



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 201 W. Broad Street DATE: April 29, 2015

OWNER'S NAME: 201, llc TEL NO.: 804-977-3374

AND ADDRESS: c/o 919 E. Main Street, Suite 2110 EMAIL: jmulen@rothdoneyjackson.com

CITY, STATE AND ZIPCODE: Richmond, Virginia 23219

ARCHITECT/CONTRACTOR'S NAME: 3North TEL. NO.: 804 232 8900 x123

AND ADDRESS: 201 West 7 Street EMAIL: dmacnelly@3north.com

CITY, STATE AND ZIPCODE: Richmond, VA 23224

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

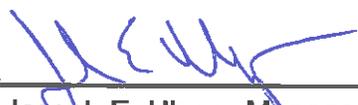
I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

See attached.

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Joseph E. Ukrop, Manager

(Space below for staff use only)

Received by Commission Secretary

APPLICATION NO. _____

DATE _____

SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

207 W. Broad Street: Entrance Door

The property located at 207 W. Broad Street is being redevelopment in connection with the property located at 201 W. Broad Street as the Quirk Hotel, a boutique, art hotel, with art gallery space for the Quirk Gallery, a contemporary art gallery, within the building located at 207 W. Broad Street. The Quirk Gallery space will have a new glass storefront, as previously approved by the Commission, with a solid oak door. The location of the door within the storefront is the same but the wood material is a change from the previously approved all-glass version. This revision was made to differentiate the Quirk Gallery space from the hotel entrance, as well provide a warmer entrance to the Quirk Gallery. The design of the new wood door is a contemporary interpretation in a contemporary glass storefront. Wood doors are common within this portion of the Broad Street Old & Historic District, and this contemporary horizontal design is appropriate in context rather than a traditional 6 panel door. The size and proportion of the door are consistent with the contemporary storefront, scale of the building and overall project, and patterns in the District.

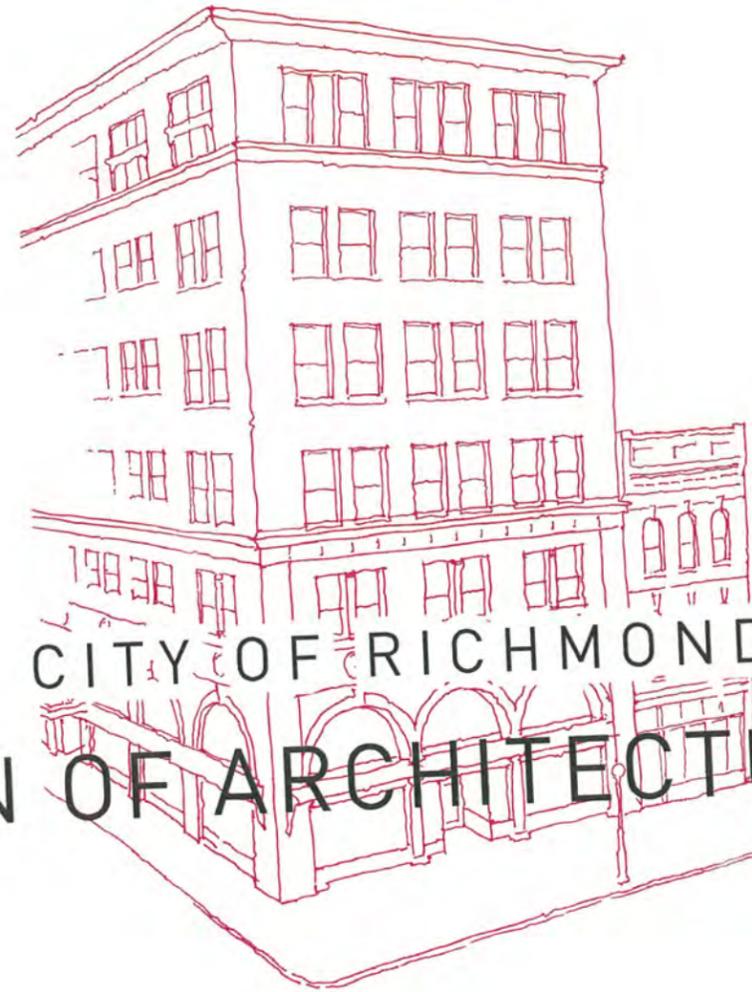
201 W. Broad Street: Building Components

Enclosed are revisions to the portion of the Quirk Hotel located on the 201 W. Broad Street property, with a comparison to what was previously approved by the Commission. These elements include revised mechanical equipment with screening, glass rail for the rooftop bar and glass storefront at the penthouse addition. These revised elements are scaled down from the original approved plans with the same materials. The new brick wall at core elements, mechanical equipment screen and aluminum panel wall are all necessary safety features of the building and are located to the rear in non-character defining space that is consistent with the location of the existing mechanical equipment.

The new mechanical equipment screen is made of clear anodized aluminum panel and is 7' 6" above the penthouse addition. The 9' mechanical screen with acoustic isolation at the rooftop bar is made of clear anodized aluminum panels. The glass rail at the rooftop a frameless glass rail. The penthouse façade is a glass storefront with a 5" clear anodized aluminum fascia above glass storefront and aluminum downspouts. As shown on the exterior views included with the plans, the reduced footprint addition is generally not visible from the street and where it is, it is primarily the glass railing and the glass penthouse façade with some mechanical and safety elements visible which are smaller from that previously approved by the Commission.

201 W. Broad Street – Signage

The Quirk Hotel project is a lively arts hotel. The building has no conventional signboard location, therefore there is no opportunity to install a more traditional sign on the storefront fascia. The sign design is compatible with historic signs in the historic district, and also clearly contemporary. The sign design references historic and contemporary blade signs on Broad Street, but would not be confused as an historic design. The proportion and scale of compatible signage are maintained but with modern features through color, polished stainless steel surround on the exterior, all of which provide a more contemporary appearance. The sign colors are included in the CAR Paint Color Palette (see color 24, Roycroft Rose). The color fits with the branding of the Quirk Hotel, is compatible with existing signs in the district, and provide the strong tie to the arts-theme of the hotel, as well as the City of Richmond's Arts District. The proposed blade sign is essential for the future hotel to attract guests who are traveling by car. The sign must be visible to drivers and car passengers.



CITY OF RICHMOND
COMMISSION OF ARCHITECTURAL REVIEW



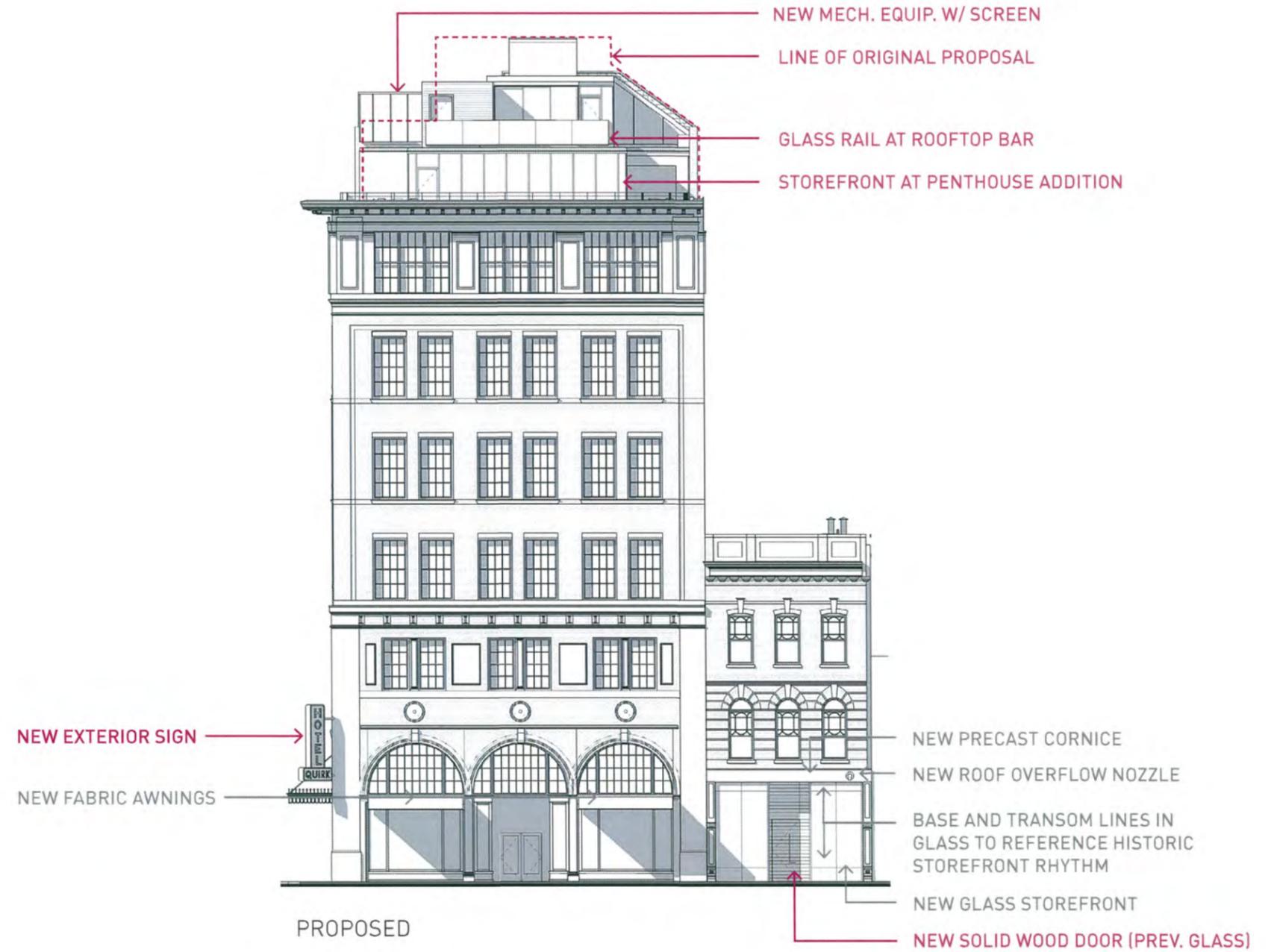
24 JUNE 2014
REVISED 01 MAY 2015



EXTERIOR ELEVATIONS



EXISTING



PROPOSED

0 5 10 20
SCALE: 1" = 20'-0"

■ For Approval ■ Previously Approved

BROAD STREET ELEVATIONS

01 MAY 2015

QUIRK : COMMISSION OF ARCHITECTURAL REVIEW

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 3NORTH

NEW EMERGENCY ROOF OVERFLOW NOZZLE
NICKEL BRONZE FINISH

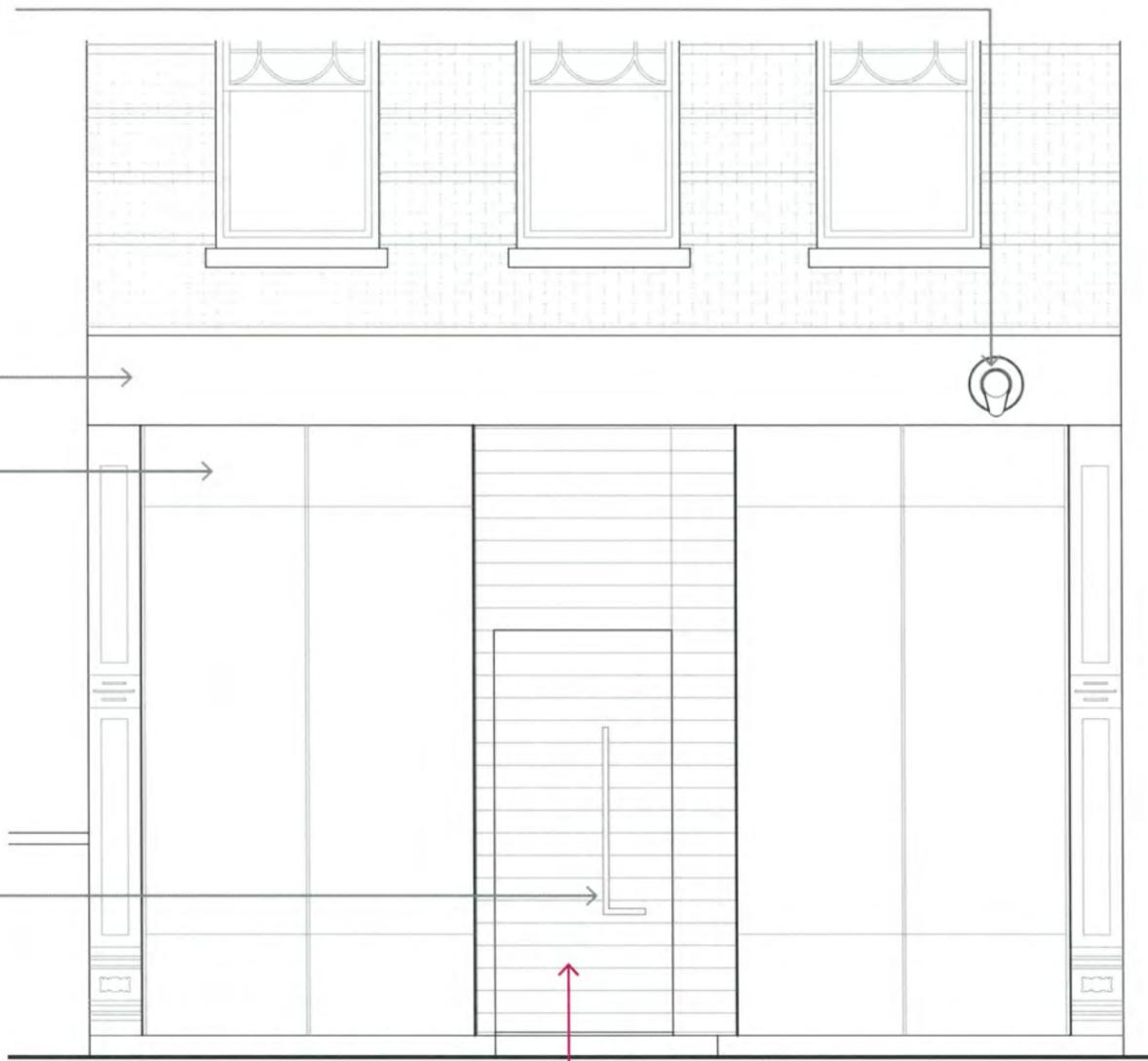
NEW PRECAST CORNICE

NEW GLASS STOREFRONT
FRAMELESS WITH GLASS
STRUCTURAL FINIS



NEW BRONZE PULL

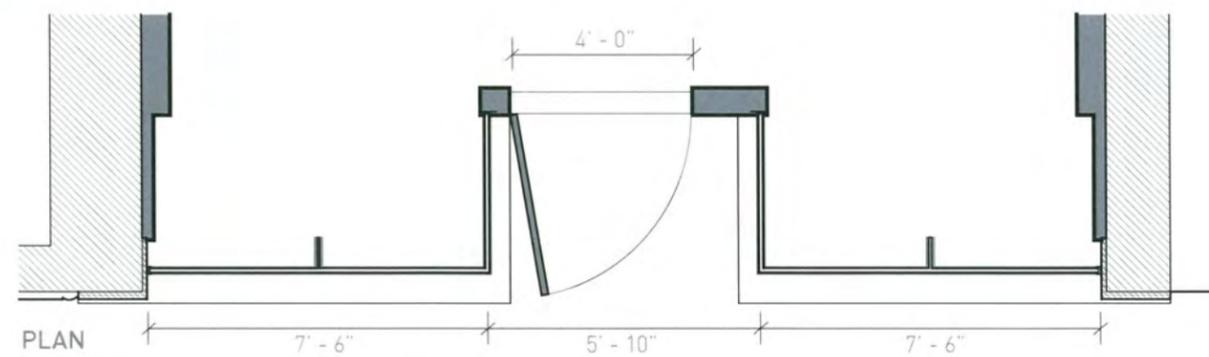
NEW SOLID WOOD DOOR
OAK, GRAY STAIN (PREVIOUSLY GLASS)



ELEVATION



EXISTING ELEVATION



PLAN

■ For Approval ■ Previously Approved

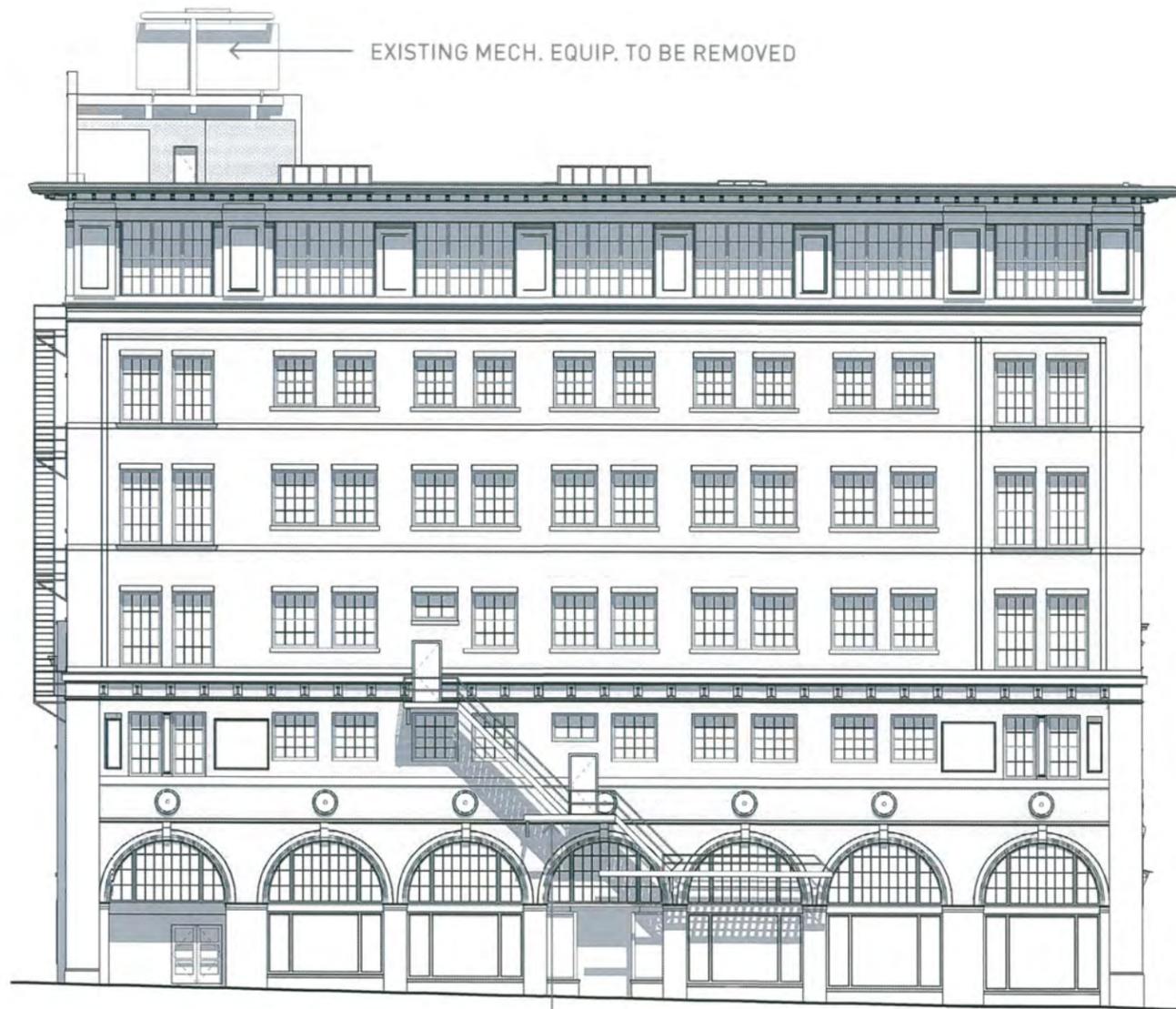
207 BROAD STREET ENTRANCE

01 MAY 2015

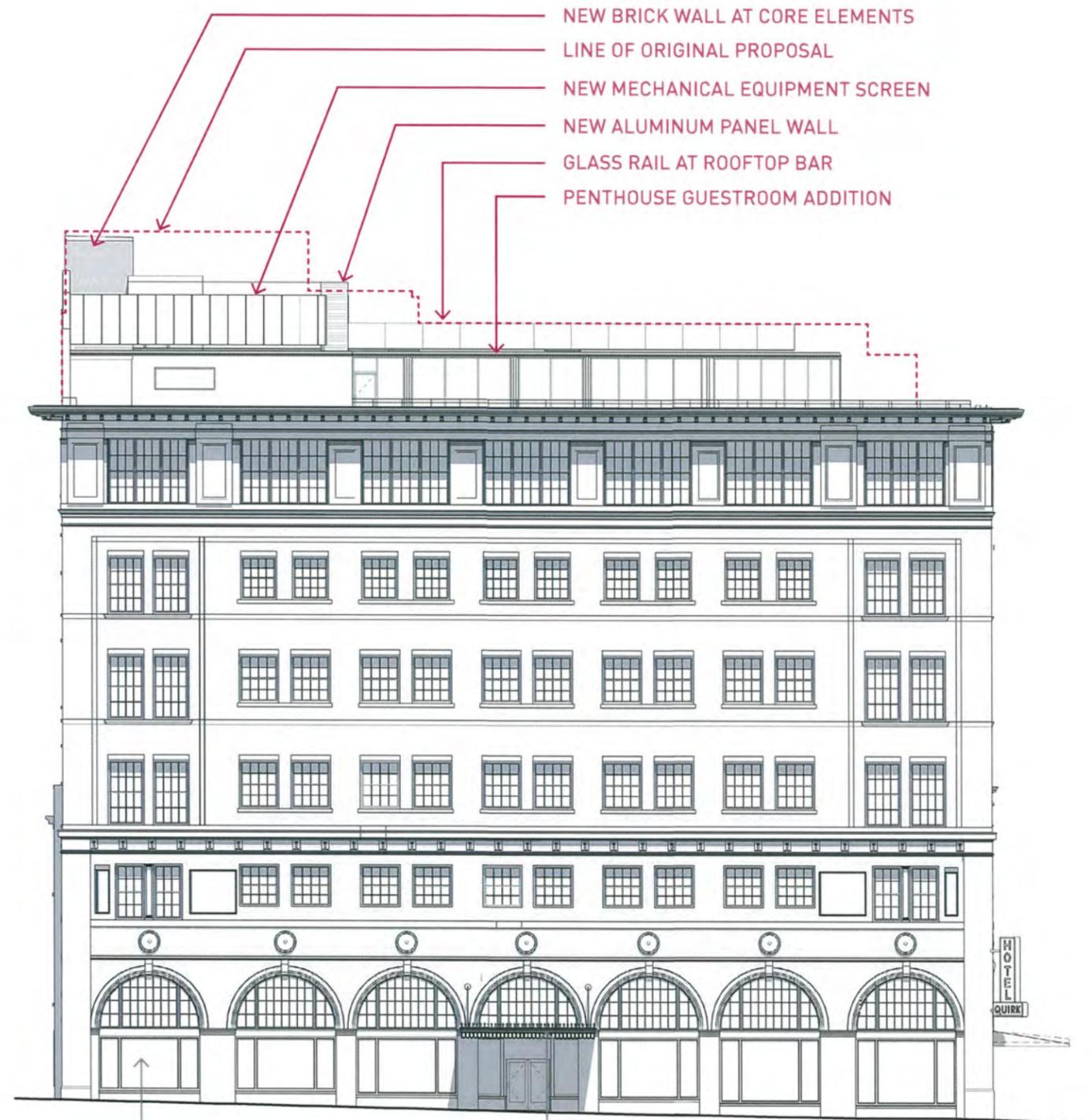
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 3NORTH



EXISTING



PROPOSED

■ For Approval ■ Previously Approved

JEFFERSON ST. ELEVATIONS

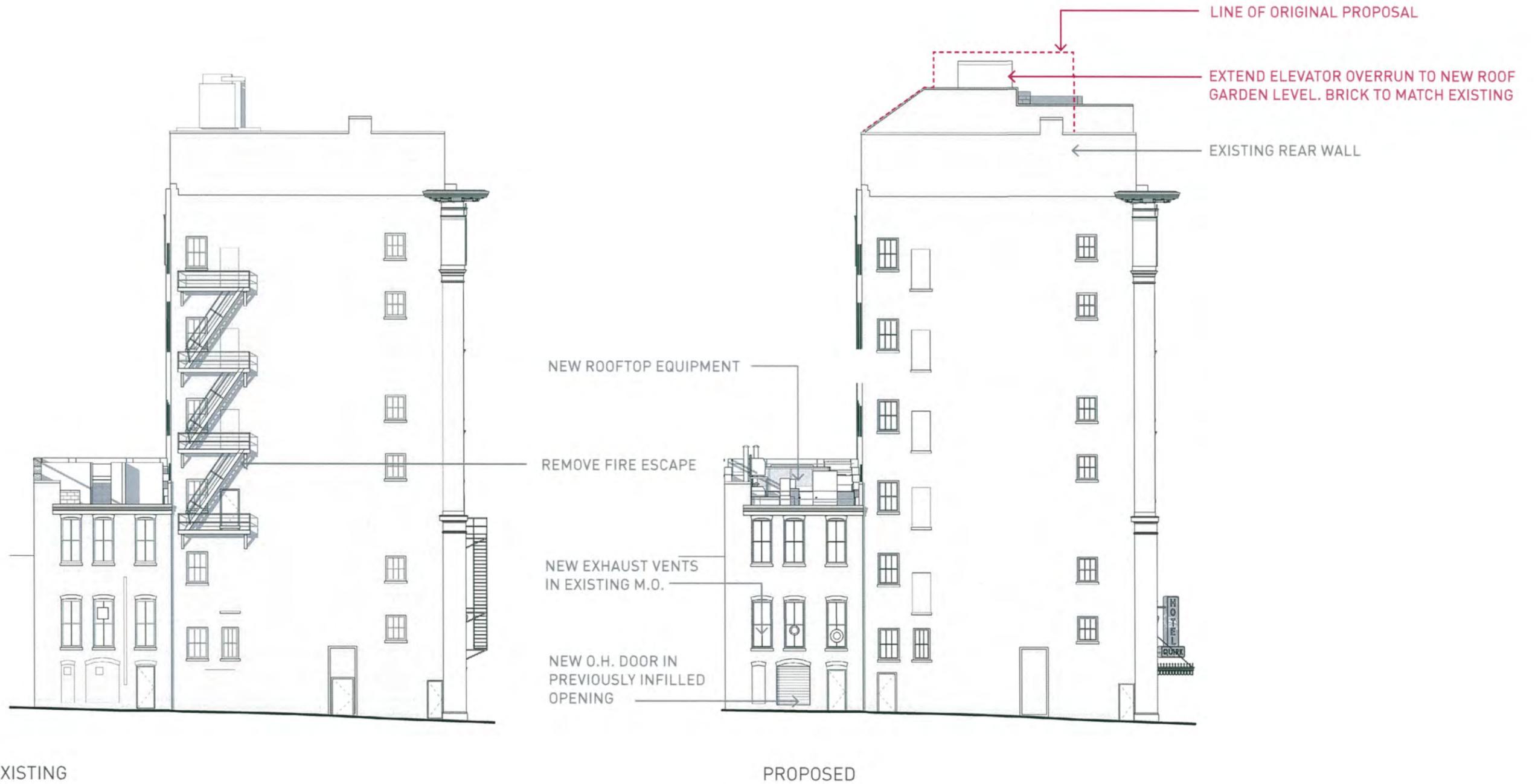
0 2 10 20
SCALE: 1" = 20'-0"

01 MAY 2015

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■ For Approval ■ Previously Approved

ALLEY ELEVATIONS

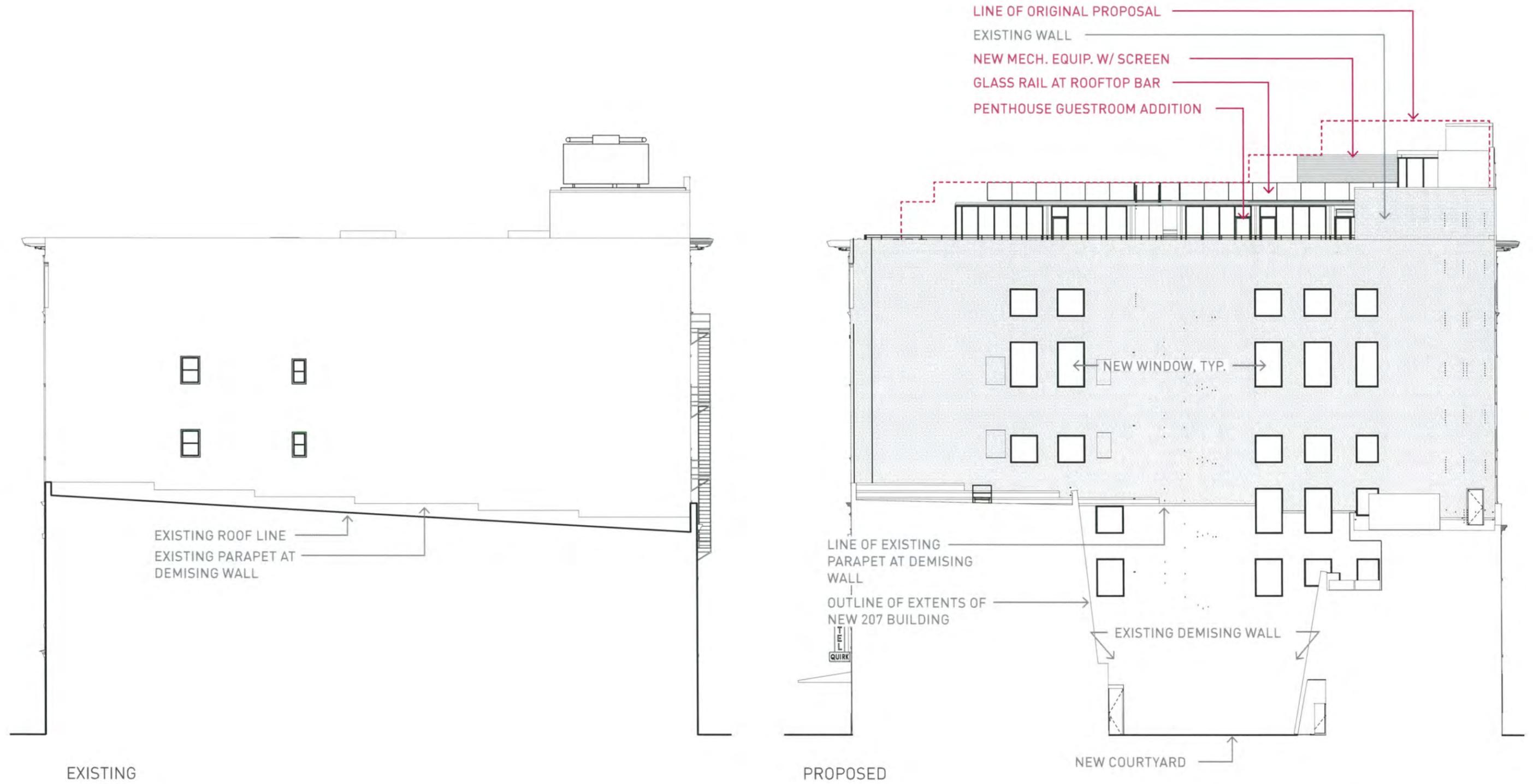
0 2 10 20
SCALE: 1" = 20'-0"

01 MAY 2015

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■ For Approval ■ Previously Approved

WEST (SIDE) ELEVATIONS

0 2 10 20
SCALE: 1" = 20'-0"

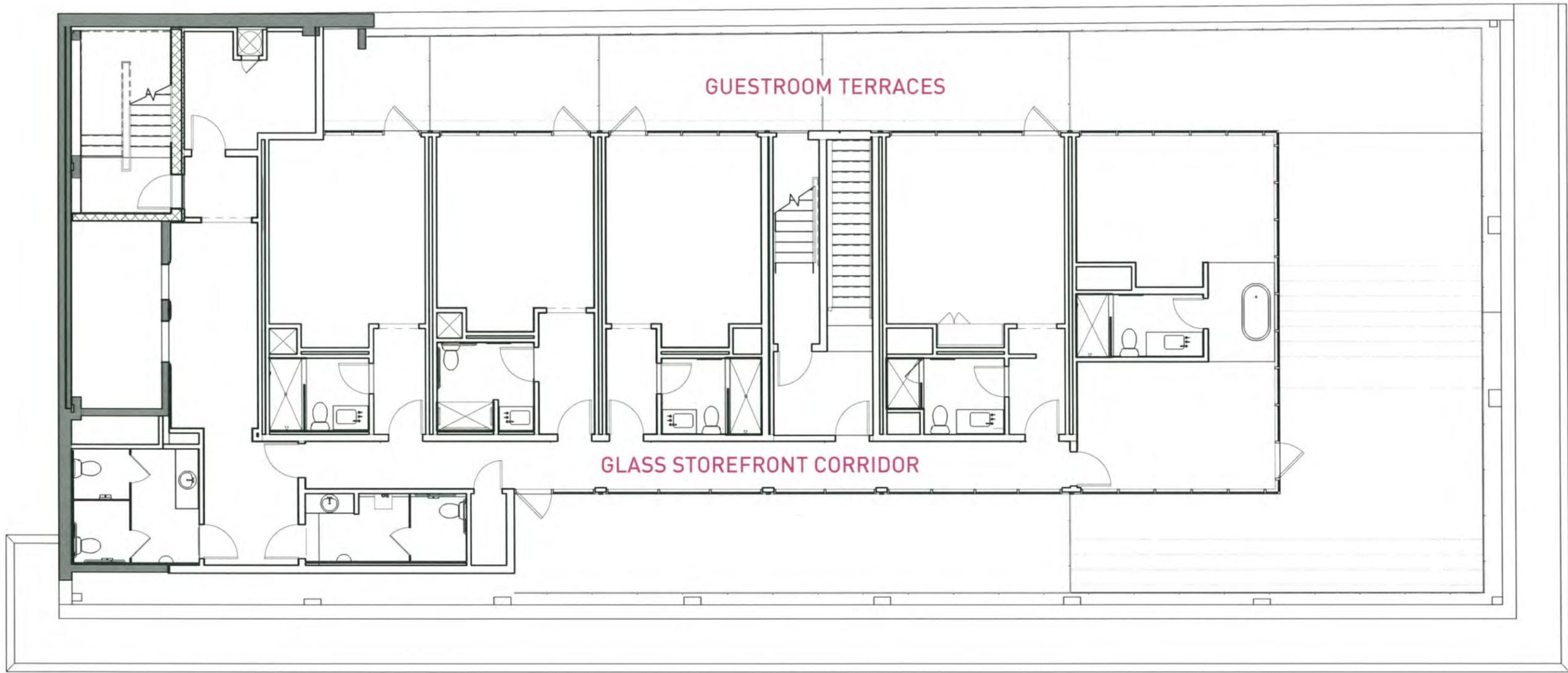
01 MAY 2015

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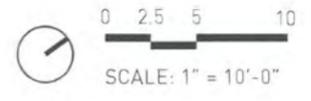
UPDATED FLOORPLANS



GUESTROOM TERRACES

GLASS STOREFRONT CORRIDOR

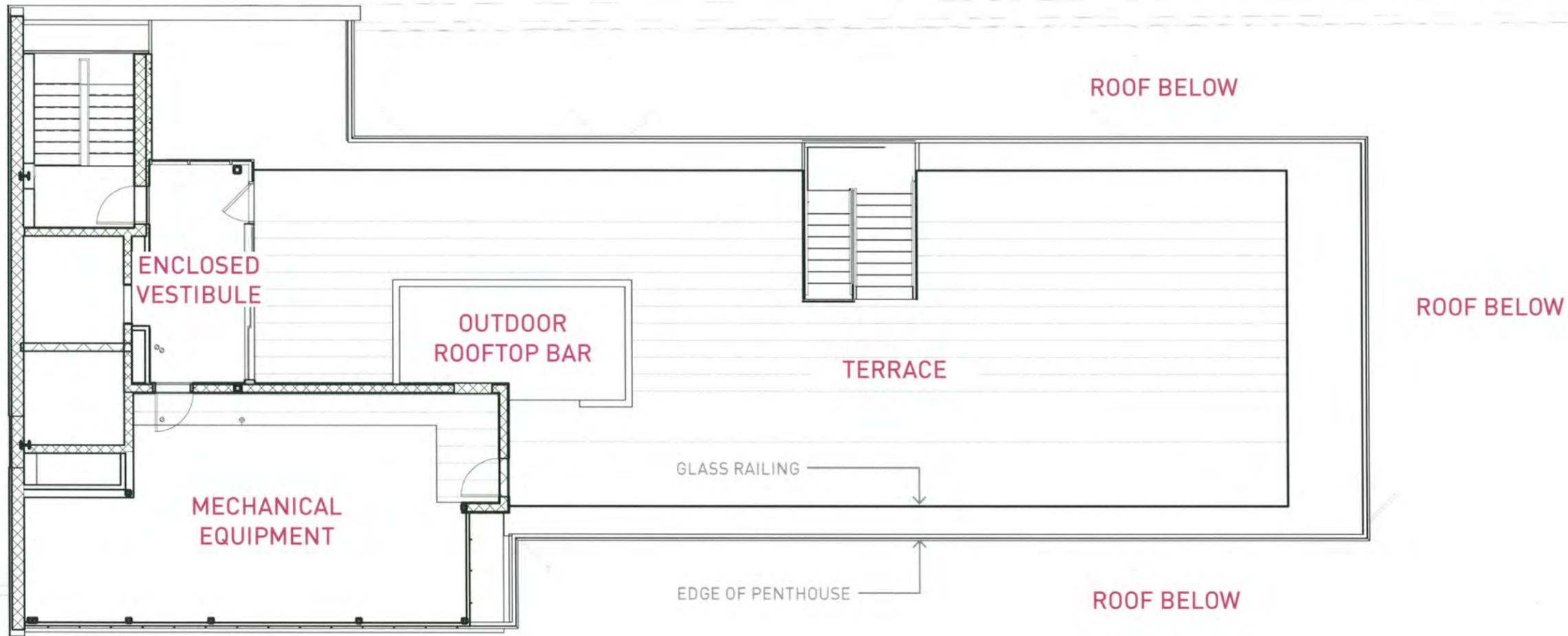
PENTHOUSE LEVEL



01 MAY 2015

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EDGE OF EXISTING CORNICE BELOW

ROOF GARDEN LEVEL



EXTERIOR VIEWS



1: PREVIOUSLY APPROVED ROOFTOP



2: REDUCED FOOTPRINT SCHEME
[ADDITION NOT VISIBLE]

**ROOF MOCKUP
EXTERIOR VIEW KEY**

PLAN KEY

-  Extents of Broad St. Historic District
-  Project Site (201-207 W Broad St)
-  View Location Within Historic District

VIEW ELEMENTS

-  Elevator Overrun and Stair Enclosure
-  Roof Garden Enclosure
-  Penthouse Facade
-  Roof Garden Frameless Glass Railing
-  Mechanical Screen



VIEW FROM INTERSECTION OF BROAD STREET AND JEFFERSON STREET



1: PREVIOUSLY APPROVED ROOFTOP



2: REDUCED FOOTPRINT SCHEME
 (VIEW FROM FURTHER DOWN BROAD STREET
 - NOT VISIBLE IN ORIGINAL VIEW)

**ROOF MOCKUP
 EXTERIOR VIEW KEY**

PLAN KEY

-  Extents of Broad St. Historic District
-  Project Site (201-207 W Broad St)
-  View Location Within Historic District

VIEW ELEMENTS

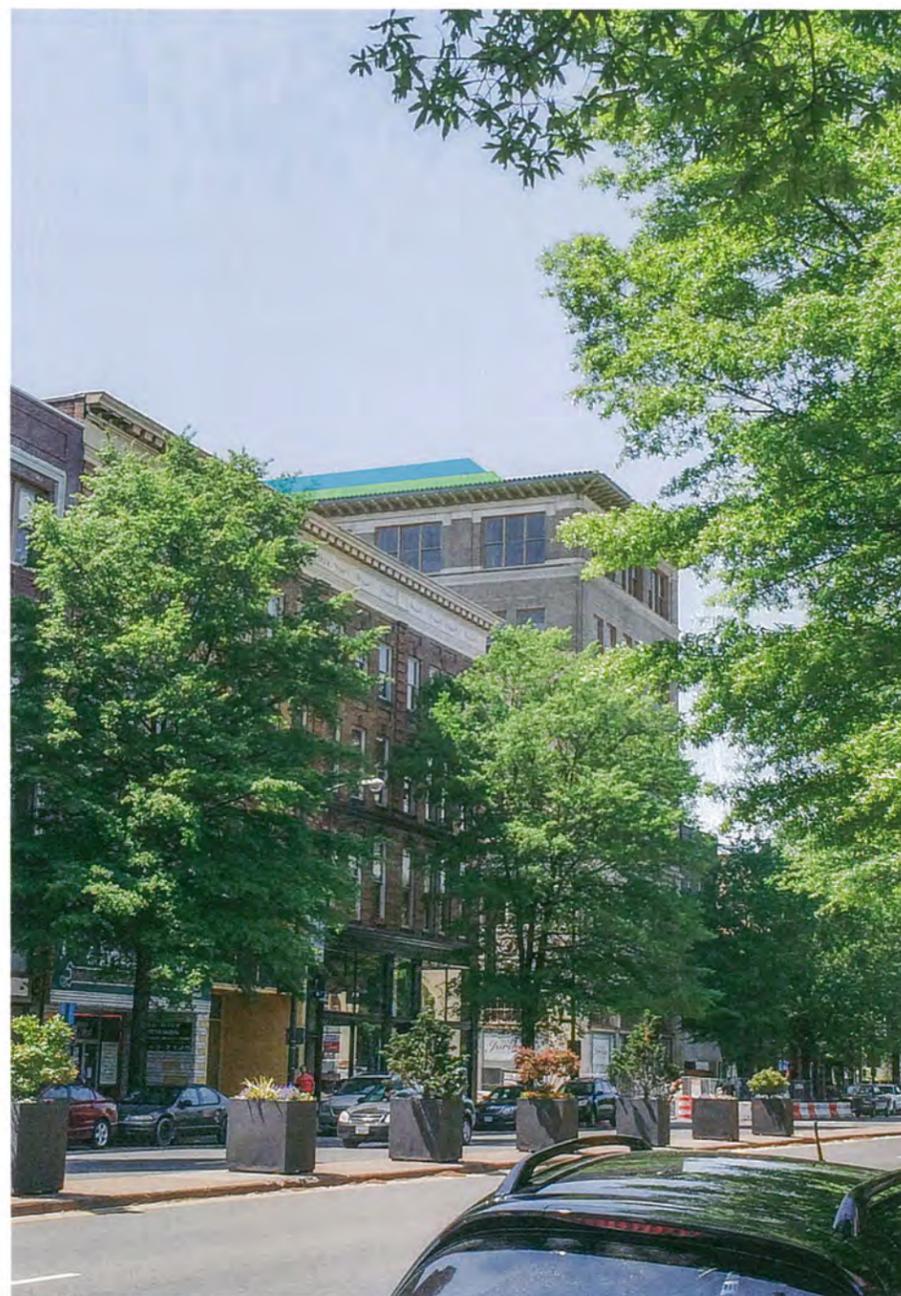
-  Elevator Overrun and Stair Enclosure
-  Roof Garden Enclosure
-  Penthouse Facade
-  Roof Garden Frameless Glass Railing
-  Mechanical Screen



VIEW WEST ON BROAD STREET AT FAR SIDEWALK



1: PREVIOUSLY APPROVED ROOFTOP



2: REDUCED FOOTPRINT SCHEME

**ROOF MOCKUP
EXTERIOR VIEW KEY**

PLAN KEY

-  Extents of Broad St. Historic District
-  Project Site (201-207 W Broad St)
-  View Location Within Historic District

VIEW ELEMENTS

-  Elevator Overrun and Stair Enclosure
-  Roof Garden Enclosure
-  Penthouse Facade
-  Roof Garden Frameless Glass Railing
-  Mechanical Screen



VIEW FROM INTERSECTION OF BROAD STREET AND ADAMS STREET



1: PREVIOUSLY APPROVED ROOFTOP



2: REDUCED FOOTPRINT SCHEME
[VIEW FROM FURTHER BACK - NOT
VISIBLE IN ORIGINAL VIEW]

**ROOF MOCKUP
EXTERIOR VIEW KEY**

PLAN KEY

-  Extents of Broad St. Historic District
-  Project Site (201-207 W Broad St)
-  View Location Within Historic District

VIEW ELEMENTS

-  Elevator Overrun and Stair Enclosure
-  Roof Garden Enclosure
-  Penthouse Facade
-  Roof Garden Frameless Glass Railing
-  Mechanical Screen



VIEW SOUTH ON JEFFERSON STREET



1: PREVIOUSLY APPROVED ROOFTOP



2: REDUCED FOOTPRINT SCHEME

**ROOF MOCKUP
EXTERIOR VIEW KEY**

PLAN KEY

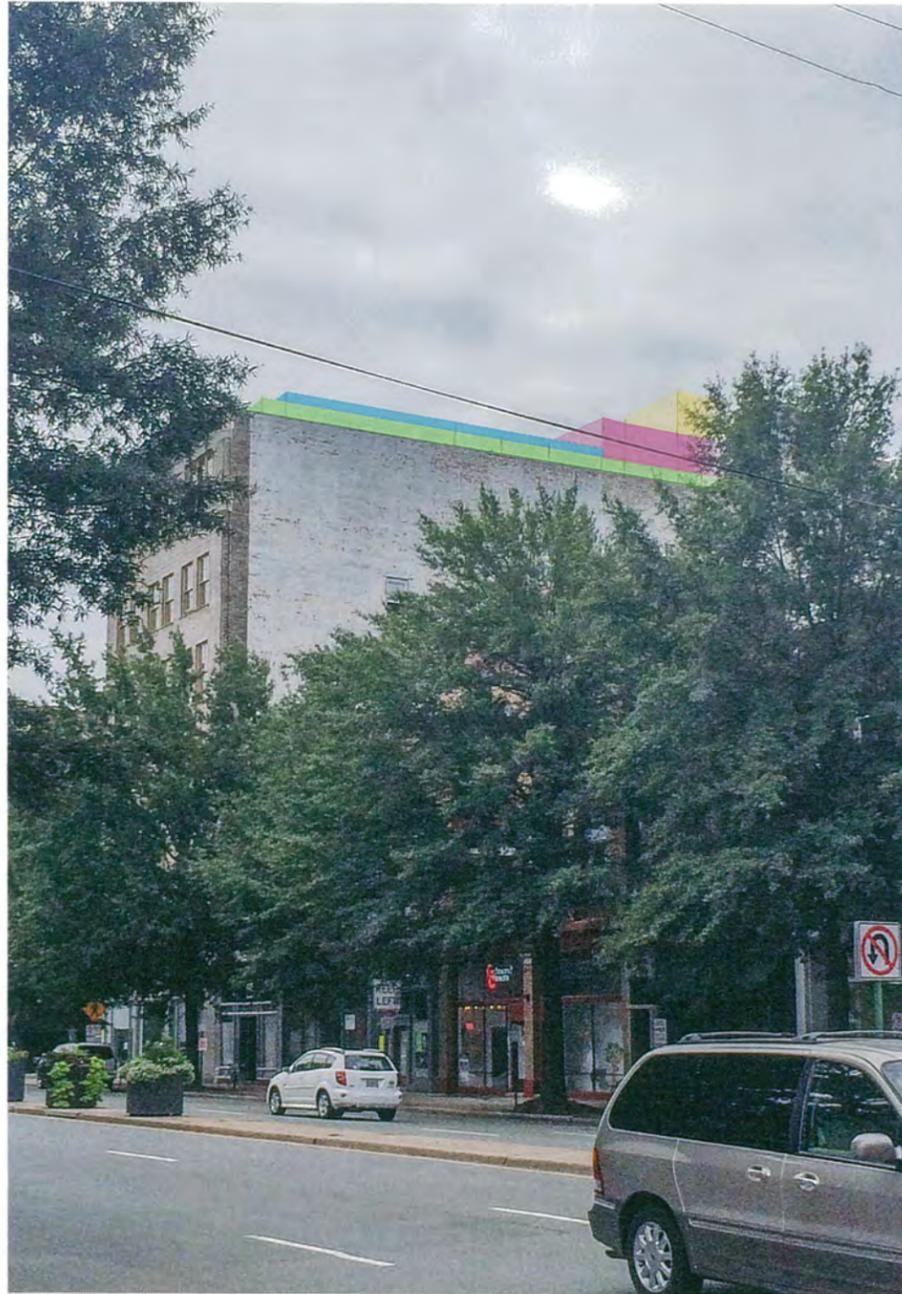
-  Extents of Broad St. Historic District
-  Project Site (201-207 W Broad St)
-  View Location Within Historic District

VIEW ELEMENTS

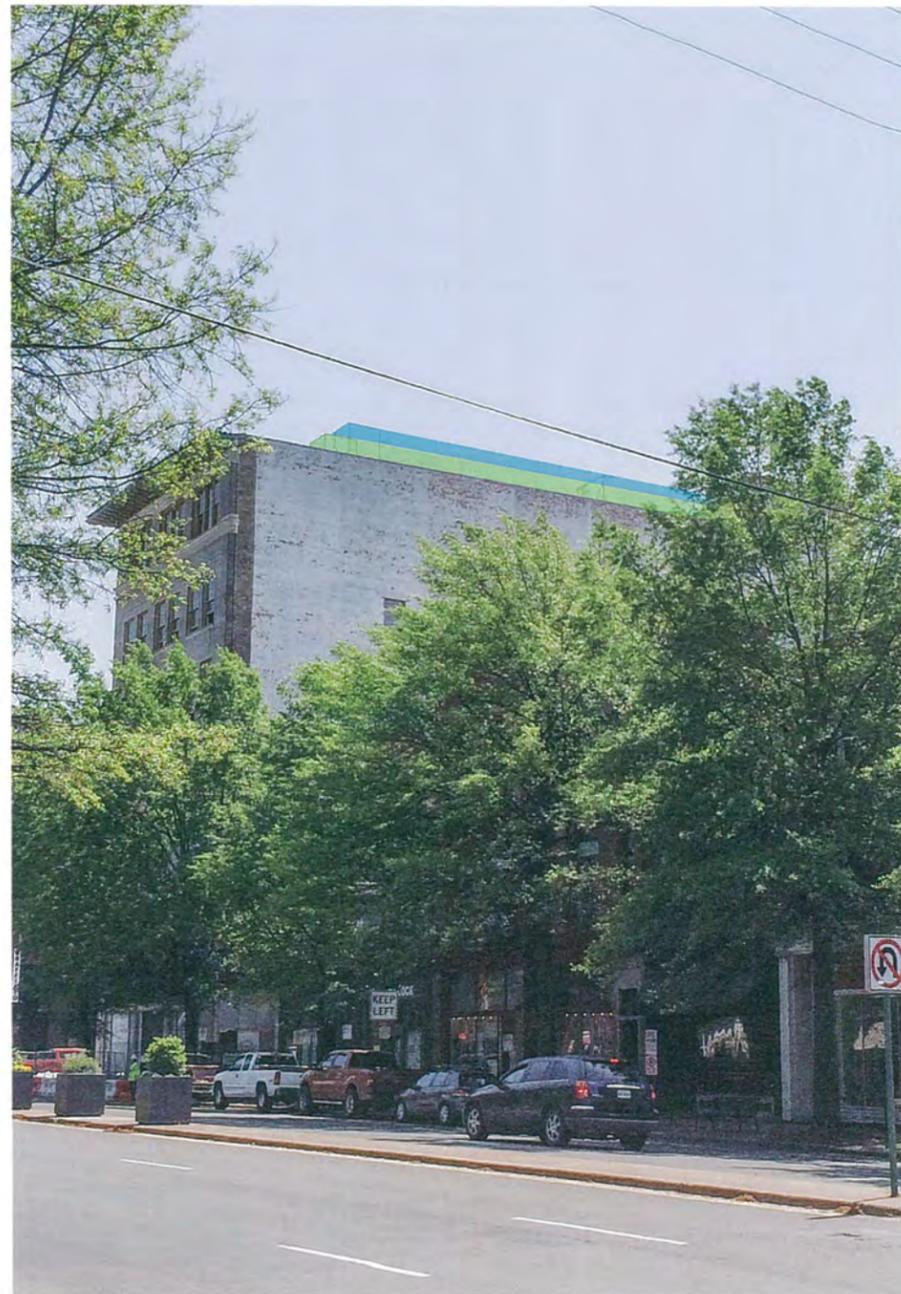
-  Elevator Overrun and Stair Enclosure
-  Roof Garden Enclosure
-  Penthouse Facade
-  Roof Garden Frameless Glass Railing
-  Mechanical Screen



VIEW FROM BROAD STREET AT FAR SIDEWALK



1: PREVIOUSLY APPROVED ROOFTOP



2: REDUCED FOOTPRINT SCHEME

**ROOF MOCKUP
EXTERIOR VIEW KEY**

PLAN KEY

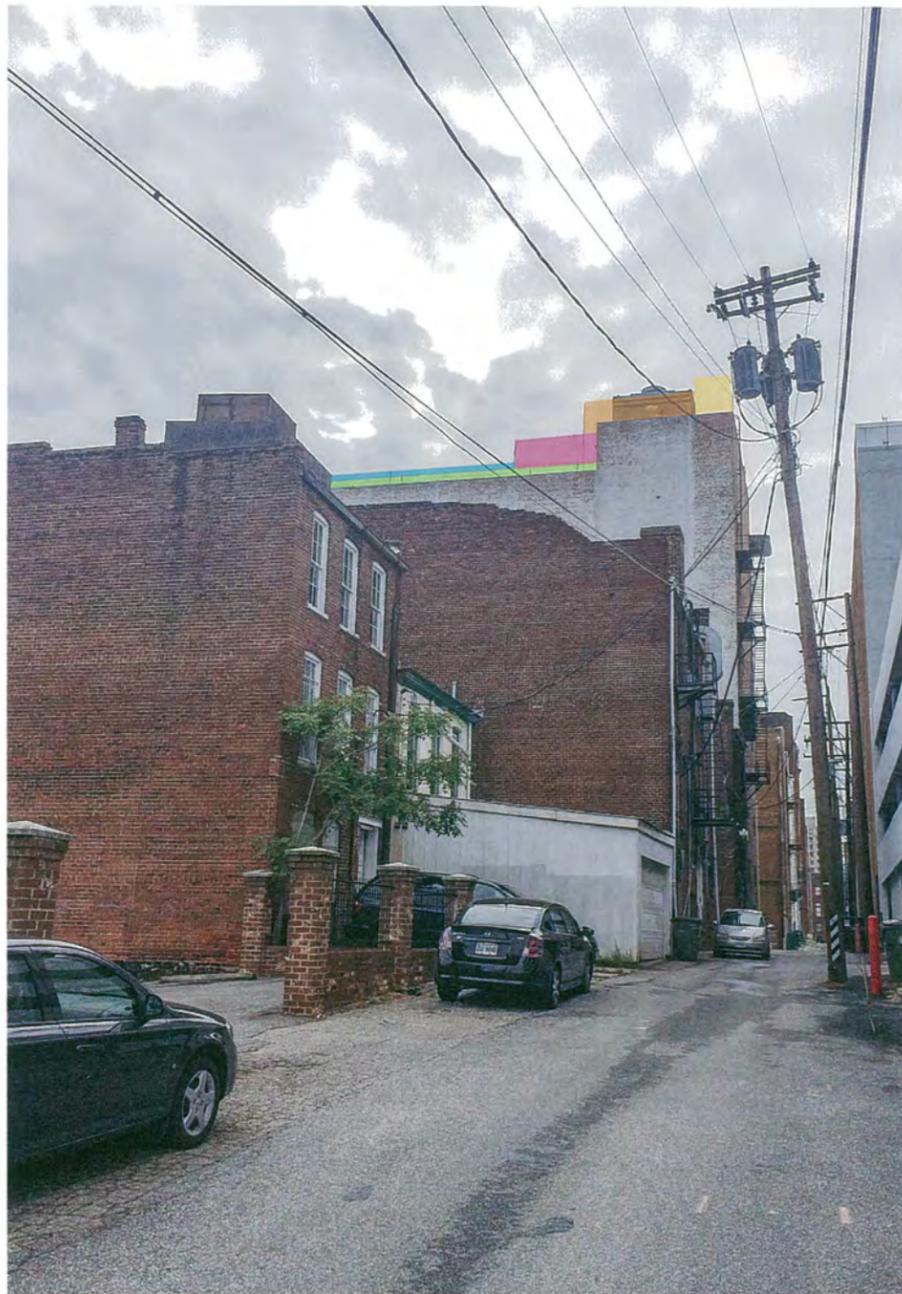
-  Extents of Broad St. Historic District
-  Project Site (201-207 W Broad St)
-  View Location Within Historic District

VIEW ELEMENTS

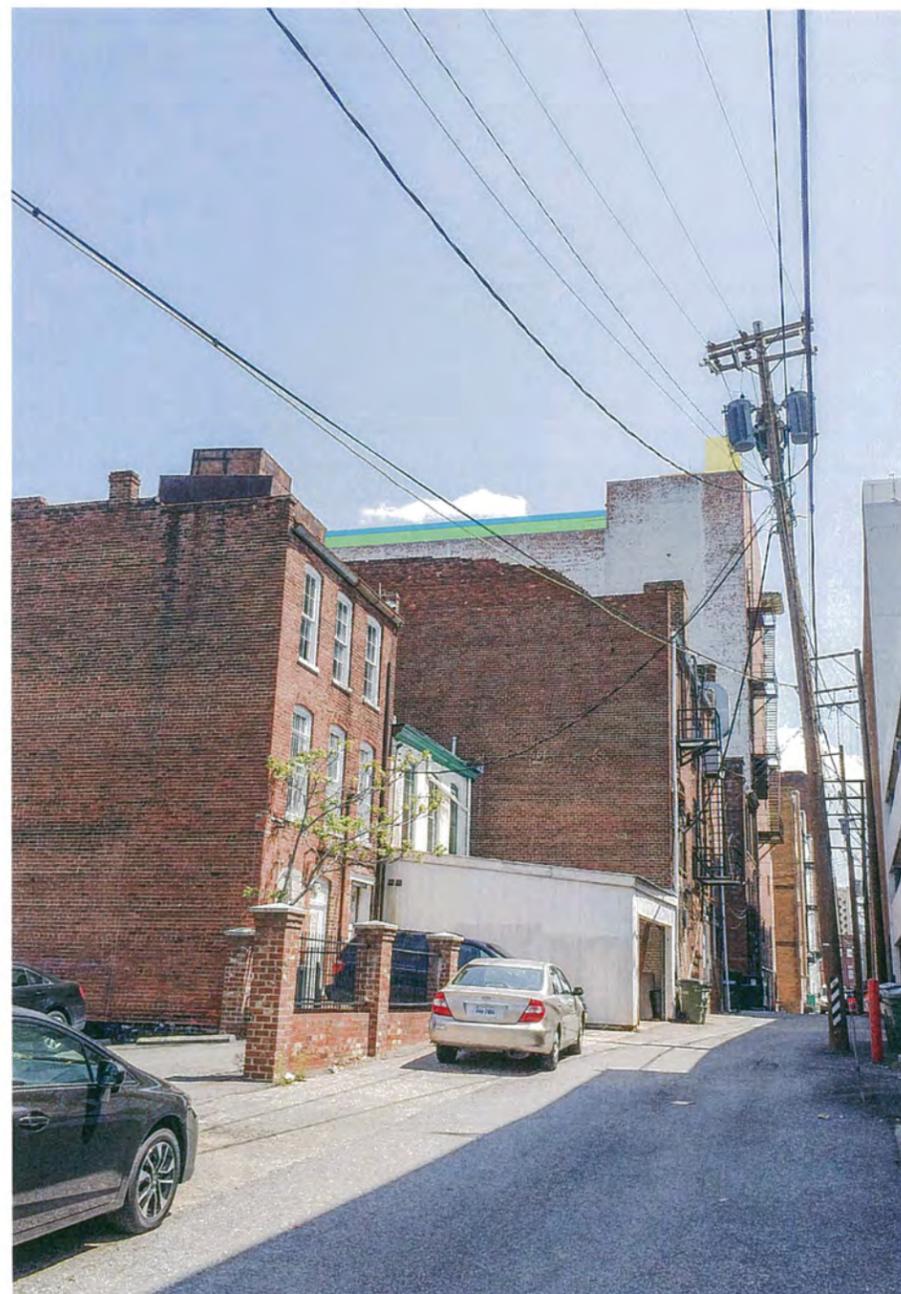
-  Elevator Overrun and Stair Enclosure
-  Roof Garden Enclosure
-  Penthouse Facade
-  Roof Garden Frameless Glass Railing
-  Mechanical Screen



VIEW AT INTERSECTION OF BROAD STREET AND MADISON STREET



1: PREVIOUSLY APPROVED ROOFTOP



2: REDUCED FOOTPRINT SCHEME

**ROOF MOCKUP
EXTERIOR VIEW KEY**

PLAN KEY

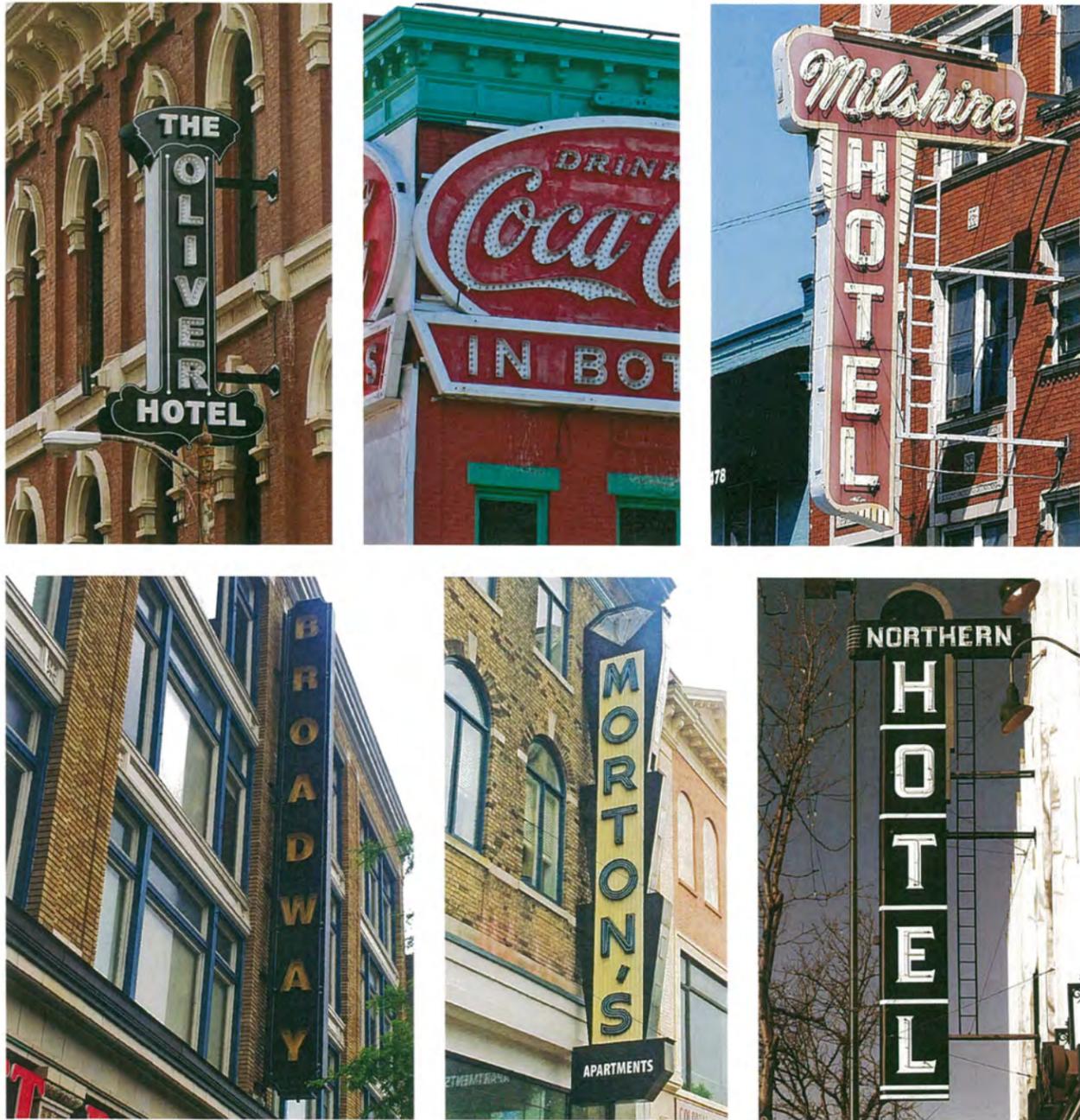
-  Extents of Broad St. Historic District
-  Project Site (201-207 W Broad St)
-  View Location Within Historic District

VIEW ELEMENTS

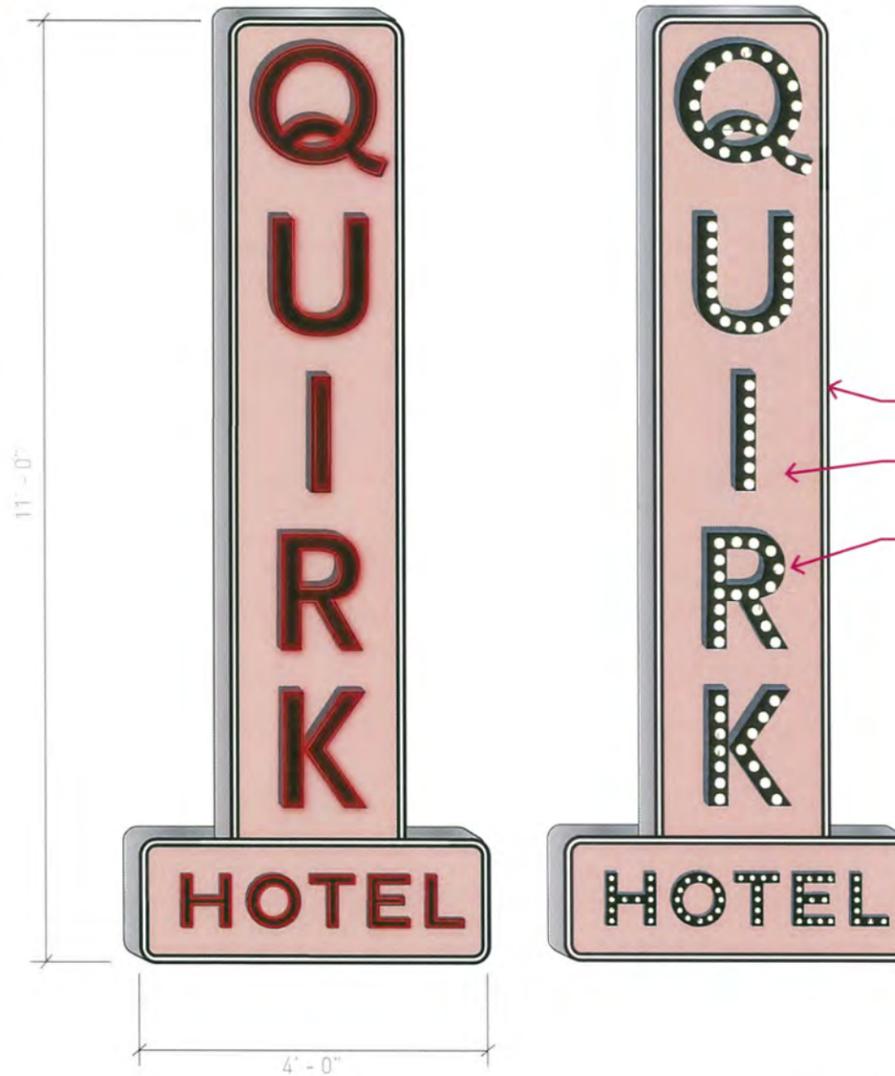
-  Elevator Overrun and Stair Enclosure
-  Roof Garden Enclosure
-  Penthouse Facade
-  Roof Garden Frameless Glass Railing
-  Mechanical Screen



VIEW FROM MADISON STREET AND ALLEY



PRECEDENT IMAGES



NEON OPTION

MARQUEE OPTION

- NO SIGNBOARD ON THE BUILDING
BLADE SIGN IS THE ONLY OPTION
- MODERN COLOR
NO DANGER OF FALSE HISTORICISM
- CONTEMPORARY MATERIALS
DESIGNED TO HISTORIC PROPORTIONS
- ← POLISHED STAINLESS STEEL SURROUND
- ← PAINTED METAL BACKDROP
(BENJAMIN MOORE 1191)
- ← PAINTED METAL LETTERS WITH MARQUEE LIGHTS
(BLACK WITH WARM WHITE LIGHT BULBS)

PROPOSED EXTERIOR SIGN