



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

March 6, 2026

Christopher C. Moseley
10808 Ridgerun Road
Chesterfield, VA 23832

VME Real Estate
3309 Hull Street
Richmond, VA 23224
c/o Earl Gray

To Whom It May Concern:

RE: BZA 07-2026

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, April 1, 2026 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to convert a commercial use to a multi-family dwelling (15 units) at 1900-1902 HULL STREET (Tax Parcel Number S000-0294/010), located in a B-3 (General Business) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **213 764 182#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2026 drop-down, click meeting details for April 1, 2026 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 07-2026
Page 2
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association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in cursive script that reads "Roy W. Benbow".

Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

1822 Hull Street Llc
1207 Boulder Creek Rd
Richmond, VA 23225

8 E 19 Street Llc
1207 Boulder Creek Rd
Richmond, VA 23225

Arkwright Properties Llc
120 Arkwright Rd
N Chesterfield, VA 23236

Assouan Marie B
1700 Timberly Waye
Richmond, VA 23238

Brunson Contractors Llc
1806 Creighton Rd
Richmond, VA 23223

Byrnes Keith C
1016 W 48th St
Richmond, VA 23225

Cooper Jordan A
11 East 19th St
Richmond, VA 23224

Damok Llc
8104 Hillshire Cir
Glen Allen, VA 23059

Echard Dalton And Rosen Sara
9 E 19th St
Richmond, VA 23221

Gardenia Llc
Po Box 14144
Richmond, VA 23225

Kingfisher Llc
Po Box 14144
Richmond, VA 23225

Mccray Charleine T
46 E 32nd Street
Richmond, VA 23224

Mccray Kevin D
1921 Decatur St
Richmond, VA 23224

Melendez Ulises P
5307 Warwick Rd
Richmond, VA 23224

Mimms Funeral Home Inc
1827 Hull St
Richmond, VA 23224

Morehead Robert P
2845 Bluebill Dr
Virginia Beach, VA 23456

Pond L Kent
Po Box 864
Colonial Heights, VA 23834

Reaves Irvine L
6318 Glyndon Ln
Richmond, VA 23225

River Breeze Properties Llc
P.o. Box 302
Oilville, VA 23129

Taggart Steven
1921 Decatur St
Richmond, VA 23224

Towns Wayne R
1106w Marshall St
Richmond, VA 23225

Wws Ix Llc
3904 Longview Landing Ct
Henrico, VA 23233

VELAZQUEZ HERNANDEZ CARLOS
KEVIN A & RUBAEE SHUBER HASSAN AL
7704 Twin Oak Drive
Henrico, VA 23228

City of Richmond, VA Report

Property Owner	
Name:	MOSELEY CHRISTOPHER C
Mailing Address:	10808 RIDGERUN RD CHESTERFIELD, VA 2383200000
Parcel Use:	B General Retail/Service
Neighborhood:	473

Property Information	
Property Address:	1900 Hull St 1902 Hull St
PIN	S0000294010
Size:	0.195 Acres, 8479.000 Square Feet
Property Description:	0084.79X0100.00 0000.000

Additional Information	
Area Tax	6.00

Current Assessment			
Year	Land	Improvements	Total
2026	\$113,000	\$135,000	\$248,000

Deed Transfers					
Recordation Date	Book	Page	Deed Type	Consideration	Grantee
1/6/1995	00426	0578	N/A	\$100,000	MOSELEY CHRISTOPHER C
11/4/1966	000021	00320	N/A	\$0	Not Available
1/1/1900	000021	00320	N/A	\$0	Not Available

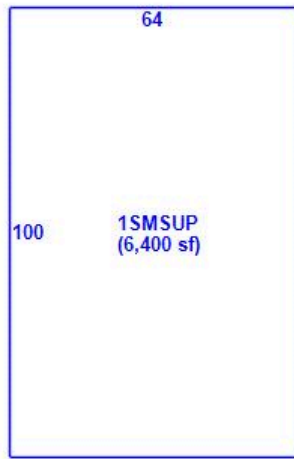
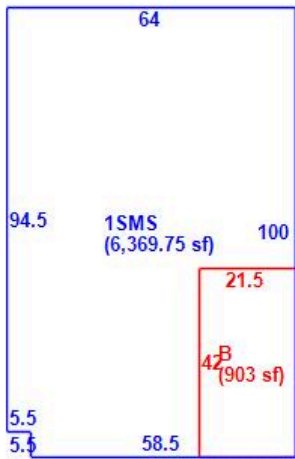
Details for Commercial Building 1

Year Built:	Finished Area:
1930	13,673

Commercial Card 1 Photo/Sketch



SECTION 100000 - STRUCTURES



3 storefronts

Section 1	
Year Built:	1930
Style:	Unknown Commercial Style
Model:	Commercial
Framing Class:	Wood Joist
Perimeter Shape:	UNKNOWN
Perimeter:	330
Wall Height:	8
Section Area:	903
Sprinkler Area:	0
HVAC:	N/A

Building Sub-Areas (sq ft)

Code	Description	Gross Area	Living Area
1SMS	1 Story Masonry - Fin	6,370	6,370
1SMSUP	1 Story Masonry - Upper - Fin	6,400	6,400
B	Bsmt	903	0
Totals		13,673	12,770

Section 2	
Year Built:	1930
Style:	Unknown Commercial Style
Model:	Commercial
Framing Class:	Wood Joist
Perimeter Shape:	UNKNOWN
Perimeter:	330
Wall Height:	12
Section Area:	6370
Sprinkler Area:	0
HVAC:	N/A

Section 3

Year Built:	1930
Style:	Unknown Commercial Style
Model:	Commercial
Framing Class:	Wood Joist
Perimeter Shape:	UNKNOWN
Perimeter:	330
Wall Height:	12
Section Area:	6400
Sprinkler Area:	0
HVAC:	N/A

Assessment History

Year	Land	Improvements	Total
2025	\$108,000	\$129,000	\$237,000
2024	\$108,000	\$129,000	\$237,000
2023	\$94,000	\$129,000	\$223,000
2022	\$83,000	\$115,000	\$198,000
2021	\$64,000	\$113,000	\$177,000
2020	\$64,000	\$113,000	\$177,000
2019	\$64,000	\$107,000	\$171,000
2018	\$38,000	\$107,000	\$145,000
2017	\$38,000	\$107,000	\$145,000
2016	\$38,000	\$107,000	\$145,000
2015	\$34,000	\$111,000	\$145,000
2014	\$34,000	\$111,000	\$145,000
2013	\$34,000	\$111,000	\$145,000
2012	\$34,000	\$111,000	\$145,000
2011	\$34,000	\$118,000	\$152,000
2010	\$34,000	\$118,000	\$152,000
2009	\$33,900	\$117,500	\$151,400
2008	\$33,900	\$117,500	\$151,400
2007	\$25,100	\$117,500	\$142,600
2006	\$23,900	\$106,800	\$130,700
2005	\$22,800	\$101,700	\$124,500

Map



Copyright Text: Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Not a Legal Document

Subject to terms and conditions
www.actDataScout.com

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT		
PROPERTY OWNER (Name):	<u>Christopher C. Moseley</u>	
(Address):	<u>10808 Ridgerun Road Chesterfield, VA 23832</u>	PHONE: E-mail:
OWNER'S REPRESENTATIVE (Name):	<u>YME Real Estate c/o Earl Gary 3309 Hull Street Richmond, VA 23224</u>	PHONE: (804) 617-1776 F

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS: 1900-1906 Hull Street

TYPE OF APPLICATION: VARIANCE SPECIAL EXCEPTION OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-438.3(4)

APPLICATION REQUIRED FOR: A building permit (BP) to convert a vacant building previously containing a commercial use to a multi-family dwelling (15-units).

TAX PARCEL NUMBER(S): S000-0294/004, 005 & 010 **ZONING DISTRICT:** B-3 (General Business)

REQUEST DISAPPROVED FOR THE REASON THAT: The side yard (setback) is not met. Side and rear yards adjacent to dwelling uses . . . shall be not less than 15 feet in depth. A side yard of fifteen feet (15') is required along the eastern (alley) lot line; 0'-07" currently exists/is proposed/can be provided.

DATE REQUEST DISAPPROVED: January 22, 2026 **FEE WAIVER:** YES NO

DATE FILED: 1/22/2026 **TIME FILED:** 7:50 am **PREPARED BY:** W.C. Davidson **RECEIPT NO.:** _____

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) _____ (b) _____ OF THE CHARTER OF THE CITY OF RICHMOND

SECTION 15.2 -2309.2. OF THE CODE OF VIRGINIA [OR]

SECTION 1040.3 PARAGRAPH(S) _____ OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT	
I have received the handouts, <i>Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter</i>	<input checked="" type="checkbox"/>
I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.	
SIGNATURE OF OWNER OR AUTHORIZED AGENT: <u>[Signature]</u>	DATE: <u>3-4-26</u>

***** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS *****

CASE NUMBER: BZA 07-2026 **HEARING DATE:** April 1, 2026 **AT** 1:00 **P.M.**

BOARD OF ZONING APPEALS CASE BZA 07-2026
150' Buffer

APPLICANT(S): Christopher C. Moseley

PREMISES: 1900-1902 Hull Street
(Tax Parcel Number S000-0294/010)

SUBJECT: A building permit to convert a commercial use to a multi-family dwelling (15 units).

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-438.3(4)
of the Zoning Ordinance for the reason that:
The rear yard (setback) requirement is not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@RVA.gov. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: _____

Revised: February 22, 2024

TO: Roy Benbow, Secretary, Board of Zoning Appeals
Secretary to the Board of Zoning Appeals
Department of Planning and Development Review
900 East Board Street, Room 508
Richmond, VA 23219

FROM: Earl Gary, Principal
Fulcrum Engineering Solutions PLLC
3309 Hull St
Richmond, VA 23224

RE: Variance Request — 1900–1902 Hull Street (Tax Parcel S000-0294/010), B-3

DATE: 03/03/2026

Dear Mr. Benbow,

The property owner requests a variance from the required fifteen-foot (15') setbacks along 19th St. and the alley. The eastern (alley) lot line in connection with a building permit to convert an existing vacant building, formerly used for commercial purposes, to a 15-unit multifamily dwelling. The existing building and/or site conditions provide approximately 0' to 0.07' of side yard along this lot line, and a compliant 15' side yard cannot be provided without extraordinary and impractical reconstruction. The Property is zoned B-3 General Business District.

The subject site consists of three parcels located at 1900, 1904, and 1906 Hull Street. The 1900 parcel contains an existing one-story commercial structure, while 1904 and 1906 are vacant lots. Collectively, the site totals approximately 17,279 square feet with frontage along Hull Street and 19th Street and rear alley access. The existing improvements are underutilized relative to allowable density, and the proposed redevelopment consolidates the parcels to support a more functional site layout, enable single family (R-2) density, and activate both street frontages.

In connection with the proposed redevelopment and consolidation of the site, the applicant requests a variance from the required fifteen-foot (15') side yard setback along the eastern (alley) lot line for 1900–1902 Hull Street. This dimensional relief is necessary to allow the conversion of the existing vacant one-story building into a 15-unit multifamily dwelling, as the existing building footprint and site configuration along the alley do not allow a compliant 15' side yard to be provided without extraordinary and impractical reconstruction or relocation of the structure.

The 1900 Hull Street project is a two-story single-family redevelopment in the Swansboro neighborhood of Southside Richmond. The development consolidates three parcels at 1900, 1904, and 1906 Hull Street into a single site, delivering single family housing at the 1900 parcel, and allowing for a 15-vehicle parking lot and amenities area utilizing parcel 1902 and 1904. The project is designed to activate the Hull Street and 19th Street corridors with street-oriented single-family housing while increasing residential density through a mix of market-rate and

affordable housing units. Approximately 20% of the residential units will be designated as affordable housing units, with the remainder delivered at market rates.

A variance may be granted if the evidence shows “that the strict application of the terms of the zoning ordinance would unreasonably restrict the utilization of the property or that the granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance...”

The overall use of the site and building is as envisioned by the code. The requested variance would merely enable the reasonable use of the site.

Finally, the request meets the following tests:

1) Good faith / hardship not self-created

The property was acquired in good faith, and the hardship necessitating the variance was not created by the applicant. The existing building footprint and the lot’s configuration along the eastern alley lot line result in a practical inability to meet the fifteen-foot side yard requirement for the proposed conversion.

Key supporting facts (attach exhibits):

- The building is an existing structure situated at/near the eastern property line.
- Providing a 15’ side yard would require substantial demolition / structural relocation / elimination of functional building area, which is not reasonably practicable.
- The setback deficiency is an existing physical condition and not the result of a self-inflicted zoning violation.
- The property is historic. This property has been verified and approved historic by the Department of Historic Resources.

2) No substantial detriment to adjacent/nearby property

Granting the variance will not be of substantial detriment to adjacent property or to properties in close proximity.

Key supporting facts (attach exhibits): See above set-backs on 3 sides

- The requested relief is along the **alley** side of the property; the condition is existing today / not creating a new encroachment beyond the existing building envelope.
- The project will comply with applicable Building Code and Fire Code requirements, including safe means of egress, fire separation, and emergency access as applicable.
- Operational impacts are minimal—no new loading/service conflicts, no adverse impacts on neighboring access, etc.
- Traffic will be significantly less as a residential use than as a commercial use.

3) Condition is unique / not a general or recurring condition

The condition and situation of the property is not of such a general or recurring nature as to make reasonably practicable the formulation of a general regulation.

Key supporting facts (attach exhibits):

- The hardship stems from the property's specific physical characteristics: existing building built to lot line, narrow lot width, alley condition, irregular lot geometry, etc.
- The eastern alley condition is a site-specific constraint that is not shared broadly across the district.

4) No change to permitted use / no rezoning by variance

Granting the variance will not result in a use that is not otherwise permitted on the property, nor will it change the zoning classification.

Key supporting facts (attach exhibits):

- The proposal remains within the existing B-3 zoning framework and seeks relief only from the specific side yard requirement triggered by the residential conversion.
- No additional prohibited use is proposed; the request is limited to dimensional relief.

5) Relief not available by special exception or other mechanism

The relief sought is not available through a special exception or zoning modification at the time of filing.

Key supporting facts (attach exhibits):

- The Zoning Administration Office has determined the appropriate mechanism is a **variance** for the side yard requirement.
- No special exception provision provides a comparable remedy for the specific side yard condition along the eastern alley lot line for this existing building conversion.

6) Not contrary to the purpose of the ordinance

The variance is not contrary to the purpose and intent of the zoning ordinance.

Key supporting facts (attach exhibits):

- The project reactivates a vacant building and supports investment consistent with the district's intended pattern of development.
- The relief does not introduce an incompatible use; it enables reasonable use of an existing structure while maintaining public safety and compatibility.
- The variance is limited to what is necessary to address the site's physical constraints and to allow reasonable utilization of the property.

Conclusion

For the reasons stated above, the applicant respectfully requests approval of the variance from the 15' side yard setback along the eastern (alley) lot line for 1900–1902 Hull Street to allow conversion of the existing vacant building to a 15-unit multifamily dwelling.

Market Feasibility / Practical Reuse. While the existing structure was historically commercial, the property has remained vacant for 20 years and the market has not demonstrated sufficient demand to support a viable commercial reuse at this location. As a result, continued reliance on a commercial-only outcome has contributed to ongoing underutilization of the site. In contrast, residential redevelopment represents a more practical and economically feasible path to reinvestment—bringing the building back into productive use, increasing daily activity and stewardship on the block, and supporting the City's broader goal of reactivating underperforming properties. Approval of the requested dimensional relief will enable a reasonable reuse of an existing building that cannot be relocated, while maintaining compatibility with the surrounding context and improving the overall site's contribution to the corridor.

Attached Exhibits (recommended):

- Exhibit A — Survey (highlight eastern lot line / alley)
- Exhibit B — Existing conditions site plan
- Exhibit C — Proposed site plan (show 0'–0.07' condition)
- Exhibit D — Photos (alley edge + adjacent context)
- Exhibit E — Floor plans/building footprint
- Exhibit F — Approval letter from Dept of Historic Resources

NOTES:

1. THIS TOPOGRAPHIC SURVEY IN THE CITY OF RICHMOND, VA WAS COMPLETED UNDER THE DIRECT SUPERVISION AND RESPONSIBLE CHARGE OF JAMES WEST FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND DATA WAS OBTAINED ON 7/25/2025; AND THIS MAP MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

2. VERTICAL DATUM: NAVD88

3. HORIZONTAL AND VERTICAL DATUM ESTABLISHED WITH VRS NETWORK RTK SOLUTIONS FOR GPS OBSERVED POINTS.

4. UTILITIES SHOWN ARE FROM FIELD LOCATED EVIDENCE OF SURFACE UTILITIES AND CITY OF RICHMOND GIS MAPPING. UTILITY LOCATIONS ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS SURVEY. SEWER INVERTS INTERPOLATED FROM CITY OF RICHMOND GIS MAPPING EXCEPT WHERE NOTED AS FIELD LOCATED.

5. THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF TITLE REPORT. EASEMENTS AND RIGHT-OF-WAY CHANGES MAY EXIST THAT ARE NOT SHOWN.

6. ALL PARCEL ARE IN ZONE X: AREA OF MINIMAL FLOOD HAZARD ON FEMA FIRM MAP #5101290039F EFFECTIVE 7/8/2025.

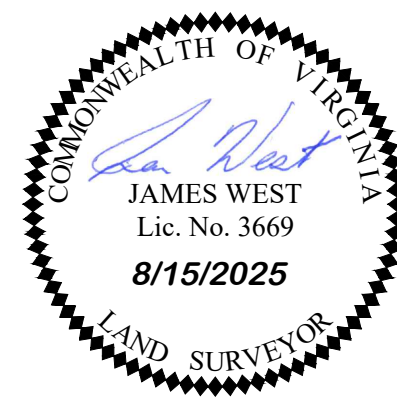
7. BUILDING ON PARCEL S0000294010 IS OVER BOUNDARY LINES EXCEPT WHERE OTHERWISE NOTED.

ALTA CERTIFICATION

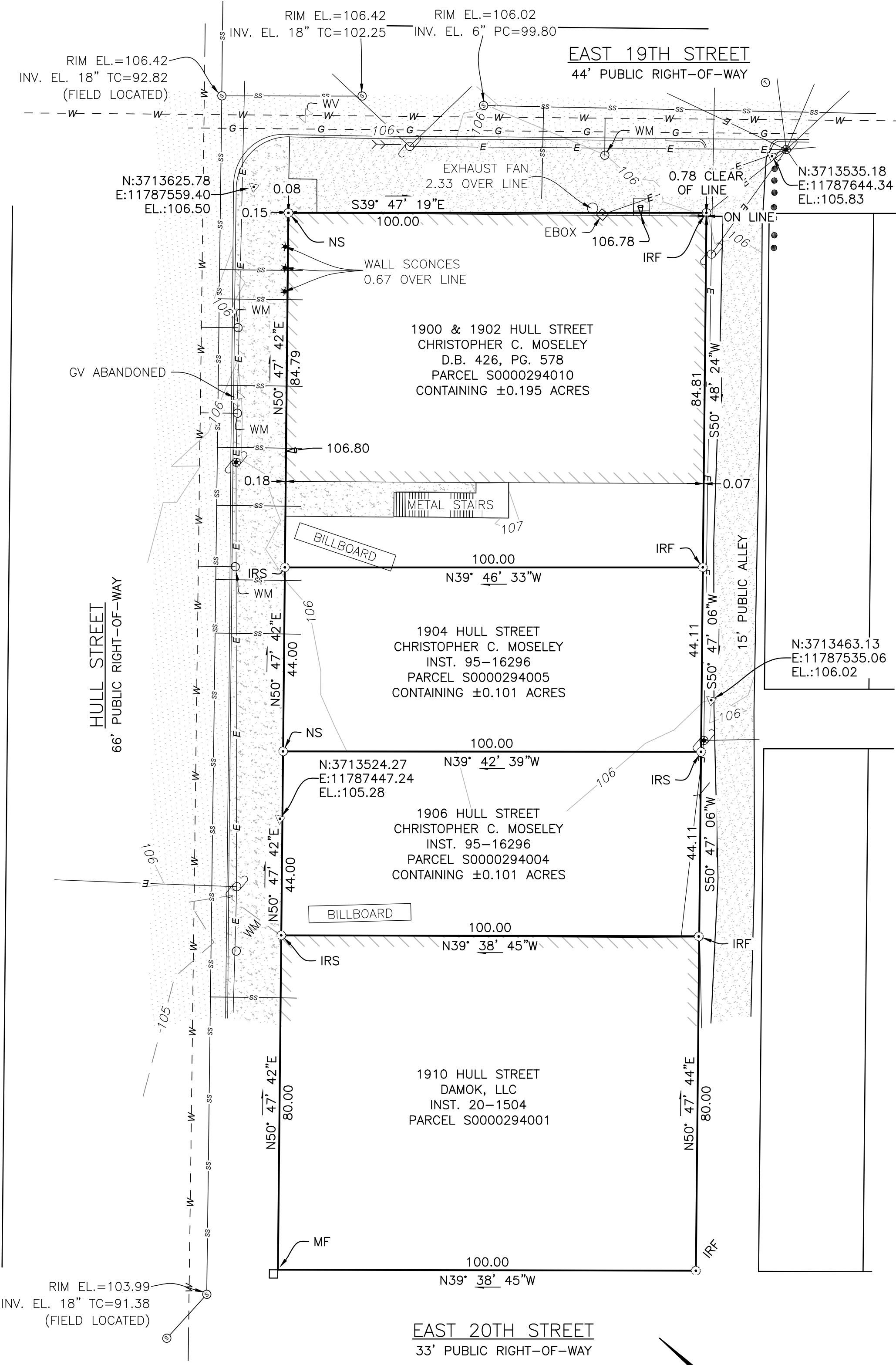
To EARL GARY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on 7/25/2025.

Date of Plat or Map: 8/15/2025.



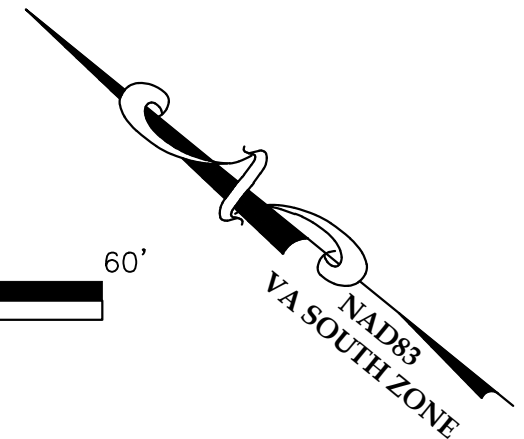
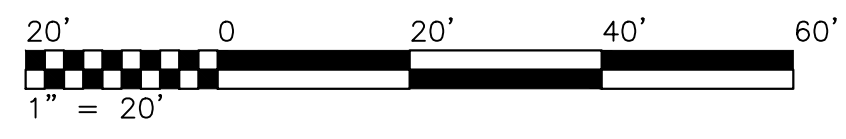
- LEGEND**
- ⊙ IRF IRON ROD FOUND
 - ⊙ IRS IRON ROD SET
 - MF MONUMENT FOUND
 - ⊙ NS NAIL SET
 - ⊙ SANITARY SEWER MANHOLE
 - ss — SANITARY SEWER LINE
 - WM WATER METER
 - ⊗ WV WATER VALVE
 - - - W - - - WATER LINE
 - ⊗ GV GAS VALVE
 - - - G - - - GAS LINE
 - - - E - - - OVERHEAD UTILITY LINE
 - ⊕ OVERHEAD UTILITY POLE
 - Y GUY WIRE
 - CONCRETE
 - ASPHALT
 - GRAVEL/STONE
 - BUILDING LINE
 - BOLLARD
 - ▲ FINISHED FLOOR ELEVATION
 - ⊙ TELECOMM. MANHOLE
 - ▲ SURVEY CONTROL POINT



ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY FOR PARCELS S0000294004, S0000294005 & S0000294010 CITY OF RICHMOND, VA

NYFELER SURVEY
 619 W CARY ST. RICHMOND, VA 23220
 804-277-4231 www.nyfeltersurvey.com

SHEET NO.:	1 OF 1
DATE:	8/15/2025
JOB NO.:	25105
SCALE:	1" = 20'
DRAWN BY:	JRW





2731 WEST GRACE STREET
RICHMOND, VIRGINIA

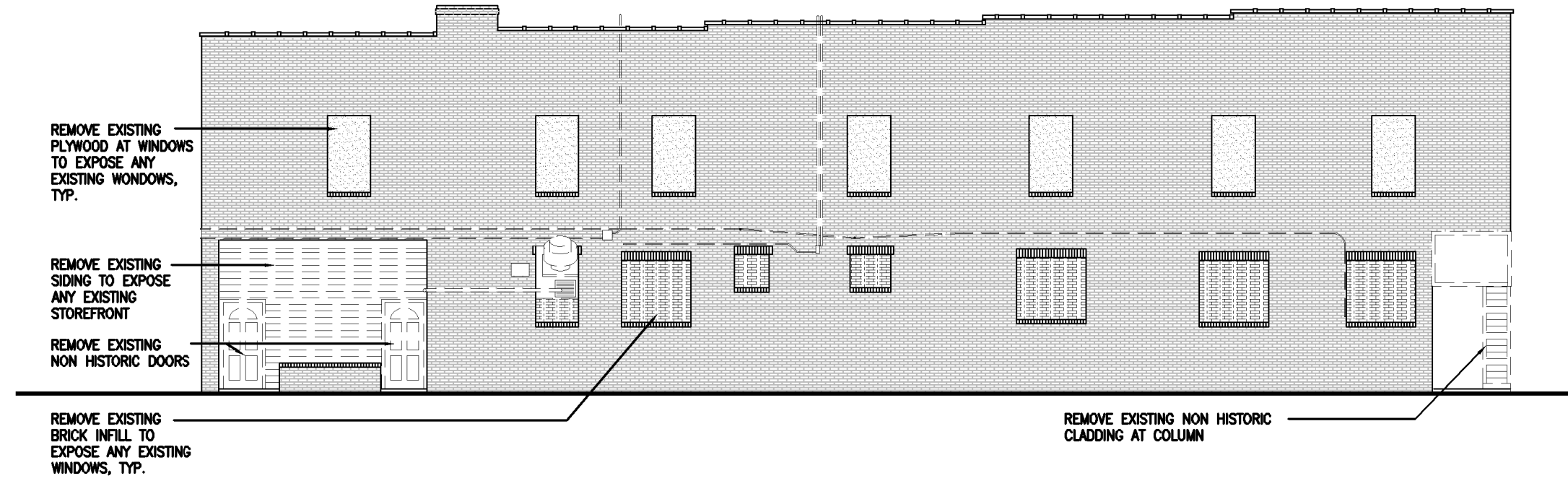
1900 HULL STREET RENOVATION
DHR PART II

1900 HULL STREET
RICHMOND, VA 23224

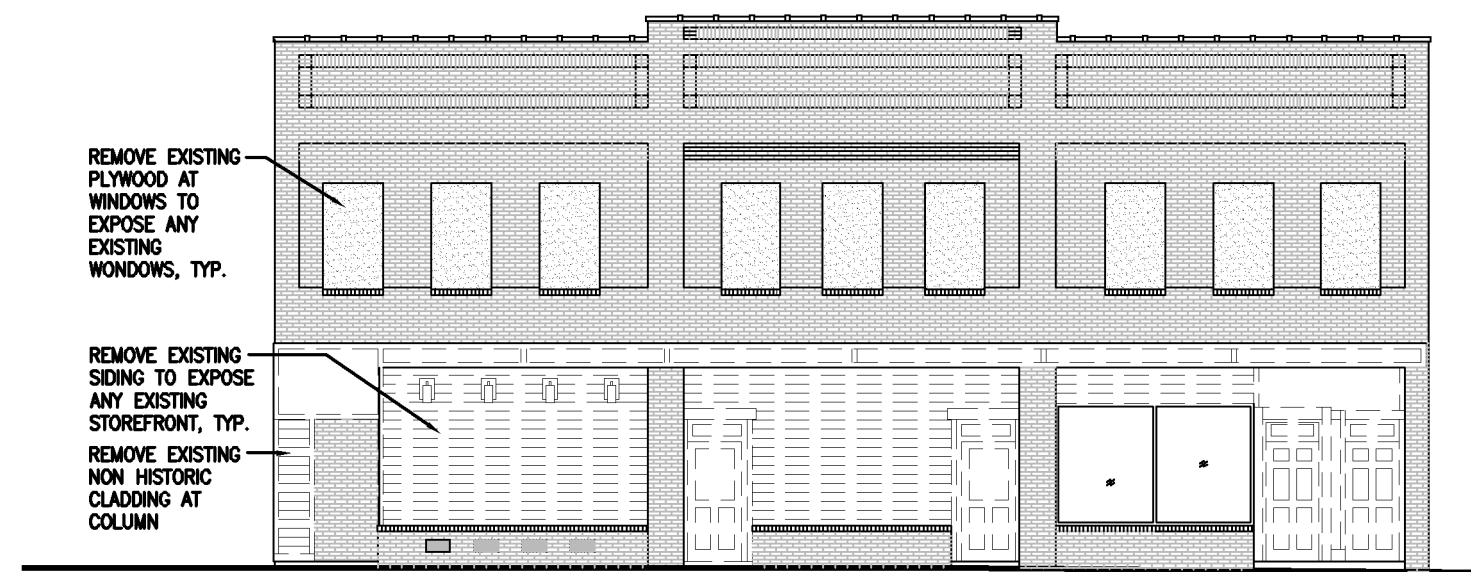
DEMOLITION
ELEVATIONS

AD3.1

2427



1 EAST ELEVATION DEMOLITION
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION DEMOLITION
SCALE: 3/32" = 1'-0"



2731 WEST GRACE STREET
RICHMOND, VIRGINIA

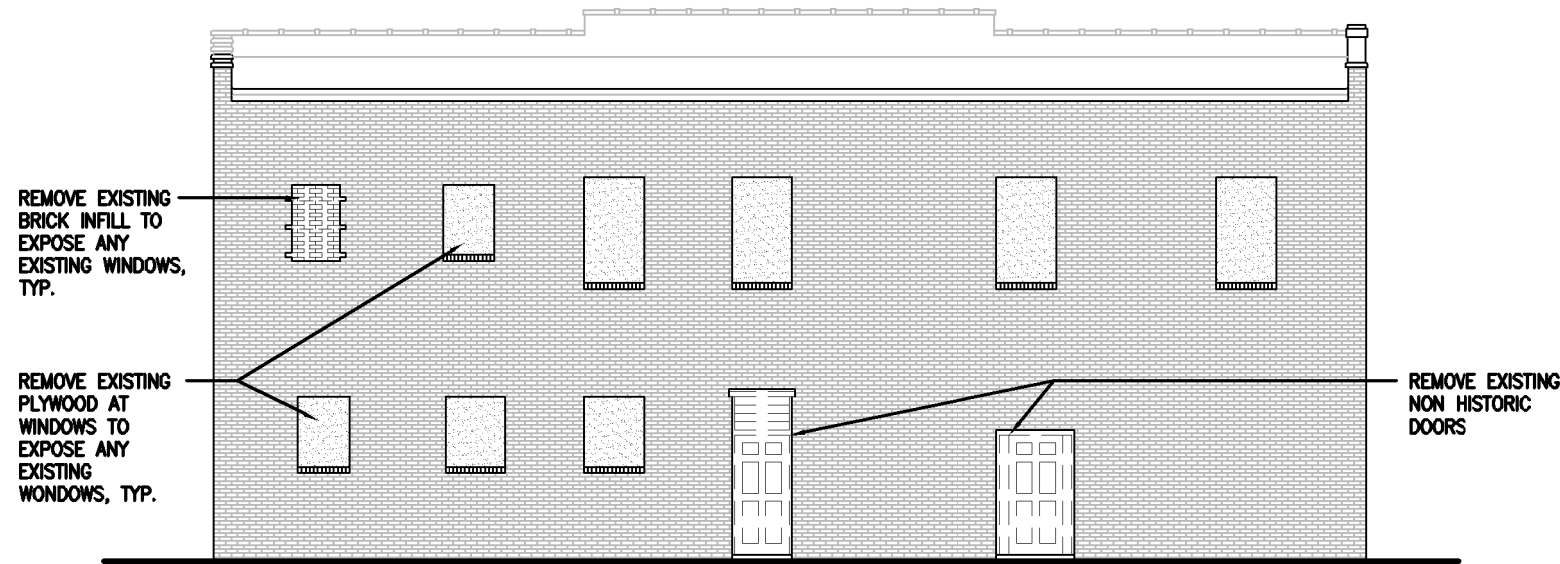
1900 HULL STREET RENOVATION
DHR PART II

1900 HULL STREET
RICHMOND, VA 23224

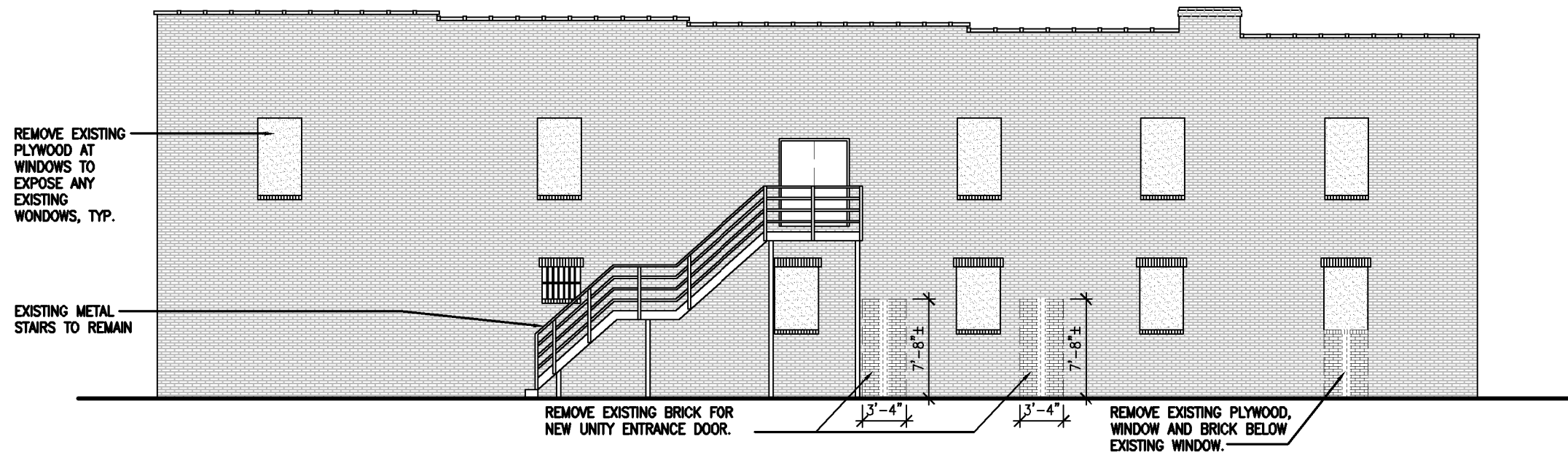
DEMOLITION
ELEVATIONS

AD3.2

2427



1 SOUTH ELEVATION DEMOLITION
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION DEMOLITION
SCALE: 3/32" = 1'-0"

10-31-2025



2731 WEST GRACE STREET
RICHMOND, VIRGINIA

1900 HULL STREET RENOVATION
DHR PART II

1900 HULL STREET
RICHMOND, VA 23224

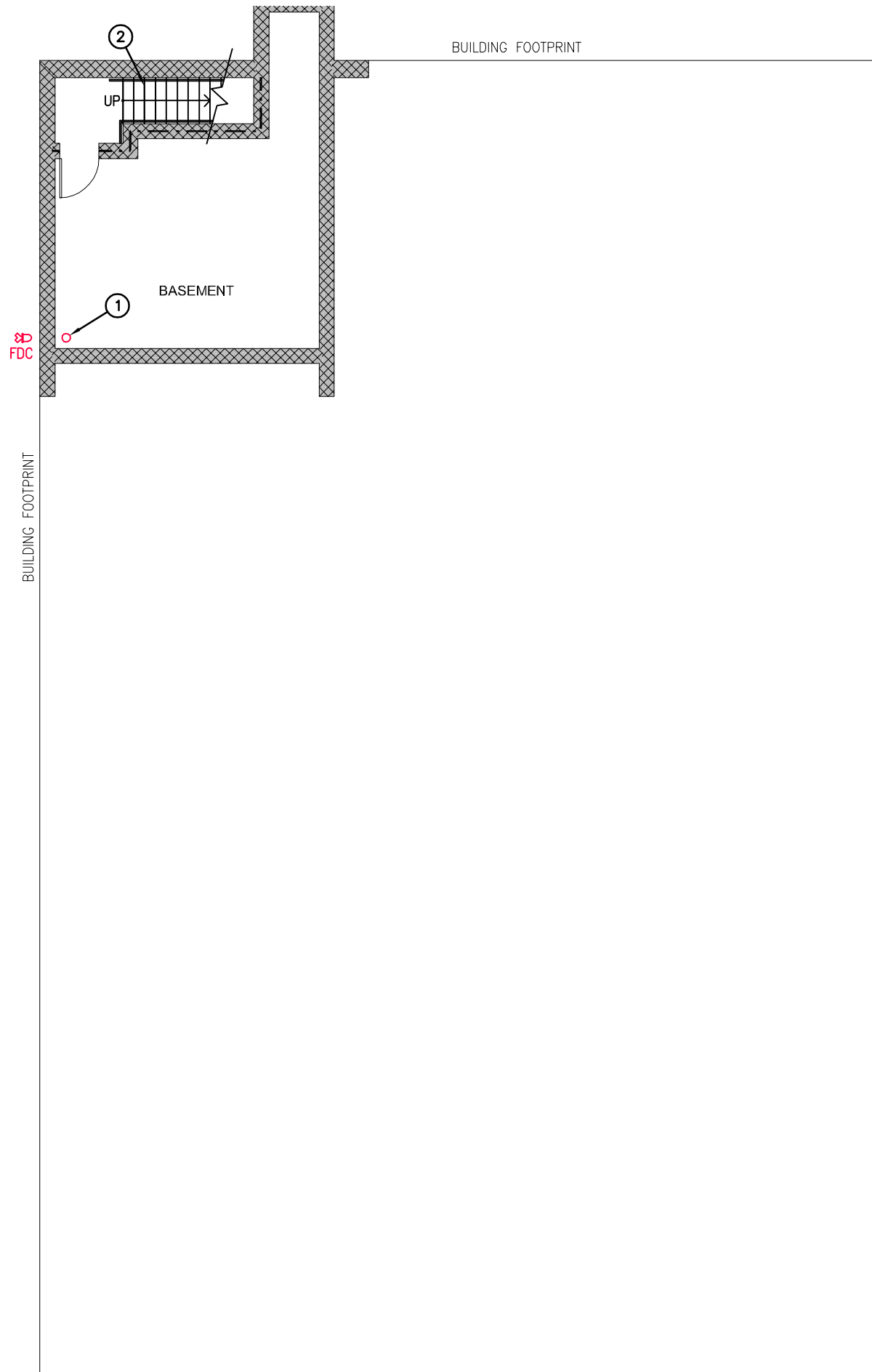
BASEMENT LEVEL
PLAN

A1.0

2427

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PLAN LEGEND			
	ELEVATION TAG		NEW 1 HOUR RATED WALL
	CONSTRUCTION KEY NOTE		NEW NON-RATED LOW WALL
	WALL TYPE		NEW NON-RATED PARTITION WALL
	WINDOW TAG		EXIST. CONSTRUCTION TO REMAIN
	DOOR TAG		EXIST. 1 HOUR FIRE RATED WALL
ALL NEW INTERIOR WALLS ARE TYPE "1" UNLESS OTHERWISE NOTED.			



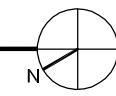
GENERAL NOTES

- AT THE BASEMENT LEVEL AND FIRST FLOOR: EXISTING CONCRETE FLOORS TO REMAIN. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING AS BEST AS POSSIBLE. APPLY STAINED CONCRETE FINISH TO ALL CONCRETE FLOORS.
- AT THE 2ND FLOOR: SAND AND REFINISH EXISTING WOOD FLOORS WITH TWO (2) COATS CLEAR POLYURETHANE.
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- ALL EXISTING AND NEW WALLS/CEILINGS TO BE PAINTED. AT NEW WORK, PRIME WITH (1) COAT PRIMER. FINISH ALL WALLS/CEILINGS WITH (2) COATS FINISH COLOR. COLORS TBD. COORDINATE COLORS WITH OWNER.
- NEW WOOD BASE AT ALL NEW WORK TO BE FLAT 1x6 PAINT GRADE. ALL NEW AND EXISTING BASE TO BE PAINTED. COLOR TBD. COORDINATE WITH OWNER FOR COLOR.
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- EXISTING INFILLED WINDOW OPENINGS TO BE REACTIVATED AS NEW WINDOWS. SEE PLAN FOR SPECIFIC NOTES.
- PROVIDE DRIP PANS AT ALL WATER HEATERS AND WASHING MACHINES/STACKED WASHER & DRYER.

KEY NOTES

- (E) EXISTING TO REMAIN.
- (1) NEW SPRINKLER MAIN. INSTALL AS CLOSE TO CORNER AS POSSIBLE. SEE SPRINKLER DRAWINGS.
- (2) NEW FREESTANDING FDC (CONNECTS TO MAIN AT BASEMENT).
- (3) REBUILD EXISTING DILAPIDATED STAIRS IN KIND. INSTALL ADA COMPLIANT HAND RAIL.
- (4) INSTALL NEW METAL CLAD WOOD WINDOW IN NEWLY OPENED WINDOW OPENING. FLASH AND SEAL PER MANUFACTURER INSTALLATION INSTRUCTIONS. SEE ELEVATIONS FOR MUNTIN PATTERN.
- (5) VERIFY WINDOW EXISTS BEHIND PLYWOOD. IF EXISTING, REFURBISH TO FULL OPERATION, PREP, PRIME AND PAINT. COLOR TBD. IF NOT EXISTING, INSTALL NEW METAL CLAD WOOD WINDOW. SEE ELEVATIONS FOR MUNTIN PATTERN.
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- (7) ROOF ACCESS HATCH ABOVE.
- (8) NEW CONCRETE SIDEWALK. EXTEND TO EXISTING SIDEWALK ON HULL STREET.

1 BASEMENT LEVEL PLAN
SCALE: 3/32" = 1'-0"





2731 WEST GRACE STREET
RICHMOND, VIRGINIA

1900 HULL STREET RENOVATION
DHR PART II

1900 HULL STREET
RICHMOND, VA 23224

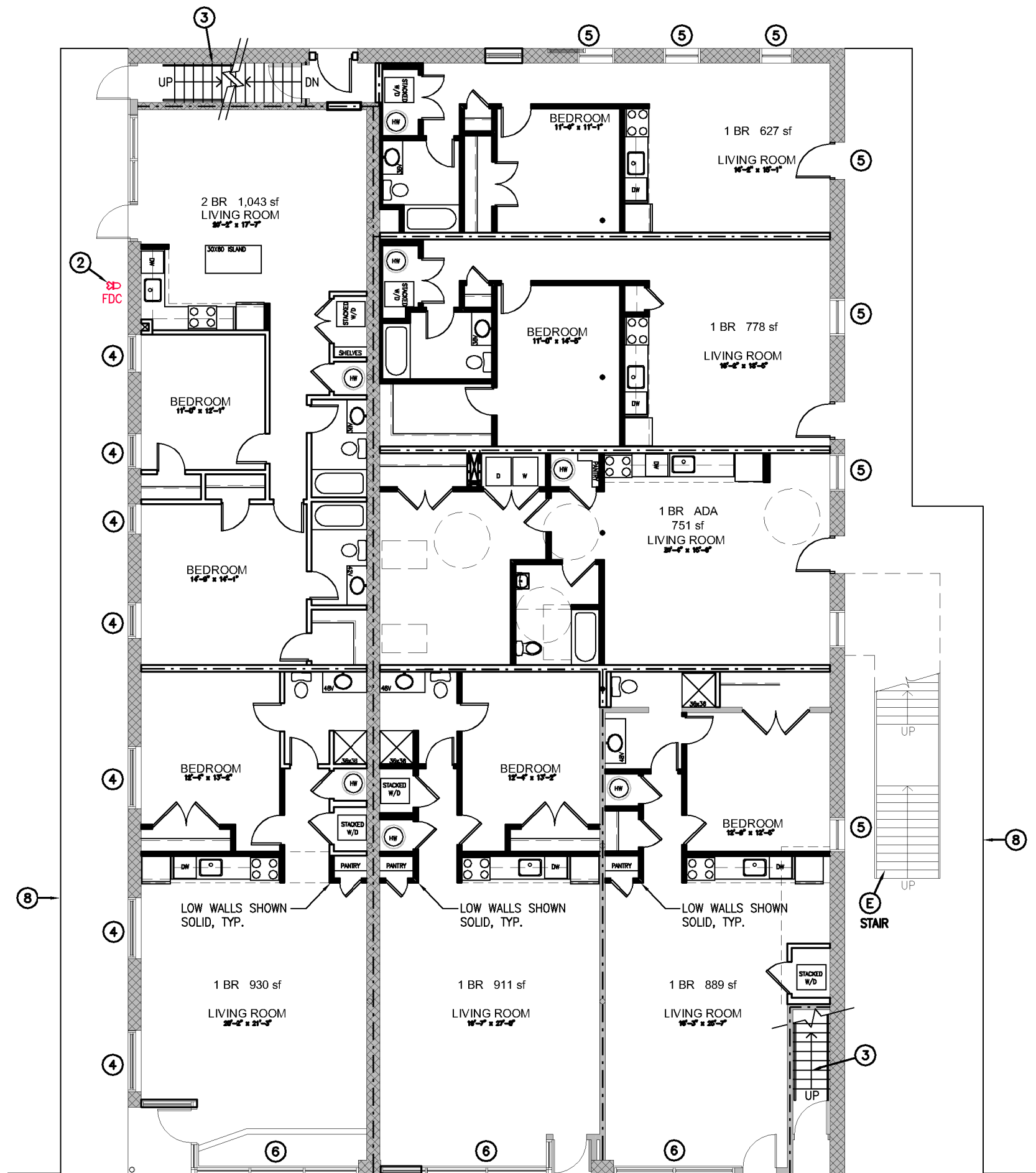
FIRST FLOOR PLAN

A1.1

2427

PLAN LEGEND	
	ELEVATION TAG
	CONSTRUCTION KEY NOTE
	WALL TYPE
	WINDOW TAG
	DOOR TAG
	NEW 1 HOUR RATED WALL
	NEW NON-RATED LOW WALL
	NEW NON-RATED PARTITION WALL
	EXIST. CONSTRUCTION TO REMAIN
	EXIST. 1 HOUR FIRE RATED WALL

ALL NEW BRICK WALLS ARE TYPE "T" UNLESS OTHERWISE NOTED.



GENERAL NOTES

1. AT THE BASEMENT LEVEL AND FIRST FLOOR: EXISTING CONCRETE FLOORS TO REMAIN. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING AS BEST AS POSSIBLE. APPLY STAINED CONCRETE FINISH TO ALL CONCRETE FLOORS.
2. AT THE 2ND FLOOR: SAND AND REFINISH EXISTING WOOD FLOORS WITH TWO (2) COATS CLEAR POLYURETHANE.
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9. EXISTING INFILLED WINDOW OPENINGS TO BE REACTIVATED AS NEW WINDOWS. SEE PLAN FOR SPECIFIC NOTES.
10. PROVIDE DRIP PANS AT ALL WATER HEATERS AND WASHING MACHINES/STACKED WASHER & DRYER.

KEY NOTES

- (E) EXISTING TO REMAIN.
- (1) NEW SPRINKLER MAIN. INSTALL AS CLOSE TO CORNER AS POSSIBLE. SEE SPRINKLER DRAWINGS.
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- (7) ROOF ACCESS HATCH ABOVE.
- (8) NEW CONCRETE SIDEWALK. EXTEND TO EXISTING SIDEWALK ON HULL STREET.

FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

1





2731 WEST GRACE STREET
RICHMOND, VIRGINIA

1900 HULL STREET RENOVATION
DHR PART II

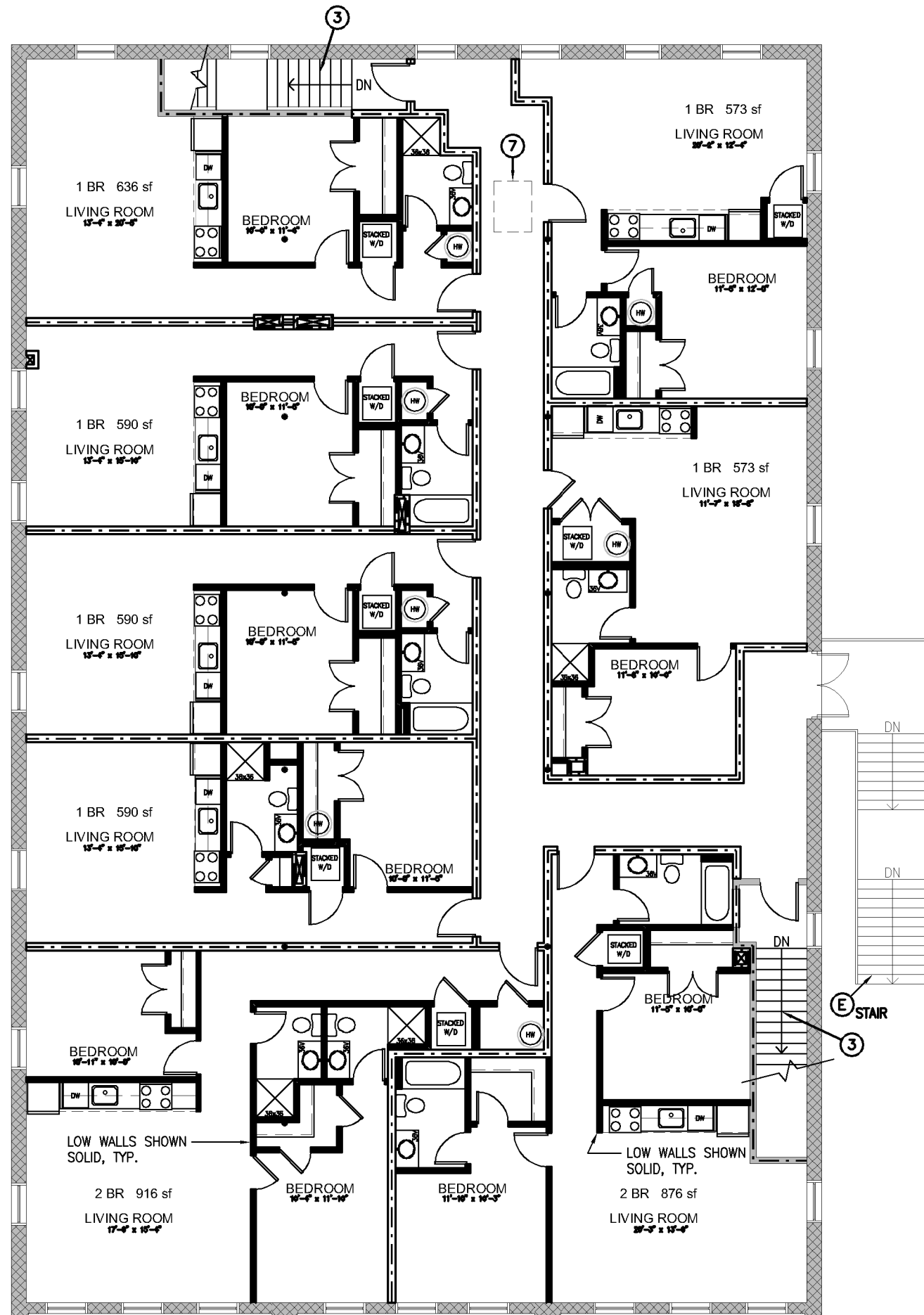
1900 HULL STREET
RICHMOND, VA 23224

SECOND FLOOR PLAN

A1.2

2427

PLAN LEGEND	
	NEW 1 HOUR RATED WALL
	NEW NON-RATED LOW WALL
	NEW NON-RATED PARTITION WALL
	EXIST. CONSTRUCTION TO REMAIN
	EXIST. 1 HOUR FIRE RATED WALL
ALL NEW INTERIOR WALLS ARE TYPE 'Y' UNLESS OTHERWISE NOTED.	



GENERAL NOTES

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- (8) NEW CONCRETE SIDEWALK. EXTEND TO EXISTING SIDEWALK ON HULL STREET.

1 SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"





2731 WEST GRACE STREET
RICHMOND, VIRGINIA

1900 HULL STREET RENOVATION
DHR PART II

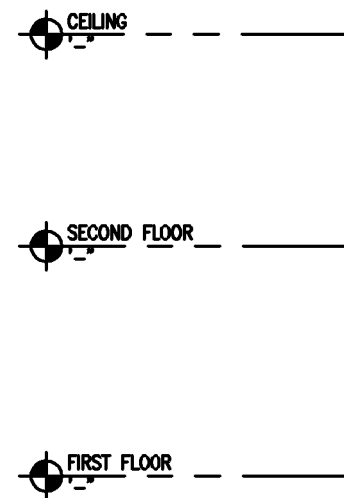
1900 HULL STREET
RICHMOND, VA 23224

ELEVATIONS

A3.1

2427

NOTE:
CLEAN ALL GRAFFITI FROM BRICK WALLS. USE THE GENTLEST MEANS POSSIBLE. DO NOT DAMAGE EXISTING HISTORIC BRICK & MORTAR.



ALL EXISTING WINDOW LOCATIONS SHALL BE REACTIVATED. PLYWOOD AND BRICKED INFILL SHALL BE REMOVED. IF WINDOW EXISTS, REFURBISH WINDOW AND RESTORE TO FULL OPERATION. IF WINDOW IS MISSING OR UNSALVAGEABLE, INSTALL NEW WOOD WINDOW TO MATCH EXISTING AS BEST AS POSSIBLE. G.C. TO PROVIDE CUTSHEETS OF PROPOSED WINDOWS FOR ARCHITECT AND DHR APPROVAL PRIOR TO ORDERING.

INTERIOR ROLL-DOWN SHADE FULL HEIGHT OF LARGE PANE. INSTALL ROLL-UP SHADE AT TRANSOM BAR. TYPICAL AT ALL 3 STOREFRONTS.

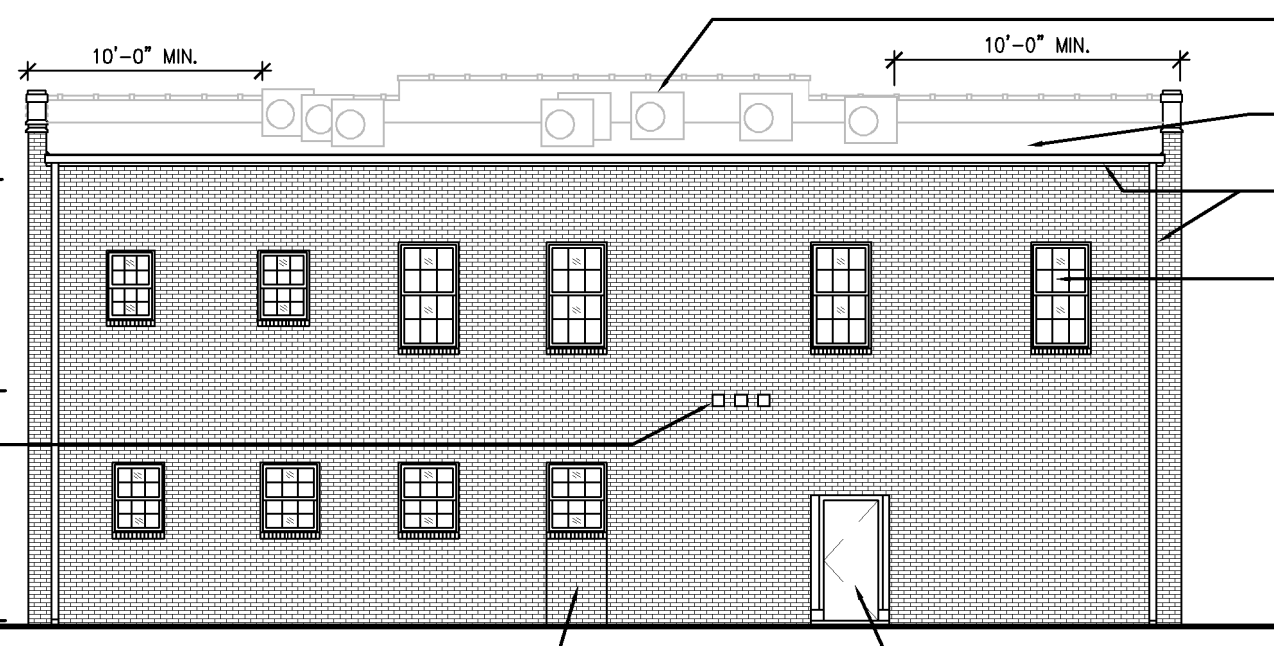
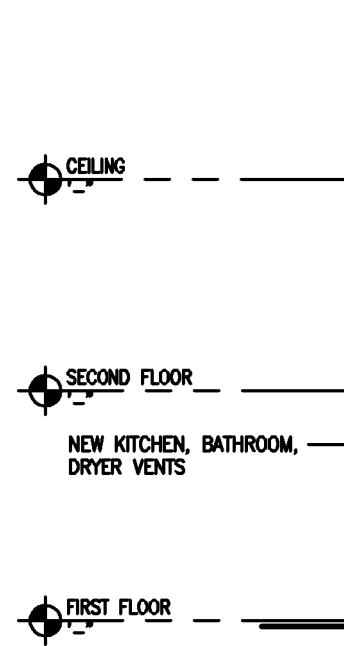
DESIGN INTENT - EXISTING STOREFRONT SHALL BE RESTORED OR RE-FABRICATED TO MATCH HISTORIC CONFIGURATION. DESIGN SHOWN COMES FROM HISTORIC PHOTO.

TRANSOM WINDOWS SHALL REMAIN UNSHADED

EXISTING STOREFRONT ASSUMED TO EXIST BEHIND EXISTING SIDING. REFURBISH IF EXISTING. IF NOT, INSTALL NEW TO MATCH EXISTING TYPICAL STOREFRONT AT WEST END OF FACADE.

NEW BRICK STEM WALL WHERE NON-HISTORIC DOOR OPENING WAS LOCATED.

1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



HVAC CONDENSER UNITS MOUNTED ON ROOF

NEW SOLID MEMBRANE ROOF

NEW GUTTER AND DOWN SPOUTS

ALL EXISTING WINDOW LOCATIONS SHALL BE REACTIVATED. PLYWOOD AND BRICKED INFILL SHALL BE REMOVED. IF WINDOW EXISTS, REFURBISH WINDOW AND RESTORE TO FULL OPERATION. IF WINDOW IS MISSING OR UNSALVAGEABLE, INSTALL NEW WOOD WINDOW TO MATCH EXISTING AS BEST AS POSSIBLE. G.C. TO PROVIDE CUTSHEETS OF PROPOSED WINDOWS FOR ARCHITECT AND DHR APPROVAL PRIOR TO ORDERING.

NEW WINDOW AND BRICK INFILL AT EXISTING DOOR OPENING

NEW DOOR AT EXISTING DOOR OPENING

NOTE:
CLEAN ALL GRAFFITI FROM BRICK WALLS. USE THE GENTLEST MEANS POSSIBLE. DO NOT DAMAGE EXISTING HISTORIC BRICK & MORTAR.

2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2731 WEST GRACE STREET
RICHMOND, VIRGINIA

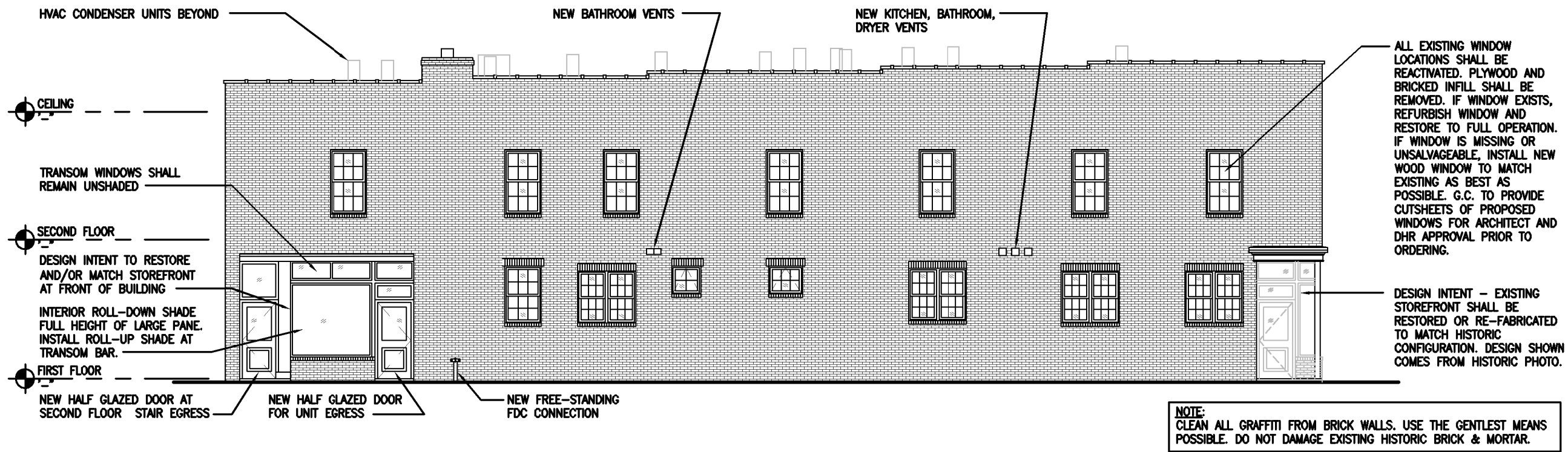
1900 HULL STREET RENOVATION
DHR PART II

1900 HULL STREET
RICHMOND, VA 23224

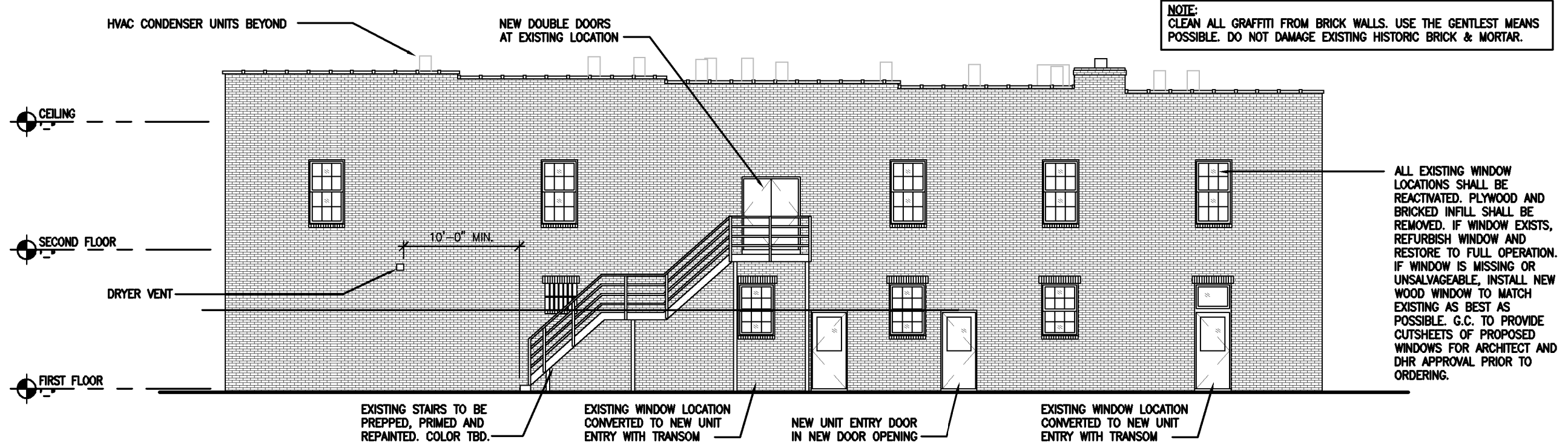
ELEVATIONS

A3.2

2427



1 EAST ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"

10-31-2025



YELLOW ROOM
INCORPORATED

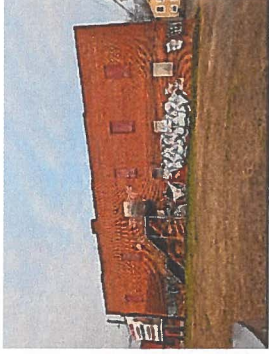
2731 WEST GRACE STREET
RICHMOND, VIRGINIA

1900 HULL STREET
RICHMOND, VA 23224

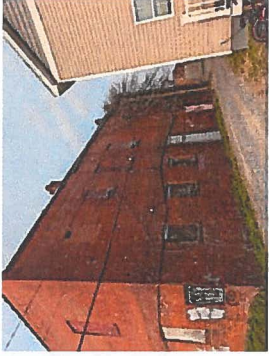
1900 HULL STREET RENOVATION PHOTO PAGE

2427

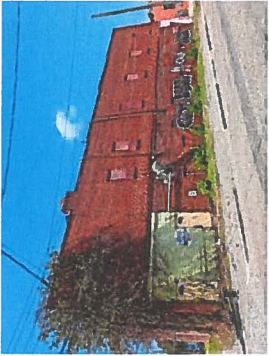
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EXISTING INTERIOR SIDE LOT FACADE



EXISTING ALLEY FACADE



EXISTING 19TH STREET FACADE



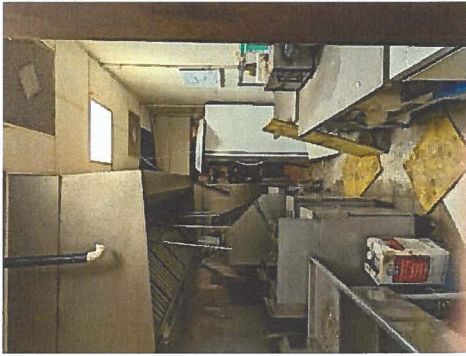
EXISTING HULL STREET FACADE



EXISTING INTERIOR STAIR FROM 2ND FLOOR
TO 1ST FLOOR



EXISTING INTERIOR STAIR TO BASEMENT



EXISTING INTERIOR 1ST FLOOR RESTAURANT
KITCHEN



EXISTING INTERIOR 1ST FLOOR RESTAURANT



EXISTING ADJACENT LOTS 1904 & 1906
FOR USE AS PARKING



EXISTING INTERIOR 2ND FLOOR ROOF
COLLAPSE



EXISTING INTERIOR 2ND FLOOR NIGHT CLUB



EXISTING INTERIOR 2ND FLOOR NIGHT CLUB



RESTAURANT

N
G
E

310

Handwritten graffiti in blue and black on the pink wall.



















November 5, 2025

YME Realty
3309 Hull Street
Richmond, Virginia 23219

ATTN: Earl Gary

**RE: 1900-02, 1904 & 1906 HULL STREET
(Tax Maps: S000-0294/004, 005 & 010) – the “Property”**

Dear Mr. Gary:

In response to your request for a Letter of Zoning Confirmation, please be advised of the following:

According to the City Assessor’s records, the Property is comprised for three (3) parcels of land. They are:

1900-02 Hull Street: A corner lot fronting both Hull Street (84.79’) and East 19TH Street (100’) and contains 8,479 square feet of lot area and is improved with a 2-story masonry building containing 13,673 square feet of floor area constructed circa 1930. The building is currently vacant.

1904 Hull Street: A vacant unimproved lot fronting Hull Street and measuring 44’ x 100’ and containing 4,400 square feet of lot area.

1906 Hull Street: A vacant unimproved lot fronting Hull Street and measuring 44’ x 100’ and containing 4,400 square feet of lot area.

The Property also contains an off-premises sign (billboard), but it unclear if it is located on 1900-02 Hull Street or 1904 Hull Street; the billboard is nonconforming, as it pre-dates current zoning sign requirements.

The Property is located within a B-3 (General Business) zoning district, which permits a multitude of commercial uses as well as permitting dwelling units. Your request inquires about the use of the Property for fifteen (15) dwelling units. The proposed fifteen (15) dwelling units would be permitted in the existing building. However, as residential use requires a greater yard (setback) requirement than currently exists, a waiver shall be necessary.

Any new proposed building(s) would require site plan approval. Any proposed new building(s) would necessitate a rear yard (setback) on not less than twenty feet (20’) for a portion of 1904 Hull Street and the entirety of 1906 Hull Street. In addition, A side yard of not less than fifteen feet (15’) is also required as well as a separation of fifteen feet (15’) between any building(s).

There is a maximum height limit of thirty-five feet (35') for buildings. No parking or traffic circulation is permitted in front of any building and no driveway would be permitted from Hull Street, as it is considered the *Principal Street Frontage* and an alley is available for use to access any vehicular circulation or parking.

A *Usable Open Space Ratio* of not less than .25 shall also be provided and is defined as:

Usable open space ratio means the total square foot amount of usable open space on a lot or on a development site for each square foot of floor area on the lot or on the development site. The usable open space ratio is determined by dividing the amount of usable open space by the amount of floor area.

Definitions to determine the *Usable open space ratio* are:

Usable open space means that portion of a lot or that portion of a development site which is not covered by building area or vehicular area and including usable roof area and exterior balconies, terraces or patios not covered by enclosed building space.

Floor area means the sum of the horizontal areas of enclosed building space on all floors of all buildings on a lot measured from the exterior face of exterior walls and including intervening partitions, halls, lobbies, stairways and elevator shafts. The following shall be excluded from calculation of floor area:

- (1) Open exterior balconies and other unenclosed spaces.
- (2) Uncovered terraces, patios, porches, or steps.
- (3) Garages, carports or other areas, enclosed or unenclosed, used for the parking or circulation of motor vehicles.
- (4) Areas for housing major mechanical equipment which serves the building as a whole or major portion thereof, but not including utility areas within individual dwelling units.
- (5) Areas for common special purpose use by occupants of the premises, including laundries, recreation areas, sitting areas and libraries in buildings devoted to dwelling use, and storage areas, and areas devoted exclusively to management and/or maintenance of the premises in buildings devoted to any use, but not including incidental commercial activities in any case.

There are no special use permits or conditional use permits currently associated with this Property.

In conclusion, the existing uses are permitted, subject to the development requirements referenced.

If you need additional information, please contact me at (804) 646-6353 or by E-mail at: Chuck.Davidson@RVA.gov.

Sincerely,

William C. Davidson
Zoning Administrator

xc: Christopher C. Moseley
10808 Ridgerun Road
Chesterfield, VA 23832



COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

David L. Bulova
Secretary of Natural and
Historic Resources

Roger W. Kirchen
Director
Tel: (804) 367-2323
www.dhr.virginia.gov

February 9, 2026

Earl Gary
Yme Reality LLC
3309 Hull Street
Richmond, VA 23224

Re: 1900 Hull Street ~ Richmond
Part 2 Response
DHR # 2025-081

Dear Mr. Gary –

Thank you for submitting the State and Federal Rehabilitation Tax Credit Application, Part 2, “Description of Rehabilitation,” for the property located at 1900 Hull Street in Richmond. We are also in receipt of the necessary State application fee and appreciate its timely submission. Based on the materials provided, the proposed scope of work is consistent with the Secretary of the Interior’s *Standards for Rehabilitation*, and the project is approved provided that the below conditions are met.

CONDITIONS:

The following conditions will need to be met in order for the project to receive approval. If additional information is requested, please submit the materials as an Amendment to the Part 2 application. Otherwise, evidence of the completed, compliant work must be submitted with the Part 3 application.

Rooftop Mechanical: With an Amendment, please submit pictures of a rooftop mockup – taken from a variety of vantage points in the surrounding historic district – that demonstrate that the new mechanical units will not be visible from the ground. Alternatively, the applicant may provide images with the Part 3 application showing that the rooftop mechanical is not visible.

Storefront: Please address the following items in an Amendment:

- After modern infill is removed, please submit pictures of any remaining historic storefront elements. Salvageable historic storefront features must be retained and restored.

Eastern Region Office
2801 Kensington Avenue
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391

Western Region Office
962 Kime Lane
Salem, VA 24153
Tel: (540) 387-5443
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7029
Fax: (540) 868-7033

- If selective demolition reveals that the historic storefront windows are missing, please provide information on the proposed replacement storefront material and finish. If the historic storefront windows remain in some bays (but not in others), then the replacement storefront must match the historic material(s) to ensure visual consistency in compliance with *Standard #9*.
- Please revise the design of the transom windows above the two doors in the right (west) storefront bay. To ensure proportionality, please include a thicker, vertical mullion that crosses the stacked transoms. The horizontal divider should be narrower than the vertical mullion.

#9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Windows: Please provide the following information on the proposed window treatments:

- Please submit representative pictures documenting any remaining historic windows. Please also identify how many historic windows are present on this structure and how many are missing.
- Please submit detailed, dimensioned section and elevation drawings of both the historic windows and the proposed replacement windows. To meet the guidance of *Standard #6*, the replacement windows must closely match the historic windows' dimensions, design, material, and other visual qualities. Please submit this information to DHR for review and approval prior to window purchase.
- The historic drawings document that the large openings on the east side of the first floor historically possessed multi-light windows – which might have been metal – rather than paired, double hung wood windows. Please examine the historic drawings and any remaining physical evidence at 1900 Hull Street. To comply with the guidance of *Standard #6*, the replacement windows must match the historic windows in design and material. Please revise the proposed elevation details for these first-floor openings and resubmit this information in an Amendment.
- The Part 2 application proposes to convert a historic, rear doorway to a window. To meet *Standard #9*, the window infill must meet the following guidance. 1). The new window must possess a 1/1 configuration; and 2). The infill in the bottom portion of the door opening must be clearly marked as modern in some way – for example, with a wood panel or with recessed masonry. Alternatively, the applicant could install a large, fixed storefront window in this doorway.

#6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

New Shades in Residential Units: The overall appearance of this historically-commercial structure must remain as a cohesive whole, whether viewed during the day or night. In order to approve a proposed window treatment in the commercial bays, the new shade assembly must be:

- Full-size, fully fitting the window openings from top to bottom and side-to-side.
- Opaque or nearly opaque, so that light does not pass through when closed at night.

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- Manufactured in a dark color, so that it is not as easily apparent when lowered.

While we do not require the use of a specific product, a similar project had success using Texstyle brand 3000 NET Solar Screen in 3% “openness factor” (privacy or 1% options would also be acceptable) in Charcoal/Bronze color (Charcoal/Charcoal would also be acceptable). Please submit the exact product specifications for the proposed new roller shades to be used on the commercial units as an Amendment for review and approval.

Ceilings: The following conditions must be met to comply with the guidance of *Standards #5* and *#6*:

- Where historic tin tiles are missing or deteriorated beyond repair, please install matching tiles. If you are unable to source the historic tile design, please select a replacement tile that is similar to the historic tiles and submit a cut sheet of the proposed product for review and approval.
- To minimize the physical impact of new electrical work on the structure’s historic tin ceilings, please use track lighting in spaces where the historic tin will be preserved. Canned lighting – which requires large ceiling cuts – should not be implemented where historic tin remains.

#5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Floors: Based on a notation in the historic plans, it appears that concrete was the historic floor finish in the center and west commercial bays, and the east commercial bay (the historic restaurant) originally possessed ceramic tile floors. To bring the building’s interior to a character-appropriate level of finish in compliance with *Standards #2*, *#5*, and *#6*, please install tile in the east bay apartments. Either ceramic tile or non-wood-look luxury vinyl tile would be acceptable.

#2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Interior Stairs: Please provide pictures of both sets of deteriorated stairs at 1900 Hull Street.

Systems: Please provide more information on the new systems work. Please submit reflected ceiling plans showing the locations of all proposed lowered ceilings, soffits, and exposed spiral ducts for review and approval. Residential plumbing will need to be carefully planned and bundled to avoid significant impacts to the historic tin ceilings and to the front apartments (the historic commercial spaces). Detailed information on the proposed systems and ceiling work must be submitted for review and approval prior to beginning systems construction.

This conditional approval is for the Part 2 application as submitted. All new information should be sent for review and approval to the Virginia Department of Historic Resources (DHR) as an Amendment to the original application; you can find the appropriate form through the National Park Service’s website at <http://www.nps.gov/tps/tax-incentives/application.htm>. We have forwarded a copy of the application to the National Park Service with our recommendations – you will receive their response in a separate letter.

As a reminder, a complete Part 3 application must be submitted within one (1) year of the project’s completion date. Failure to meet this firm deadline will result in a project ineligible for participation in the Virginia HRTC Program. Please contact us if you have any questions about this requirement.

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Please feel free to contact me with questions or concerns at 804-482-6095 or by e-mail at Carolyn.Zemanian@dhr.virginia.gov.

Sincerely,



Carolyn Zemanian
Tax Credit Reviewer
Division of Preservation Incentives

cc: Kathleen Morgan

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