



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address 2217-2219 Cedar St.  
Historic district Union Hill

Date/time rec'd: 11-20-18  
Rec'd by: Jeffries  
Application #: COA-045476-2018  
Hearing date: 12-18-18

### APPLICANT INFORMATION

Name Matt Jarreau  
Company \_\_\_\_\_  
Mailing Address 114 N 3rd St.  
Richmond Va 23219

Phone 804-306-9019  
Email mattj@htrsi.com  
Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify): \_\_\_\_\_

### OWNER INFORMATION (if different from above)

Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_

Company \_\_\_\_\_  
Phone \_\_\_\_\_  
Email \_\_\_\_\_

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review  
Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

### Project Description: (attach additional sheets if needed)

Building two single family attached homes.



### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

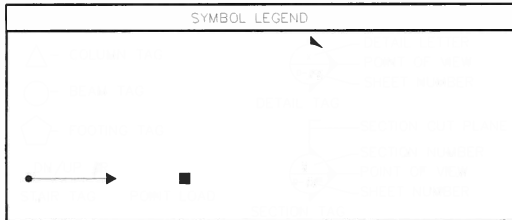
**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner [Signature] Date 11/20/18

# 2217 & 2219 CEDAR STREET DEVELOPMENT

CHURCH HILL - RICHMOND, VA 23223



P.O. BOX 4481  
FAIRFAX, VA 22038

Phone: (703) 675-4592

### SQUARE FOOTAGE CALCULATIONS

ELEVATION:	ITALIANATE		UNFINISHED
AREA	FINISHED	AREA	
1ST FLOOR	766 SF	FRONT PORCH	38 SF
2ND FLOOR	766 SF	REAR PATIO	84 SF
<b>TOTAL</b>	<b>1,532 SF</b>	<b>TOTAL</b>	<b>122 SF</b>

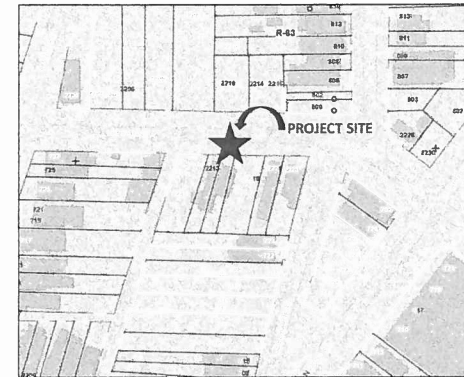
**BUILDING CODE:**  
PROJECT SHALL CONFORM TO THE 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

**CITY OF RICHMOND APPLICABLE DOCUMENTS/PERMITS:**  
COMMISSION OF ARCHITECTURAL REVIEW PROJECT NUMBER:

**RICHMOND CITY ORDINANCE:**  
ZONING: R63  
SETBACKS:  
DESIGNED FRONT YARD: 15'-0" MAX  
DESIGNED SIDE YARDS: 3'-0"  
DESIGNED REAR YARD: 5'-0"  
DESIGNED HEIGHT: 2 STORIES, 24'

**LOT SIZE & COVERAGE:**  
LOT AREAS: 2,200 S.F.  
LOT WIDTH: 18'-0"  
DESIGNED COVERAGE: 794 S.F. EACH  
COVERAGE: 65%

SHEET INDEX	
PAGE NUMBER	DESCRIPTION
C-001	COVER SHEET
CS-001	CONSTRUCTION PLAT
A-101	FOUNDATION AND FIRST FLOOR PLAN
A-102	SECOND FLOOR AND ROOF PLAN
A-103	BUILDING SECTION
A-104	SCHEDULES AND FIRE WALL INFORMATION
A-201	ALL VIEW ELEVATIONS
S-001	GENERAL NOTES
S-101	FIRST AND SECOND FLOOR FRAMING PLAN
S-102	ROOF FRAMING PLAN
S-103	FIRST AND SECOND FLOOR BRACED WALL PLAN
S-104	SECTIONS AND DETAILS AND BRACED WALL CALCULATIONS



VICINITY MAP

11-15-18  
100% COMPLETE  
DATE

**PENN & CO.**  
4326 BENFOLD SQUARE  
AUBURN, VA 23184  
703.675.4592

**HOMETOWN REALTY**  
The Neighborhood Specialist  
**MATT JARREAU**  
(804) 750-4800

2219 CEDAR STREET DEVELOPMENT  
CITY OF RICHMOND, VIRGINIA  
COVER SHEET

SCALE:  
PROJECT NO: 201803  
CONTR: C001/VA  
DATE: 11-15-18  
SHEET: C-001

\*Protracted from City  
Baseline Sheet 9 N/E

JESSAMINE STREET  
(Formerly Randolph Street)  
45' R/W 310.61'

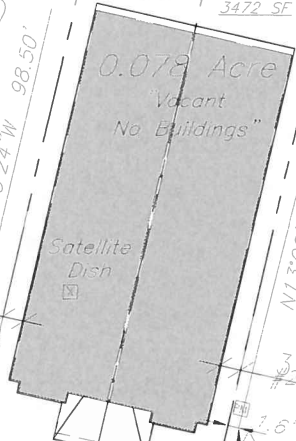
722 724 Jessamine ST LLC  
#724 Cedar Street  
Parcel ID: E000-0331/015  
Inst. No.: 100004382

Adjoinder Building  
0.80' Over

Davis, Christopher H.  
#2221 Cedar Street  
Parcel ID: E000-0331/007  
Inst. No.: 150001911

Adjoinder Fence  
0.70' Over

Mackenzie, Seth D.  
#2215 Cedar Street  
Parcel ID: E000-0331/004  
Inst. No.: 040014649



Current Owner:  
RVA Sugar LLC  
#2217 & 2219 Cedar Street  
Parcel ID: E000-0331/005  
Inst. No.: 050001446

Spike(f) @  
Disturbed  
Monument

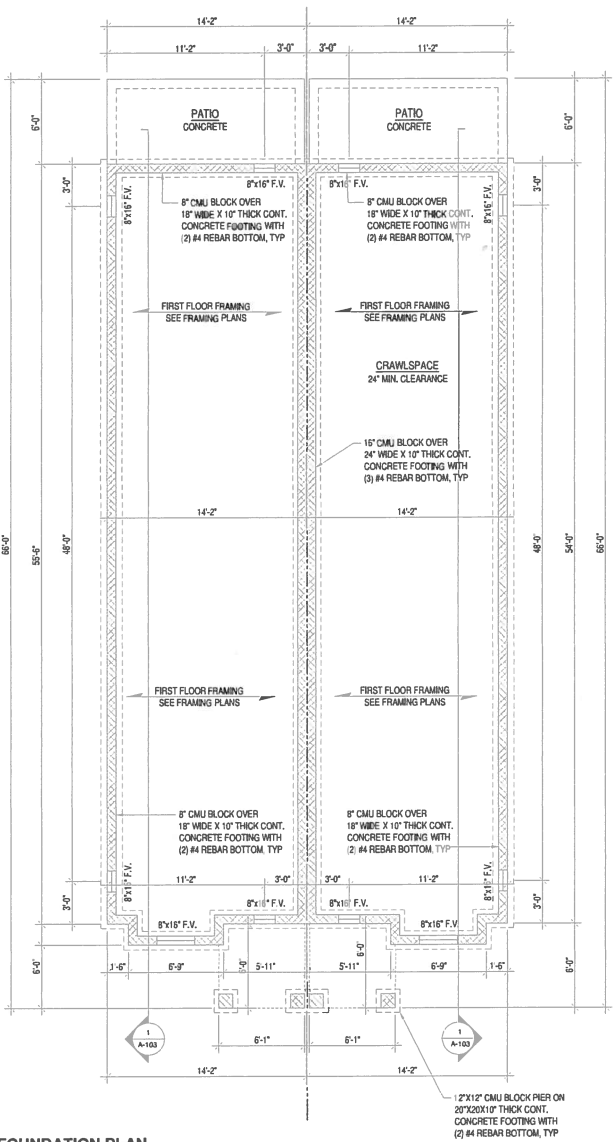
Rod f Back Walk Rod(f) Back of Curb

\*S89°25'30"E  
35.25'

CEDAR STREET  
(Formerly Pleasants Street)  
Variable Width R/W

Symbol Legend:  
[WM] Water Meter  
[PM] Power Meter

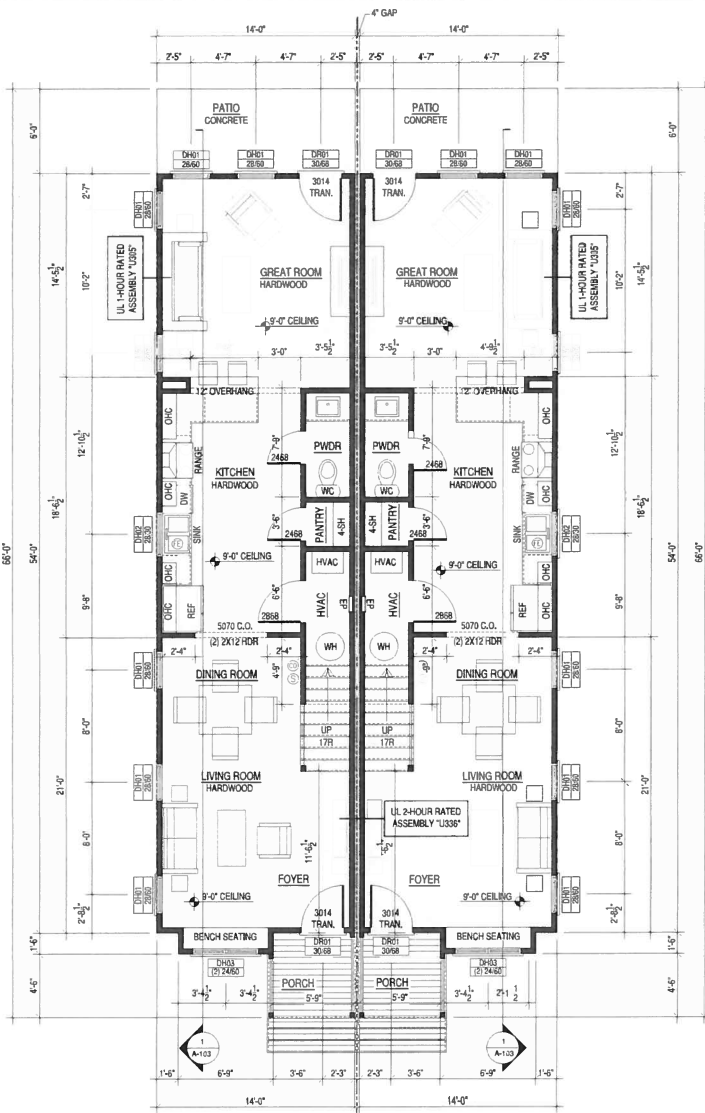
DATE	11-15-18
STATUS	100% COMPLETE
PROJECT NO.	CS-001
PROJECT NAME	2219 CEDAR STREET DEVELOPMENT
CITY	CITY OF RICHMOND, VIRGINIA
CONTRACT NO.	CONSTRUCTION PLAT
DATE	
BY	
CHECKED BY	
DESIGNED BY	
DRAWN BY	
PROJECT NO.	
PROJECT NAME	
CITY	
CONTRACT NO.	
DATE	
BY	
CHECKED BY	
DESIGNED BY	
DRAWN BY	



**FOUNDATION PLAN**

**FOUNDATION NOTES:**

1. SEE SOIL REPORT FOR FOOTING SIZE AND REINFORCEMENT.
2. CRAWL SPACE ACCESS DOOR TO BE FIELD LOCATED, HEADER FOR CRAWL DOOR TO BE (2) LVL FLUSH IN FLOOR SYSTEM WITH TOP MOUNT JOIST HANGERS
3. CRAWL SPACE INTERIOR GROUND SURFACE TO BE COVERED WITH 6 MIL POLY VAPOR BARRIER.

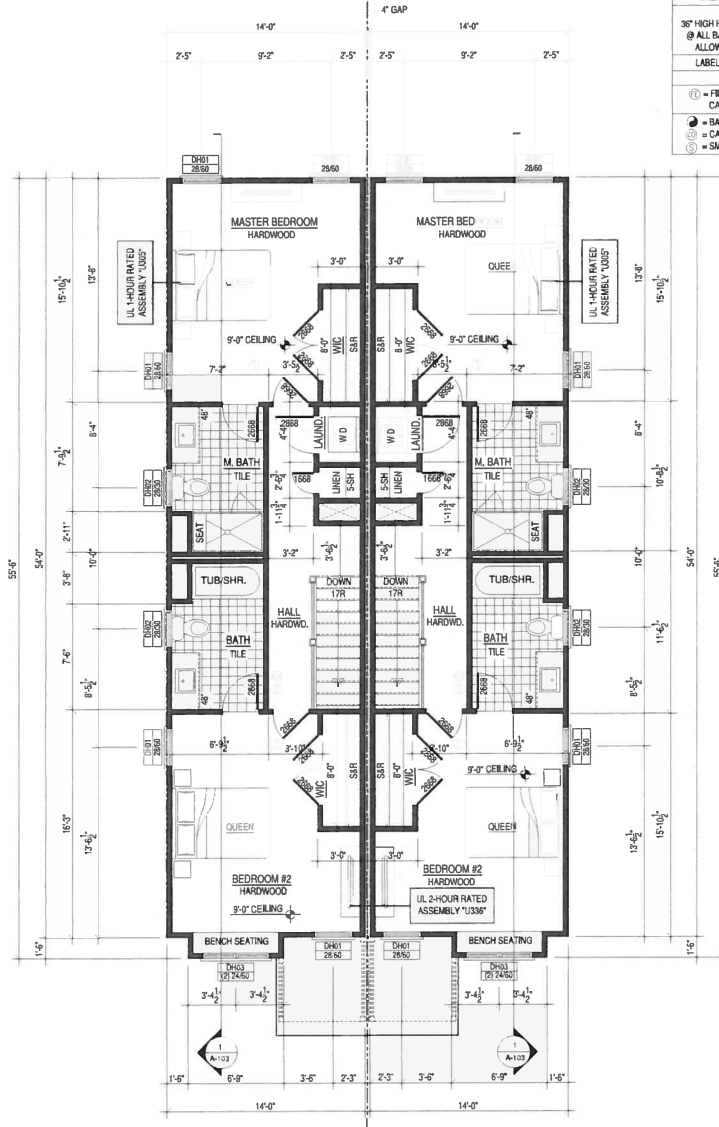


**FIRST FLOOR PLAN**

**PLAN AND FRAMING NOTES**

1. ALL WALL FRAMING TO BE 2X4S AT 16" OC UNLESS OTHERWISE NOTED.
2. ALL CEILING FRAMING TO BE 2X8S UNLESS OTHERWISE NOTED.
3. ALL WINDOW AND DOOR HEADERS TO BE 2X12S WITH 1/2" LVL JACK STUDS UNLESS OTHERWISE NOTED.
4. INTERIOR DOORS TO BE CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
5. WINDOW AND DOOR SIZES PROVIDED AND WINDOW DIMENSIONS ARE MINIMUM. COORDINATE WINDOW AND DOOR FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER'S REQUIREMENTS AND CLEARANCES.
6. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINERY LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE HAVE FLOOR, WALL AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR AN INTERRUPTION OF FLOORING BETWEEN THESE SPACES.
7. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINERY LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE HAVE FLOOR, WALL AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR AN INTERRUPTION OF FLOORING BETWEEN THESE SPACES.
8. STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 3" MIN. WITH 1" NOSING.
9. HANDRAILS & PICKETS: 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
10. LABEL DRYER VENT LENGTH ON DUCT ALL DRYWALL TO BE 1/2"
11. FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
12. SATH FAN VENTED TO EXTERIOR
13. CARBON MONOXIDE DETECTOR
14. SMOKE DETECTOR

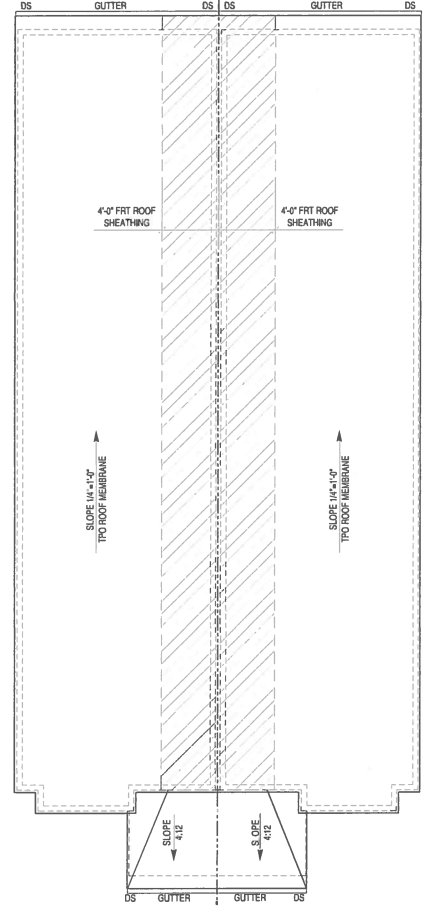
DATE	11-15-18
DESCRIPTION	100% COMPLETE
TITLE	FOUNDATION AND FIRST FLOOR PLAN
4206 BENFOLD SQUARE ASHLBURIA, VA 20148 (703) 474-3100 PHONE	
MATT JARREAU (804) 702-5800 PHONE	
PROJECT	2219 CEDAR STREET
ACTIVITY	FOUNDATION AND FIRST FLOOR PLAN
SATISFACTORY TO DATE	
DESIGNED BY	DRP (JRS)
CHECKED BY	CHK (JRS)
2219 CEDAR STREET DEVELOPMENT CITY OF RICHMOND, VIRGINIA FOUNDATION AND FIRST FLOOR PLAN	
SCALE	
PROJECT NO.	
CONTRACT NO.	
FRAMING NO.	
SHEET	OF
A-101	



SECOND FLOOR PLAN

- STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
- HANDRAILS & PICKETS:  
 36" HIGH HANDRAILS @ ALL STAIRS, 36" RAILING  
 @ ALL BALCONIES, PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
- ALL DRYWALL TO BE 1/2"
- ① = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
- ② = BATH FAN VENTED TO EXTERIOR  
 ③ = CARBON MONOXIDE DETECTOR  
 ④ = SMOKE DETECTOR

- PLAN AND FRAMING NOTES:
1. ALL STAIRS TO BE 8" MAX AT 14" CO UNLESS OTHERWISE NOTED.
  2. ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4"12" THICK FINISHED UNLESS OTHERWISE NOTED.
  3. ALL WINDOW AND DOOR HEADERS TO BE @ 2X6S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
  4. INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB AND FINISH.
  5. CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET TRAY SERIES.
  6. DOOR SIZES PROVIDED AND WINDOW DIMENSIONS ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER'S INSTALLATION REQUIREMENTS AND CLEARANCES.
  7. CLOSET SHELVING AND WALL MOUNTED TV LOCATIONS. REQUIRED GRAB BAR LOCATIONS.
  8. CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE HAVE FLOOR, WALL AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANE FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.



- PLAN NOTES
1. 12" OVERHANGES, NO GABLE END EXTENSIONS, TYP.
  2. ALL ROOFING TO BE EPDM RUBBER MEMBRANE, TYP.

ROOF PLAN

DATE	11-15-18
100% COMPLETE	
 42296 BENFOLD SQUARE ASHLBURN, VA 20149 703.678.4100	
 <b>MATT JARREAU</b> (804) 762-0000 PHONE	
PROJECT	2229 CEDAR STREET DEVELOPMENT
SUBJECT	CITY OF RICHMOND, VIRGINIA
SATISFACTION TO DATE	
REV	DATE
1	11/15/18
2	11/15/18
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99	11/15/18
100	11/15/18

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



NO.	DESCRIPTION	DATE
1	100% COMPLETE	11-15-18

**PENNE&CO.**  
 4226 BENFOLD SQUARE  
 ASHBURGH, VA 20148  
 703-473-9800  
 STRUCTURAL ENGINEER NO. 5

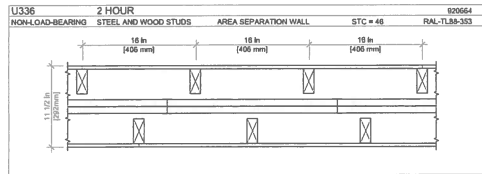
**HOMETOWN REALTY**  
 THE REAL ESTATE CONNECTION  
**MATT JARREAU**  
 804-724-8276

APPROVED: \_\_\_\_\_  
 ARCHITECT  
 Manufacture to: built  
 001 - - - (per JRP) (per JRP)

2219 CEDAR STREET DEVELOPMENT  
 CITY OF RICHMOND, VIRGINIA  
 BUILDING SECTION

SCALE:  
 PROJECT NO.: 201804  
 CLIENT: CDM/PA, INC.  
 DRAWING NO.:  
 SHEET: A-103

### UL U336



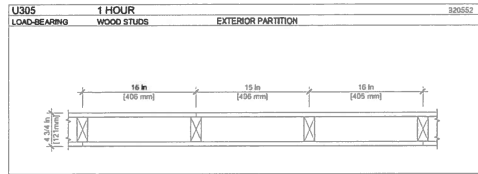
#### AREA SEPARATION WALL: STEEL AND WOOD STUDS (NON-LOAD-BEARING)

FIRE RATING: 2 HOUR  
 STC: 46  
 SOUND TEST: RAL-TL88-353  
 SYSTEM THICKNESS: 11-1/2"

#### ASSEMBLY

GYPSUM BOARD: MIN. 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.  
 WOOD STUDS: 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.  
 AIR CAVITY: MIN. 3/4 IN. THICK AIR SPACE  
 STEEL STUDS: H-STUD 25 GA., 2 IN. DEEP BY 1-3/8 IN. WIDE. SPACED MAX. 24 IN. O.C.  
 GYPSUM BOARD: TWO LAYERS OF 1 IN. THICK BY NOM. 2 FT. WIDE GYPSUM LINER PANELS FRICTION FIT.  
 AIR CAVITY: MIN. 3/4 IN. THICK AIR SPACE  
 WOOD STUDS: 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.  
 GYPSUM BOARD: MIN. 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

### UL U305



#### EXTERIOR PARTITIONS: WOOD STUD (LOAD-BEARING)

FIRE RATING: 1 HOUR  
 STC: 33  
 SOUND TEST: RAL-TL11-172  
 SYSTEM THICKNESS: 4-3/4"

#### ASSEMBLY

GYPSUM BOARD: MIN. 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.  
 WOOD STUDS: 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.  
 GYPSUM BOARD: 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

#### OPTIONS:

MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT & REAR ENTRY	3'-0"	6'-8"	SEE PLAN	01	STEEL TEMPERED WITH 14" TRANSOM

#### DOOR NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
- ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
- ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

#### DOOR HARDWARE SETS:

- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES
DH01	DOUBLE HUNG	2'-8"	6'-0"	7'-10"	PVC 2 OVER 2
DH02	DOUBLE HUNG	2'-8"	3'-0"	7'-10"	PVC 2 OVER 2
(2) DH03	TWIN DOUBLE HUNG	2'-4"	6'-0"	7'-10"	PVC 2 OVER 2

#### WINDOW NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
- ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
- SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 20" MIN. CLEAR HEIGHT, AND 57 SQUARE FEET NET CLEAR OPENING.
- NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
- SAFETY GLAZING SHALL BE TEMPERED.

DATE	11-15-18
100% COMPLETE	
100% COMPLETE	

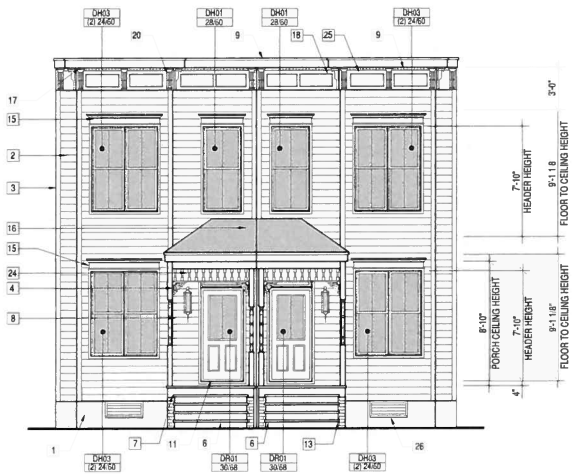
**PENNG CO.**  
 4206 BENFOLD SQUARE  
 ARLINGTON, VA 22204  
 703.675.4200

**HOMETOWN REALTY**  
 REAL ESTATE BROKER/APPRAISER  
**MATT JARREAU**  
 804.702.0020 PHONE

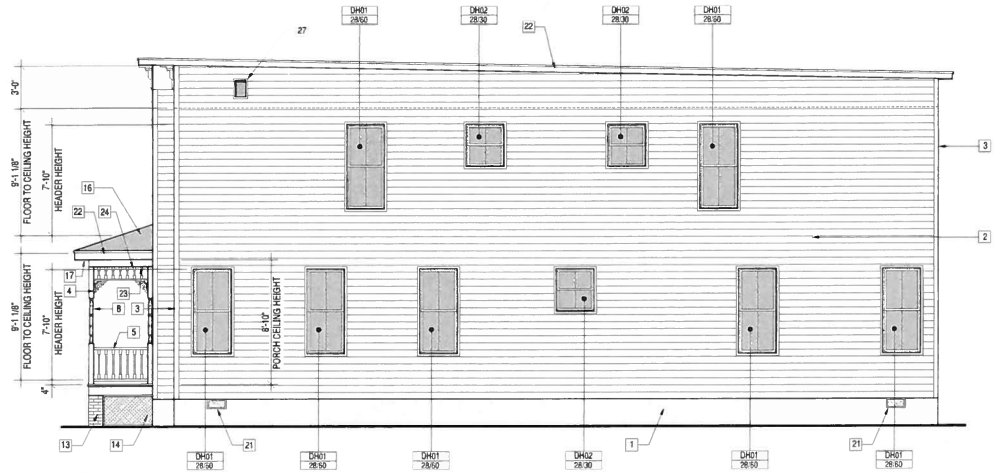
REVISION	
DATE	
MANUFACTURER TO DATE	
DESIGNER	[Signature]

2219 CEDAR STREET DEVELOPMENT  
 CITY OF RICHMOND, VIRGINIA  
 SCHEDULES AND FIRE WALL INFORMATION

DATE	
PROJECT NO.	
CONTRACT NO.	
ISSUE NO.	
SHEET	OF



FRONT ELEVATION



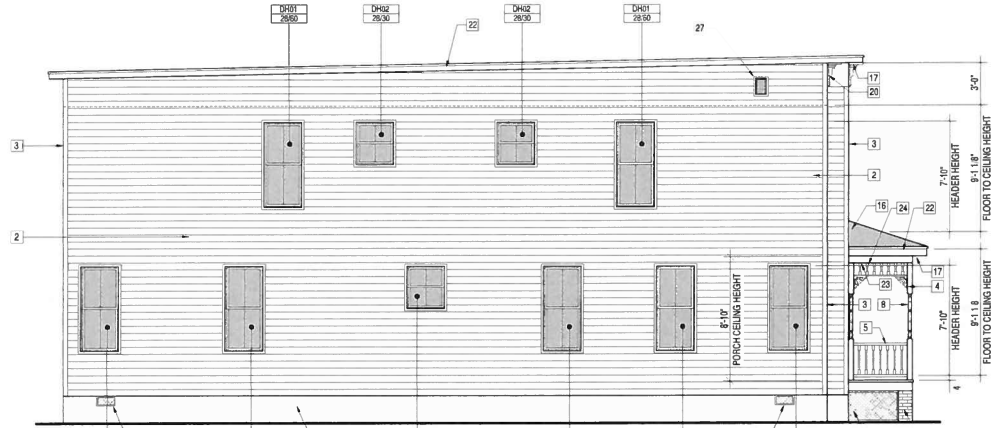
RIGHT ELEVATION

BLDG ELEVATION MATERIAL KEYNOTES

- |  |  |  |  |                               |
|--|--|--|--|-------------------------------|
| 1 PARGED FOUNDATION WALL, TYP.                                 | 6 WOOD FRAMED PORCH AND STEPS, PAINTED.                          | [11] STEEL DOOR WITH TRANSOM AND PAINTED MOULDING SURROUND | 16 EPMD ROOFING AT PORCH ROOF          | 22 1X6 PAINTED RAKE BOARD     |
| 2 6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH | 7 T&G WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD. | [12] 60 MIL TPO ROOFING                                    | 17 BEADED VINYL SOFFIT TYP             | 23 PVC BEADED PORCH PANELING  |
| 3 FIBER CEMENT SIDING TRIM AT CORNERS                          | 8 4X4 DECORATIVE WOOD PAINTED COLUMN                             | 13 BRICK PIERS TYP   | 18 PVC PICTURE FRAME MOULDING, TYP     | 24 PVC PORCH SPANDREL         |
| 4 PVC BRACKET BKT1 2X12GP                                      | 9 1X6 PAINTED WOOD TRIM FASCIA                                   | 14 WOOD LATTICE BELOW DECK                                 | 19 PVC DENTIL MOULDING FYFON MLD354-12 | 25 1X14 BACKER BOARD, PAINTED |
| 5 WOOD 'RICHMOND RAIL' RAILING, PAINT FINISH                   | 10 FOUR PANEL WOOD DOOR WITH TRANSOM & MOULD SURROUND            | 15 DECORATIVE FYFON WINDOW HEADER                          | 20 PVC BRACKET FYFON BKT7X18           | 26 12"X32" FOUNDATION VENT    |
|  |  |  | 21 VENT VENTS, SEE FOUNDATION PLAN     | 27 18"X24" GABLE VENT TYP     |



REAR ELEVATION



LEFT ELEVATION

PROJECT NO.	DATE
100% COMPLETE	11-15-18
<p>4206 BIRNFIELD SQUARE ASHBLUM, VA 20149 703.674.0100</p>	
<p>MATT JARREAU 804.700.0000</p>	
PROJECT	DESCRIPTION
SATISFACTORY TO DATE	
BY: [Signature] DATE: [Date]	
2219 CEDAR STREET DEVELOPMENT	
CITY OF RICHMOND, VIRGINIA	
ALL VIEW ELEVATIONS	
SCALE	PROJECT NO.
DATE	DATE
A-201	



GENERAL NOTES

- 1. DESIGN BUILD CODE: 2012 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS...
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES...
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-0" BELOW GRADE...
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL...

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE...
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60...
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 48 BAR DIAMETERS UNLESS NOTED OTHERWISE...
4. CONCRETE COMPRESSIVE STRENGTHS AT 28 DAY CURE = 3000 PSI...
5. CAST-IN-PLACE CONCRETE SHALL BE READY MIX PER ASTM C94, THE MIX SHALL BE PROPORTIONED WITH:
A. PORTLAND CEMENT: ASTM C150
B. AGGREGATES: ASTM C33 WITH .75 INCH MAXIMUM DIAMETER
C. NO CALCIUM CHLORIDE SHALL BE PERMITTED
D. AIR ENTRAINMENT: ASTM C260
E. WATER REDUCING ADMIXTURE: ASTM C434
F. FLUASH: ASTM C618-78 CLASS F, 15% MAXIMUM BY WEIGHT
G. WATER: CLEAN AND POTABLE
6. PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC, AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLACE...
7. CONTRACTOR SHALL VERIFY EMBEDDED ITEMS, INCLUDING BUT NOT LIMITED TO ANCHOR BOLTS, BOLT CLUSTERS, WELD PLATES, ETC., BEFORE PLACING CONCRETE NOTIFY ENGINEER OF ANY CONFLICTS WITH REBAR...
8. STEP AND SLOPE ALL BALCONIES, WALKWAYS, AND PATIOS AWAY FROM THE BUILDING...
9. RESTRICT THE ADDITION OF MIX WATER AT THE JOB SITE...
10. CONCRETE SHALL BE PLACED WITHIN 90 MINUTES IF BATCH TIME.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE)...
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
Fb = 875 PSI
Fc = 425 PSI
Fv = 70 PSI
E = 1,400,000 PSI
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
Fb = 875 PSI
Fc = 425 PSI
Fv = 70 PSI
E = 1,400,000 PSI
4. WALL TOP PLATES AT BEARING LOCATIONS, TO BE SYP #2 MNV OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES (NDS)
Fb = 1500 PSI
Fc = 565 PSI
Fv = 90 PSI
E = 1,600,000 PSI
5. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE AND EXPOSED TO WEATHER (FOR BALCONY DECK BOARDS, LEDGER, JOISTS, BEAMS, AND SILL PLATES) SHALL BE SOUTHERN PINE PRESSURE TREATED TO 40 LB RETENTION, PER AWPA STANDARDS, HAVING THE FOLLOWING MINIMUM PROPERTIES:
Fb = 1500 PSI, 1250 PSI, 1200 PSI, 1050 PSI AND 875 PSI FOR 4, 6, 8, 1.0 AND 12 INCH WIDE SECTIONS RESPECTIVELY.
Fc = 565 PSI
Fv = 90 PSI
E = 1,600,000 PSI

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNL. THE FOLLOWING MINIMUM PROPERTIES SHALL APPLY.
Fb = 2600 PSI FOR 1 1/2" DEPTH, FOR OTHERS MULTIPLY BY (120)/136
Fc = 750 PSI PER
Fv = 265 PSI
E = 2,000,000 PSI
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP...
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS...
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN...
10. MINIMUM GRADES, FOR DIMENSIONED LUMBER, SHALL BE SPF NO. 2 GRADE AS DEFINED BY THE NDS FOR WOOD CONSTRUCTION...
11. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH 16d NAILS AT 12" OC 2 ROWS FOR BEAMS 6" - 7" DEEP, 3 ROWS FOR BEAMS 14" - 18" DEEP (STAGGERED)...
12. PLYWOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS...
13. FASTENING OF WOOD FRAMING MEMBERS AND SHEATHING BY BUILDING CODE, SEE STRUCTURAL DETAILS FOR INCREASED FASTENING SCHEDULES WHERE APPLICABLE...
14. WALL SHEATHING: 5/8" WOOD STRUCTURAL PANEL EXTERIOR, 5/8" MIN GYPSUM WALL BOARD INTERIOR...
15. WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS...
16. BEAR BEAMS AND GIRDS AT LEAST 4" ON MASONRY OR CONCRETE FLOOR JOISTS...
17. PROVIDE 2" NOMINAL THICKNESS FULL DEPTH SOLID BLOCKING FOR JOISTS AND RAFTERS AT ENDS AND AT SUPPORTS...
18. FLOOR DECKING SHALL BE APA RATED FLOOR SHEATHING, GLUED AND NAILED PER APA RECOMMENDATIONS FOR THE STURD-FLOOR SYSTEM.

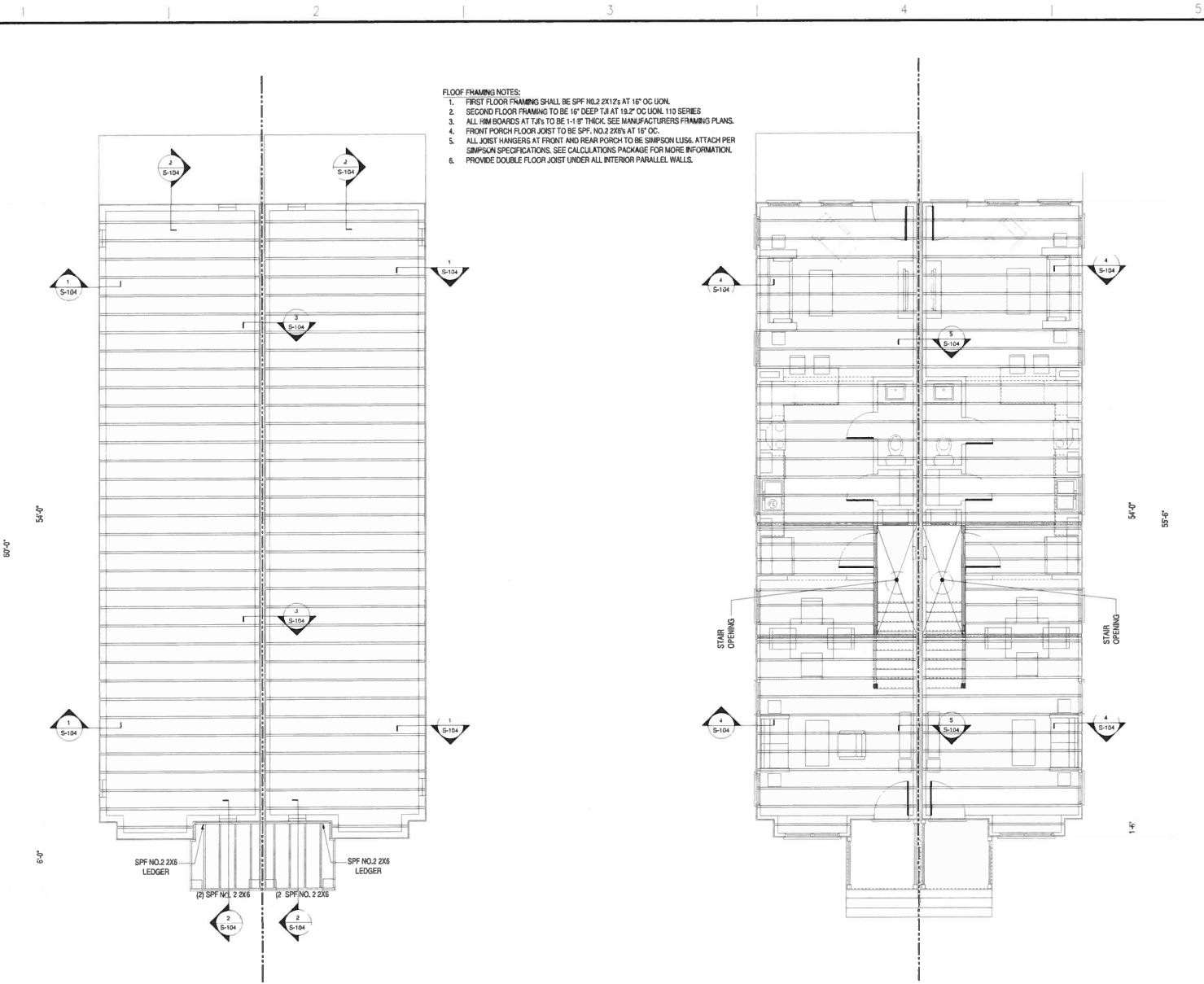
CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI. NET AREA COMPRESSIVE MASONRY STRENGTH FM = 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL, AND TYPE S AT ALL OTHER LOCATIONS...
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT... COARSE GROUT SHALL CONFORM TO ASTM C476...
4. ALL CMU SHALL BE TEMPORARILY BRACED DURING CONSTRUCTION...
5. VERTICAL REINFORCING BARS SHALL BE HELD IN POSITION...
6. PROVIDE ACI 90 DEGREE STANDARD HOOKS INTO FOOTINGS AND ROOF THE BEAM...
7. REINFORCING BARS SHALL BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS...
8. MINIMUM LAP SPICE SHALL BE 48 BAR DIAMETERS...
9. WHEN FOUNDATION DOWELS DO NOT LINE UP WITH VERTICAL CORE IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL...
10. HORIZONTAL WALL REINFORCEMENT SHALL BE 9 GA. GALVANIZED LADUR TYPE DUP-D-WALL (OR EQUIVALENT) SPACED AT 18" OC MAX...
11. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT MASONRY OPENINGS SUCH AS DOORS AND WINDOWS...
12. CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR...
13. GROUT POUR HEIGHT SHALL NOT EXCEED 24" PLACEMENT POINTS IN 9" MAXIMUM LIFTS HEIGHTS...
14. CONSOLIDATE GROUT FOURS AT THE TIME OF PLACEMENT...
15. PLACE ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS...
16. MASONRY CONTROL JOINTS SHALL BE INSTALLED AT LOCATIONS INDICATED ON THE DRAWINGS...
17. ADDITIONALLY, INSTALL MASONRY CONTROL JOINTS SPACE AT 26'-0" OC AT EXTERIOR WALLS...
18. INTERIOR WALLS UNO.

MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' (ACI 530.5/ASCE 5/TMS 602) FOR THE YEAR REFERENCED IN THE OTHER TRADES CODES NOTED...
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES...
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE... WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS...
4. CONCRETE MASONRY UNITS (CMU) SHALL BE MEDIUM WEIGHT UNITS CONFORMING TO ASTM C90...
5. WHEN STRUCTURAL REINFORCEMENT IS INCORPORATED IN MASONRY CEMENT MORTAR...
6. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60...
7. DEFORMED BAR ANCHORS (DBA) SHALL CONFORM TO ASTM 496, 75 KSI YIELD STRENGTH...
8. ALL MASONRY UNITS SHALL HAVE GALVANIZED HORIZONTAL JOINT REINFORCEMENT AS FOLLOWS:
A.A. 9 GA. SIDE AND CROSS RODS (LADDER TYPE) SPACED 12" O.C. VERTICALLY
B. LAP JOINT REINFORCING AS SHOWN IN THE TABLE BELOW
WIRE JOINT REINFORCING SPLICE LENGTH
W#1 (11 GA) 7"
W#1.7 (9 GA) 8"
W#2 (8 GA) 8"
W#3 (D15 WIRE) 8"
W#4 (1/4 WIRE) 12"
9. ALL CORES WITH REINFORCEMENT SHALL BE FILLED SOLID WITH GROUT...
10. PLACE REINFORCING BARS BEFORE GROUTING...
11. AFTER THE INITIAL WATER LOSS AND RECONSOLIDATION OF THE PRIOR LIFT...
12. PROPERLY SECURE REINFORCING BARS TO MAINTAIN THE POSITIONS INDICATED ON THE DRAWINGS...
13. MORTAR PROTRUSIONS, EXTENDING INTO CELLS OR CAVITIES TO BE REINFORCED AND FILLED, SHALL BE REMOVED...
14. LAY MASONRY UNITS WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS...
15. GROUT ONE (1) COURSE OF MASONRY SOLID UNDER ALL WALL BEARING SLABS...
16. PROVIDE 1/2" OF SOLID MASONRY UNDER WALL BEARING BEAMS AND JOIST GRIDDERS UNLESS NOTED OTHERWISE...
17. ALL CORNERS TO BE TIED BY MASONRY BOND...
18. GROUT CORES SOLID A MINIMUM OF ONE COURSE BELOW ANY CHANGE IN WALL THICKNESS...
19. PROVIDE 9" SOLID MASONRY 24" WIDE MINIMUM UNDER WALL BEARING JOISTS...
20. ALL MASONRY WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT A MAXIMUM SPACING OF 25'...
21. ALL CMU SHALL BE TEMPORARILY BRACED DURING CONSTRUCTION...
22. THE COLLAR JOINT IN MULTI-WYTHE WALLS BELOW GRADE SHALL BE FULLY GROUTED AS THE WALL IS CONSTRUCTED...
23. MISCELLANEOUS STEEL UNLTEL SCHEDULE
A.A. FOR MASONRY WALLS 8" OR THICKER OR MASONRY VENEER AND WOOD STUDS:
- FOR OPENINGS UP TO 4'-0" USE 3 1/2X3 1/2X16 ANGLE
- FOR OPENINGS FROM 4'-0" TO 5'-0" USE 3X3 1/2X16 L.L.V.
- FOR OPENINGS FROM 5'-0" TO 6'-0" USE 3X3 1/2X16 L.L.V.
- FOR OPENINGS FROM 6'-0" TO 7'-0" USE 3X3 1/2X16 L.L.V.
- FOR OPENINGS FROM 7'-0" TO 10'-0" USE W8X21+516" BOTTOM PLATE
USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY.
B.B. ALL UNLTELS SHALL HAVE A BEARING AT EACH END OF 1 INCH PER FOOT OF OPENING WITH A MINIMUM OF 6".
C.C. ALL UNLTELS SHALL BEAR ON 16" SOLID MASONRY EXTENDING 16" BEYOND END OF UNLTEL.
D.D. ALL UNLTELS ON THE BUILDING EXTERIOR SHALL BE GALVANIZED.
E.E. ALL UNLTELS ARE NOT DESIGNED FOR MASONRY WALLS THAT CARRY FLOOR LOADS.
E.G. PROVIDE (1) #5 IN FULLY GROUTED CELLS (ONE CELL BELOW UNLTEL BEARING, AND ONE CELL ADJACENT FULL HEIGHT) AT EACH SIDE OF OPENINGS.
24. LAP SPLICES SHALL BE AS FOLLOWS:
#5 BAR SIZE = 54" SPLICE LENGTH
#6 BAR SIZE = 54" SPLICE LENGTH
#7 BAR SIZE = 63" SPLICE LENGTH
25. POWER ACTUATED FASTENERS (PAF) NOT PERMITTED AT MASONRY.
26. ALL REINFORCING HOOKS AND BENDS SHALL BE STANDARD ACI TYPE.
27. ALL WALL DOWELS SHALL MATCH REINFORCING SIZE AND O.T.Y.

11-15-18 DATE
100% COMPLETE
PENN & CO. 4220A BENFOLD SQUARE ARLINGTON, VA 22204 703-675-0900
HOMETOWN REALTY THE COMMERCIAL REALTY GROUP MATT JARREAU (804) 762-6662 PHONE
2219 CEDAR STREET DEVELOPMENT CITY OF RICHMOND, VIRGINIA STRUCTURAL GENERAL NOTES
S-001



- FLOOR FRAMING NOTES:
1. FIRST FLOOR FRAMING SHALL BE SPF NO.2 2X12's AT 16" OC UON.
  2. SECOND FLOOR FRAMING TO BE 16" DEEP TJI AT 19.2" OC UON, 110 SERIES.
  3. ALL HIM BOARDS AT TJ's TO BE 1-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
  4. FRONT PORCH FLOOR JOIST TO BE SPF NO.2 2X8's AT 16" OC.
  5. ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUSA. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
  6. PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.

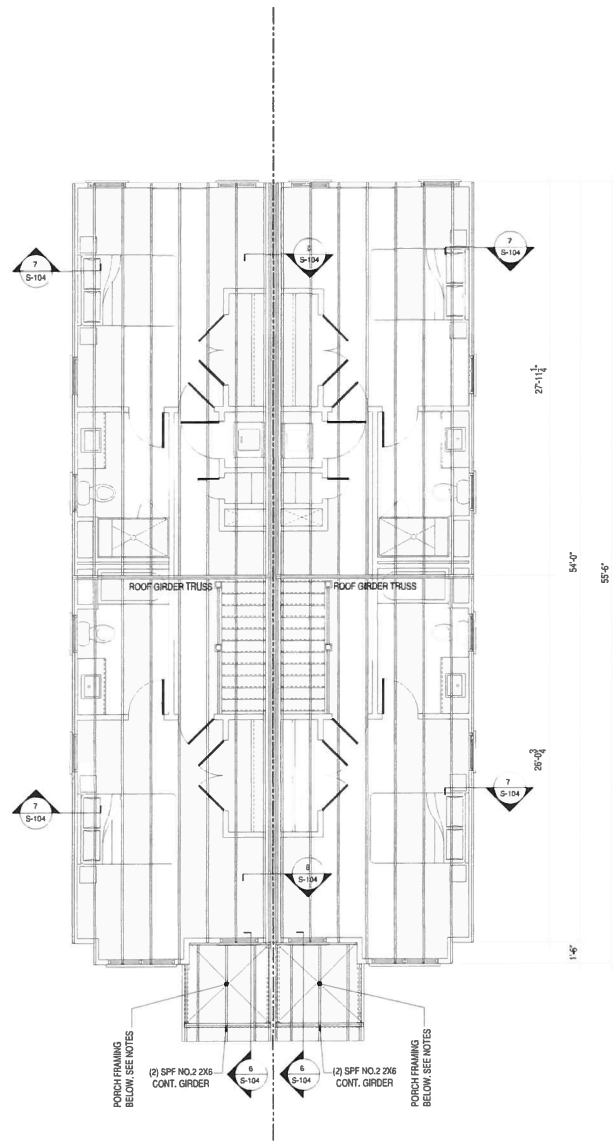
FIRST FLOOR FRAMING PLAN

SECOND FLOOR FRAMING PLAN

DATE	11-15-18
SCALE	AS SHOWN
100% COMPLETE	
PREPARED BY	STRUCTURAL ENGINEER
DESIGNED BY	
CHECKED BY	
APPROVED BY	
ACTIVITY	
DATE	
DCS	DPW BRP3 [CW BRP3]
<p>2219 CEDAR STREET DEVELOPMENT CITY OF RICHMOND, VIRGINIA FIRST AND SECOND FLOOR FRAMING PLAN</p>	
PROJECT NO.	
PROJECT FILE NAME	
CONTRACT NO.	
DRAWING NO.	
SHEET	OF
S-101	

**PENNG CO.**  
42206 BIRCHWOOD SQUARE  
ASHLEIGH, VA 23015  
(703) 874-4524 PH-048

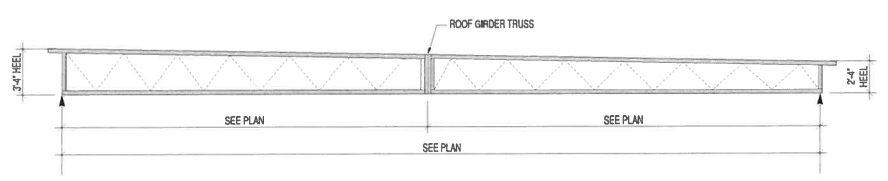
**HOMETOWN REALTY**  
THE HOMEOWN CONNECTION  
**MATT JARREAU**  
804-724-8822 PHONE



**ROOF FRAMING PLAN**

**PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES**

1. THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
2. REFERENCE STANDARDS
  - 2.1. NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
  - 2.2. TPA-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
3. MATERIALS
  - 3.1. THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPARATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
  - 3.2. LUMBER SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
4. DESIGN
  - 4.1. THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
  - 4.2. THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO-TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
  - 4.3. METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A663, COATING CLASS G60, MANUFACTURE WITH HOLES, PLUGS, TEETH OR PRONGS UNIFORMLY SPACED AND FORMED.
  - 4.4. IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
  - 4.5. DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
  - 4.6. DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
  - 4.7. DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
5. DESIGN LOADS
  - 5.1. ROOF
    - 5.1.1. TOP CHORD DEAD LOAD = 10 PSF
    - 5.1.2. TOP CHORD LIVE LOAD = 20 PSF
    - 5.1.3. BOTTOM CHORD DEAD LOAD = 10 PSF
    - 5.1.4. BOTTOM CHORD LIVE LOAD = 0 PSF
    - 5.1.5. WIND LOADING: SEE DESIGN LOADS SECTION ON SHEET S 001
      - 5.1.5.1. NET WIND UPLIFT = 8 PSF
  - 5.2. DEFLECTIONS
    - 5.2.1. ROOF
      - 5.2.1.1. MAXIMUM LIVE LOAD DEFLECTION = L/360, OR .825" MAXIMUM
      - 5.2.1.2. MAXIMUM TOTAL LOAD DEFLECTION = L/240, OR 1.0" MAXIMUM
  - 5.3. DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
6. SUBMITTALS
  - 6.1. SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
  - 6.2. SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
  - 6.3. SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
  - 6.4. INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

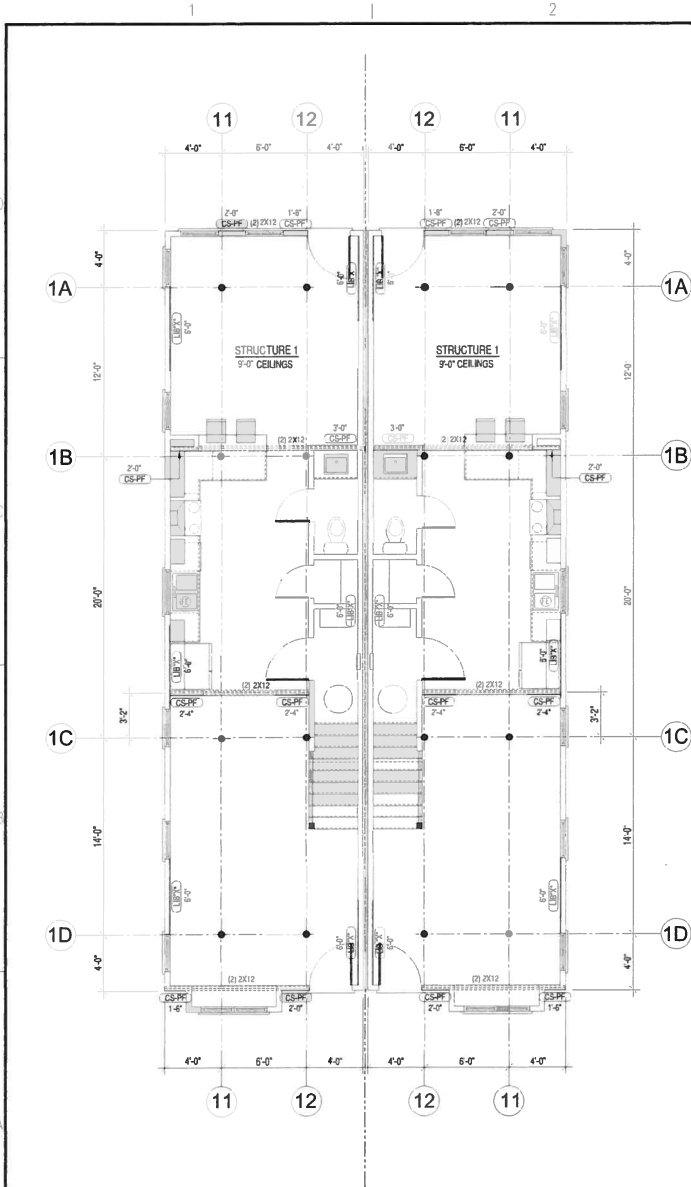


**ROOF TRUSS PROFILE**

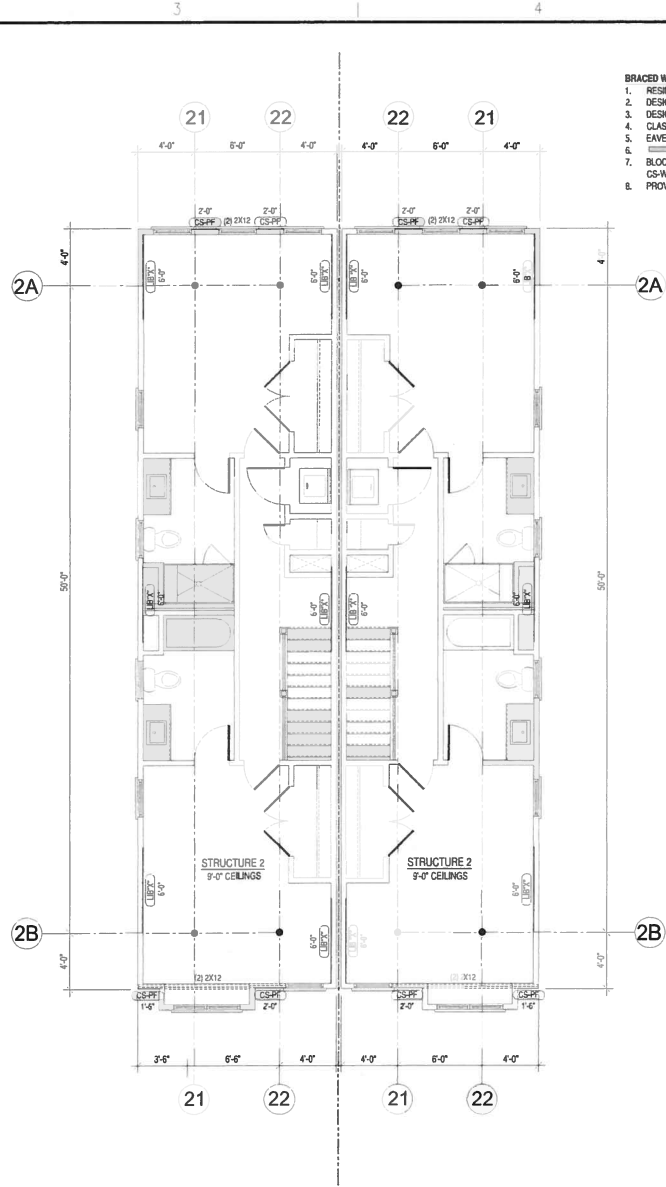
- TRUSS PROFILE NOTES:**
1. TRUSS WEB CONFIGURATION SHOWN IS REPRESENTATIONAL ONLY. TRUSS MANUFACTURER TO DETERMINE CONFIGURATION.

- FLOOR FRAMING NOTES:**
1. ALL ROOF FRAMING SHALL BE PRE-ENGINEERED TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.
  2. ALL PORCH ROOF FRAMING TO BE PRE-ENGINEERED MONO TRUSSES AT 24" OC.

							11-15-18 DATE
						100% COMPLETE	11-15-18 DATE
4206 BENEFOLD SQUARE ARLINGTON, VA 22204 703-474-1100 PHONE <small>STRUCTURAL SUBJECT</small>							
<b>MATT JARREAU</b> <small>REALTOR</small> 804-708-8898 PHONE							
<small>APPROVED</small>							
<small>Authorizations to date:</small> 01/11/18 [Signature] (S-102) (C) (S) (S)							
<b>2219 CEDAR STREET DEVELOPMENT</b> CITY OF RICHMOND, VIRGINIA ROOF FRAMING PLAN							
<small>SCALE</small> <small>PROJECT NO. 2219</small> <small>CONSTR. CONTROL NO.</small> <small>DRAWING NO.</small> <small>DATE</small>							
<b>S-102</b>							



FIRST FLOOR BRACED WALL PLAN



SECOND FLOOR BRACED WALL PLAN

- BRACED WALL PLAN NOTES:**
1. RESIDENCE ANALYZED AS TWO SEPARATE STRUCTURES.
  2. DESIGN AND CALCULATIONS BASED ON 2012 IRC SECTION R602.10.
  3. DESIGN BASED ON 80 MPH WIND SPEED, SEE CALCULATIONS.
  4. CLASSIC WALL BRACING METHOD USED.
  5. EAVE TO RIDGE HEIGHT USED FOR RESIDENCE = 9'-0"
  6. [Symbol] DENOTES BRACED WALL PANELS.
  7. BLOCK ALL HORIZONTAL JOINTS AT EXTERIOR SHEATHING AT CS-WSP, CS-PF AND LB PANELS.
  8. PROVIDE FLOOR JOIST UNDER AND ABOVE ALL INTERIOR BRACED WALL LINES.

DATE	11-15-18
100% COMPLETE	
<b>PENNG &amp; CO.</b>	
4206 BENFOLD SQUARE ASHBURN, VA 20148 703.476.7100	
<b>HOMETOWN REALTY</b> THE REAL ESTATE EXPERTS	
<b>MATT JARREAU</b> 3841 TUCKER PHONE	
2219 CEDAR STREET DEVELOPMENT	
CITY OF RICHMOND, VIRGINIA	
FIRST AND SECOND FLOOR BRACED WALL PLAN	
SCALE	
PROJECT NO.	30186
CONTRACT NO.	
DRAWING NO.	
SHEET	OF
S-103	

