name
C-1.0	Cover Sheet
S-1.0	Site Plan
EC-1.0	Existing Conditions
D-B.1	Basement Demolition Plan
D-1.1	First Floor Demolition Plan
D-2.1	Second Floor Demolition Plan
N-B.1	Basement New Plan
N-1.1	First Floor New Plan
N-2.1	Second Floor New Plan
N-3.1	Sections
N-3.2	North Elevation
N-3.3	West and South Elevation
N-4.1	Finished Schedules
N-4.2	Appliance Schedules
N-4.3	Plumbing Details

OWNERS
 SCOTT AND TAMMY TILGHMAN
 506 N. 27th STREET
 RICHMOND, VA 23223
 804-441-3214
 tstilghman@gmail.com

ENGINEER
 J. CHRISTOPHER LARRY
 718 COLONY OAK LANE
 MIDLOTHIAN, VA 23114
 804-474-4542
 rugby0312@gmail.com

SITE DETAILS
 USE: RESIDENTIAL
 SETBACKS:
 FRONT DOES NOT APPLY
 BACK: ALLEYWAY - NO SETBACK
 NORTH EAST: ADJOIN NEIGHBOR
 SOUTH WEST: 3"-0"

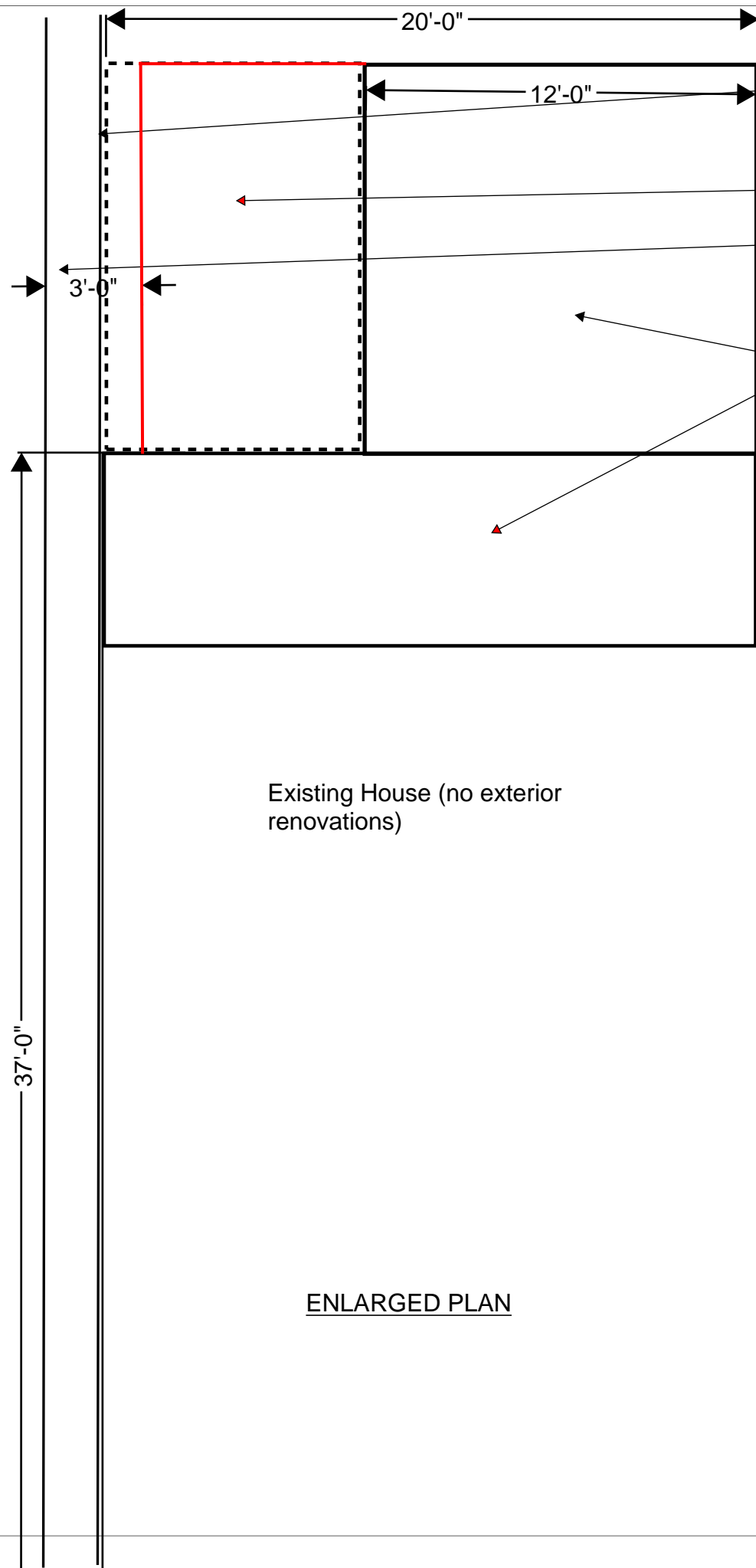
J. Christopher Larry, P. E.

Tilghman's Kitchen and Basement Renovation
 506 N. 27th Street, Richmond, VA 23223
COVER SHEET

Date: 11/20/2019

For CAR Review

CS-1.0



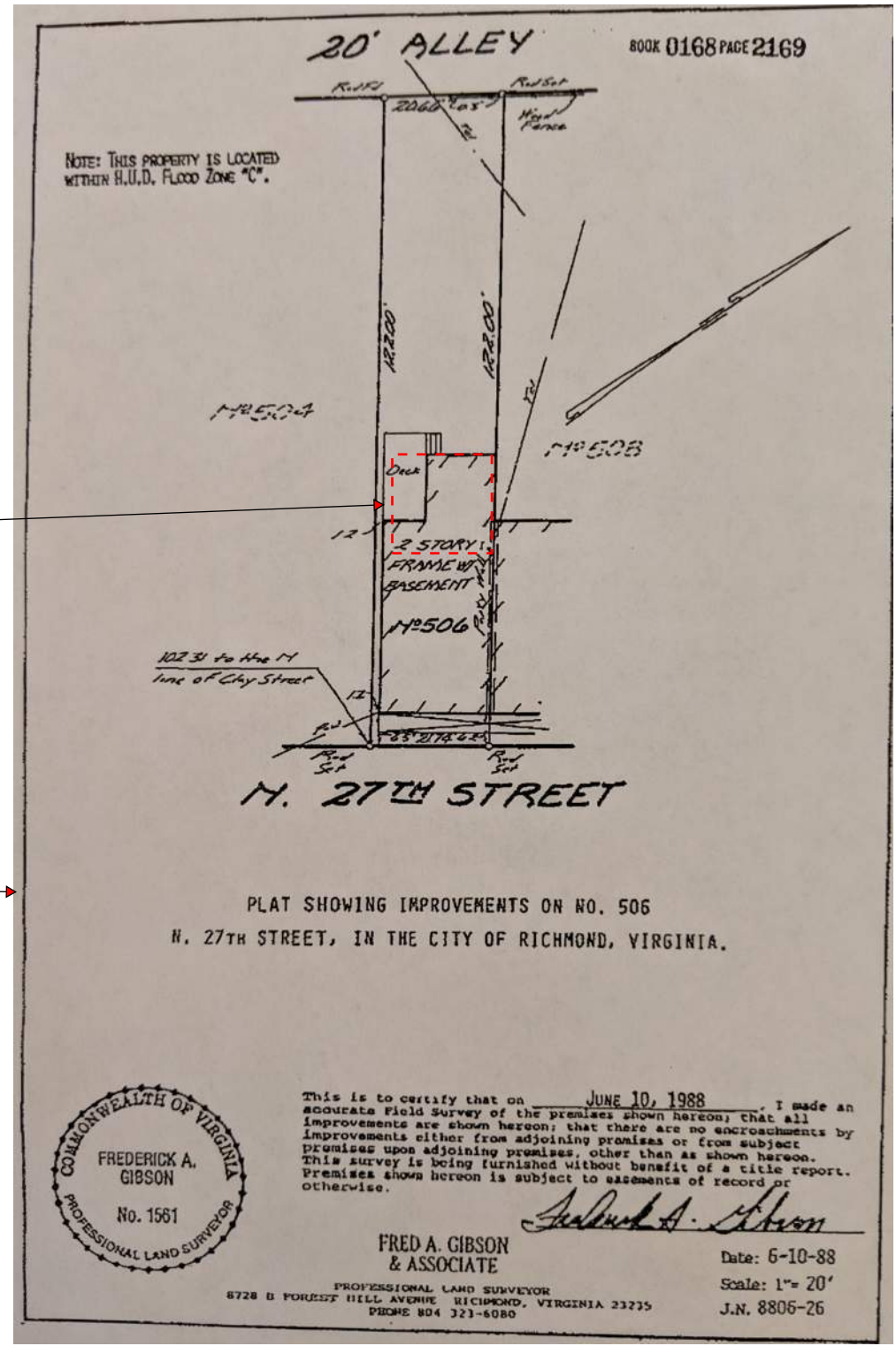
- Existing fence to be removed.
- Existing wall to remain.
- Existing deck to be removed.
- New addition to be 3'-0" off property line which splits the Alleyway between the two houses.

- Existing basement and first floor areas to be renovated.
- Extent of renovation to be remodeled.
- Extent of second floor and renovation wall to be remodeled.

Existing House (no exterior renovations)

Existing Plat Survey for #506 N. 27th Street from June 10, 1988.

ENLARGED PLAN



PLOT PLAN

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Tilghman's Kitchen and Basement Renovation		
506 N. 27th Street, Richmond, VA 23223		
Site Plan		
Date: 11/20/2019	Issued for CAR review	S-1.0



REAR VIEW OF HOUSE

REMOVE WINDOW AND RELOCATE IN LINE WITH OTHER EXISTING WINDOW ELEVATION.

REMOVE ROOF FROM FIRST FLOOR.

EXTENT OF DEMOLITION

NEW EXPANSION WILL RUN ALONG EXISTING PORCH AND FENCE LINE.

REMOVE SIDING FROM AREAS OUTLINED TO BE DEMOLISHED.

WINDOWS AND DOORS TO BE DEMOLISHED

BRICK AND BLOCK BASEMENT FOUNDATION WALL TO BE REPLACED.



PORCH VIEW OF HOUSE

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Tilghman's Kitchen and Basement Renovation
 506 N. 27th Street, Richmond, VA 23223
 EXISTING CONDITIONS

Date: 11/20/2019

For CAR Review

EC-1.0

Existing perimeter wall to remain to corner.

Remove shop and foyer up to thick wall and demo back wall.
Extend basement floor level out to new kitchen outside wall.

Remove back patio, steps and railing and excavate back to new kitchen wall.

Existing fence to remain.

Existing perimeter wall (with window) to remain to corner.

Existing stove heater to remain.

48'-10 1/2" Existing furnace to remain. Remove existing gas water heater.

Existing chimney bases

CLOSET
3'-5" X 1'-3"

FURNACE
4'-2" X 3'-7"

CLOSET
4'-11" X 3'-7"

32" wide x 10" deep soffit

SHOP
6'-3" X 9'-4"

Remove existing TV cabinet and casework back to chimney.

BEDROOM
10'-9" X 11'-10"

Remove wall between TV room and Bedroom. Core floor to investigate water leak under floor. Build drainage to existing artician drain and repatch floor.

TV ROOM
18'-7" X 13'-5"

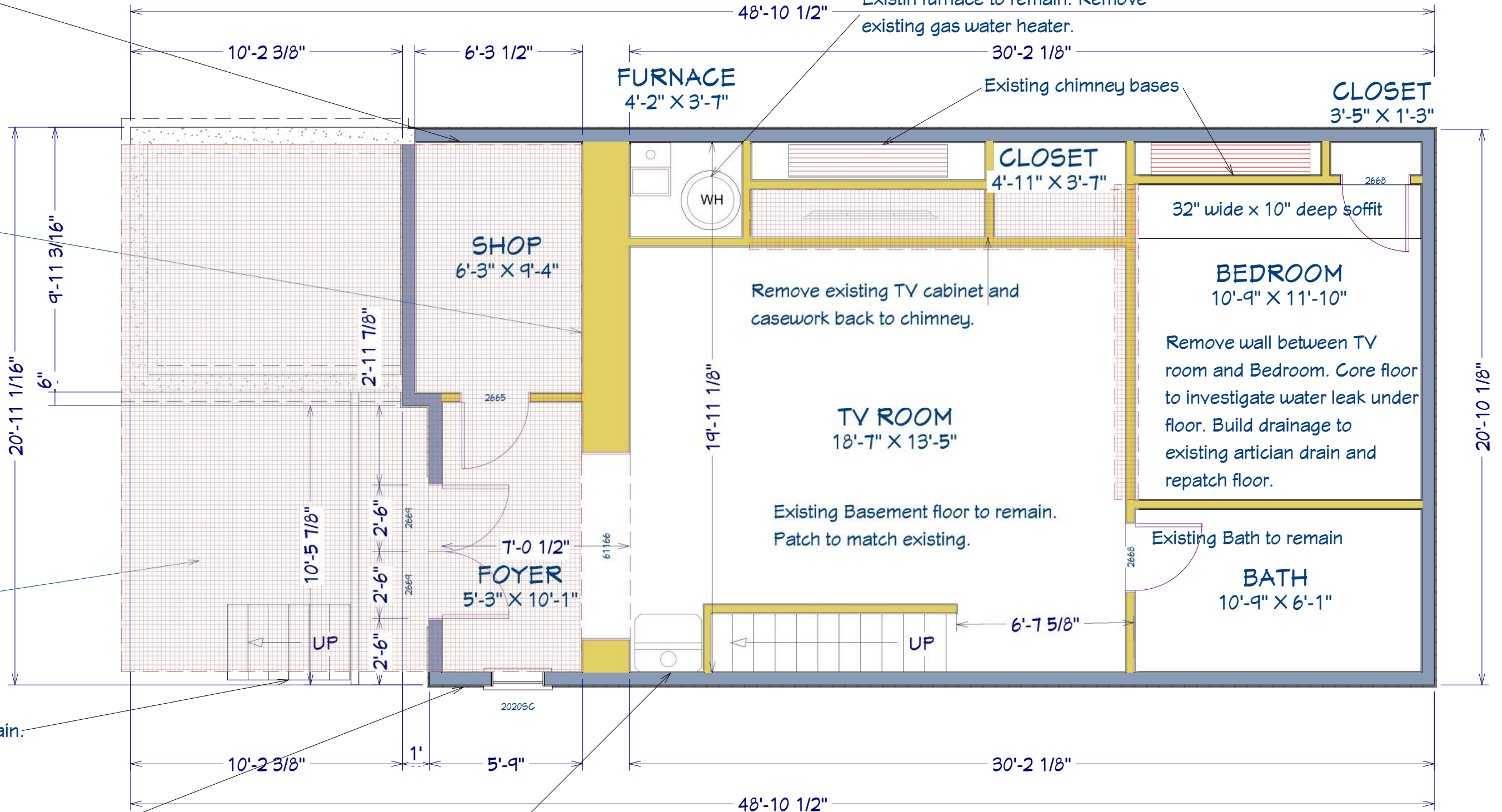
Existing Basement floor to remain. Patch to match existing.

Existing Bath to remain

BATH
10'-9" X 6'-1"

7'-0 1/2"
FOYER
5'-3" X 10'-1"

LIVING AREA
897 SQ FT



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Basement Demolition Plan

Scale: 1/4" = 1'-0"



Tilghman's Kitchen and Basement Renovation
506 N. 27th Street, Richmond, VA 23223
Basement Demolition Plan

Date: 11/20/2019

Issued for CAR Review

D-B.1

Relocate Condensing Unit, line set and disconnect.

Existing perimeter wall to remain to corner.

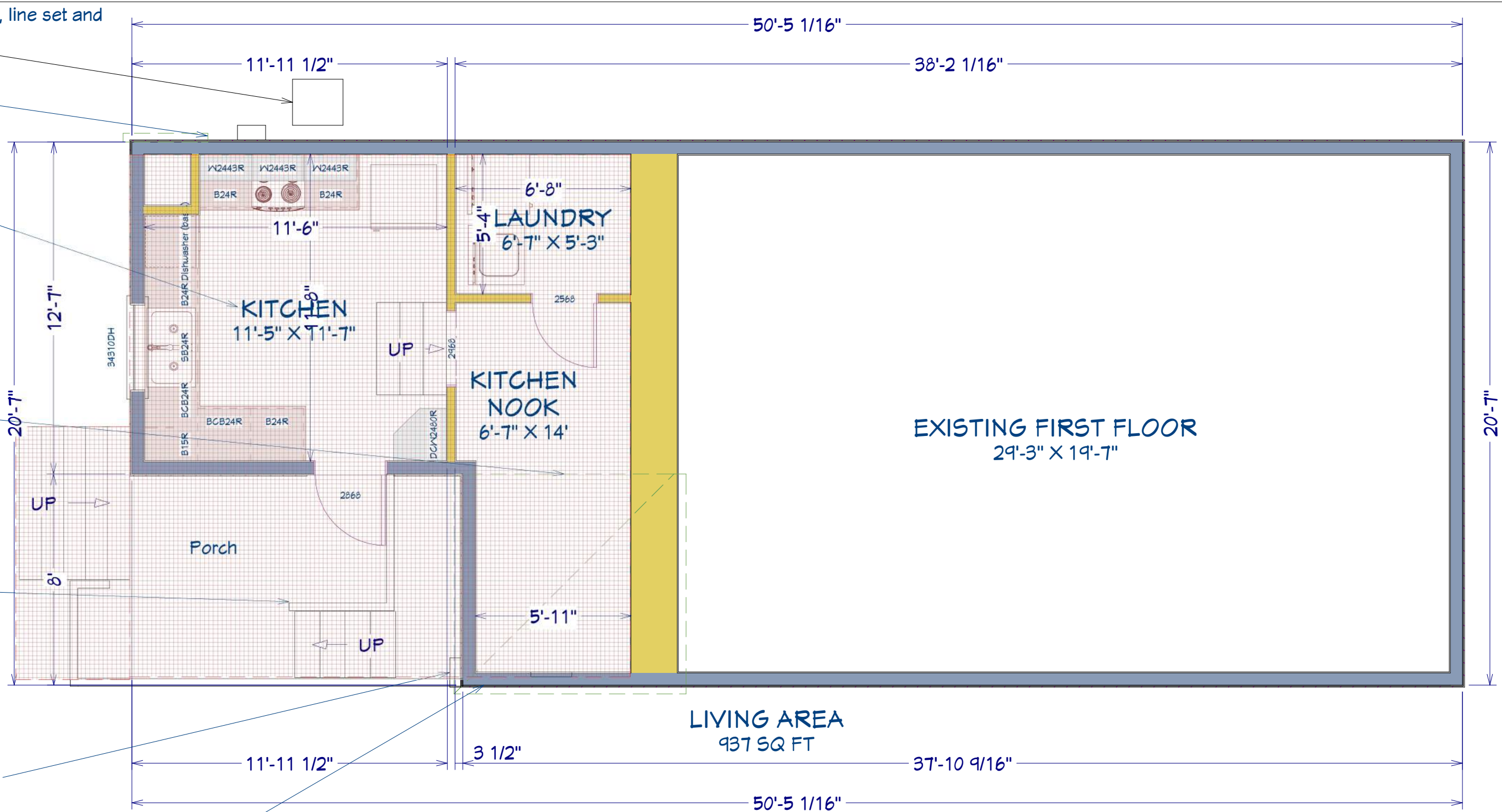
Remove kitchen, cabinets, appliances, floor, ceiling and roof. Leave side walls and perimeter.

Remove nook and laundry room with appliances. Remove floor, ceiling and roof. Back to the thick 22" interior wall.

Remove patio, stairs and railing down to the ground and excavate for new basement.

Existing utility meter and main power panel to remain during demolition and renovation. To be relocated to side wall during phased construction.

Existing fence and perimeter wall to remain to corner.



First Floor Demolition Plan

Scale: 1/4" = 1'-0"

J. Christopher Larry, P. E.



Tilghman's Kitchen and Basement Renovation
 506 N. 27th Street, Richmond, VA 23223
 First Floor Demolition Plan

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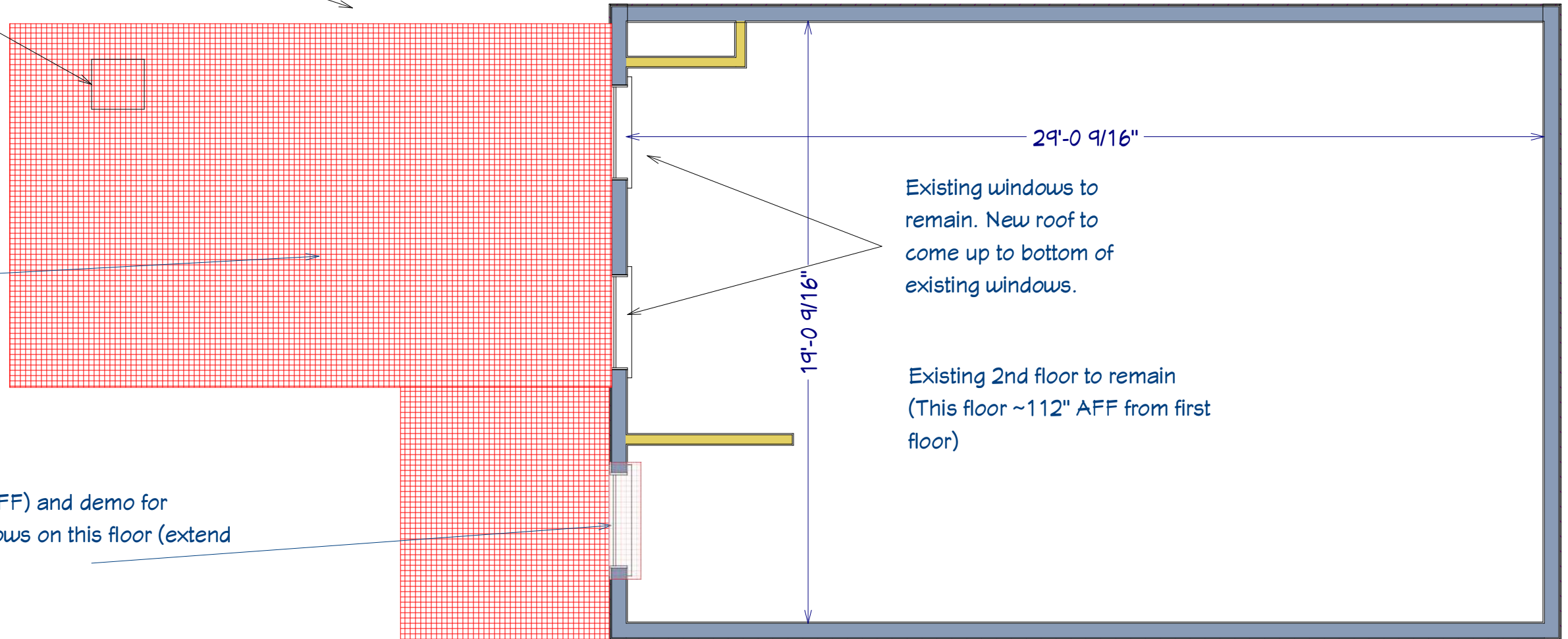
D-1.1

Keep existing wall up to roof.

Remove existing kitchen chimney.

Remove sloped roof up to existing exterior building up to the second floor.

Remove existing low window (14" AFF) and demo for replacement to match existing windows on this floor (extend wall opening above).



Second Floor Demolition Plan (600 GSF)

Scale: 1/4" = 1'-0"

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Tilghman's Kitchen and Basement Renovation
 506 N. 27th Street, Richmond, VA 23223
 Second Floor Demolition Plan

Date: 11/20/2019

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D-2.1

Provide drainage tile around exterior of basement wall. Slope away from building.

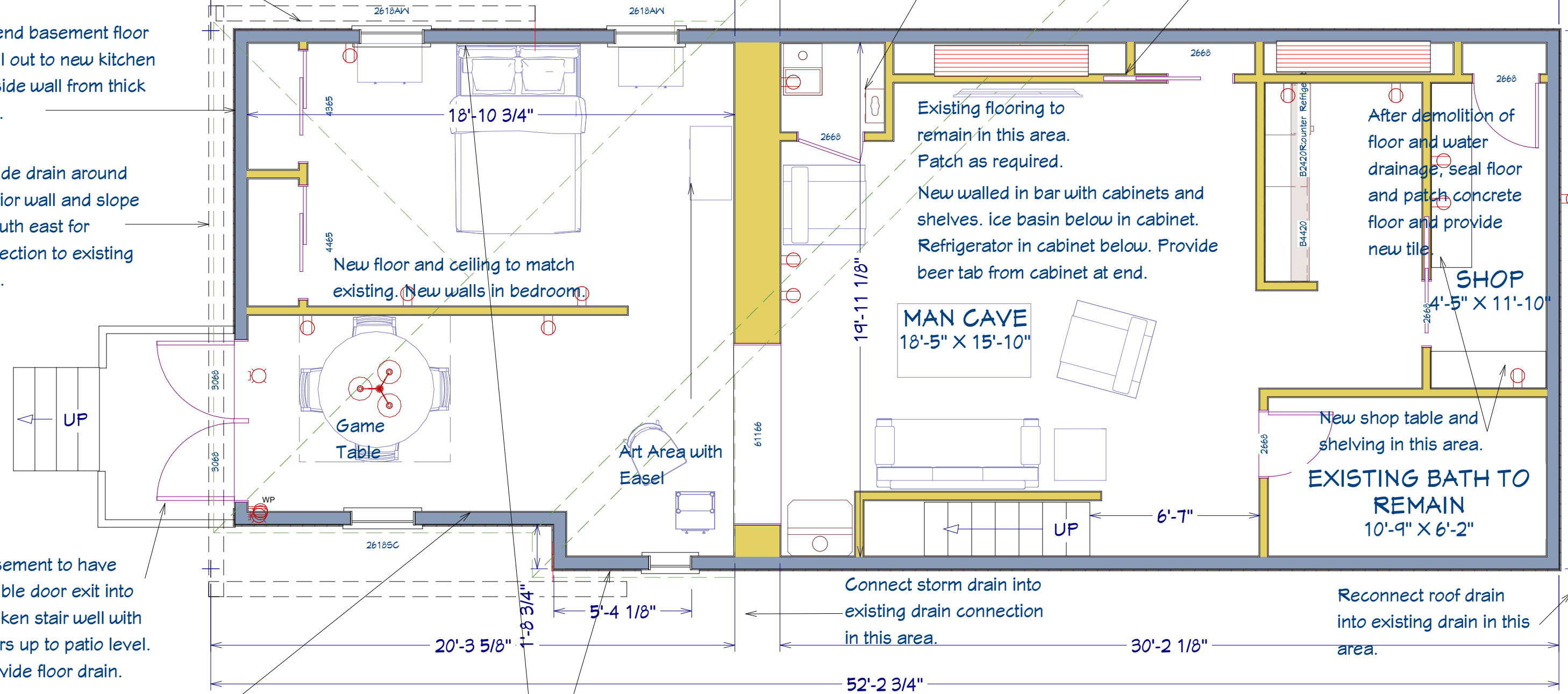
Extend basement floor level out to new kitchen outside wall from thick wall.

Provide drain around exterior wall and slope to south east for connection to existing drain.

Basement to have double door exit into sunken stair well with stairs up to patio level. Provide floor drain.

Build new basement from existing with inset.

Existing basement wall to remain. New wall to be 3'-0" north from property line or 21-1/2" north of existing wall.



52'-2 3/4" Replace existing tank water heater with gas fired tankless water heater.

Existing furnace room to remain. Refinish back wall from closet to closet to match back wall enclosing chimney. Provide pocket or sliding door. Patch and paint as required.

Existing flooring to remain in this area. Patch as required. New walled in bar with cabinets and shelves. ice basin below in cabinet. Refrigerator in cabinet below. Provide beer tab from cabinet at end.

After demolition of floor and water drainage, seal floor and patch concrete floor and provide new tile.

MAN CAVE
18'-5" X 15'-10"

SHOP
4'-5" X 11'-10"

New shop table and shelving in this area.
EXISTING BATH TO REMAIN
10'-9" X 6'-2"

Connect storm drain into existing drain connection in this area.

Reconnect roof drain into existing drain in this area.

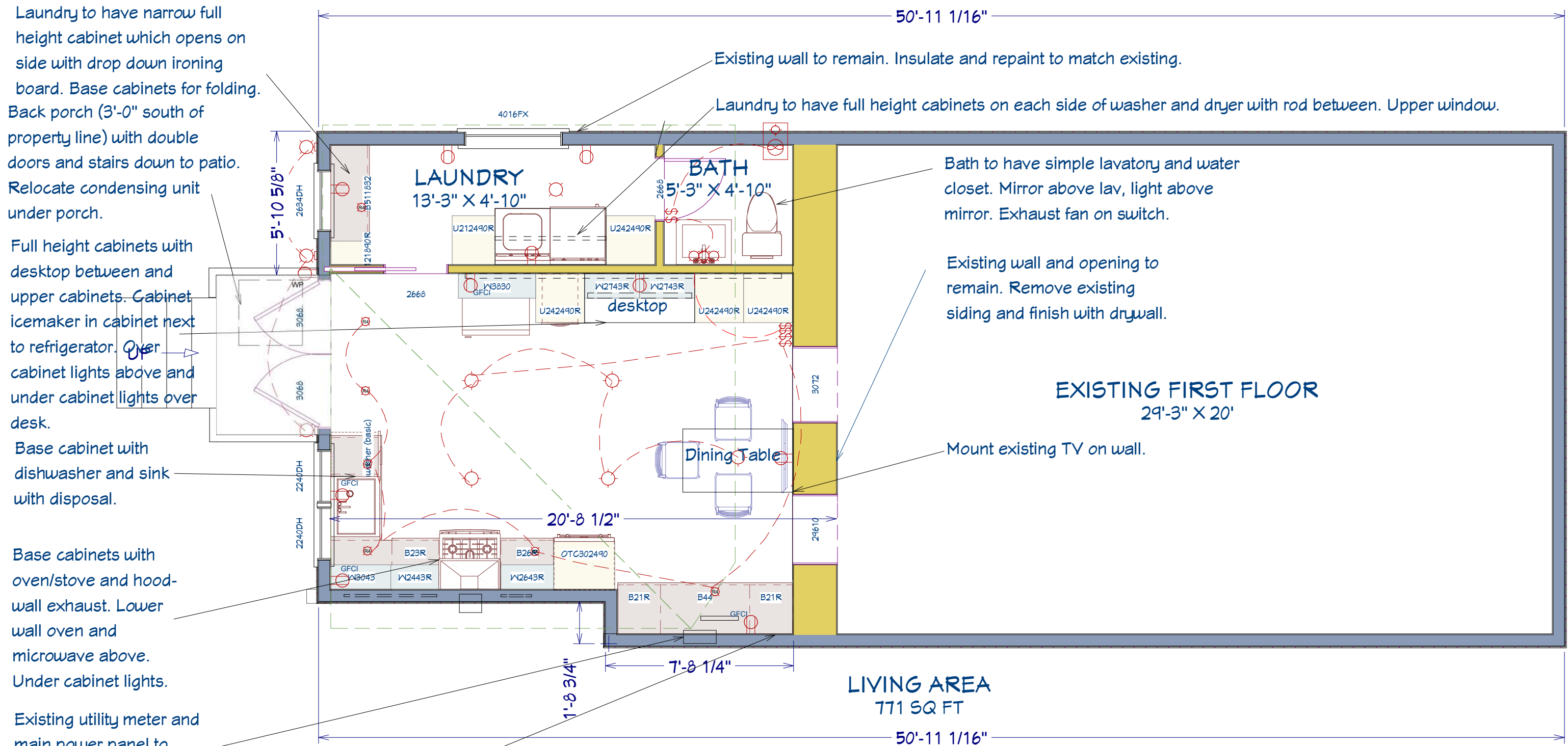
LIVING AREA
1048 SQ FT

Basement New Plan (180 GSF Addition)
Scale: 1/4" = 1'-0"



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Basement Floor New Plan		
Date: 11/20/2019	Issued for CAR Review	N-B.1



Laundry to have narrow full height cabinet which opens on side with drop down ironing board. Base cabinets for folding. Back porch (3'-0" south of property line) with double doors and stairs down to patio. Relocate condensing unit under porch.

Full height cabinets with desktop between and upper cabinets. Cabinet icemaker in cabinet next to refrigerator. Over cabinet lights above and under cabinet lights over desk.

Base cabinet with dishwasher and sink with disposal.

Base cabinets with oven/stove and hood-wall exhaust. Lower wall oven and microwave above. Under cabinet lights.

Existing utility meter and main power panel to remain during demolition and renovation.

Existing wall to remain. Build new wall 3'-0" from south lot line or 21.5" north of existing wall.

Existing wall to remain. Insulate and repaint to match existing.

Laundry to have full height cabinets on each side of washer and dryer with rod between. Upper window.

Bath to have simple lavatory and water closet. Mirror above lav, light above mirror. Exhaust fan on switch.

Existing wall and opening to remain. Remove existing siding and finish with drywall.

Mount existing TV on wall.

EXISTING FIRST FLOOR
29'-3" X 20'

LIVING AREA
771 SQ FT
50'-11 1/16"

First Floor New Plan (100 GSF Addition)
Scale: 1/4" = 1'-0"

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Tilghman's Kitchen and Basement Renovation		
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First Floor New Plan		
Date: 11/20/2019	Issued for CAR Review	N-1.1

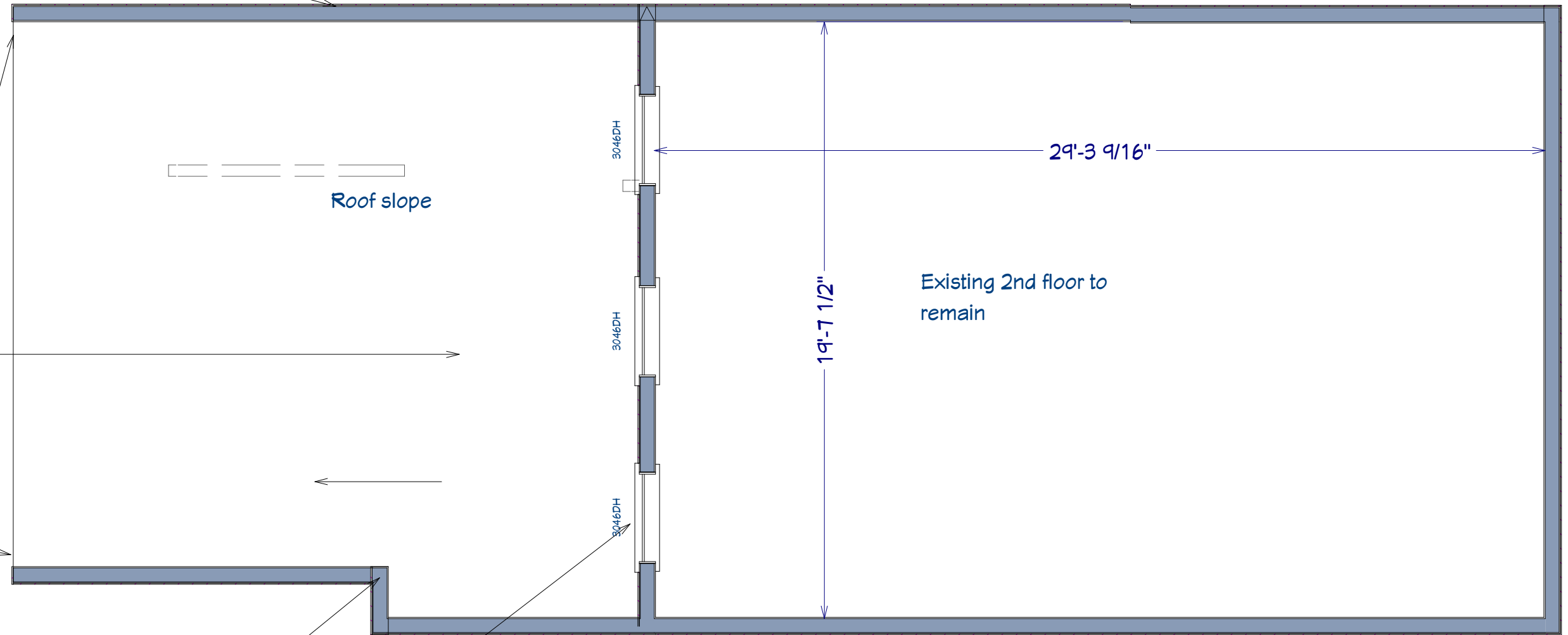
Existing wall to remain.

New sloped roof up to existing exterior building up to the second floor.

New gutter with dual downspouts to rain barrels, drain away from building at least 15'.

Indent new wall 21.5" from existing.

Replace lower window with new window to match existing windows.



Second Floor New Plan (600 GSF)

Scale: 1/4" = 1'-0"

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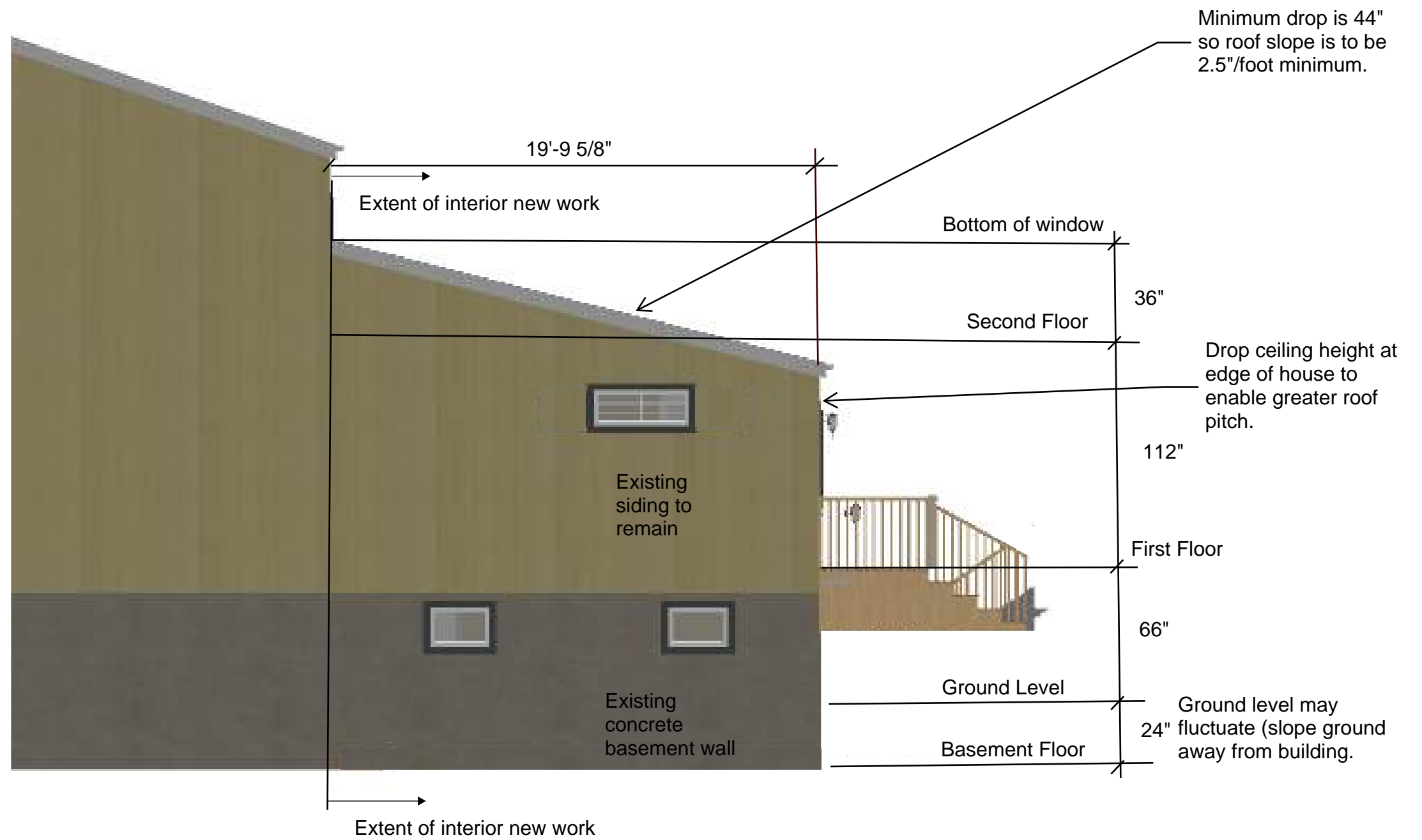


Tilghman's Kitchen and Basement Renovation
 506 N. 27th Street, Richmond, VA 23223
 Second Floor New Plan

Date: 11/20/2019

Issued for CAR Review

N-2.1



North Elevation
 Scale: 1/4" = 1'-0"

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Tilghman's Kitchen and Basement Renovation
 506 N. 27th Street, Richmond, VA 23223
 North Elevation

Date: 11/20/2019	Issued for CAR review	N-3.2
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West Elevation

Scale: 1/4" = 1'-0"

Refer to North Elevations for dimensions.

Existing gray standing seam roof to remain

Existing CAR approved yellow siding to remain

Install new window to match existing at similar elevation as others on this floor (36" AFF) and flash roof from that point and slope down to new roof edge. **Second Floor Elevation = 9' - 4"**

New gray standing seam roof to match existing.

New vertical wood siding to match existing CAR color.

Original First Floor Elevation = 0' - 0"

New concrete foundation wall to match existing color. **Ground level Elevation = - 3' - 5"**

New doors to be green

Basement Elevation = - 8' - 11"

Separation of existing and new with 21.5" indent from existing wall.

New vent hood exhaust vent on outside of the building.

South Elevation

Scale: 1/4" = 1'-0"

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Tilghman's Kitchen and Basement Renovation

506 N. 27th Street, Richmond, VA 23223

West and South Elevations

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Issued for CAR review

N-3.3

Room Finish Schedule							
Floor	Room	Floor		Wall		Ceiling	
		Finish	Color/Type	Finish	Color/Type	Finish	Color/Type
Basement	Shop	Existing Tile	White	Drywall	White	Drywall	White
Basement	Man Cave/Bar	Existing Tile	White	Drywall	Sand	Drywall	White
Basement	Game & Art Room	Match existing	White	Drywall	Sand	Drywall	White
Basement	Bedroom	Match existing	White	Drywall	Sand	Drywall	White
Basement	Closet	Match existing	White	Drywall	Sand	Drywall	White
First	Bath	Slate 24"	Light Charcoal	Drywall	Blue	Drywall	White
First	Laundry	Slate 24"	Light Charcoal	Drywall	Blue	Drywall	White
First	Kitchen	Slate 24"	Light Charcoal	Drywall	Blue	Drywall	White

Cabinet Schedule						
Floor	Room	Cabinet		Counter Top		Hardware
		Finish	Color/Type	Finish	Color/Type	Color/Type
Basement	Man Cave/Bar	Wood	White	Corian	Black	Brushed Silver
First	Island	Wood	White	Corian	Black	Brushed Silver
First	Laundry	Wood	White	Corian	Black	Brushed Silver
First	Kitchen	Wood	White	Corian	Black	Brushed Silver

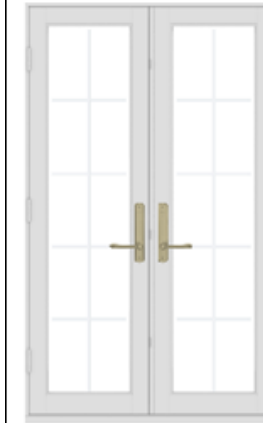
Contractor can provide separate price for concrete (polished/sealed) counter-tops.

Window Schedule									
Floor	Room	Material Finish		Size		Location	Type	Manufacturer	Hardware
		Finish	Color/Type	Height	Width				
Basement	Art area	Wood or vinyl	White	18	26	Exterior	Awning		Brushed Silver
Basement	Bedroom (2)	Wood or vinyl	White	18	26	Exterior	Awning		Brushed Silver
First	Kitchen (2)	Wood or vinyl	White	26	40	Exterior	Double hung	200 Series	Brushed Silver
First	Kitchen (1)	Wood or vinyl	White	30	30	Exterior	Double hung	200 Series	Brushed Silver
First	Laundry	Wood or vinyl	White	26	34	Exterior	Double hung	200 Series	Brushed Silver
First	Laundry	Wood or vinyl	White	16	40	Exterior	Awning		Brushed Silver

Energy Star, NFRC rated, U value = 0.30, SHGC = 0.52, VT = 0.50, double glazing, thermal break. Low-E argon gas filled
Similar to Anderson



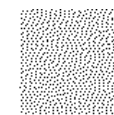
Door Schedule									
Floor	Room	Material Finish		Location	Size		Type	Lights	Hardware
		Finish	Color/Type		Height	Width			
Basement	Man Cave Closet	Wood	White	Interior			Pocket		Brushed Silver
Basement	Shop	Wood	White	Interior			Standard swing		Brushed Silver
Basement	Bedroom	Wood	White	Interior			Standard swing		Brushed Silver
Basement	Bedroom Closet (2)	Wood	White	Interior			Bi-fold		Brushed Silver
Basement	Exterior (2)	Wood (insulated)	Green	Exterior			Standard swing	Upper lights	Brushed Silver
First	Exterior (2)	Wood (insulated)	Green	Exterior			Standard swing	Upper lights	Brushed Silver
First	Laundry	Wood	White	Interior			Pocket		Brushed Silver
First	Bathroom	Wood	White	Interior			Standard swing		Brushed Silver



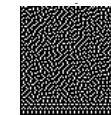
Anderson E-Series Hinged Patio Door
Exterior door
Energy Star, NFRC rated, U value = 0.30, SHGC = 0.52, VT = 0.50, double glazing, thermal break. Low-E argon gas filled



Exterior Finish Schedule				
Finish	Material	Type		Details
		Finish	Color	Match
Roof	Metal	Standing Seam	Gray	Existing color/material
Wall	Wood Exterior Siding	Vertical Pattern	Yellow	Existing color/material



SW 2865



SW 7069

WHITE TRIM

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Tilghman's Kitchen and Basement Renovation
506 N. 27th Street, Richmond, VA 23223
Finish (Exterior, Room, Door and Window) Schedules

Date: 11/20/2019

Issued for CAR review

N-4.1