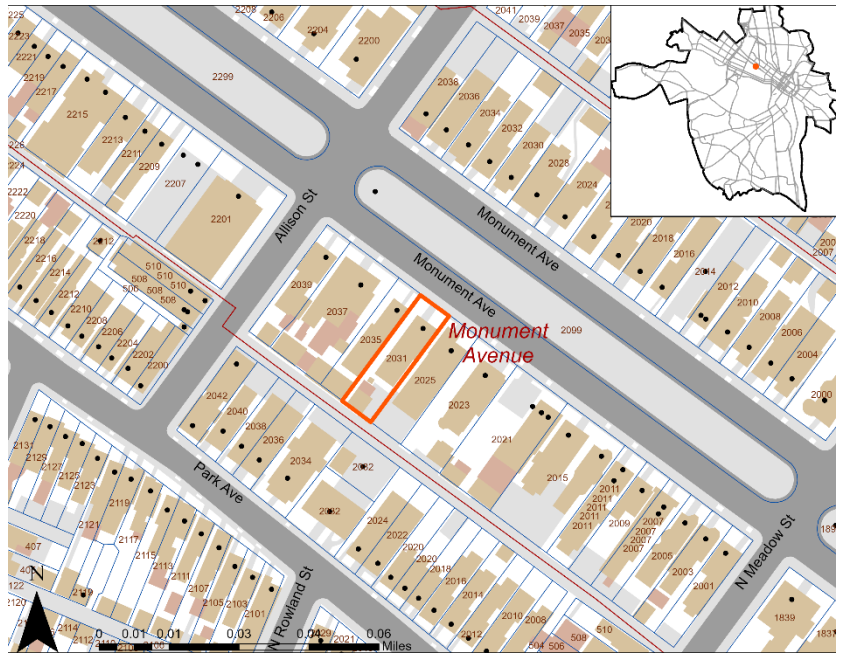




Commission of Architectural Review

8. COA-187374-2026	Final Review	Meeting Date: 7/28/2026
Applicant/Petitioner	Matson Roberts	
Project Description	Replace non-original sunroom windows, and install new french door on West elevation	
Project Location		
Address: 2031 Monument Ave		
Historic District: Monument Avenue		
High-Level Details: The applicant proposes to modify the rear fenestration of a circa 1905 brick row house. The proposed work includes the replacement of windows within the rear sunroom enclosure. The sunroom currently features fifteen narrow, eight-pane windows with corresponding two-pane transom windows above. On the less visible west elevation, three existing windows will be removed and replaced with a French door, while the existing transom window assembly will be retained with replacement window inserts.		
Staff Recommendation	Approval, with Conditions	
Staff Contact	Alex Dandridge, Alex.Dandridge@RVA.gov, (804)646-6569	
Previous Reviews	This property received historic tax credit approval and CAR Approval for rehabilitation between 2015-2017	
Staff Recommendations	Staff finds that - The three windows and transoms on the east elevation be retained and preserved. - Replacement windows be wood or aluminum-clad wood with true or simulated divided lights and muntin and sash widths that match the existing windows as closely as possible. Final window specifications submitted for staff review and approval. - Final window and French Door specifications be submitted for staff review and approval.	

Staff Analysis

Guideline Reference	Reference Text	Analysis
Standards for Rehabilitation, New Construction, pg. 59	<i>5. Retain original windows including both functional and decorative elements such as frames, sash, muntins, glazing, sills, hood molds, paneled or decorated jambs and moldings, shutters and exterior blinds.</i> <i>1. Retain all original windows, and ensure that hardware is in good shape, reusing serviceable window hardware and locks.</i>	The applicant proposes replacing the fifteen windows within the rear sunroom enclosure with new insulated glass windows that match the existing configuration. The replacement windows will replicate the current design, including the existing pane configuration and overall dimensions. City documentation demonstrates that this property has undergone many changes over the years, including window replacement. In 2015, when the property was pursuing historic tax credits for rehabilitation, it was noted that the rear sunroom of the building was clad in vinyl siding. However, when the vinyl siding was removed, the fifteen windows that were uncovered were mostly determined to be in disrepair and consisted of a mix of original and replacement windows. The original windows that remained were salvaged, repaired, and reinstalled on the east elevation of the sunroom, while the remaining twelve windows were removed and replaced with new wood windows that matched the originals, except for the muntin width, which was 5/8 inch, compared to the original 7/8 inch.
Building Elements, Windows, pg. 69	<i>1. Retain all original windows, and ensure that hardware is in good shape, reusing serviceable window hardware and locks.</i> <i>7. Windows should only be replaced when they are missing or beyond repair. Any reconstruction should be based on physical evidence or photo documentation.</i> <i>8. The number, location, size or glazing pattern of windows should not be changed by cutting new openings, blocking out windows or by installing replacement sash that do not fit the original window. Changes to existing windows or the addition of new windows along a secondary elevation will be considered by the Commission on a case-by-case basis.</i> <i>9. The architectural character of windows should not be altered by inappropriate materials or finishes that radically change the sash, depth of reveal, muntin configuration, the reflective quality or color of the glazing or the appearance of the frame.</i> <i>10. The architectural appearance of original windows should be used as a model for new windows. Changes in the sash, depth or reveal, muntin configuration, frame or glazing is strongly discouraged. New glass should not be tinted or receive reflective coatings.</i>	Furthermore, during a site visit and in photos submitted by the applicant, the difference between the muntin widths of the windows on the east elevation and the south elevation is evident and supports the historic documentation referenced above, substantiating that the windows on the east elevation of the sunroom are original, while the remaining windows are not. The applicant provided the original building plans, which demonstrate that, although the windows on the south and west elevations have been replaced, they continue to match the appearance of the original window design. Because the east elevation sunroom windows are the only remaining original windows and were retained as part of the tax credit rehabilitation process, <u>staff recommends that the three windows and transoms on the east elevation be retained and preserved.</u> Staff supports the replacement of the nine windows on the south elevation, <u>recommending that the replacement windows be wood or aluminum-clad wood with true or simulated divided lights and muntin and sash widths that match the existing windows as closely as possible. The replacement windows should feature 7/8-inch-wide muntins.</u>

fU		In addition to window replacement, the applicant proposed to modify the west elevation of the sunroom to remove three windows, and to replace them with French doors, which will serve as access to the adjacent roof top deck. These windows on this elevation, while designed to match the original, are replacements. Furthermore, this elevation of the sunroom is minimally visible from the public right of way. The proposed French doors will be designed to resemble the appearance and pane configuration of the existing windows. Due to the limited visibility of this elevation from the public right-of-way, staff finds that altering the existing windows to French doors will not substantially change the building's architectural character as viewed from the public right-of-way. Furthermore, the proposed doors will be similar in design to the existing windows and will feature full-light glazing, maintaining the transparency characteristic of sunrooms and sleeping porches commonly found throughout the district.
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It is the assessment of staff that, with the conditions above, the application is consistent with the Standards for Rehabilitation and New Construction outlined in Section 30-930.7 (b) and (c) of the City Code, as well as with the Richmond Old and Historic Districts Handbook and Design Review Guidelines, specifically the pages cited above, adopted by the Commission for review of Certificates of Appropriateness under the same section of the code.

Figures

2. NEW WINDOWS AND DOORS

- A. New windows in historic openings: As noted in the Part 2 application, exploratory demolition at the rear of the building uncovered deteriorated historic windows previously concealed by vinyl siding at the second floor sleeping porch. A number of the windows had been replaced with inappropriate grid-between-glass vinyl windows. After in-kind repairs, remaining historic windows that could be salvaged, were reinstalled and preserved at the east end of the sleeping porch. The inappropriate wood and vinyl replacements were replaced with wood windows to match the style and configuration of the historic windows. As shown in the attached drawings, the replacement windows are identical with the exception of the new 5/8" muntin width, which is slightly narrower than the historic 7/8" muntin width. The enclosed photographs of the historic and replacement windows demonstrates that the windows fit the existing openings and match the historic appearance.
- B. New windows in non-historic 1963 addition: Drawings for the new one-over-one wood windows on the 1963 addition are enclosed.
- C. New kitchen door: Specifications for the new, single-light kitchen door are enclosed.
- D. New garage door: Specifications for two new, half-light garage doors are enclosed. The new door design is compatible with the historic building and clearly contemporary.

Figure 1. City records documenting the salvaged windows on the east elevation of the sunroom as part of the historic tax credit rehabilitation.



Figure 2. Replacement windows being installed on the sunroom, 2015.



Figure 3. View of sunroom in 2015 rehabilitation. East elevation windows are visible as being repaired and salvaged, while south elevation windows are new.



Figure 4. Existing conditions at rear of 2031 Monument Avenue.



Figure 5. Existing conditions at rear of monument Avenue.