

INTRODUCED: July 22, 2019

AN ORDINANCE No. 2019-201

To authorize the special use of the property known as 1119 North 31st Street for the purpose of the expansion of an existing single-family attached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: SEP 9 2019 AT 6 P.M.

WHEREAS, the owner of the property known as 1119 North 31st Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of the expansion of an existing single-family attached dwelling, which use, among other things, is not currently allowed by section 30-412.5(2)(b), concerning requirements for side yards, of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2019), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: SEP 9 2019 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1119 North 31st Street and identified as Tax Parcel No. E000-0722/031 in the 2019 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Improvements on 1119 N. 31st Street, City of Richmond, Virginia,” prepared by Harvey L. Parks, Inc., and dated May 24, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted for the purpose of the expansion of an existing single-family attached dwelling that encroaches into the side yard, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Espinosa Development, 1119 N. 31st Street, Richmond VA. 23223,” prepared by Quality Homes and Design, dated May 15, 2018 and last revised August 8, 2018, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a single-family attached dwelling with an addition that encroaches into the side yard, substantially as shown on the Plans.

(b) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

- (c) The height of the Special Use shall not exceed the height shown on the Plans.
- (d) All building materials and elevations shall be substantially as shown on the Plans.
- (e) Parking for one vehicle shall be provided on the Property.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or

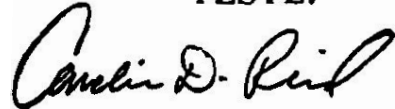
otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Amelia D. Reed". The signature is written in a cursive style with a large initial "A".

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request

File Number: PRE.2019.308

RECEIVED

JUL 15 2019

OFFICE OF THE CITY ATTORNEY

O & R Request

O & R REQUEST

4-8937

JUN 26 2019

Office of the
Chief Administrative Officer

DATE: June 25, 2019

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Mark A. Olinger, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 1119 North 31st Street for the purpose of a single-family attached dwelling, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 1119 North 31st Street for the purpose of a single-family attached dwelling, upon certain terms and conditions.

REASON: The applicant has proposed to rehabilitate and expand the existing structure, for use as a single-family attached dwelling unit. The special use will enable an encroachment into the required 3' side yard setback.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its September 3, 2019, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property consists of a 2,376 SF (.055 acre) parcel of land containing a two-story structure. It is located in the Church Hill North Neighborhood within the City's East Planning District on 31st Street, between Q and R Streets. This property is being rehabilitated in tandem with the attached property located at 1117 N. 31st Street and a special use request has also been made for this property.

The City of Richmond's Master Plan designates the subject property for Single-Family (Medium Density) uses. Primary uses in this category are "single-family detached dwellings at densities between 8 and 20 units per acre." The density of the property would remain at 18 units per acre.

All properties surrounding the subject property are located within the same R-6 Single-Family Attached Residential zoning district. A mix of single-family detached residential, single-family attached residential, and vacant land uses predominate the vicinity of the subject property.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: July 22, 2019

CITY COUNCIL PUBLIC HEARING DATE: September 9, 2019

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
September 3, 2019

AFFECTED AGENCIES: Office of Chief Administration Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application Form, Applicant's Report, Plans, Survey, Draft Ordinance, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

SUP-055405-2019

RECEIVED

MAY 31 2019

LAND USE ADMINISTRATION

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 1119 N 31st Richmond Va 23223

Date: 05/29/19

Tax Map #: E0000722031 Fee: \$ ~~150~~ 300.00

Total area of affected site in acres: 0 ~~5,200~~ sq ft

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R6

Existing Use: R6

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

single family home

Existing Use: single family home

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Kimberley McMinn Espinosa or Eric Espinosa

Company: _____

Mailing Address: 12170 Abington Hall Place unit 207

City: Reston

State: VA

Zip Code: 20190

Telephone: (214) 435-6833 or 301 901 0314

Fax: ()

Email: kim@espinosadevelopment.com

Property Owner: EMS Homes, LLC

If Business Entity, name and title of authorized signer: Eric Espinosa

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 11140 Rockville pike #100 304

City: Rockville

State: MD

Zip Code: 20852

Telephone: (301) 910-0314

Fax: ()

Email: eric@espinosadevelopment.com

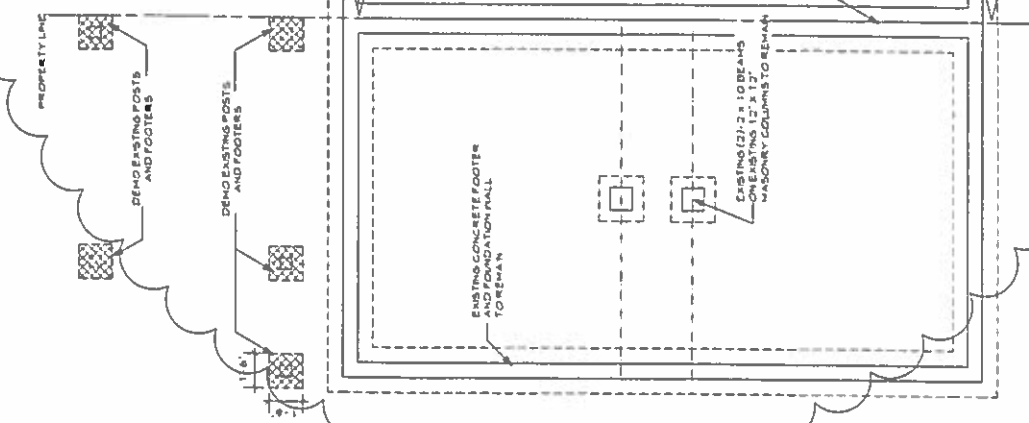
Property Owner Signature: _____

[Handwritten Signature]
ERIC ESPINOSA, member
Espinosa Development, EMS Homes, LLC

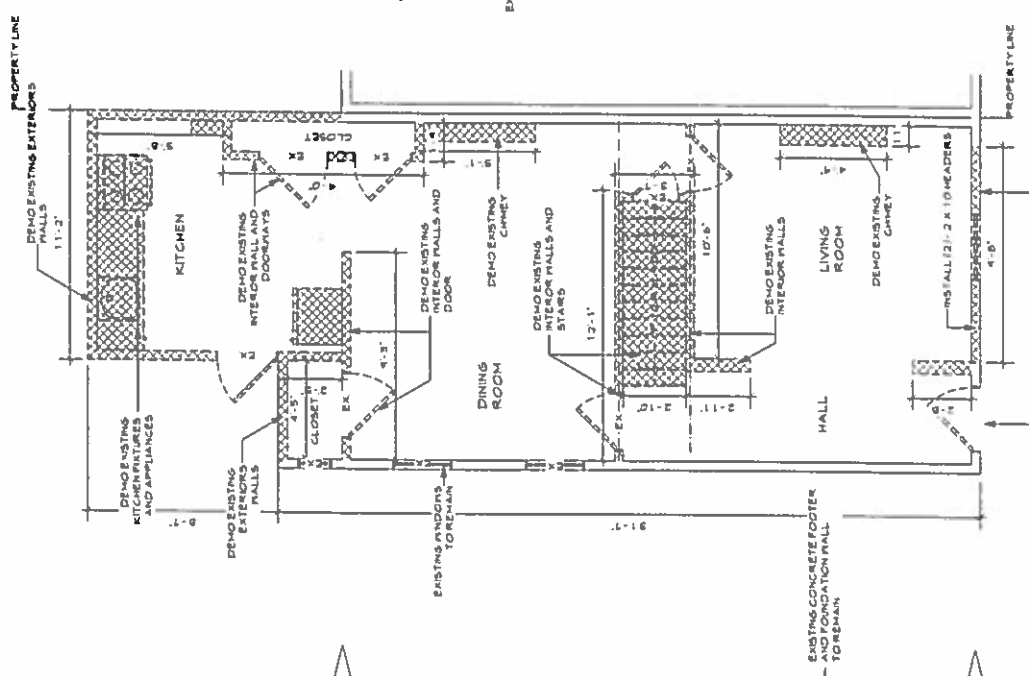
The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

THIS DRAWING IS THE PROPERTY OF QUALITY HOMES AND DESIGN, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE OR MODIFICATION OF THIS DRAWING IS TO BE PERMITTED WITHOUT THE WRITTEN CONSENT OF QUALITY HOMES AND DESIGN, INC.

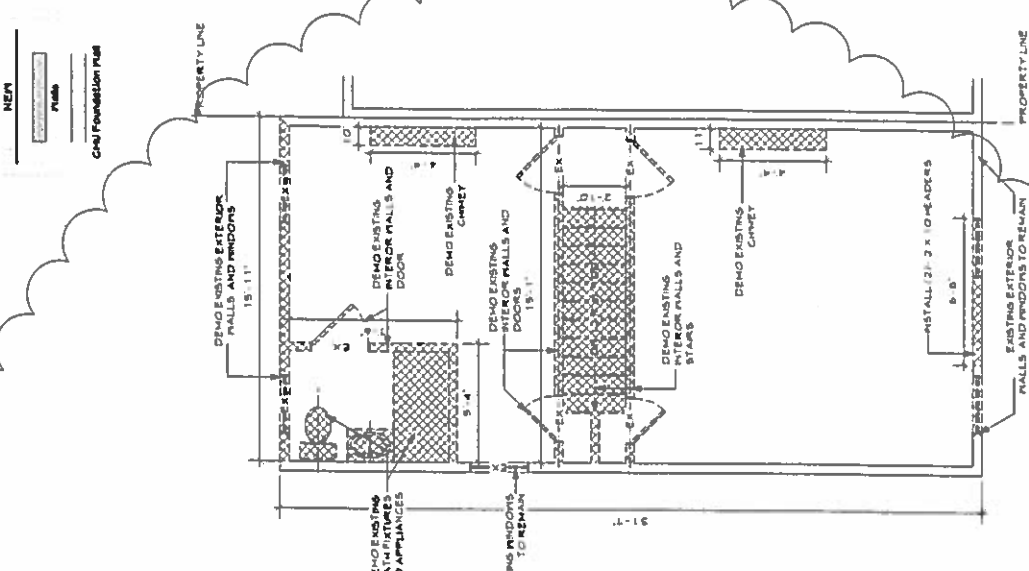


1 Existing Foundation Plan
Scale: 1/4" = 1'-0"



ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION... THIS APPROVAL DOES NOT RELIEVE THE BUILDER FROM COMPLYING WITH MANUFACTURER SPECS. VA UNIFORM STATEWIDE BUILDING CODE AND CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.

2 Existing First Floor Plan
Scale: 1/4" = 1'-0"



3 Existing Second Floor Plan
Scale: 1/4" = 1'-0"

LEGEND - PLAN

EXISTING	
	To Remain
	Demo Existing
	NEW
	Finish
	Callout Foundation Wall



Plans Drawn By
106 EAST LANTANA
FREDERICK MD 21701

Espinosa Development
1119 N. 31st Street
Richmond VA. 23223

Drawing Log

REV#	Date
REV#1	9/18/18
REV#2	9/19/18

Designed By: **DALE LOWE**
 Proj. Manager:
 Scale: 1/4" = 1'-0"
 Date: 9/19/18

Sheet: **2** of **13**
 Existing Floor Plans
 ESPINOSA DEVELOPMENT



Quality Hinners and Design
 Consulting Engineers
 11111 10th Street
 Richmond, VA 23223

Plans Drawn By
 10/6/2011 1418 Hours
 FRYER/CA, MD 21101

Espinosa Development
 1119 N. 31st Street
 Richmond VA 23223

Drawing Log	Date
REV#1	5/17/10
REV#2	6/8/10

Designed By:
 Drawn By: ALK LOKL
 Proj. Manager:

Scale: 1/4" = 1'-0"
 Date: 6/8/10

Sheet: 3
 Of: 13

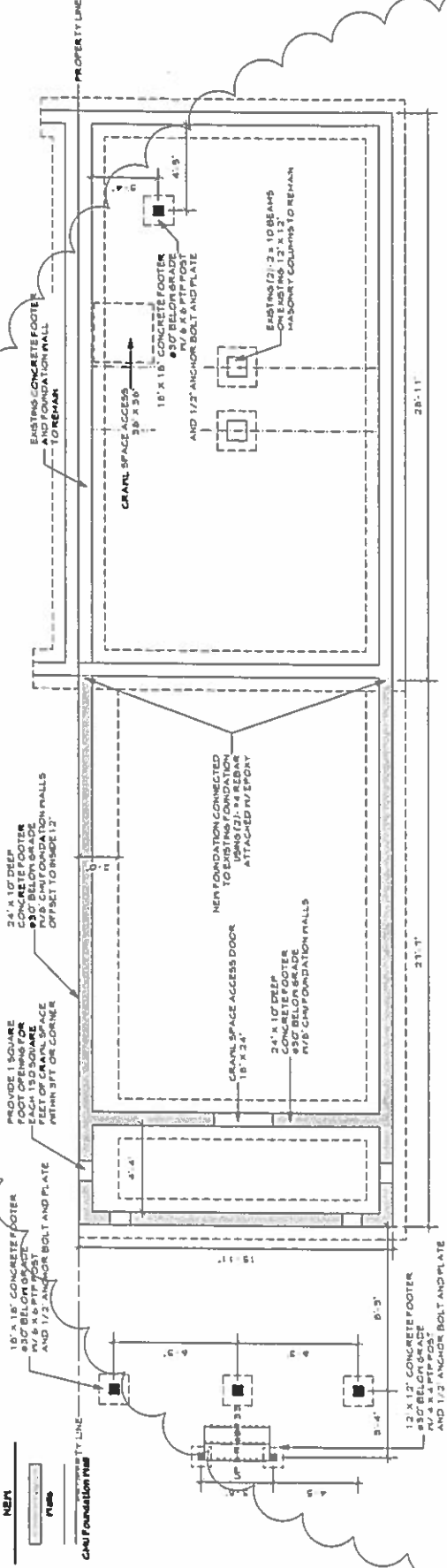
Proposed Floor Plans
 ESO 10/6/2011 1418:00

NOTE:
 ALL REAR PORCHES SHALL MEET OR EXCEED THE FOLLOWING DIMENSIONS: CLEAR OPENING AREA 8'5" SQ
 BY CLEAR OPENING WITH 20" CLEAR OPENING HEIGHT 2'4"
 NOTES:
 1. ALL WALLS IN PARALLEL LOCATIONS AS DEFINED BY BC 3-406.3 SHALL BE SAFETY GLAZING AND BE LABELED PER BC 2-417.
 2. ALL LIFELINES SHALL MEET OR EXCEED A MINIMUM CLEARANCE OF 6'4" FROM ALL DOORS TO HAVE A FACTOR OF 0.55.

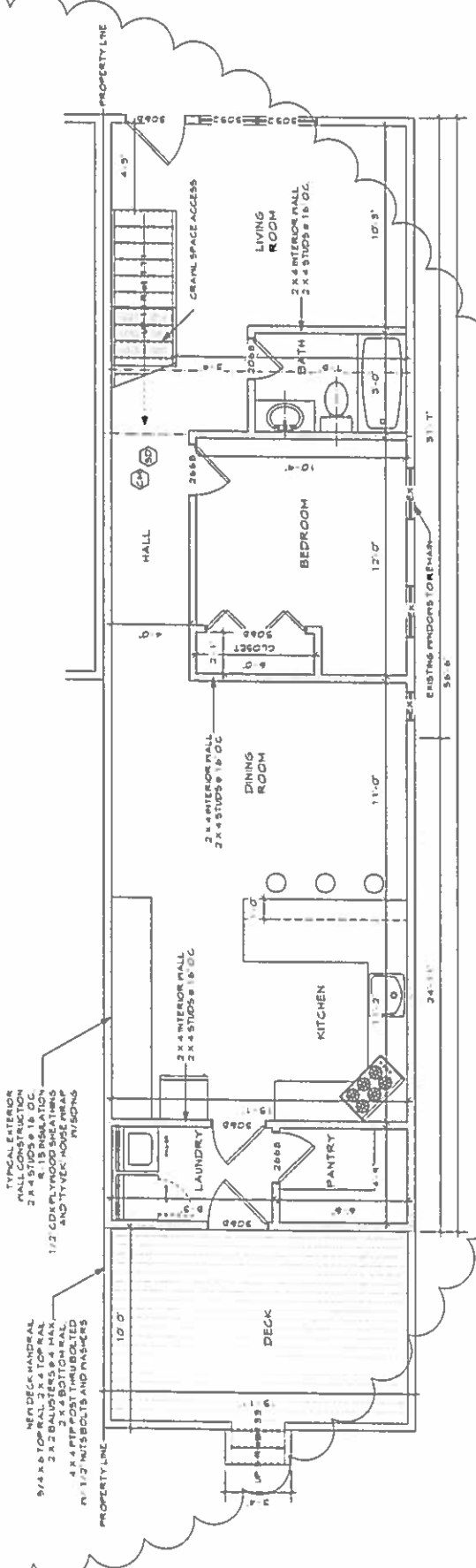
SMOKE DETECTORS ARE TO BE HARD WIRED AND INTERCONNECTED WITH BATTERY BACK UP

PROVIDE 1 SQUARE FOOT OPENING FOR EACH 150 SQUARE FEET OF CRANAL SPACE PRINCIPALLY ON CORNER

18" X 18" CONCRETE FOOTER WITH 4 #4 BARS AND 1/2" ANCHOR BOLT AND PLATE



4 Proposed Foundation Plan
 Scale: 1/4" = 1'-0"



5 Proposed First Floor Plan
 Scale: 1/4" = 1'-0"

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.
 THIS APPROVAL DOES NOT RELIEVE THE BUILDER FROM COMPLYING WITH MANUFACTURER SPECS, VA UNIFORM STATEWIDE BUILDING CODE AND CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.

THIS PLAN HAS BEEN PREPARED FOR THE HOMEOWNER. THE HOMEOWNER SHALL NOT BE HELD Liable FOR ANY CHANGES TO THIS PLAN.



Quality Homes and Design
 106 West 1st Street
 Fredericks, VA 23154-5723
 804-531-5723

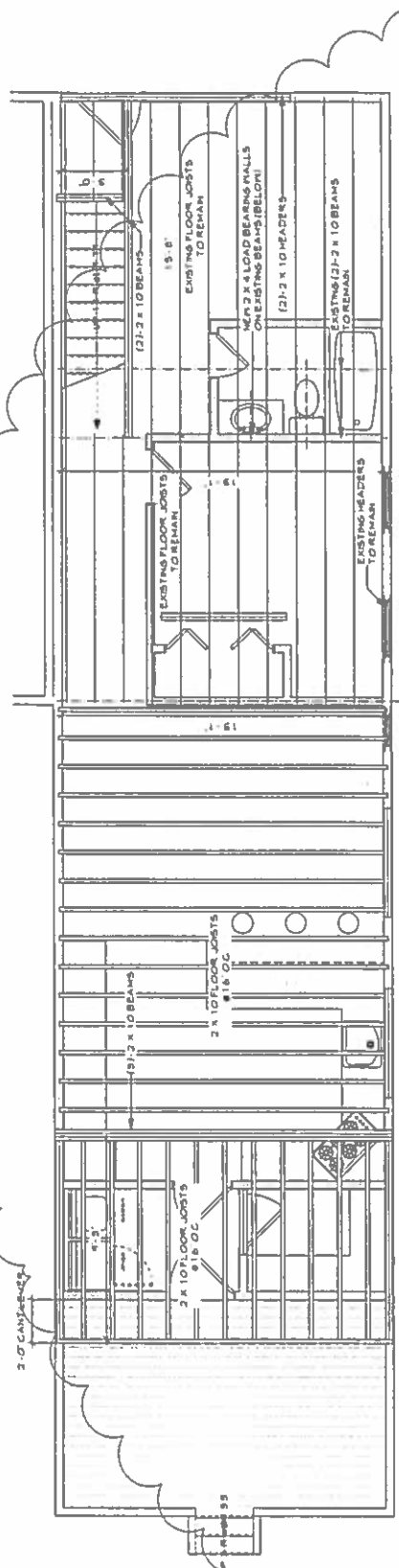
Plans Drawn By
 Alan Savvy
 106 West 1st Street
 Fredericks, VA 23154

Espinosa Development
 1119 N. 31st Street
 Richmond VA. 23223

Drawing Log	Date
REV#1	9/15/10
REV#2	9/9/10

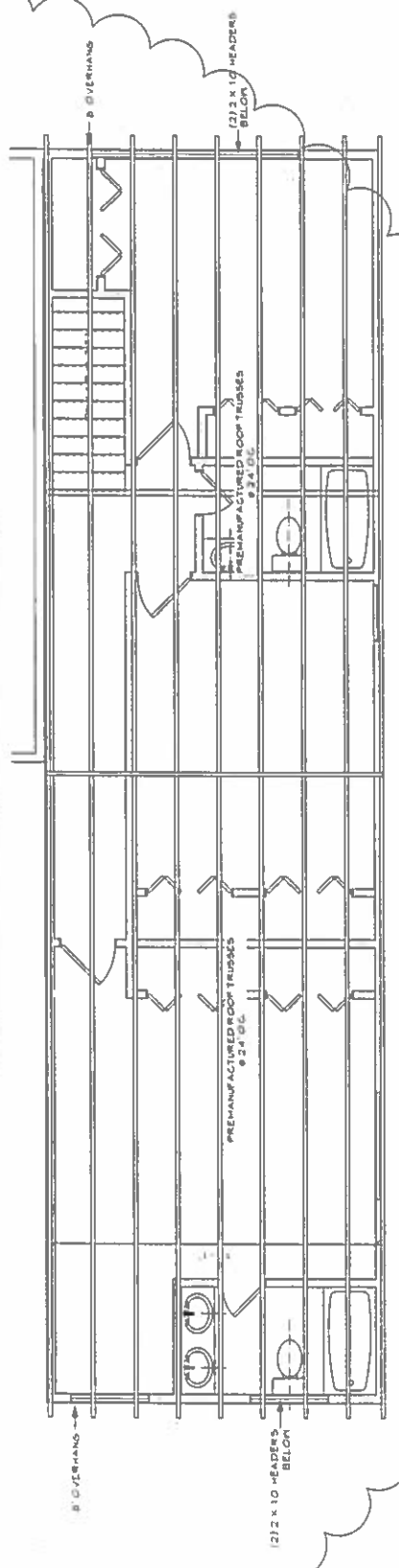
Designed By: _____
 Drawn By: ALK LOK
 Proj. Manager: _____

Scale: Date:
 1/4" = 1'-0" 9/9/10
 Sheet: Of
 5 13
 Framing Plans



8 Second Floor Framing Plan
 Scale: 1/4" = 1'-0"

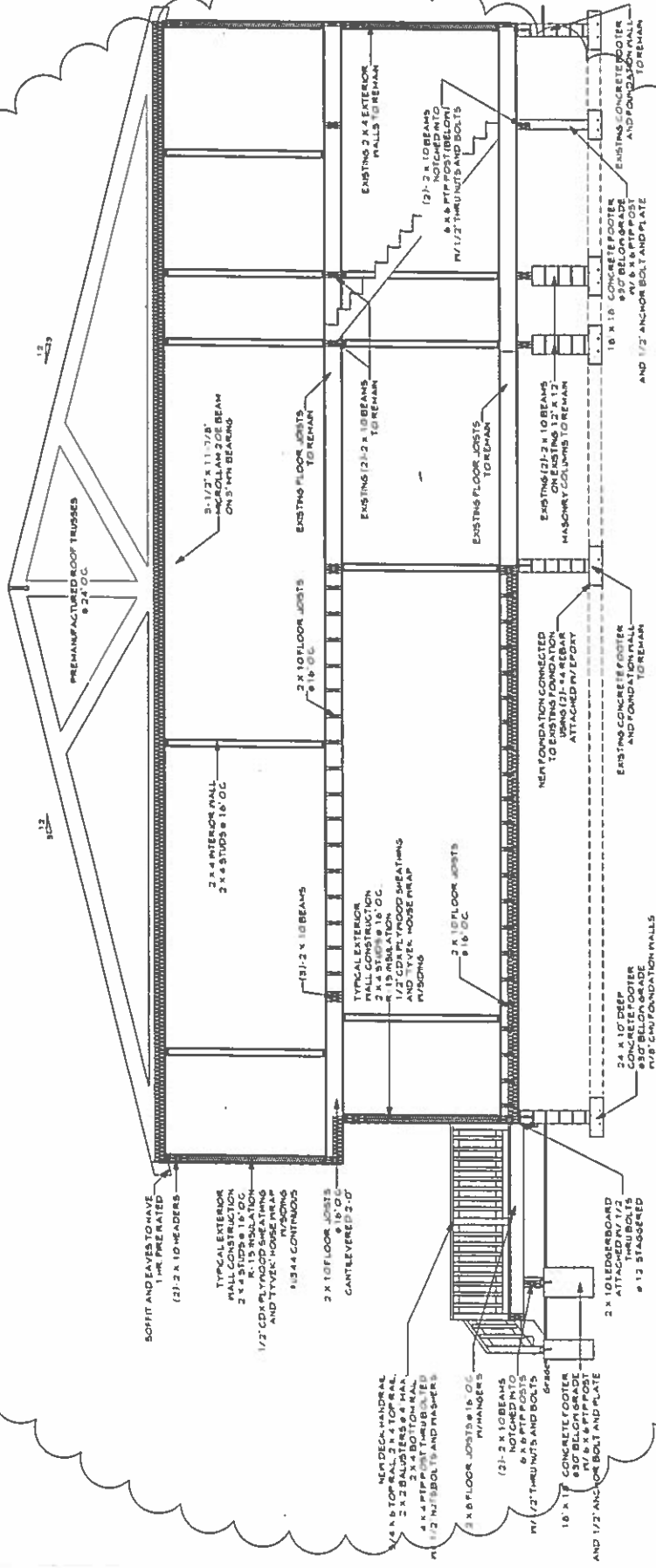
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9 Roof Framing Plan
 Scale: 1/4" = 1'-0"

NOT TO SCALE
 ALL DIMENSIONS UNLESS OTHERWISE NOTED
 ALL MATERIALS UNLESS OTHERWISE NOTED
 ALL FINISHES UNLESS OTHERWISE NOTED
 ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC) AS APPLICABLE TO THE JURISDICTION OF THE PROJECT.

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION
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 CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.



10 Left Section
 Scale: 1/4" = 1'-0"

HEM CONSTRUCTION
 EXISTING CONSTRUCTION

QH
Quality Homes and Design
 Consulting, Design Services
 Drafting, Project Services
 11111 11th Street
 Arlington, VA 22204
 (703) 517-1111
 www.qualityhomesanddesign.com

Plans Drawn By
 JLB/MSL 12/18/2018
 Project: 1119 N. 31st Street
 Richmond, VA 23223

Espinosa Development
 1119 N. 31st Street
 Richmond VA. 23223

Revision	Date
REV#1	9/19/18
REV#2	9/19/18

Designed By: **MLK/LHL**
 Drawn By: **MLK/LHL**
 Proj. Manager:
 Scale: **1/4" = 1'-0"** Date: **9/19/18**
 Sheet: **6** of **13**
 Left Section



**Quality Homes
and Design**
Consulting - Design Services
Building Permit Services
3811 ST-1079
Arlington, VA 22204

Plans Drawn By
Alicia L. Low
106 N. 31st Street
Richmond, VA 23223

Espinosa Development
1119 N. 31st Street
Richmond VA. 23223

Drawing Log	Date
REV#1	9/19/18
REV#2	8/8/18

Designed By: Alicia Low
Drawn By: Alicia Low
Proj. Manager:

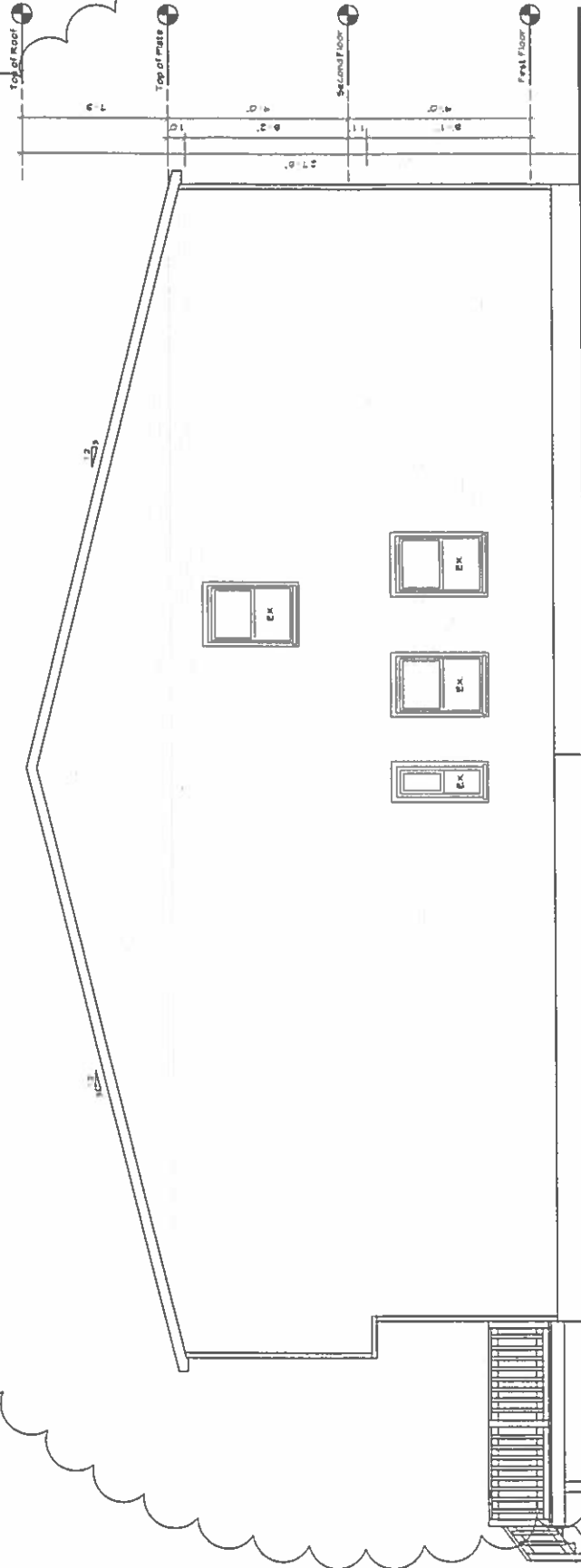
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Date: 8/8/18

Sheet: 8 of 13

Left Elevation

Capitol Projects, Inc.

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.
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MANUFACTURER SPECS. VA UNIFORM STATEWIDE BUILDING CODE AND
CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.



13 Left Elevation
Scale: 1/4" = 1'-0"

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF RICHMOND BUILDING CODE AND THE VA UNIFORM STATEWIDE BUILDING CODE.
2. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RICHMOND.
3. THE BUILDER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE BUILDER SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE BUILDER SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
6. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
7. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTOR LICENSES.
8. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL ENGINEER LICENSES.
9. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECT LICENSES.
10. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RICHMOND.



**Quality Homes
and Design**
Consulting/Design Services
Building/Printed Services
801-351-5929
www.qualityhomesanddesign.com

Plans Drawn By:
Alan Kivney
100 West 14th Street
Frederick, MD 21701

Espinosa Development
1119 N. 31st Street
Richmond VA. 23223

Drawing Log	Date
REV1	5/15/18
REV2	8/8/18

Designed By:
Drawn By: ALK:LOH

Proj. Manager:

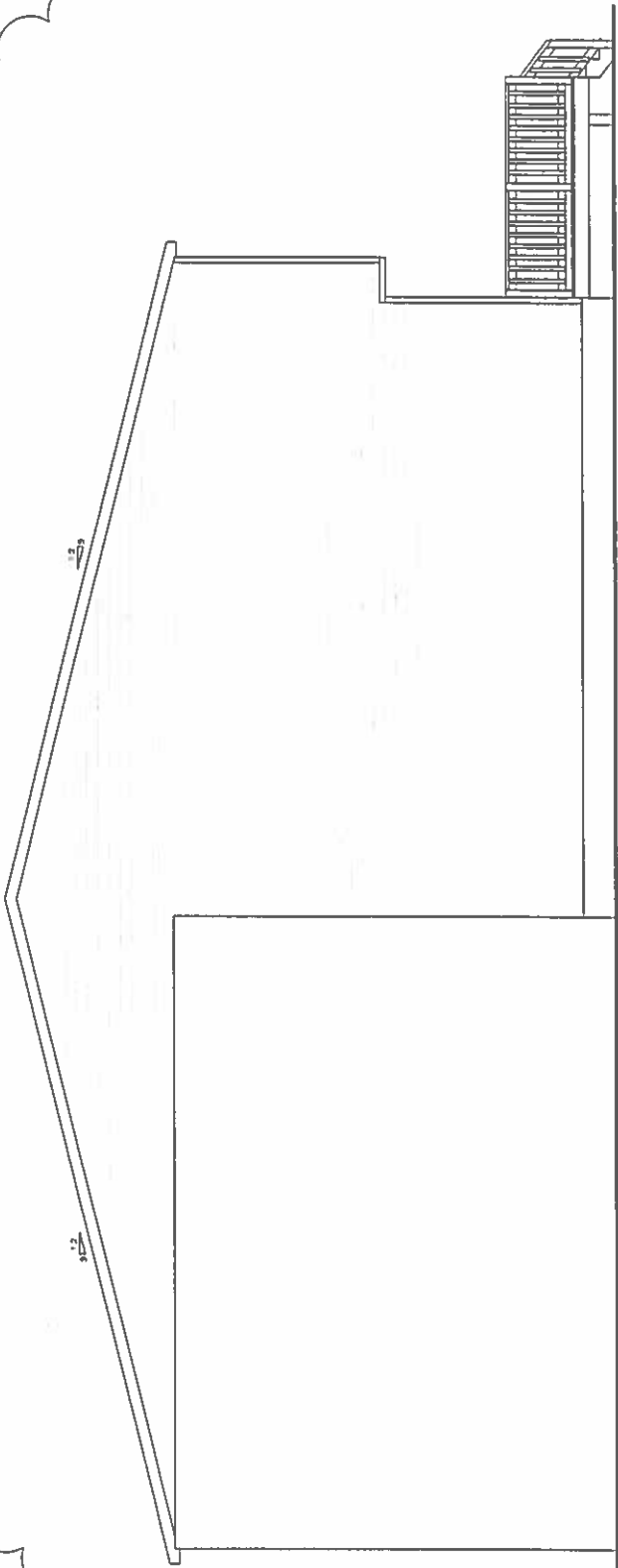
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1/4" = 1'-0" 8/8/18

Sheet: of
9 13

Right Elevation

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14 Right Elevation
Scale: 1/4" = 1'-0"



Quality Homes and Design
 100 West 141st Street
 Richmond, VA 23223
 Phone: (804) 781-1111
 Fax: (804) 781-1112
 Email: info@qualityhomesanddesign.com

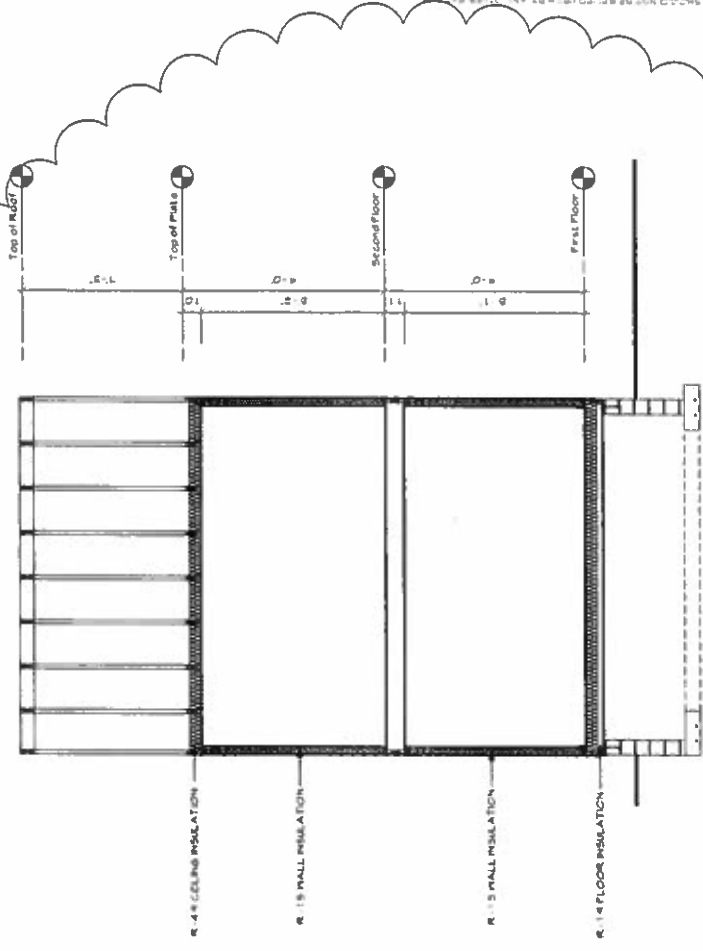
Prepared By:
 Alan Kivney
 100 West 141st Street
 Richmond, VA 23223

Espinosa Development
 1119 N. 31st Street
 Richmond VA, 23223

Drawing Log Date
 REV01 8/19/10
 REV02 8/20/10

Designed By:
 DR-SUN BJJ: AALK LOHL
 Proj. Manager:
 Scale: 1/4" = 1'-0"
 Date: 8/8/10
 Sheet: 1013
 OF
 Thermal Envelope
 Plans

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.
 THIS APPROVAL DOES NOT RELIEVE THE BUILDER FROM COMPLYING WITH
 MANUFACTURER SPECS, VA UNIFORM STATEWIDE BUILDING CODE AND
 CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED



15 Thermal Envelope Section
 Scale: 1/8" = 1'-0"

COMPONENT	AIR BARRIER INSTALLATION CRITERIA	INSULATION INSTALLATION CRITERIA
General Requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. All joints or seams in the air barrier shall be sealed. The air barrier shall be installed in the air barrier assembly with the air barrier and any gaps in the air barrier shall be sealed. Access openings, door doors must be kept and doors in unobstructed paths open shall be sealed.	All penetrations must be sealed to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material.
Windows	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior wall shall be sealed. Knee walls shall be sealed.	Cracks within corners and borders of frame walls shall be sealed by completely filling the cracks with a sealant. The insulation in any air barrier shall be sealed to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material.
Walls, 1 1/2" to 2" thick	The space between exterior finish and framing shall be sealed. All air joints shall be sealed. All air joints shall be sealed.	Wall joints shall be sealed. The framing cavity shall be sealed to the exterior weathering material. The framing cavity shall be sealed to the exterior weathering material. The framing cavity shall be sealed to the exterior weathering material.
Flashed doors, windows, garage and other openings	The air barrier shall be installed in any exposed edge of foundation. Exposed walls in unvented crawl spaces shall be covered with a Class I vapor retarder with permeating joints taped. The air barrier shall be installed in any exposed edge of foundation. Exposed walls in unvented crawl spaces shall be covered with a Class I vapor retarder with permeating joints taped.	Where provided instead of 2" of insulation, the insulation shall be permanently attached to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material. The insulation in any air barrier shall be sealed to the exterior weathering material.
Stairs, penetrations	Stairs, penetrations shall be sealed. Stairs, penetrations shall be sealed.	Stairs, penetrations shall be sealed. Stairs, penetrations shall be sealed.
Roofs, eaves	At a valley, shall be provided between the gable and main roof. Roofing shall be sealed to the exterior weathering material. Roofing shall be sealed to the exterior weathering material.	Roofing shall be sealed to the exterior weathering material. Roofing shall be sealed to the exterior weathering material. Roofing shall be sealed to the exterior weathering material.
Roofing and eaves	The air barrier installed at exterior walls adjacent to doors and sills shall separate them from the exterior weathering material. The air barrier shall be installed behind exterior finish. HVAC register faces that penetrate building thermal envelope shall be sealed to the exterior weathering material. HVAC register faces that penetrate building thermal envelope shall be sealed to the exterior weathering material.	Exterior walls adjacent to doors and sills shall be sealed. Exterior walls adjacent to doors and sills shall be sealed. Exterior walls adjacent to doors and sills shall be sealed.
Exterior walls	Exterior walls shall be sealed. Exterior walls shall be sealed.	Exterior walls shall be sealed. Exterior walls shall be sealed.
Exterior doors	Exterior doors shall be sealed. Exterior doors shall be sealed.	Exterior doors shall be sealed. Exterior doors shall be sealed.
Exterior windows	Exterior windows shall be sealed. Exterior windows shall be sealed.	Exterior windows shall be sealed. Exterior windows shall be sealed.
Exterior roof	Exterior roof shall be sealed. Exterior roof shall be sealed.	Exterior roof shall be sealed. Exterior roof shall be sealed.
Exterior floor	Exterior floor shall be sealed. Exterior floor shall be sealed.	Exterior floor shall be sealed. Exterior floor shall be sealed.

In addition, inspection of log walls shall be in accordance with the provisions of R-202.



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Plans Drawn By
 Alan Kinney
 108 West 14th Street
 Frederick, Md 21701

Espinosa Development
 1119 N. 31st Street
 Richmond VA. 23223

Drawing Log	Date
REV1	5/15/18
REV2	6/6/18

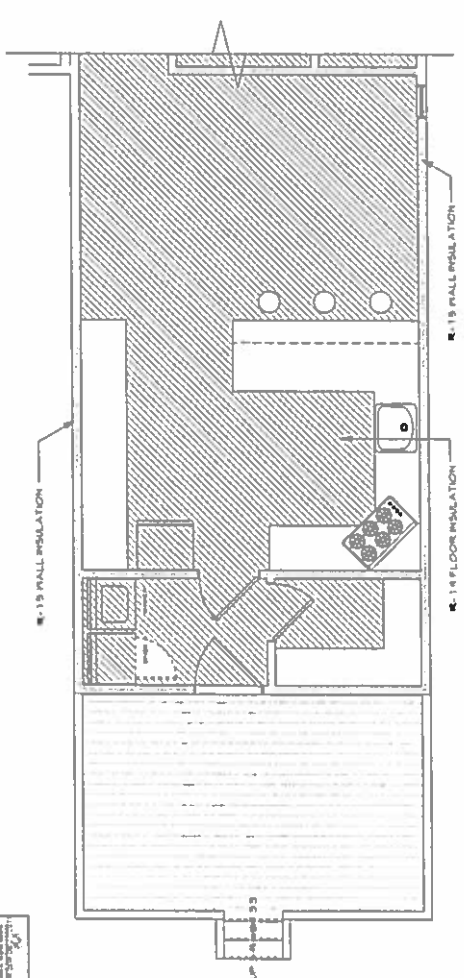
Designed By: **Drawn By: ALK/LOH**

Proj. Manager:

Scale: **Date: 6/6/18**
 1/4" = 1'-0"

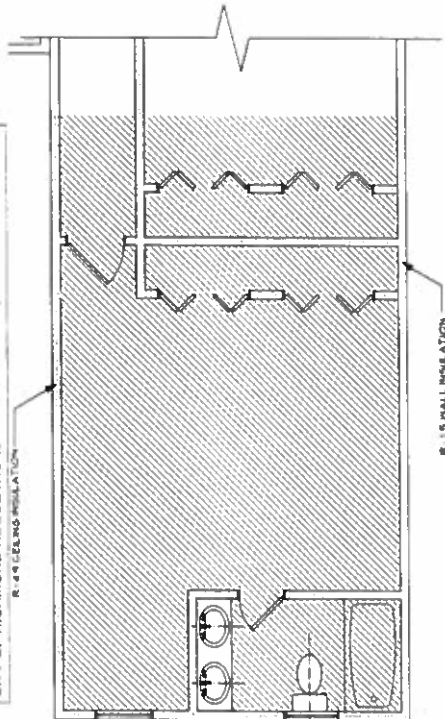
Sheet: **11** of **13**

Thermal Envelopment
 Plans
 Espinosa Development



16 First Floor Thermal Envelope
 Scale: 1/8" = 1'-0"

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.
 THIS APPROVAL DOES NOT RELIEVE THE BUILDER FROM COMPLYING WITH MANUFACTURER SPECS, VA UNIFORM STATEWIDE BUILDING CODE AND CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.



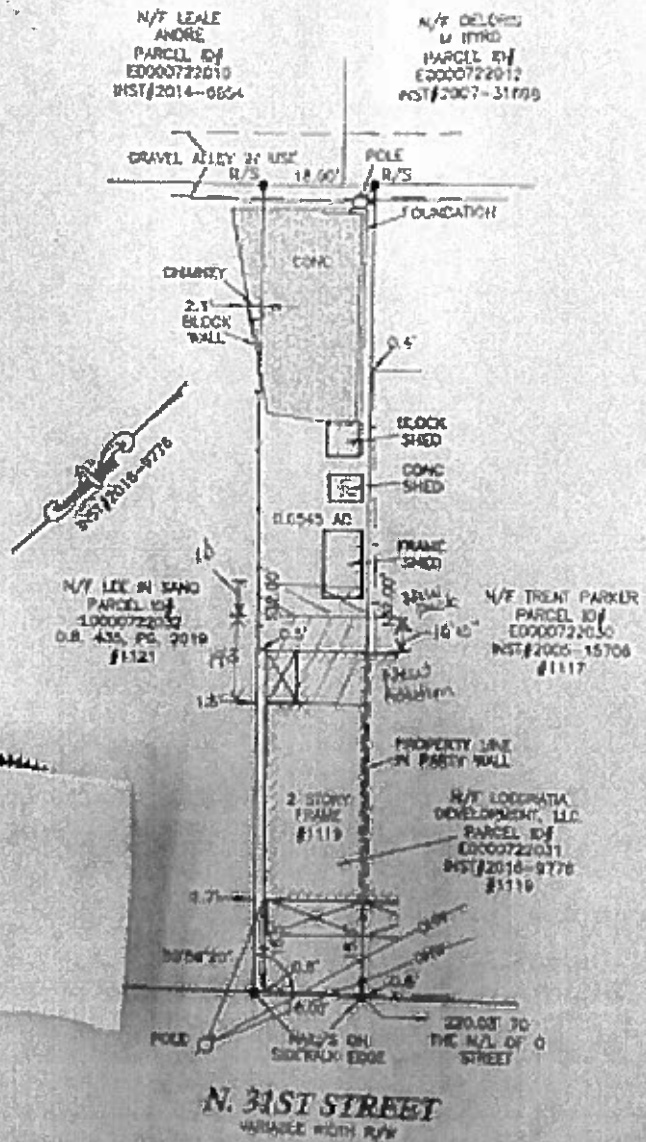
17 Second Floor Thermal Envelope
 Scale: 1/8" = 1'-0"

NOT TO SCALE
 ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
 ALL FINISHES TO BE DETERMINED BY ARCHITECT

THESE PLANS HAVE BEEN PREPARED FOR THE HOMEOWNER'S USE. FOR THE ARCHITECT'S USE ONLY. NOT TO BE REPRODUCED OR COPIED FOR ANY OTHER PURPOSE.

Building Permit - Approved Construction Documents
 Under general authority of the Building Code, the approved set of construction documents shall be kept on the job site at all times and shall not be altered without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from complying with manufacturer instructions, Virginia Uniform Statewide Building Code and any other applicable codes, rules, regulations or ordinances.
 APPROVED PLANS 1119 N. 31ST STREET BLDG 051836 2018 08/27/2018
 10:22:24 AM

1. THIS IS TO CERTIFY THAT ON JANUARY 30, 2018, I MADE AN ACCURATE FIELD SURVEY OF THE PARCELS SHOWN HEREON AND THAT THERE ARE NO EASEMENTS OR ENCRUMPTIONS VISIBLE ON THE DRAWING OTHER THAN THOSE SHOWN HEREON.
2. THIS PROPERTY IS IN FEMA DUNGEN FLOOD HAZARD AREA, ZONE 'A', AS SHOWN ON FEMA DAMAGMENT PANEL #200290002E, EFFECTIVE DATE APRIL 2, 2008.
3. THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH WOULD REVEAL.
4. DEED LOT DIMENSIONS ARE 15' X 130'. LOT DIMENSIONS ON PLAN IN DEED BOOK 373C, PAGE 172 ARE 15' X 133'.



PLAT SHOWING IMPROVEMENTS ON
1119 N. 31ST STREET
 CITY OF RICHMOND, VIRGINIA

Department of Planning & Development Review's Permit Web is
<http://www.permitweb.com> <http://www.planninganddevelopment.com>

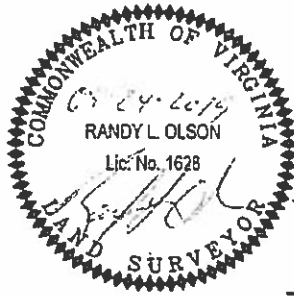
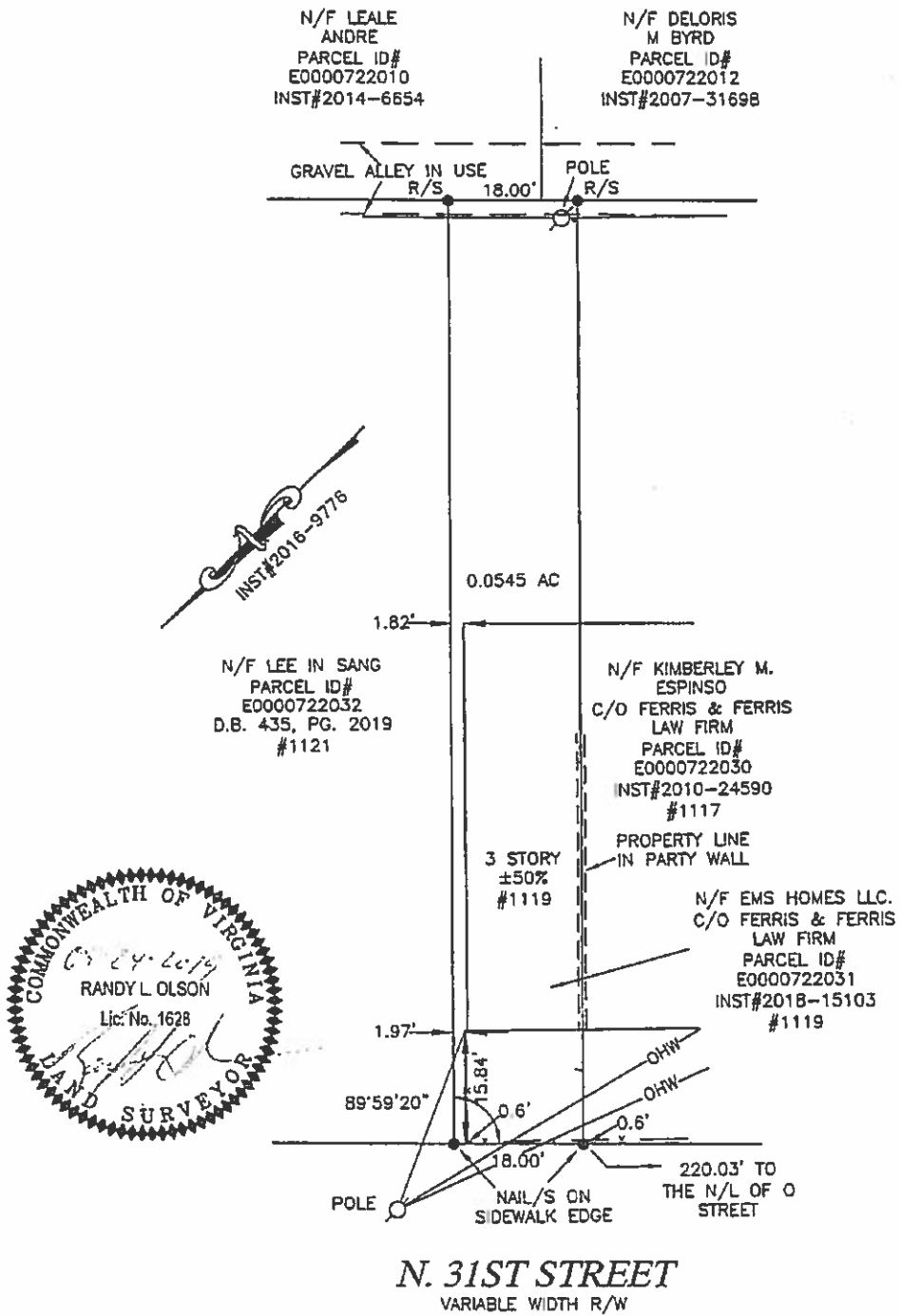
Check the status of any permit • Schedule an inspection • Get inspection results • Revoke

<p>Tasks You Can Perform with Permit Web Inquiry System</p> <ul style="list-style-type: none"> • Check permit status • Request a permit inspection or field construction • Search existing permits 	<p>Information You Need To Know</p> <ul style="list-style-type: none"> • Your Permit Number (on the permit) • Address of the property to be inspected (on the Permit Tax Map)
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ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION..

THIS APPROVAL DOES NOT RELIEVE THE BUILDER FROM COMPLYING WITH MANUFACTURER SPECS, VA UNIFORM STATEWIDE BUILDING CODE AND CITY OF RICHMOND REGULATIONS.

1. THIS IS TO CERTIFY THAT ON MAY 24, 2019, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON AND THAT THERE ARE NO EASEMENTS OR ENDOACHMENTS VISIBLE ON THE GROUND OTHER THAN THOSE SHOWN HEREON.
2. THIS PROPERTY IS IN H.U.D. DEFINED FLOOD HAZARD AREA. ZONE: "X", AS SHOWN ON FIRM COMMUNITY PANEL #5101290042D, EFFECTIVE DATE APRIL 2, 2009.
3. THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE.
4. DEED LOT DIMENSIONS ARE 18' X 139'. LOT DIMENSIONS ON PLAT IN DEED BOOK 373C, PAGE 172 ARE 18' X 132'.



PLAT SHOWING IMPROVEMENTS ON
1119 N. 31ST STREET
 CITY OF RICHMOND, VIRGINIA

PUR.: MMK CAPITAL, LLC.

HARVEY L. PARKS, INC.	
4508 W. HUNDRED ROAD CHESTER, VA.	
748-8641	748-0515
EMAIL: SURVEYS@HARVEYPARKS.COM	FAX: 796-5742
DATE: REV. 05-24-2019	SCALE: 1"=20'
DRAWN BY: J.M.D.	
CHECKED BY: R.L.O.	
61151119TJ.dwg	