

INTRODUCED: July 22, 2019

AN ORDINANCE No. 2019-201

To authorize the special use of the property known as 1119 North 31<sup>st</sup> Street for the purpose of the expansion of an existing single-family attached dwelling, upon certain terms and conditions.

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Patron – Mayor Stoney (By Request)

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Approved as to form and legality  
by the City Attorney

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PUBLIC HEARING: SEP 9 2019        AT 6 P.M.

WHEREAS, the owner of the property known as 1119 North 31<sup>st</sup> Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of the expansion of an existing single-family attached dwelling, which use, among other things, is not currently allowed by section 30-412.5(2)(b), concerning requirements for side yards, of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2019), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9                  NOES: 0                  ABSTAIN: \_\_\_\_\_

ADOPTED: SEP 9 2019    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

**§ 2. Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1119 North 31<sup>st</sup> Street and identified as Tax Parcel No. E000-0722/031 in the 2019 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Improvements on 1119 N. 31<sup>st</sup> Street, City of Richmond, Virginia,” prepared by Harvey L. Parks, Inc., and dated May 24, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted for the purpose of the expansion of an existing single-family attached dwelling that encroaches into the side yard, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Espinosa Development, 1119 N. 31<sup>st</sup> Street, Richmond VA. 23223,” prepared by Quality Homes and Design, dated May 15, 2018 and last revised August 8, 2018, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

**§ 3. Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

- (a) The Special Use of the Property shall be as a single-family attached dwelling with an addition that encroaches into the side yard, substantially as shown on the Plans.
- (b) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

- (c) The height of the Special Use shall not exceed the height shown on the Plans.
- (d) All building materials and elevations shall be substantially as shown on the Plans.
- (e) Parking for one vehicle shall be provided on the Property.

**§ 4. Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

- (a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.
- (b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.
- (c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.
- (d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.
- (e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

**§ 5. General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

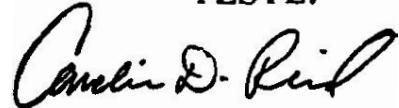
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or

otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:  
TESTE:

A handwritten signature in black ink, appearing to read "Carol D. Reid".

**City Clerk**

# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
[www.richmondfgov.com](http://www.richmondfgov.com)

## Item Request

File Number: PRE.2019.308

**RECEIVED**

JUL 15 2019

OFFICE OF THE CITY ATTORNEY

**O & R Request**

**O & R REQUEST**

4- 8937  
JUN 26 2019

Office of the  
Chief Administrative Officer

**DATE:** June 25, 2019

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)  
(This in no way reflects a recommendation on behalf of the Mayor)

**THROUGH:** Selena Cuffee-Glenn, Chief Administrative Officer *SLG*

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning *SEL*

**FROM:** Mark A. Olinger, Director, Department of Planning and Development Review *MAO*

**RE:** To authorize the special use of the property known as 1119 North 31st Street for the purpose of a single-family attached dwelling, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 1119 North 31st Street for the purpose of a single-family attached dwelling, upon certain terms and conditions.

**REASON:** The applicant has proposed to rehabilitate and expand the existing structure, for use as a single-family attached dwelling unit. The special use will enable an encroachment into the required 3' side yard setback.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its September 3, 2019, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

**BACKGROUND:** The subject property consists of a 2,376 SF (.055 acre) parcel of land containing a two-story structure. It is located in the Church Hill North Neighborhood within the City's East Planning District on 31st Street, between Q and R Streets.. This property is being rehabilitated in tandem with the attached property located at 1117 N. 31st Street and a special use request has also been made for this property.

The City of Richmond's Master Plan designates the subject property for Single-Family (Medium Density) uses. Primary uses in this category are "single-family detached dwellings at densities between 8 and 20 units per acre." The density of the property would remain at 18 units per acre.

All properties surrounding the subject property are located within the same R-6 Single-Family Attached Residential zoning district. A mix of single-family detached residential, single-family attached residential, and vacant land uses predominate the vicinity of the subject property.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No.

**REVENUE TO CITY:** \$300 application fee

**DESIRED EFFECTIVE DATE:** Upon Adoption

**REQUESTED INTRODUCTION DATE:** July 22, 2019

**CITY COUNCIL PUBLIC HEARING DATE:** September 9, 2019

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
September 3, 2019

**AFFECTED AGENCIES:** Office of Chief Administration Officer  
Law Department (for review of draft ordinance)  
City Assessor (for preparation of mailing labels for public notice)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Application Form, Applicant's Report, Plans, Survey, Draft Ordinance, Map

**STAFF:** David Watson, Senior Planner, Land Use Administration, 804-646-1036





SUP-055405-2019

Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review

Land Use Administration Division

900 E. Broad Street, Room 511

Richmond, Virginia 23219

(804) 646-6304

<http://www.richmondagov.com/>

RECEIVED

MAY 31 2019

LAND USE ADMINISTRATION

Application is hereby submitted for: (check one)

- special use permit, new**  
 **special use permit, plan amendment**  
 **special use permit, text only amendment**

**Project Name/Location**Property Address: 1119 N 31st Richmond Va 23223Date: 05/29/19Tax Map #: E0000722031Fee: \$ 150 300.00Total area of affected site in acres: 5.700 Sq Ft

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

**Zoning**Current Zoning: R6Existing Use: R6**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)

single family homeExisting Use: single family home

Is this property subject to any previous land use cases?

Yes

No

 If Yes, please list the Ordinance Number: \_\_\_\_\_**Applicant/Contact Person:** Kimberley McMinn Espinosa or Eric Espinosa

Company: \_\_\_\_\_

Mailing Address: 12170 Abington Hall Place unit 207City: ResonState: VAZip Code: 20190Telephone: (214) 435-6833 or 301 901 0314Fax: ( )Email: kim@espinosadevelopment.com**Property Owner: EMS Homes, LLC**If Business Entity, name and title of authorized signee: Eric Espinosa

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 11140 Rockville pike #100 304City: RockvilleState: MDZip Code: 20852Telephone: (301) 910-0314Fax: ( )Email: eric@espinosadevelopment.com**Property Owner Signature:** ES ES ERIC ESPINOZA, member  
Espinoza Development, EMS Hldg, LLC

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.  
THIS APPROVAL DOES NOT REQUIRE THE BUILDER FROM COMPLYING WITH  
MANUFACTURER'S Specs. VA UNIFORM STATEWIDE BUILDING CODE AND  
CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.

# Espinosa Development

## 11119 N. 31st Street Richmond VA. 23223

CODE:	Plans Conforming with IBC 2012 2012 VIRC	
	- All work in contact with soil orasonry foundations and piers shall be in accordance with ASCE 31-13 and A-6.3.9 class 1 B-3.	
	- All framing lumber to be Sip's 2 inches indicated otherwise	
	- Design criteria used as per following:	
	- Seismic design category B	
	- Terminal design susceptibility: Moderate to Heavy	
	- Winter design temperature: 15 degrees F - degree C	
	- Subject to wind damage from westward heavy	
	- Subject to wind damage from eastward heavy	
	- Floor load in occupied areas - 40 psf	
	- Wind speed - 40 mph (5 sec gust method) 40 mph 10 min	
	- Front live depth - 2'	
	- Project hazard Yes	
	- Subsoils: S-4 And a minimum/under layement rated long and/or bearing capacity of 125' CFSB with no lateral load capacity	
	- Roofing - 2150 psf square & support springs over 150 feet	

### GENERAL NOTES

1. EMERGENCY EXGRESS AND DOOR SIZES TO CONFORM  
WITH SECTION R31.3 OF THE 2012IRC  
MAX. SWL HEIGHT OF EMERGENCY EXGRESS  
WINDOWS TO BE 48 IN. IN CONFORMITY WITH CLA  
2. MAXIMUM SWL HEIGHT FOR ALL DOORS TO BE 36 IN.  
MAX. HEIGHT FOR ALL STAIRWAYS HANDRAIL  
PROTECTIONS 1 1/2 MAXIMUM PER 2012IRC  
3. BACKUP SHALL NOT BE PLACED AGAINST MASONRY WALLS  
REINFORCED CONCRETE WALLS AND RECORDED INSPECTION ARE MADE  
PHOTO BACKUP IS REQUIRED ON BOTH SIDES OF MALLS, BACKUP BOTH  
SIDES SIMULTANEOUSLY WITH THE GRADU DIFFERENCE NOT TO EXCEED  
2-0 AT ANY TIME.

LAST ROW LOADS ON EXTERIOR MALLS SHALL NOT EXCEED  
SUPERSTRUCTURE LOADS WHICH HAVE BEEN DESIGNED ASSUMING PRESSURE  
EQUVALENT TO THAT EXERTED BY FLUID RESTING 50 POUNDS PER CUBIC  
FOOT AND HAVING A DENSITY EQUAL TO THAT OF THE RETAINED EARTH  
FOUNDATIONS. BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A  
MINIMUM OF 12 INCHES DEEP AND 12 INCHES WIDE. 12 INCHES DEEP X  
NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL  
CONSULTANTS RECOMMENDATIONS DEPS AND SIZES OF ALL FOOTINGS  
TO BE DETERMINED BY THE CONSULTANT. OTHER THAN ASSUMED  
CONCRETE, ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST  
AC. CODE 3 16 20 DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS

PC: 2,500 psi  
FB: 3,000 psi  
FV: 2,800 psi  
FC: 2,650 psi  
E: 2,000 psi

SLABS ON GROUNDS, EXCEPT WHERE CONCRETE IS USED AS A FLOOR  
DIRECTLY ON GROUNDS, SHALL BE ADDED A LAYER OF 4 MIL POLYETHYLENE OVER  
A 4 LAYER OF RASHED GRAVEL REFER TO DRAWINGS FOR LOCATION OF  
THERMAL INSULATION.

EXTERIOR SLABS ON GROUNDS, FOR ALL EXTERIOR SLABS ON GROUNDS,  
ARE TO BE PLACED ON A 4 MIL POLYETHYLENE SHEET, WHICH IS TO BE  
REINFORCED WITH 16 OZ. #600 DEWINKLE TIE, CORDED ALONG THE 10'-0"  
ON CENTER EACH MATT IN ALL EXTERIOR SLABS ON GROUNDS EXCEPT WITHIN  
TERRACE SLAB.

REINFORCING STEEL, PIER OR GRC STEEL OR TIES, UNLESS OTHERWISE  
NOTED SHALL BE PROVIDED BY THE SUBCONTRACTOR. CONCRETE  
CONFIRM TO ASTM SPECIFICATIONS A-6-A-C RELEASING PAVING  
AND CONCRETE CONTRACTORS SHALL PROVIDE A COPY OF THE  
CONTRACTOR'S INDIVIDUAL UNITS PER 2012IRC  
ENHANCED ACCORDING TO THE LEAST COST DETAILING MANUAL AC 1315

16. SETLIGHTS & SKYLIGHTS MAY BE GLAZED WITH  
OP THE FOLLOWING: TINTED AND REFLECTIVE GLASS  
LANDSCAPE LIGHTING SPECIFIED IN THE CONTRACT  
HEAT STRETCH MEMPHIS GLASS TEMPERED GLASS,  
GLASS BLOCK AND LIGHT TRANSITIINS PLASTIC

17. CONTRACTOR SHALL VERIFY ALL EXISTING  
DIMENSIONS AND ALL FIELD CONDITIONS PRIOR TO  
CONSTRUCTION AND COMMUNICATE TO THE ARCHITECT  
ANY DISCREPANCIES WITH THESE DRAWINGS

RICHMOND VA. 23223  
11119 N. 31ST STREET  
ESPINOZA DEVELOPMENT

Quality Homes  
and Design  
Engineering-Design-Service  
Building Permit Services  
301-351-3525  
Architectural services  
Plants Drawn By  
Alan Edwards  
President, M.A.I.T.

Architectural services  
Plants Drawn By  
President, M.A.I.T.

Drawing Log Date  
REV#1 9/19/11  
REV#2 8/8/10

Designed By  
Drawn By Alan Lom  
Proj. Manager  
Scale: 1:675  
Sheet: 1  
Cover Sheet

Top Left cover sheet

### STRUCTURAL NOTES

STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE LATEST ASCE  
STEEL PLATE, BOLTS, AND CONNECTIONS SHALL BE IN CONFORMANCE WITH THE  
MADE WITH 5/8 HIGH STRENGTH BOLTS SELLED ON DRAMINS FOR  
STRUCTURAL BEARING ON MASONRY OR CONCRETE OR HELD IN PLACE TO CONFORM  
TO THE DRAMIN DESIGN. DRAMINS ARE TO BE PLACED IN A CONFORMING  
MATERIALS. DRAMINS SHALL BE PLACED IN A CONFORMING  
STRUCTURAL CONSULTANT  
TRUSSED RAPIDS. HOLES SHALL BE DRILLED AFTER THE TRUSS  
MADE OF DRAMIN MATERIALS. DRAMINS SHALL BE SUBMITTED FOR APPROVAL. HOOTER TRUSS  
RAFTERS SHALL BE FABRICATED WITH HYDRAULICALLY PRERESSED 16 GA. TOOTHED  
METAL PLATE. DRAMINS SHALL BE PLACED IN A CONFORMING  
BEING PLACED IN A CONFORMING POSITION. DRAMINS SHALL  
BE PLACED IN A CONFORMING POSITION. DRAMINS SHALL BE SUBMITTED FOR APPROVAL. DRAMINS THE DESIGN OF THE  
TRUSSED RAPIDS CAPABLE OF SUSTAINING TOTAL SUPERIMPOSED LOAD OF  
SOFT WITHIN 60 FT.  
HOLES SHALL BE DRILLED AFTER THE TRUSS  
TO MALL MATHS A BOLT IS MALLEABLE LENGTH 4'-0".  
ALL ROOFING MATERIALS TO HAVE ICE DAMMING PROTECTION  
WOOD SPACES AND GRADE. NEW MEMBERS SURFACE DRY OR SURFACED GREEN  
USED AT 1 1/2" MAX NO 2 OZ BETTER THAN THE FOLLOWING DEHS VALUES  
FB = 150 (POSSIBLE MEMBER)  
FV = 75 PSI  
FC = 67.5 PSI  
E = 1,400,000 PSI

LAMINATED VENEER LUMBER, MICRO LAM LUMBER OR BETTER WITH THE  
FOLLOWING DESIGN PROPERTIES:

FB = 2,800 psi  
FV = 2,650 psi  
FC = 2,100 psi  
E = 7,000,000 psi  
VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY  
ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARINGS TO FOUNDATION  
IF A DOUBLE TOP PLATE OF LESS THAN 260 2 1/4" IS USED BELOW  
THE TIE JOISTS, IT MUST BE CENTER DIRECTLY OVER AND BELOW  
BEARING STUDS UNLESS CERTIFIED BY STRUCTURAL ENGINEER.  
UNBURIED INTERIOR BEARING MALLS: AT LEAST ONE SIDE OF THE ALL  
SHEATHED WITH A MINIMUM 1/2" OSB SHEATH BOARD FASTENED ACCORDING  
TO DRYWALL MANUFACTURERS RECOMMENDATIONS

### SUBCONTRACTOR GENERAL NOTES:

1. EACH SUBCONTRACTOR SHALL PERFORM ALL WORK IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH ALL ADOTTED CODES  
2. EACH SUBCONTRACTOR SHALL THOROUGHLY EXAMINE ALL FACTORS REASONABLY AVAILABLE TO HIM INCLUDING BUT NOT LIMITED TO ANY  
INFORMATION CONTAINED THEREIN MAY NOT BE ALL CONCLUSIVE AND IT  
IS THE SUBCONTRACTOR'S RESPONSIBILITY TO FURTHER INVESTIGATE ANY ITEM THEY DETERMINE NECESSARY BEFORE SUBMITTING A BID OR PERFORMING ANY  
WORK.  
3. ONCE SUBCONTRACTOR SUBMITS A BID OR PERFORMS ANY WORK THE SUBCONTRACTOR HAS ASSUMED ALL RESPONSIBILITY FOR HAVING A THOROUGH  
KNOWLEDGE OF ALL WORK REQUIRED RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY  
RESPONSIBILITY FOR PERFORMING HIS MORE PROPERTY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO  
FAILURE TO FAMILIARIZE HIMSELF WITH THIS KNOWLEDGE.  
4. ANY DAMAGE TO THE PROPERTY CAUSED BY THE SUBCONTRACTOR SHALL BE IMMEDIATELY REPAIRED/REPLACED AT NO  
ADDITIONAL COST TO RUCON AND TO RUCON'S SATISFACTION.  
5. EACH SUBCONTRACTOR SHALL MAINTAIN, AT ITS SOLE COST, THE CONSTRUCTION AREA FREE AND CLEAR OF DEBRIS AT ALL TIMES

Top Left cover sheet



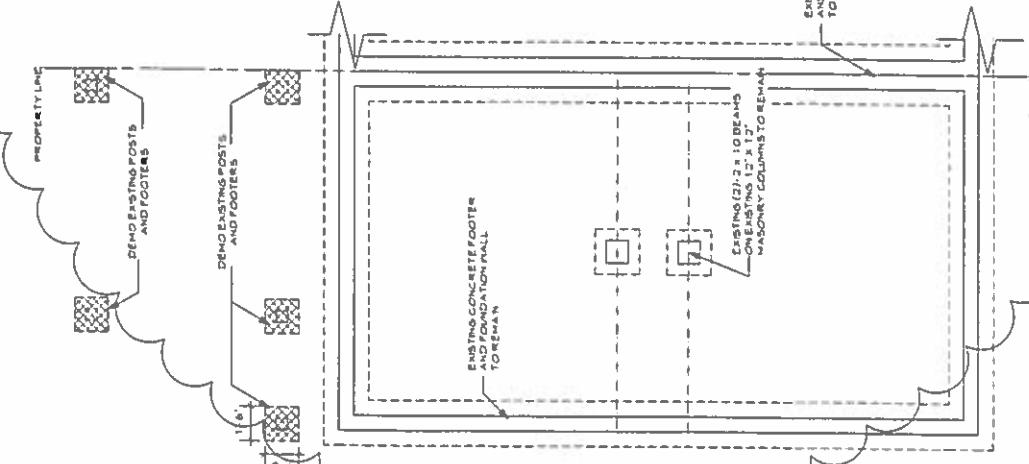
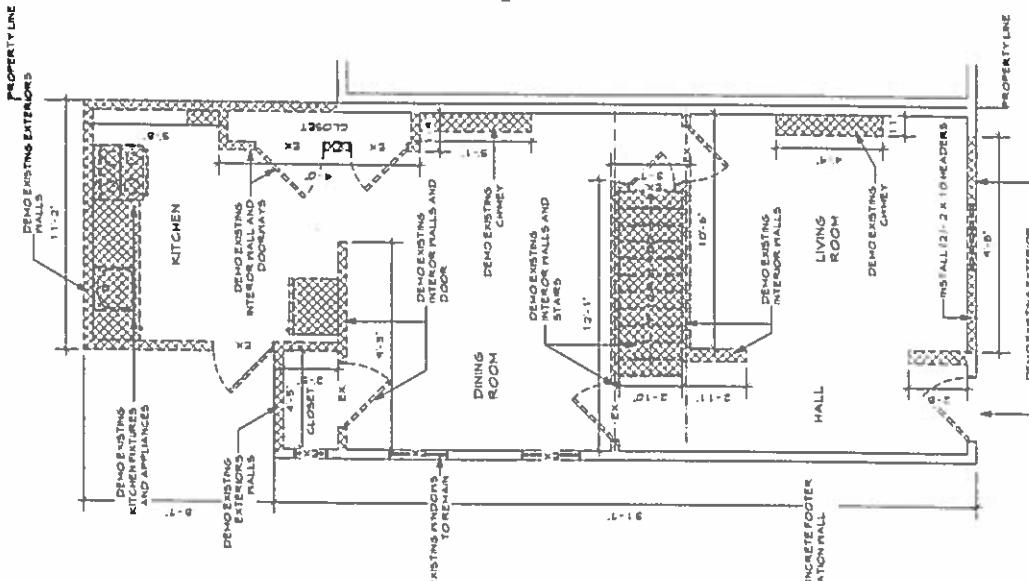
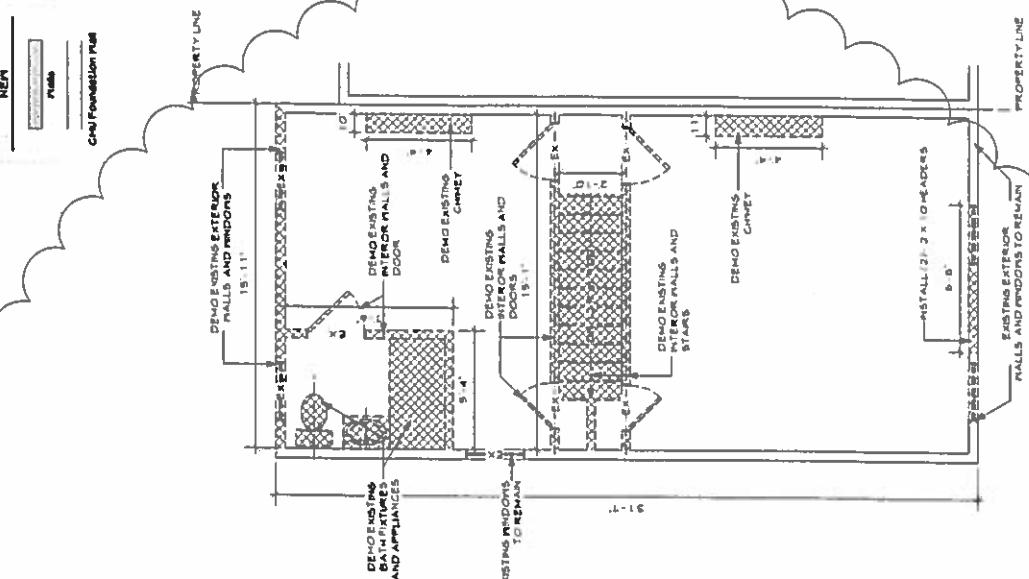
Quality Homes  
and Design  
Consulting Home Services  
Building/Remodel Services  
204-581-4925  
Residential and  
Commercial

Frederick, MD 21701

# ESPINOZA DEVELOPMENT

1119 N. 31ST STREET  
RICHMOND VA. 23223

## EXISTING - PLAN



ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.  
THIS APPROVAL DOES NOT REQUIRE THE BUILDER FROM COMPLYING WITH  
MANUFACTURER SPECS. VA UNIFORM STATEWIDE BUILDING CODE AND  
CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.

## Existing First Floor Plan

Scale: 1/4" = 1'-0"

## Existing Second Floor Plan

Scale: 1/4" = 1'-0"

Sheet: 2 of 3  
Plants: Existing Floor  
Date: 8/8/18  
Drawn By: BILLY LOHL  
Proj. Manager:  
Scale: 1/4" = 1'-0"  
Date: 8/8/18  
Designed By:

Drawing Log Date  
REV1 8/8/18  
REV2 8/8/18

Drawing Log Date  
REV1 8/8/18  
REV2 8/8/18



Quality Homes  
and Design

Building Design Services  
Building Permit Services  
804.351.5976  
info@qualityhomesva.com

# ESPINOSA DEVELOPMENT 1119 N. 31ST STREET RICHMOND VA. 23223

Peters Dr. Condo  
Adam Kinney  
1414 Street  
FREDERICK MD 21701

Drawing Log Date  
REV 1 5/15/16  
REV 2 6/6/16

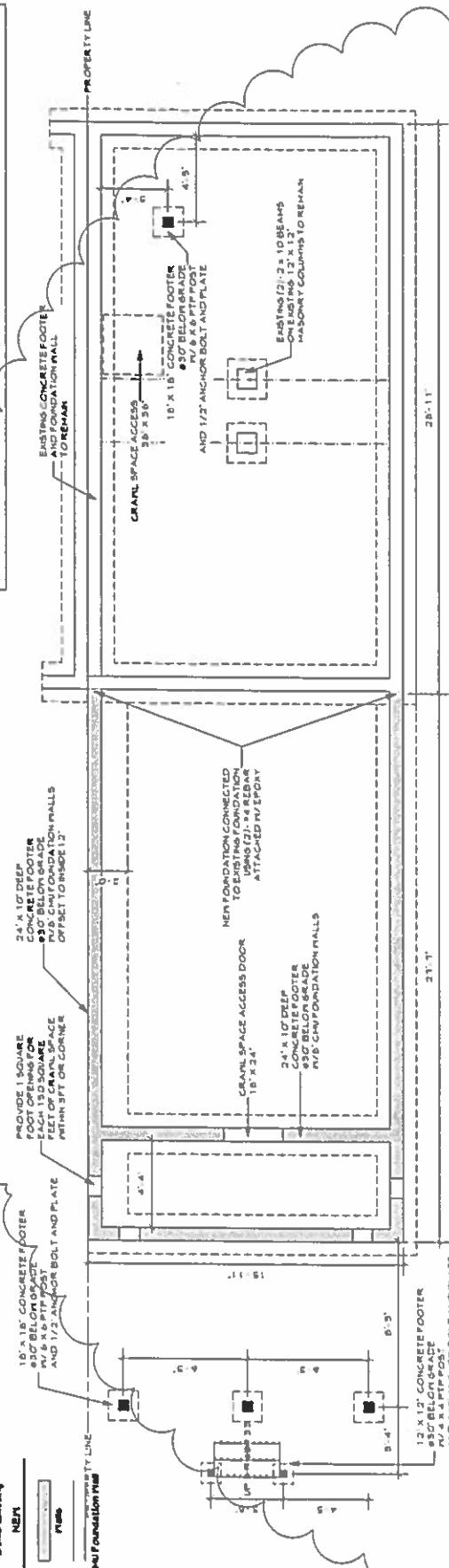
Designed By:  
Drawn By: LHM  
Proj Manager:

Date: 6/6/16  
Sheet: 13  
Proposed Floor  
Plans  
Espinosa Development

## NOTE:

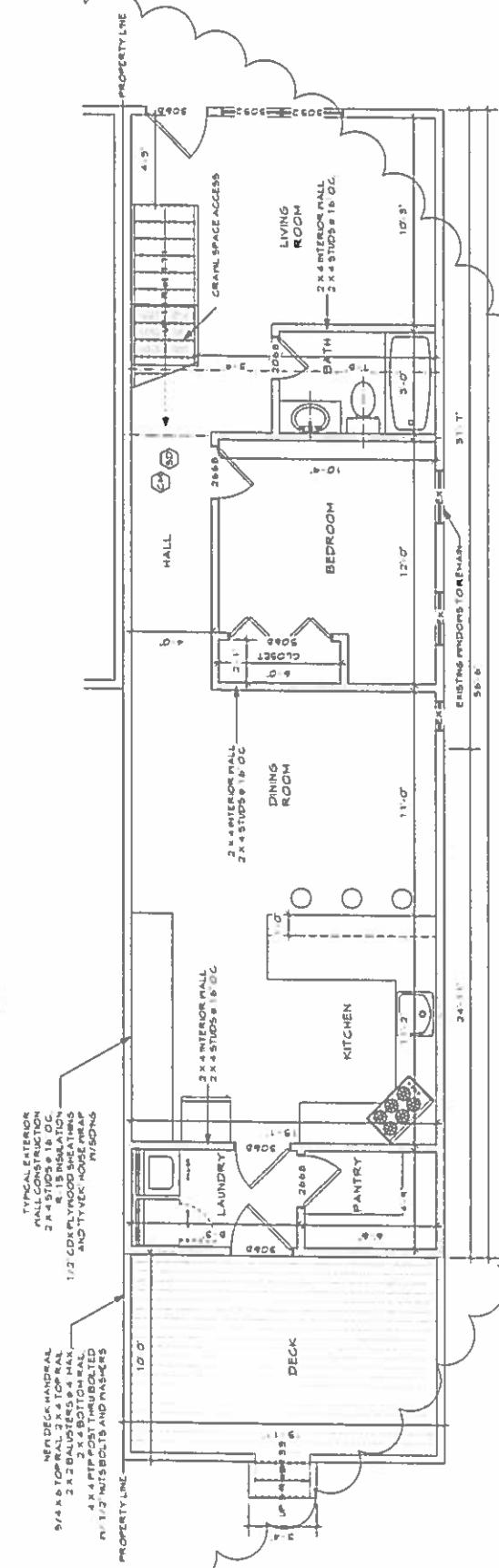
EDGES AND OUTS SHALL NOT EXCEED THE FOLLOWING DIMENSIONS: CLEAR OPENING AREAS 5' X 5'  
NOT TO EXCEED 14' IN ANY CLEAR OPENING HEIGHT 7'4"  
ALL GLAZED IN VARIOUS LOCATIONS AS PERMITTED BY BC 2.2.06.5 SMALL BEADY GLAZING AND BC  
LAW REQUIRES BC 2.2.06.5 SMALL BEADY GLAZING AND BC 2.2.06.5 AND A SHOCK VALUE OF 0.4 ALL DOORS TO HAVE A SHOCK  
OF 0.13

SHOCK DETECTORS ARE  
TO BE HARD WIRED AND  
RECONNECTED WITH  
BATTERY BACK UP



**Proposed Foundation Plan**

4 Scale: 1/4" - 1'-0"



**Proposed First Floor Plan**

5 Scale: 1/4" - 1'-0"

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.  
THIS APPROVAL DOES NOT RELIEVE THE BUILDER FROM COMPLYING WITH  
MANUFACTURED SPEC. VA UNIFORM STATEWIDE BUILDING CODE AND  
CITY OF RICHMOND REGULATIONS WHETHER NOTED, IMPLIED OR OMITTED.



Quality Homes  
and Town  
Comprehensive Services  
Building Permit Services  
301 521 5249  
Residential and  
Commercial

# Espinosa Development 1119 N. 31st Street Richmond VA. 23223

Plans Drawn By  
Alan Koenig  
126 Penn Street  
Frederick, MD 21701

Designed By  
Drawn By: **KL**  
Proj Manager:

Date:  
1/4 - 1'-0" 6/6/16  
Sheet:  
**4** 13  
Second Floor and  
Framing plan

## NOTE

SMOKE DETECTORS AND  
SMOKE ALARMS SHALL MEET OR EXCEED THE FOLLOWING DIMENSIONS: CLEAR OPENING AREA 8 1/2"  
CLEAR OPENINGS MUST NOT EXCEED 20" CLEAR OPENINGS HEIGHT 2"

NOTES:  
1. NO HAZARDOUS LOCATIONS AS DEFINED BY IFC 2409.3 SHALL BE SIGHT GLAZING AND BE  
LAID PER IBC 2409.3. 2. NO GLAZING SHALL MEET ODS AND A SHOC VALUE OF 0.4 ALL DOORS TO HAVE A FACTOR  
OF 0.95

## LEGEND - PLAN

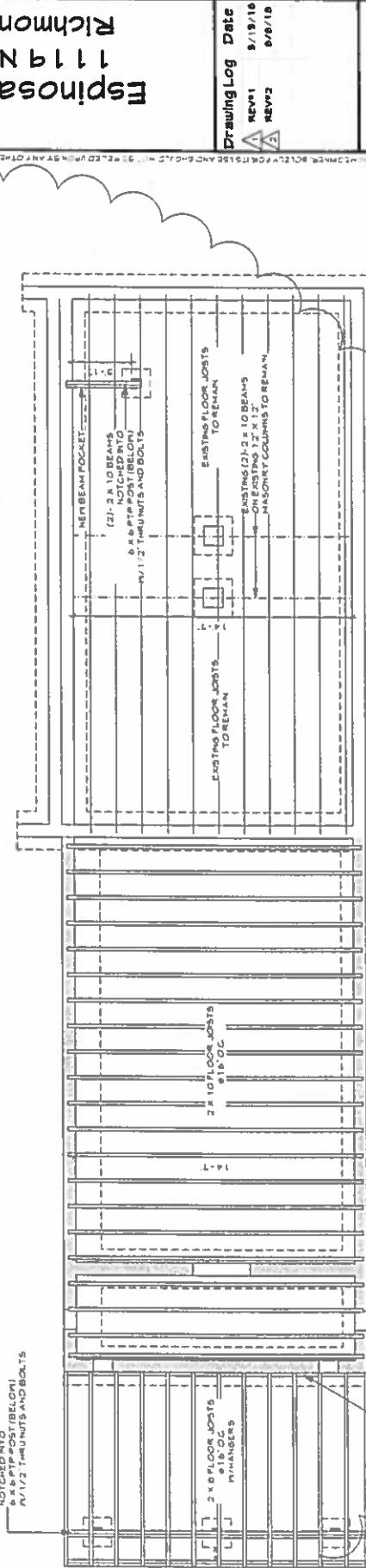
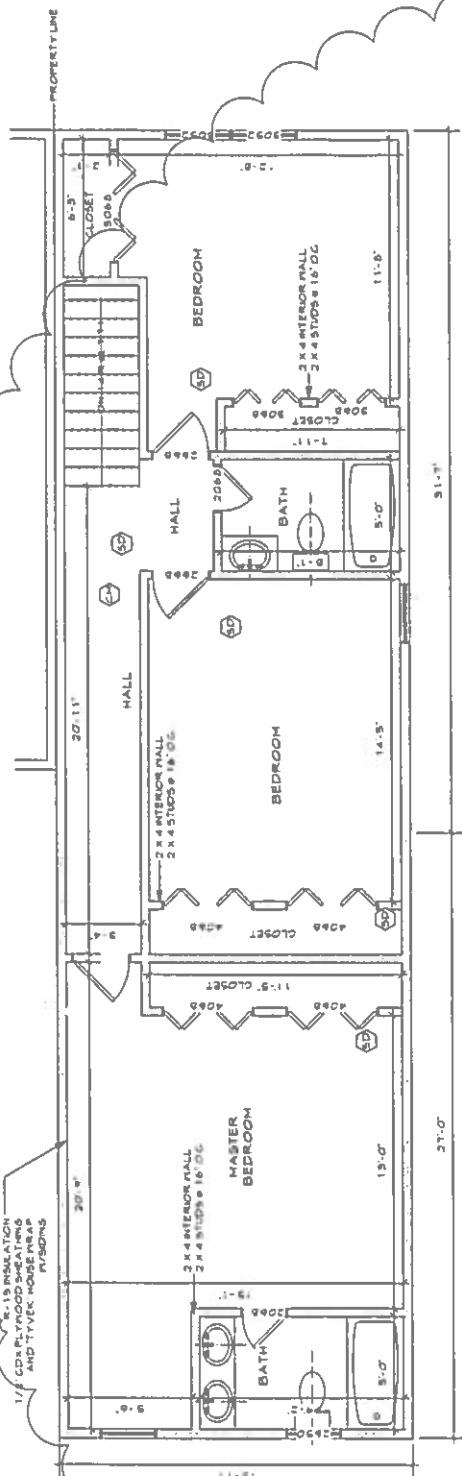
TYPICAL INTERIOR  
WALL CONSTRUCTION  
2 x 4 STUDS @ 16 OC.  
1/2" CDA R-19 INSULATION  
AND OTHER FONDS ARE  
PERMITTED

EXISTS  
To Remove  
Demo Existing  
Proposed New  
C-MAT Foundation Wall

Existing  
Demolition  
Proposed  
Foundation Wall

## Proposed Second Floor Plan

6 Scale: 1/4" - 1'-0"



## First Floor Framing Plan

7 Scale: 1/4" - 1'-0"

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION.  
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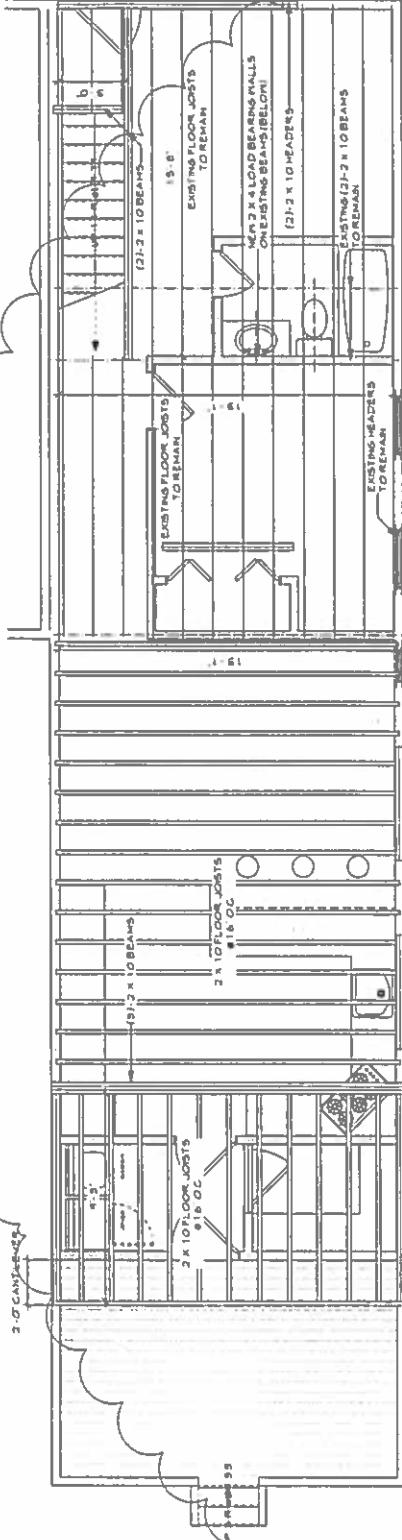
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Architectural Drawings

Framing Drawn By  
Alan Kennedy  
106 Main Street  
Frederick, MD 21701

**Espinosa Development**  
1119 N. 31st Street  
Richmond VA. 23223

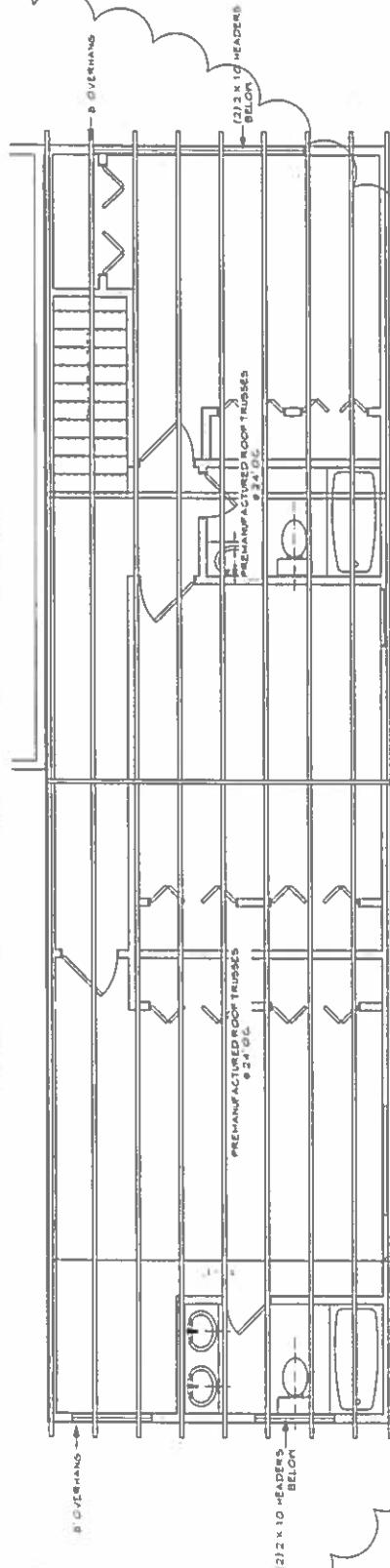
Drawing Log Date  
REV 1 5/15/16  
REV 2 6/6/16

Designed By:  
Draum By ALLEN LOWL  
Proj Manager:  
Date: 6/6/16  
Scale: 1/4" - 1'-0"  
Sheet: 5 Of 13  
Framing Plans



**Second Floor Framing Plan**  
8 Scale: 1/4" - 1'-0"

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**Roof Framing Plan**  
9 Scale: 1/4" - 1'-0"

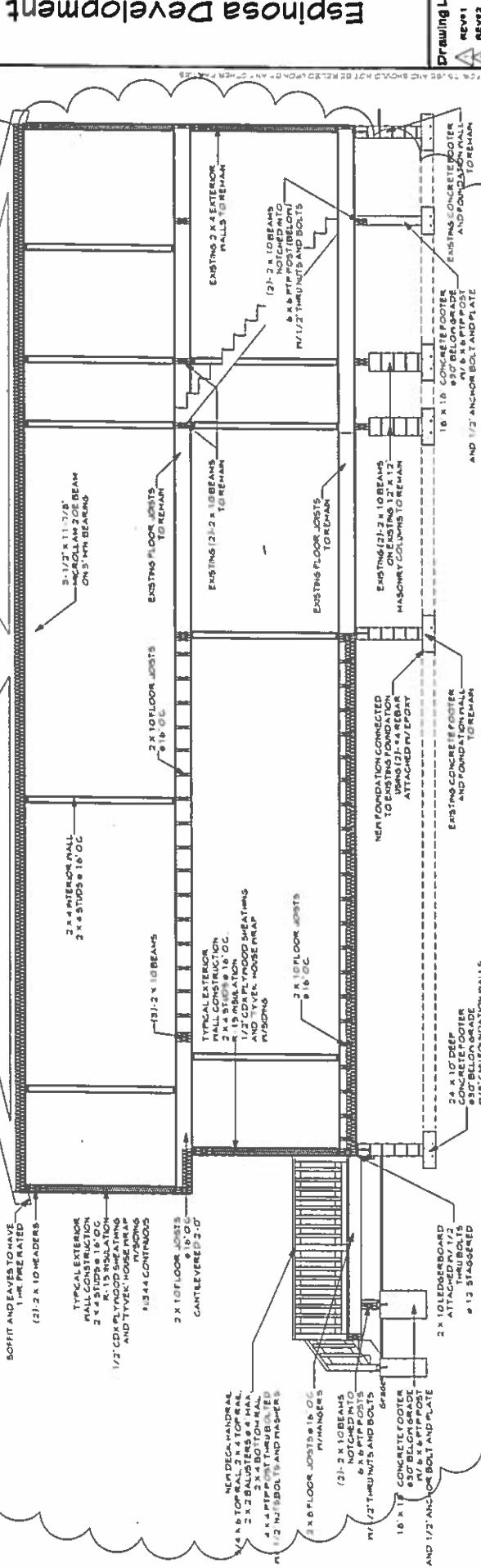


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Plot B Division City  
Glenmont, MD 21701  
Plot C Division City  
Glenmont, MD 21701

**RICHMOND VA. 23223**  
**1119 N. 31ST STREET**  
**ESPINOSA DEVELOPMENT**

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Drawing Log Date  
Plot A 8/19/18 Rev1  
Plot B 8/19/18 Rev2

10 Left Section  
Scale: 1/4" = 1'-0"

Designed By:  
Drawn By: MILK LANE  
Proj Manager:

Date: 1/4" = 1'-0"  
Sheet: 6  
Left Section  
Elevations Drawings:

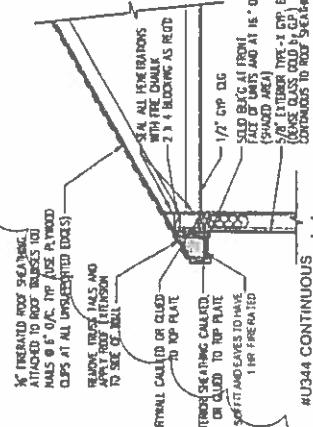


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### 1 Fire Rated Walls

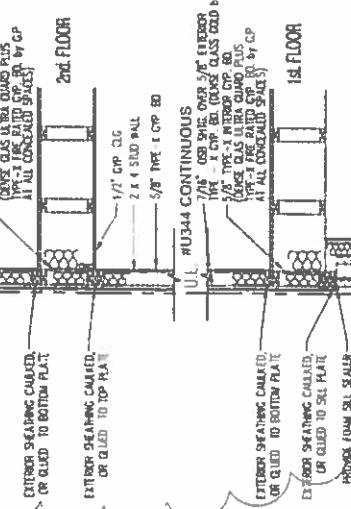
Scale: 1/4" = 1'-0"



U.L. #U344 CONTINUOUS  
1/2" OSB SHEATHING OVER 1/2" EXTERIOR  
CLADDING (OSB OR GCL) OR SOLID BACKED IRON  
UNITS. THE NEW CLADDING MUST BE  
TYPE I FIRE RATED SHEATHING AT ALL  
CONTINUOUS JOINTS.

U.L. #U344 CONTINUOUS  
1/2" OSB SHEATHING OVER 1/2" EXTERIOR  
CLADDING (OSB OR GCL) OR SOLID BACKED IRON  
UNITS. THE NEW CLADDING MUST BE  
TYPE I FIRE RATED SHEATHING AT ALL  
CONTINUOUS JOINTS.

12' ELEVATION  
13' ELEVATION



Drawing Log Date  
REV1 5/19/18  
REV2 8/6/18

Designed By:  
Draun Bryant Lom  
Proj Manager:  
Sheet: Of.

Date: 8/6/18  
Scale: 1/4" - 1'-0"  
Sheet: 7  
CROSS SECTION / REAR ELEVATION

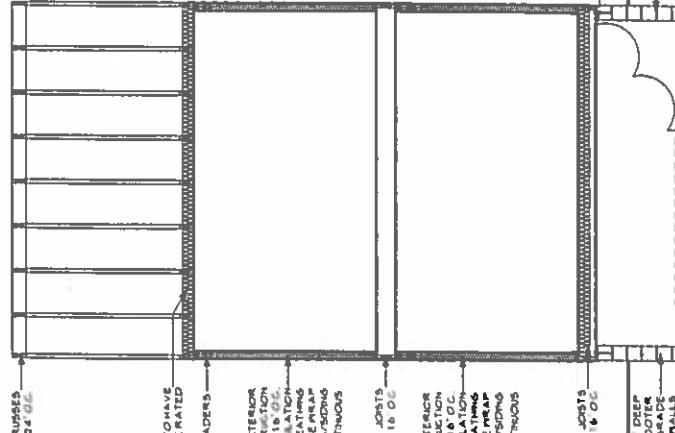
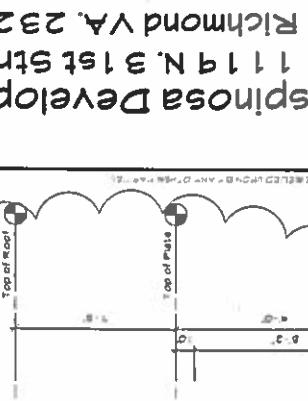
### 12 Rear Elevation

Scale: 1/4" - 1'-0"

### 11 Cross Section

Scale: 1/4" - 1'-0"

RICHMOND VA. 23223  
ESPINOSA DEVELOPMENT  
1119 N. 31ST STREET





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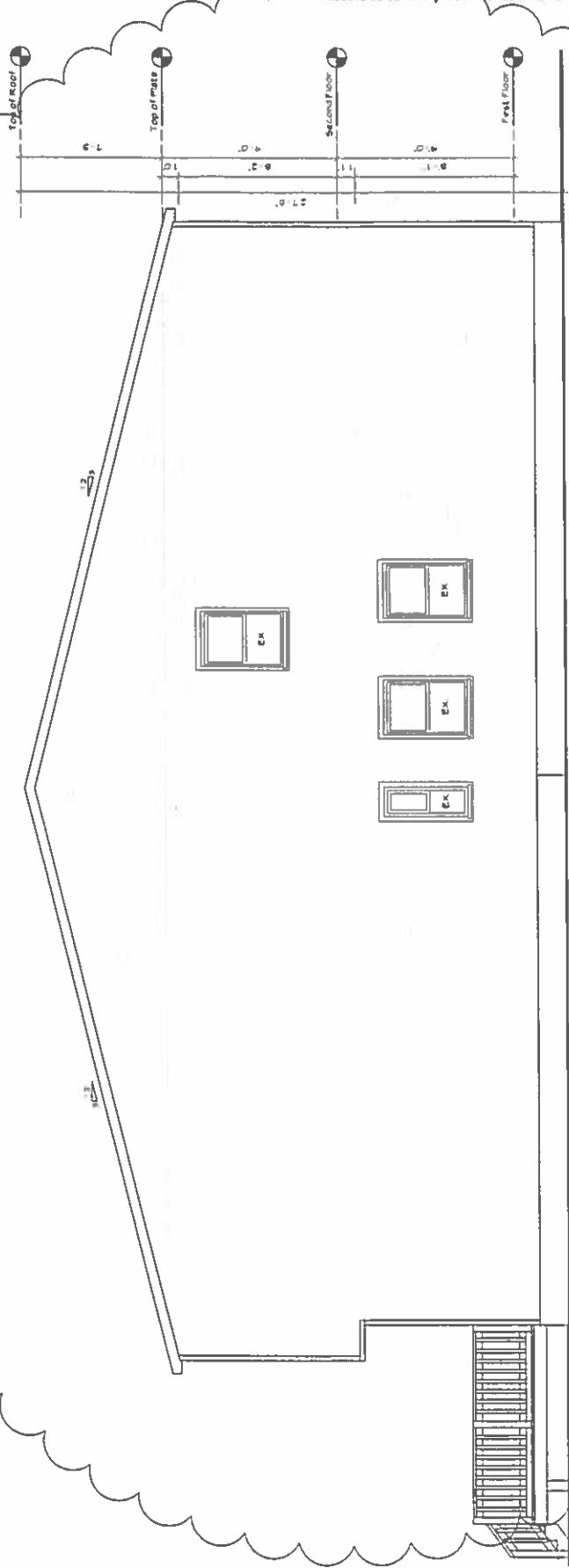
ESPINOSA DEVELOPMENT  
1119 N. 31ST STREET  
RICHMOND VA. 23223

Drawing Log	Date
REV1	8/19/16
REV2	8/6/16

Designed By:  
Drawn By: ALEX LONI  
Proj. Manager:

Scale: Date:  
1/4"-1'-0" 8/6/16  
Sheet: Of:  
8 13  
Left Elevation

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13  
Left Elevation  
Scale: 1/4"-1'-0"



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Drawing Log Date  
REV1 5/19/10  
REV2 8/6/10

Designed By  
Drawn By: MILK LANE  
Proj Manager:

Date: 8/6/10  
Scale: 1/4" = 1'-0"  
Sheet: Of  
13  
Right Elevation

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14 Right Elevation  
Scale: 1/4" = 1'-0"



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# ESPINOSA DEVELOPMENT

## 1119 N. 31ST Street

## RICHMOND VA. 23223

Drawing Log Date:  
REV1 5/19/18  
REV2 6/6/18

Designed By:  
Drawn By: ARIC LOM  
Proj. Manager.  
Scale: 1/4 - 1'-0"  
Sheet: 10 of 13

Thermal Envelope  
Plans

### ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION..

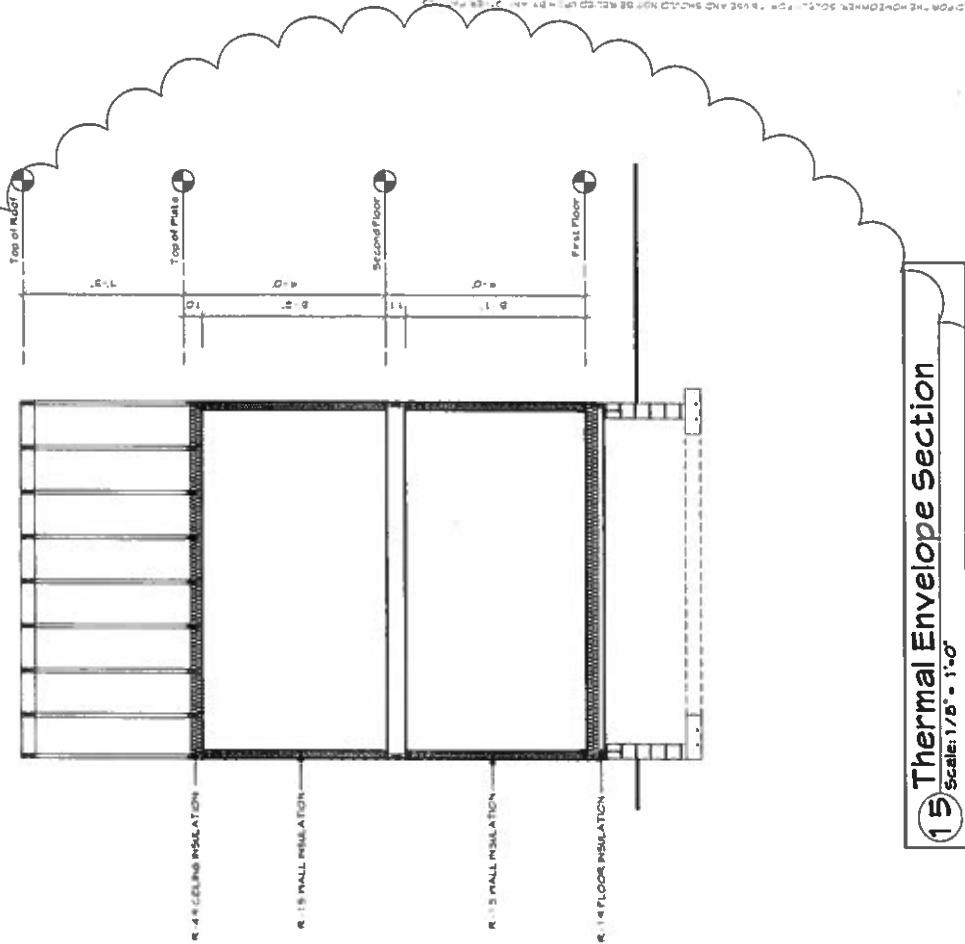
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### RESIDENTIAL ENERGY EFFICIENCY

TABLE PAGE A.1.1  
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	REQUIREMENT	INSULATION INSTALLATION CRITERIA
Critical Requirements	A continuous air barrier shall be installed in the building envelope.	All penetrable insulation shall not be used as a sealing material.
Crabbing:	The air barrier in any dropped ceiling space shall be installed so that no barrier exists between the ceiling and any joist or joist header shall be sealed.	The insulation in any dropped ceiling space shall be designed with the air barrier.
Walls:	The junction of the foundation and wall plates shall be sealed by the builder sealing the exterior wall shall be sealed.	Correctly seal corners and leaders of frame walls shall be enclosed by combustible drywall, drywall panels, gypsum board, or a similar material.
Windows, doors and doors:	The exterior of the top plates and the top of exterior walls shall be sealed.	Exterior thermal insulation for framed windows, doors, shall be installed in accordance with current construction documents with the air barrier.
Framing:	The spaces between window/wall plates and framing, and drywall and framing shall be sealed.	Any joints shall be insulated.
Rooms (including shower stalls and walk-in-closets):	The air barrier shall be installed in any exposed edges of insulation.	Floor insulation shall be insulated with the insulation of adjacent rooms or closets with the insulation of adjacent rooms or closets. If there is a drop ceiling, the insulation shall be applied to the underside of the drop ceiling and attached to the joists of the floor framing and attached from the bottom to a top of all partitions that touch the bottom of the drop ceiling.
Shower pan:	Exposed earth in non-ground types shall be covered with a vapor barrier and the vapor barrier shall be covered with a waterproof membrane.	Where ground is present, the vapor barrier shall be applied to the exterior of the shower pan.
Plumbing and piping:	Plumbing and piping shall be insulated with insulation rated for water at 120° F.	Exposed pipes shall be insulated with the insulation of adjacent rooms or closets. If there is a drop ceiling, the insulation shall be applied to the underside of the drop ceiling and attached to the joists of the floor framing and attached from the bottom to a top of all partitions that touch the bottom of the drop ceiling.
Other insulation:	The air barrier shall be placed between the 2 garage and carport spaces.	The exterior garage insulation shall be applied to the building envelope and the garage door shall be applied to the exterior of the garage.
Electrical equipment boxes:	Electrical equipment boxes shall be insulated with insulation rated for water at 120° F.	Box insulation shall be cut to fit to prevent any damage to insulation caused by condensation or moisture. Boxes shall be sealed to the exterior wall or insulation.
HVAC equipment boxes:	HVAC equipment boxes shall prevent touching thermal insulation shall not be located in a dimension that is recessed behind the exterior wall or insulation.	When required to be sealed, communicate drywall shall not be sealed to a dimension that is recessed behind the exterior wall or insulation.
Concrete grade:	Concrete grade:	Concrete shall be sealed to the exterior wall or insulation.

For additional information of Fig 10-13 see attachment with the government of R.C. 400



15 Thermal Envelope Section  
Scale: 1/8" = 1'-0"



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Plans Drawn By:  
Adam Kennedy  
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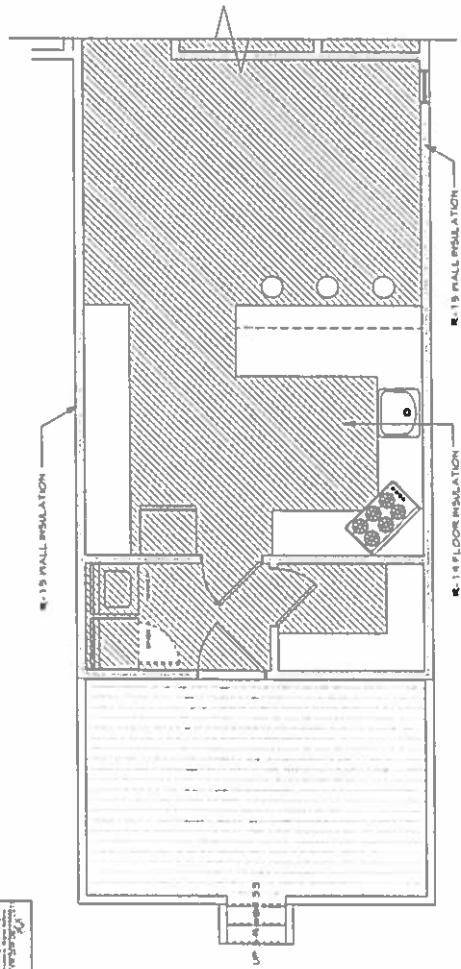
Richmond VA. 23223  
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Espinosa Development

Drawing Log  
Date: 9/19/18  
REV#1 8/28/18  
REV#2  
REV#3

Designed By:  
Drawn By: Adam Kennedy  
Proj. Manager:

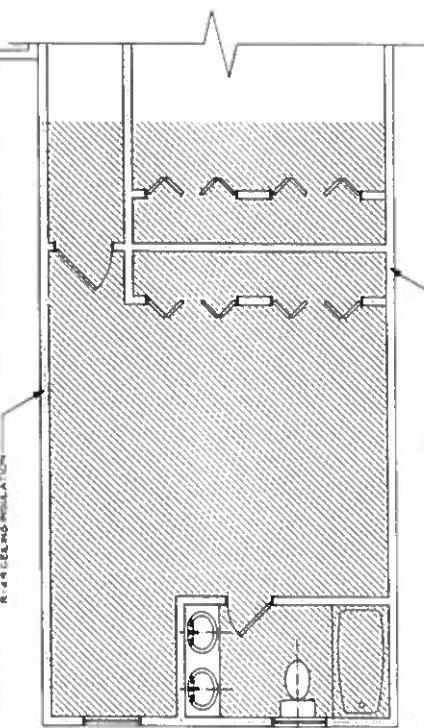
Date: 9/19/18  
Scale: 1/8" = 1'-0"  
Sheet: 11  
13  
Thermal Envelope  
Plans

1119 N. 31st Street  
Richmond VA. 23223  
Espinosa Development



**16 First Floor Thermal Envelope**  
Scale: 1/8" • 1'-0"

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**17 Second Floor Thermal Envelope**  
Scale: 1/8" • 1'-0"



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Designers and  
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Project Drawn By:  
Mike Meltz, S.A.S.T.  
1010 Main Street  
Frederick, MD 21701

# Esplinosa Development 1119 N. 31st Street Richmond VA. 23223

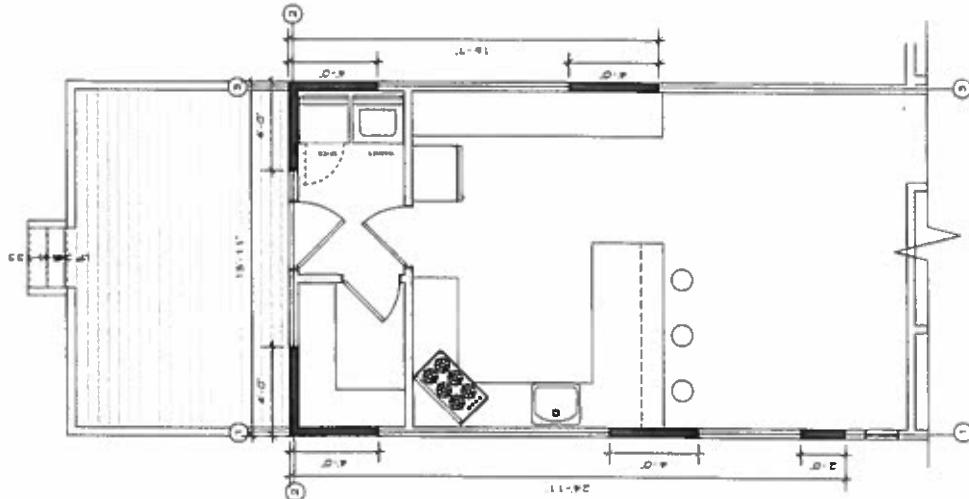
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**SHEARWALL NOTES**

1 ASSURED AND SPEED 40 HZ PER HOURS WITH 3 SECONDS DRAFT  
2 WALL BRACE OVER JOINT PERPENDICULAR TO THE DIRECTION OF JOINT IN NAILS  
3 PROVISIONS FOR SHEARWALL BRACING BECAUSE OF THE USE OF A PORTAL BRACED SYSTEM  
4 WALL BRACE ON THE FLOOR SYSTEM AT A 45° ANGLE TO THE JOINT TO PROVIDE ADDITIONAL JOINT  
UNDER THE WALL BRACE AND USE 10 HADS 4@OC TO ATTACH THE BOTTOM JOINT  
5 WALL BRACE OVER CONTINUOUS FLOOR BEAM PROVIDED 10 HADS 4@OC TO  
ATTACH THE BOTTOM WALL PLATE TO THE FLOOR SYSTEM  
6 ALL BACKUP WALL PLATE TO STEEL BEAM PROVIDED ACTIVATED PASTENE 6@OC  
USE 10 DEEP F 10@OC OR EGD

USE 60 COMON (2X6@16") NAILS 5@16" SPACING (PANEL EDGES)  
AT 3 SPACES (INTERMEDIATE SUPPORTS)  
AND 6 SPACES (INTERMEDIATE SUPPORTS)

EACH END OF A BRACED WALL LINE WITH CONTINUOUS  
SHEARWALLS MUST HAVE A 2-INCH NAIL ON BOTH  
SIDES OF THE COPLANAR JOINT ATTACHED AND SUPPORTED AS NOTED BELOW  
INTERIOR FRAMING IS PERPENDICULAR TO A BRACED WALL PANEL, A BRACED OR  
BLOCKING MUST BE PROVIDED  
ALONG THE LENGTH OF THE BRACED WALL PANEL  
INTERIOR JOINTS IS PARALLEL TO A BRACED WALL PANEL, A BRACED OR  
BLOCKING MUST BE PROVIDED  
INTERIOR JOINTS MUST BE BRACED BY THE USE OF A BRACED WALL PANEL  
WHEN A BRACED WALL PANEL WITHIN A LENGTH UP TO 12 FEET IS SUPPORTED BY A  
HORIZONTAL STEELFLA, THE JOINT MUST BE REINFORCED.  
FOR INTERMITTENT TRACHS AND CONTRACTORS SHEATHINGS, WHEN SHEATHING MATERIAL IS  
INSTALLED CONSTRUCT BRACED WALL PANEL SUCH THAT A HORIZONTAL SPLICE  
CROSSES BETWEEN THE SHEATHING MATERIAL, BLOCKING IS REQUIRED VERTICALLY  
BLOCKING IS REQUIRED TO THE AND EACH STUD SIZE  
SHEATHING MUST BE REINFORCED AT ALL JOINTS  
ANY VERTICAL SPLICE IN SHEATHING (EXCEPT FOR METAL) MUST OCCUR WITHIN  
24 INCHES OF THE MID-EIGHT OF THE PORTAL BRACED WALL PANEL



## LEGEND

●	BRACED WALL LINE
□	CONTINUOUS SHEATHING
■	BEAM
▨	CONTINUOUS SHEATHING PORTAL FRAME

## BRACED SHEAR WALL SHEATHING SCHEDULE

SHEATHING	NAILING REQUIREMENTS	BRACED SHEAR WALL SHEATHING SCHEDULE					
		1/2" O.C. INTERIOR WALLS	1/2" O.C. INTERIOR WALLS 6@OC (PANEL EDGES) AND 10@OC (INTERIOR SUPPORTS)	1/2" O.C. INTERIOR WALLS TYPE C OR D (PORTAL SCREEN @ 16" SPACED STUDS)	1/2" O.C. INTERIOR WALLS INTERIOR SIDE (SPACING AT PANEL EDGES AND INTERIOR SUPPORTS ARE EQUAL)	1/2" O.C. INTERIOR WALLS INTERIOR SIDE (SPACING AT PANEL EDGES AND INTERIOR SUPPORTS ARE EQUAL)	1/2" O.C. INTERIOR WALLS INTERIOR SIDE (SPACING AT PANEL EDGES AND INTERIOR SUPPORTS ARE EQUAL)
1 CSNSP	15 1/16" 6@OC (PANEL EDGES)	6@OC	10@OC	6@OC	10@OC	6@OC	10@OC
2 CSNSP	24 1/16" 6@OC (PANEL EDGES)	6@OC	10@OC	6@OC	10@OC	6@OC	10@OC
3 CSNSP	16 1/16" 6@OC (PANEL EDGES)	6@OC	10@OC	6@OC	10@OC	6@OC	10@OC

BASEMENT BLW	TYPE	DISTANCE BETWEEN BLW'S	ROOF HEIGHT FACTOR	WALL HEIGHT FACTOR	NUMBER OF PACTOR PAIRS	NUMBER OF BLACED PACTOR PAIRS	NUMBER OF BLACED PACTOR PAIRS	RESULTS
1	CSNSP	15 1/16"	6@OC	6@OC	10	6@OC	10@OC	OK
2	CSNSP	24 1/16"	6@OC	6@OC	10	6@OC	10@OC	OK
3	CSNSP	16 1/16"	6@OC	6@OC	10	6@OC	10@OC	OK

Drawing Log Date  
REV1 5/15/10  
REV2 6/6/10

Designed By:  
Drawn By: Mike Meltz,  
Proj Manager:

Date: 1/4"-1'-0"  
Sheet: 12 13  
of 13  
Wind Bracing  
Plans

**18 First Floor Wind Bracing Plan**  
scale: 1/4"-1'-0"



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REV1 9/19/11  
REV2 9/20/11

Design No. 2  
Drawn By: ALIX LOWL.  
Proj Manager: \_\_\_\_\_  
Scale: 1/4" = 1'-0" Date: 0/0/16  
Sheet: Of 13 13 Wind Bracing  
Plans  
E:\C\00000000000000000000000000000000

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The diagram illustrates a wall panel framing detail. A vertical wall panel is shown with its top edge resting on a horizontal header joist. The panel is supported by vertical studs. Two corner studs are highlighted: one on the left labeled "16d NMC AT 12 O'C" and another on the right labeled "16d NMC AT 12 O'C". A bracket from the top text points to the left corner stud, and another bracket from the bottom text points to the right corner stud.

ORIENTATION NON-UNIFORMITY  
AT CORNER STUDS THAT  
VARY

16d NMC AT 12 O'C

16d NMC AT 12 O'C

ORIENTATIONAL  
NON-UNIFORMITY  
INSTALLED EDN  
IN ACCORDANCE WITH IBC  
CHAPTER 7 (INTERIOR)

1. BIM NAL 6 OC ALL  
FRAMING MEMBERS AT  
PANEL EDGES

1.2 OC ON ALL FRAMING  
MEMBERS NOT AT PANEL  
EDGES

## 14 Example Of Inside Corner Detail

## Example Of Outside Corner Detail

BASEMENT TYPE	DISTANCE BETWEEN EAVES	HEIGHT OF BALCONY PANEL	WEIGHT FACTORS	WALL SECTION FACTORS		NUMBER OF FLOOR PANELS	RECORDED AVERAGE RECAL TS TESTED BALCONY PANELS
				WALL SECTION FACTORS	WALL SECTION FACTORS		
1 C garage	15'-11"	55	7G	.40	.10	35	12'-0"
2 C garage	27'-0"	50	10	.40	.10	50	8'-0"
3 C garage	27'-0"	50	10	.40	.10	50	12'-0"

**Building Permit - Approved Construction Documents**  
Under general authority of the Building Code, this approved set of construction documents shall  
be kept on the job site at all times and shall not be altered without approval from the Building  
Official. General permit does not apply to Electrical, Mechanical or Plumbing work. This approval  
does not relieve the builder from complying with manufacturer instructions, Virginia Uniform  
Building Code and City of Richmond Building Code.

APPROVED PLANS: 1119 N. 31ST STREET, BLD# 0072018-08/27/2018

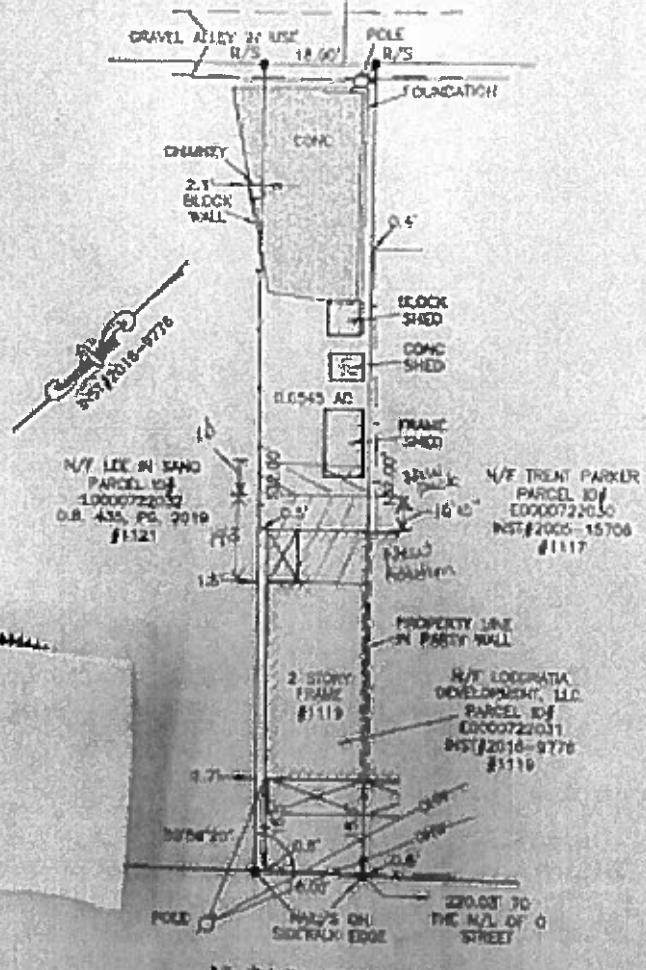
10-22-24 AM

36

1. THIS IS TO CERTIFY THAT ON SURVEY DATE 08/27/2018, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HERON AND THAT THERE ARE NO EASEMENTS OR ENCROACHMENTS VISIBLE ON THE DURING OTHER THAN THOSE SHOWN HEREIN.
2. THIS PROPERTY IS IN HIGH DURING FLOOD HAZARD AREA, ZONE "A", AS SHOWN ON FIRM COMMUNITY FLOOD INSURANCE RATE MAP (SFIR).
3. THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH WOULD DISCLOSE.
4. DEED LOT DIMENSIONS ARE 11' X 33'. LOT DIMENSIONS ON PLAT IN DEED BOOK 315C PAGE 172 ARE 15' X 33'.

N/T LEALE  
ANDRE  
PARCEL ID:  
ED000722010  
INST#2014-0624

N/T DELORES  
LUTTRELL  
PARCEL ID:  
ED000722012  
INST#2007-31699



PLAT SHOWING IMPROVEMENTS ON  
**1119 N. 31ST STREET**  
CITY OF RICHMOND, VIRGINIA

Department of Planning & Development Review's Permit Web is

<http://www.richmondpd.com/planninganddevelopment/>

Check the status of your permit • Schedule an inspection • Get inspection results • View

Tasks You Can Perform with Permit Web Inquiry System

- Check permit status
- Request a permit inspection or find out results
- Search existing permits

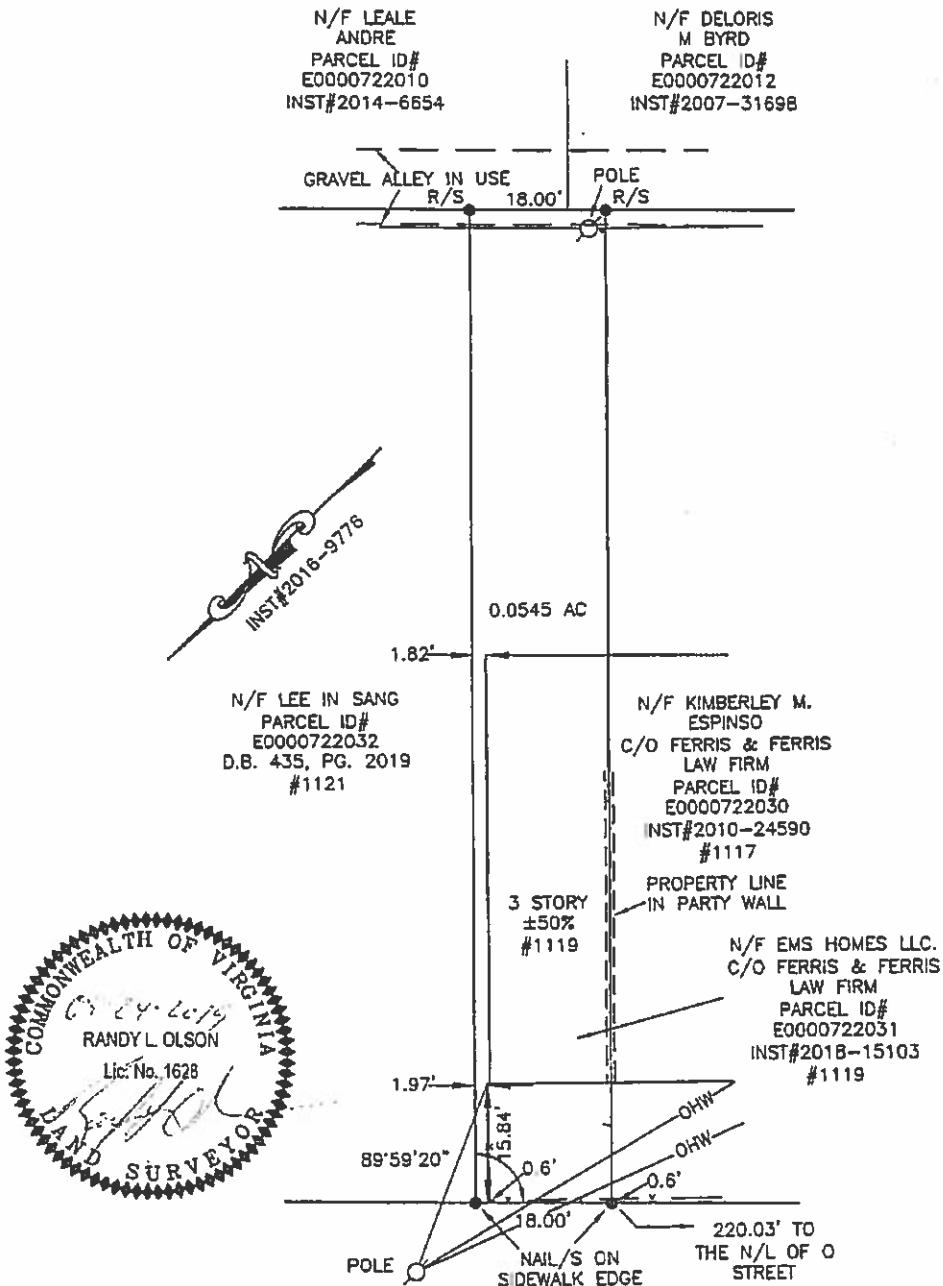
Information You Need To Know

- Your Permit Number (e.g. Address of the property or the property Tax Map)

ADDITIONAL DETAILS MAY BE REQUIRED PER INSPECTORS DISCRETION..

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1. THIS IS TO CERTIFY THAT ON MAY 24, 2019, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON AND THAT THERE ARE NO EASEMENTS OR ENCROACHMENTS VISIBLE ON THE GROUND OTHER THAN THOSE SHOWN HEREON.
2. THIS PROPERTY IS IN H.U.D. DEFINED FLOOD HAZARD AREA. ZONE: "X", AS SHOWN ON FIRM COMMUNITY PANEL #5101290042D, EFFECTIVE DATE APRIL 2, 2009.
3. THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE.
4. DEED LOT DIMENSIONS ARE 18' X 139'. LOT DIMENSIONS ON PLAT IN DEED BOOK 373C, PAGE 172 ARE 18' X 132'.



PLAT SHOWING IMPROVEMENTS ON  
**1119 N. 31ST STREET**  
CITY OF RICHMOND, VIRGINIA

PUR.: MMK CAPITAL, LLC.

<b>HARVEY L. PARKS, INC.</b>	
4508 W. HUNDRED ROAD	CHESTER, VA.
748-8641	748-0515
EMAIL: SURVEYS@HARVEYLAPARKS.COM	FAX: 796-5742
DATE: REV. 05-24-2019	SCALE: 1"=20'
DRAWN BY: J.M.D.	
CHECKED BY: R.L.O.	
61151119TJ.dwg	