



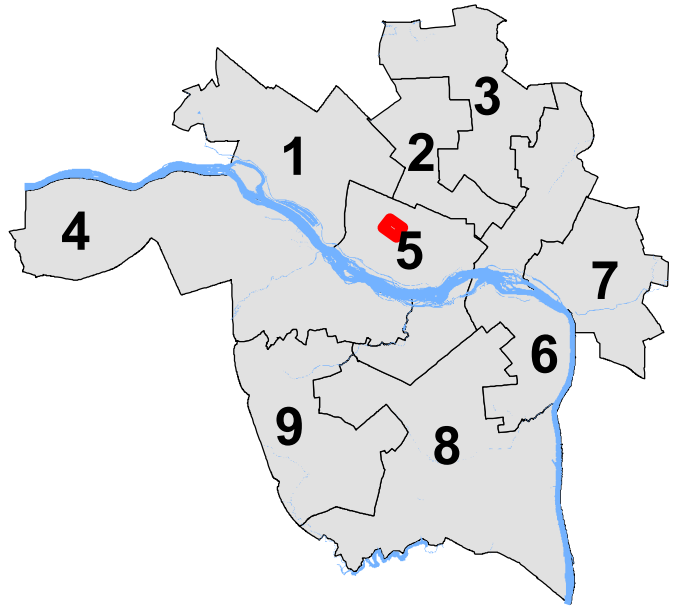
City of Richmond Department of Planning & Development Review

Location, Character, and Extent

LOCATION: 621 Westover Road

COUNCIL DISTRICT: 5

PROPOSAL: Review of exterior alterations to the Round House located in Byrd Park.



*For questions, please contact Alex Dandridge
at 646-6569 or alex.dandridge@richmondgov.com*





Application for Urban Design Committee Review

Department of Planning and Development Review

Planning & Preservation Division

900 E. Broad Street, Room 510

Richmond, Virginia 23219 | (804) 646-6335

<https://www.rva.gov/planning-development-review/urban-design-committee>



Application Type (select one)

Location, Character, & Extent

Section 17.05

Other:

Encroachment

Design Overlay District

Review Type (select one)

Conceptual

Final

Project Information

Submission Date: 3/11/2021

Project Name: Byrd Park Round House ADA renovation

Project Address: 621 Westover Rd

Brief Project Description (this is not a replacement for the required detailed narrative):

Renovations to provide ADA compliant circulation and toilets. Repair and replacement of exterior items.

Applicant Information (a City representative must be the applicant, with an exception for encroachments)

Name: Terry Moore Jr.

Email: terry.moore@richmondgov.com

City Agency: Department of Parks, Recreation and Community Facilities

Phone: 804.646.0029

Main Contact (if different from Applicant): _____

Company: _____

Phone: _____

Email: _____

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

Submittal Deadlines

The UDC is an 11 member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission (CPC) on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06, and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

last revised 12/21/2020



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Submission Requirements

- An electronic copy (PDF preferred) of all application materials, which can be emailed, or delivered by FTP or USB.
- Three (3) copies of the application cover sheet and all support materials (see below).
- Plan sheets should be 11" x 17", folded to 8 1/2" x 11". If it is not possible to scale plans to these dimensions, please provide one set of larger, scaled plans.
- All applications must include the attached cover sheet and the following support materials, as applicable to the project, based on Review Type:

Conceptual Review:

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas, and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan which shows the general location and character of plant materials and notes any existing tree to be removed.

Final Review:

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program, and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas, and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan that includes a complete plant schedule, the precise location of all plant materials, and a landscape maintenance analysis. The plant schedule must show number, size and type of each planting proposed. If existing trees are to be removed, their size, type, and location must be noted on the landscape plan.
- The location of all lighting units should be noted on a site plan, including wall-mounted, site, and parking lot lighting. Other site details such as benches, trash containers, and special paving materials should also be located. Include specification sheets for each item.
- Samples of all proposed exterior building materials, including but not limited to brick, mortar, shingles, siding, glass, paint, and stain colors. When an actual sample cannot be provided, a product information sheet that shows the item or a photo of an existing item may be substituted.

Review and Processing

- Once an application is received, it is reviewed by Staff, who compiles a report that is sent to the UDC.
- A copy of the report and the meeting agenda will be sent to the applicant prior to the meeting.
- At the UDC meeting, the applicant or a representative should be present or the application may be deferred to the next regularly scheduled meeting. It is also strongly suggested that a representative of the City Agency which will have final responsibility for the item be present at the meeting (if the applicant and the representative are not the same).
- Once the UDC recommends action on the application, it is automatically placed on the agenda for the next City Planning Commission (CPC) meeting. Exceptions to this are encroachment applications, recommendations for which are forwarded to the Department of Public Works.
- At the CPC meeting, the applicant or a representative should be present, or the application may be deferred to the next regularly scheduled meeting.



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Regular meetings are scheduled on the Thursday after the first Monday of each month at **10:00 a.m. in the 5th floor conference room of City Hall, 900 E. Broad Street**. Special meetings are scheduled as needed.

Meeting Schedule 2021

UDC Meetings	UDC Submission Deadlines	Anticipated Date of Planning Commission Following the UDC Meeting
December 10, 2020	November 12, 2020	December 21, 2020
January 7, 2021	December 17, 2020	January 19, 2021 ¹
February 4, 2021	January 14, 2021	February 16, 2021 ²
March 4, 2021	February 11, 2021	March 15, 2021
April 8, 2021	March 11, 2021	April 19, 2021
May 6, 2021	April 15, 2021	May 17, 2021
June 10, 2021	May 13, 2021	June 21, 2021
July 8, 2021	June 17, 2021	July 19, 2021
August 5, 2021	July 15, 2021	August 16, 2021 ³
September 9, 2021	August 12, 2021	September 20, 2021
October 7, 2021	September 16, 2021	October 18, 2021
November 4, 2021	October 14, 2021	November 15, 2021
December 9, 2021	November 10, 2021 ⁴	December 20, 2021 ⁵

¹ Monday January 18, 2021 is a City of Richmond Holiday

² Monday February 15, 2021 is a City of Richmond Holiday

³ This meeting is subject to cancellation. If so, Planning Commission hearing would be Tuesday September 7, 2021.

⁴ Thursday November 11, 2021 is a City of Richmond Holiday.

⁵ This meeting of the Planning Commission is subject to cancellation.

The Richmond Urban Design Committee is an 11 member advisory committee created by City Council in 1968. Its purpose is to advise the City Planning Commission on the design of City projects. The Urban Design Committee reviews projects for appropriateness in "location, character, and extent" and for consistency with the City's Master Plan and forwards recommendations to the City Planning Commission. The Urban Design Committee also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

For more information, please contact the Planning and Preservation Division staff at (804) 646-6335 or Alex Dandridge at (804) 646-6569 or at alex.dandridge@richmondgov.com.

MOSELEYARCHITECTS

3200 Norfolk Street
Richmond, VA 23230

P: (804) 794-7555 March 11, 2021

Byrd Park Roundhouse – ADA Upgrades and Building Repairs
Richmond, Virginia

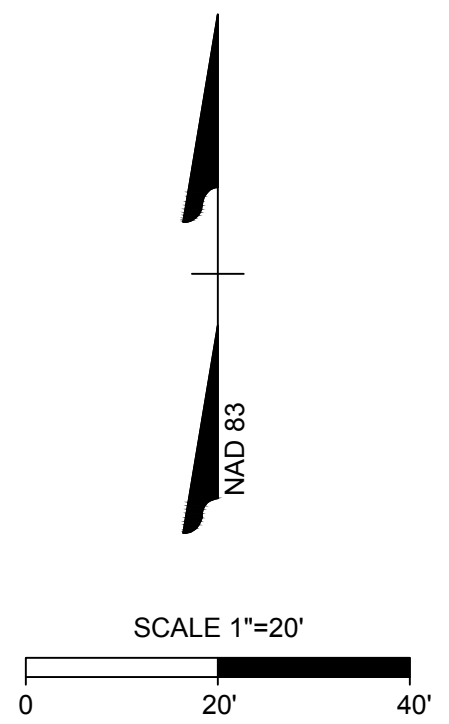
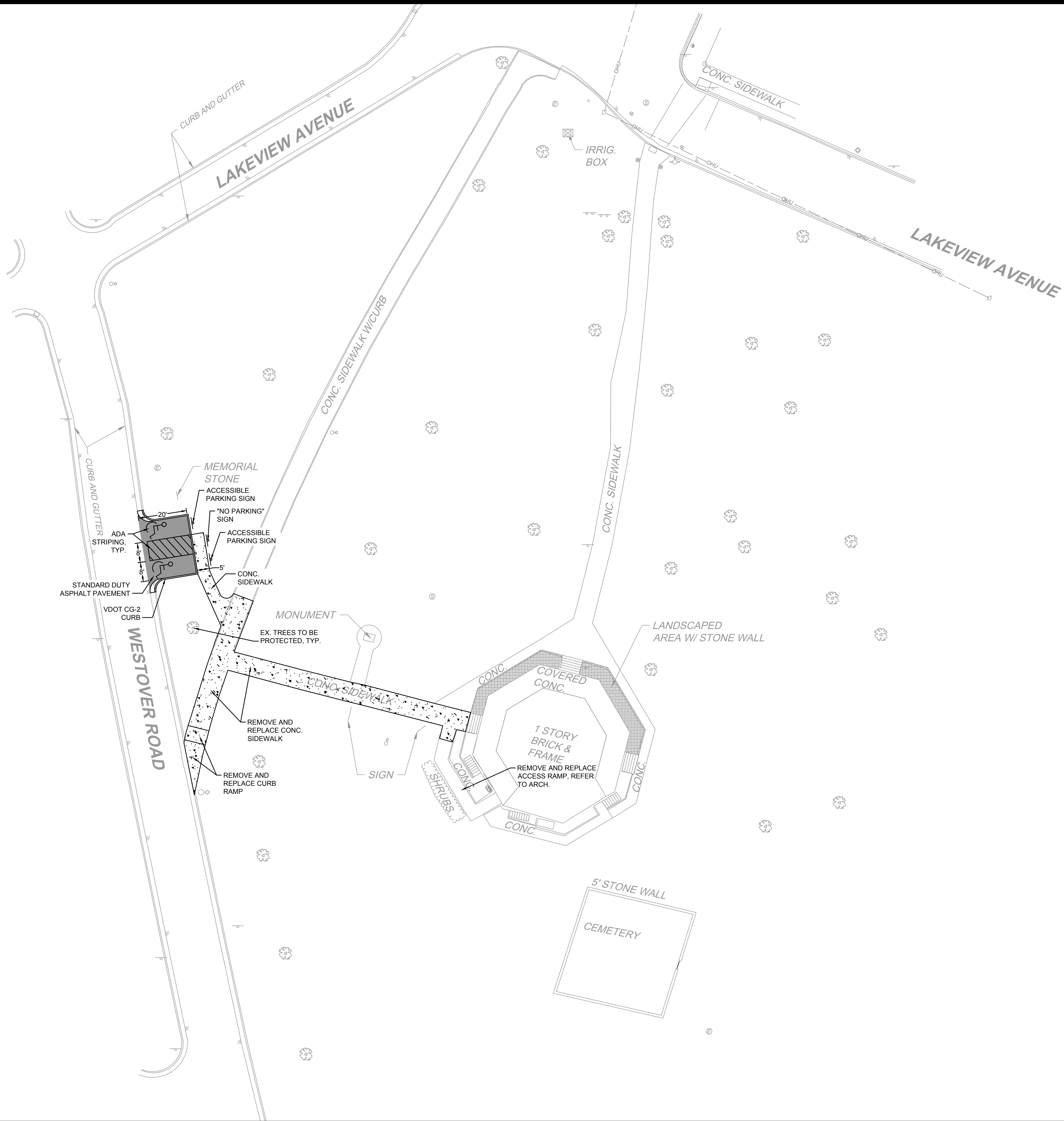
Project Scope

The existing building is a one-story, octagon-shaped, masonry structure approximately 2,500 square feet in area, located in Byrd Park at 621 Westover Road, Richmond, Virginia 23220.

The Project Scope of Work is a renovation to provide compliant ADA accessibility and includes repair and replacement of failing exterior items consisting of the following:

1. Replacing the existing access ramp with concrete slab matching the stairs and masonry walls matching the porch support walls.
2. Replacing the existing railings with code compliant guardrails and handrails.
3. Replacing the existing porch decking, porch ceiling, column enclosures, fascia beams, and rafter tails with composite, faux wood materials that mimic the existing materials and match existing profiles.
4. In the interior of the building, demolition of the restroom area and reconstruction with a revised ADA compliant layout.
5. Adding two ADA compliant parking spaces and installing and replacing sidewalk to create an accessible path from the spaces to the building.

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CONSTRUCTION

ROUND HOUSE ADA IMPROVEMENTS

BYRD PARK
RICHMOND, VA 23220

PROJECT NO: 39675.006	DATE: MARCH 11, 2021
REVISIONS	
DATE	DESCRIPTION

SITE PLAN

CS101

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 CONSTRUCTION**

BYRD PARK ROUND HOUSE ADA UPGRADE

**621 WESTOVER ROAD
 CITY OF RICHMOND**

PROJECT NO:	563131
DATE:	March 11, 2021
REVISIONS	
DATE	DESCRIPTION

**DEMOLITION PLAN AND
 REFLECTED CEILING
 PLAN**

A1.2.1

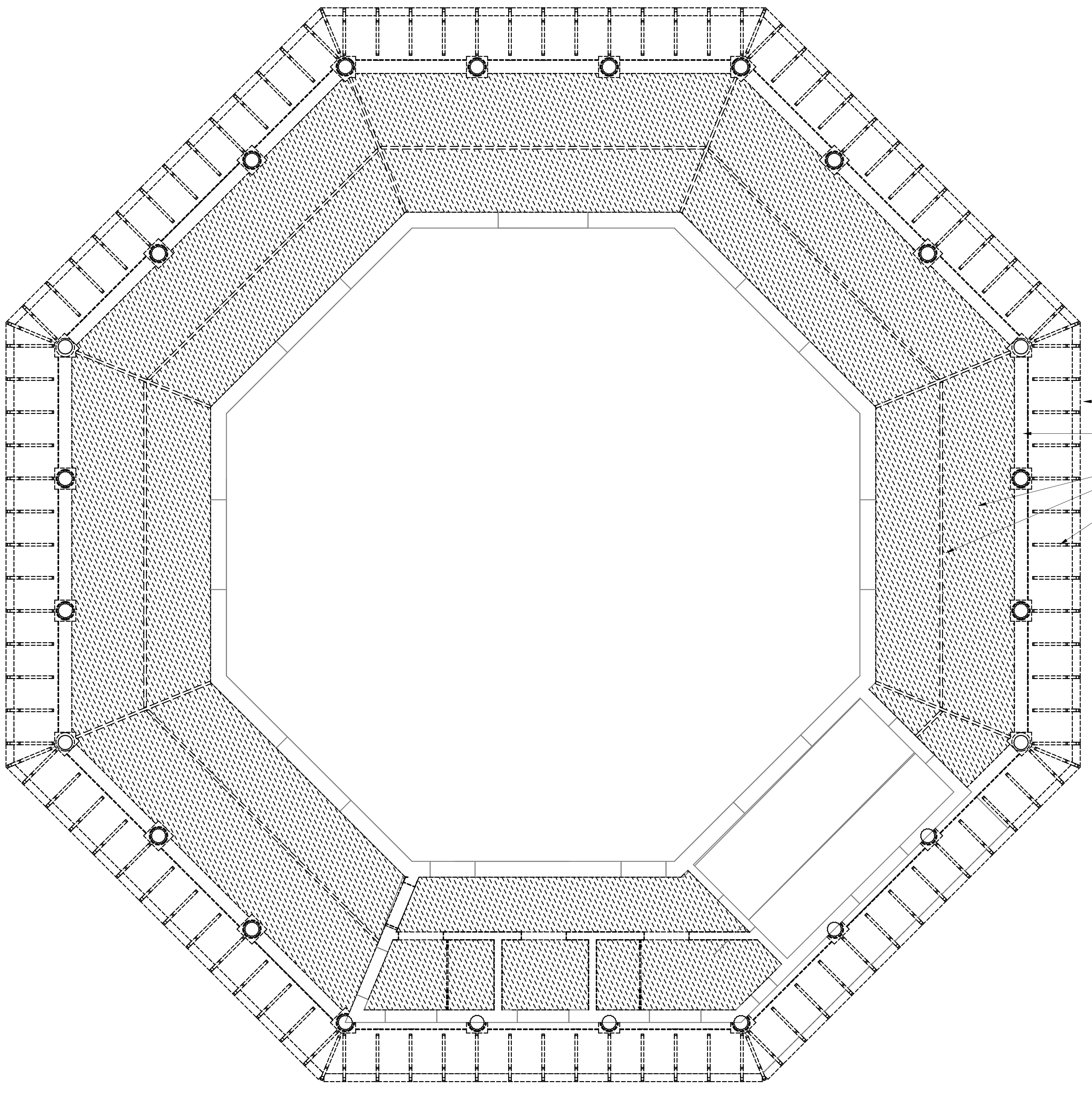
DEMOLITION PLAN KEYNOTES
 REPRESENTED BY [Symbol]

APPLIES TO DRAWINGS A1.2.1 - A1.2.n

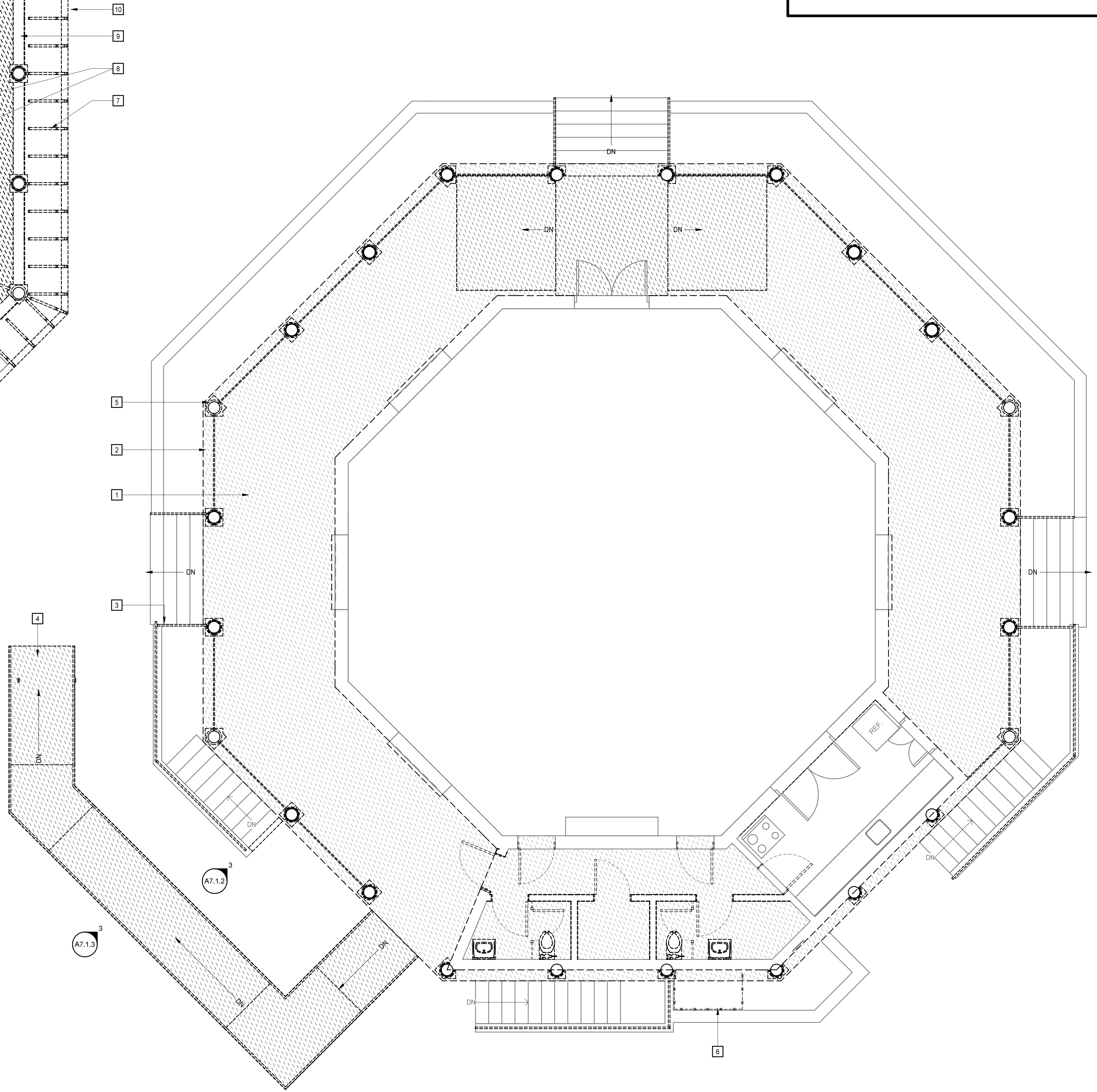
- 1 REMOVE WOOD DECK AND TRIM
- 2 REMOVE RAILING AT PORCH
- 3 REMOVE RAILING AT STAIRS
- 4 REMOVE RAMP
- 5 REMOVE COLUMN
- 6 REMOVE CHAIN LINK FENCE
- 7 REMOVE RAFTER TAILS
- 8 REMOVE SOFFIT CEILING AND TRIM
- 9 REMOVE BEAM
- 10 REMOVE GUTTER AND DOWNSPOUTS

DEMOLITION PLAN LEGEND
 APPLIES TO DRAWINGS A1.2.1 - A1.2.n

- [Symbol] EXISTING PARTITION/WALL/ITEM TO REMAIN
- [Symbol] REMOVE EXISTING PARTITION/WALL/ITEM
- [Symbol] REMOVE EXISTING WINDOW ASSEMBLY AND FRAMING, INCLUDING ANCHORS
- [Symbol] REMOVE EXISTING DOOR AND FRAME ASSEMBLY INCLUDING DOOR HARDWARE, ANCHORS, AND THRESHOLD (WHERE OCCURS).
- [Symbol] REMOVE EXISTING PLUMBING FIXTURE. REFER TO PLUMBING DEMOLITION PLAN FOR ADDITIONAL INFORMATION.
- [Symbol] REMOVE ALL EXISTING FINISH FLOORING AND SUSPENDED CEILINGS IN AREA



DEMOLITION REFLECTED CEILING PLAN
 1/4" = 1'-0"



DEMOLITION FLOOR PLAN
 1/4" = 1'-0"

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BYRD PARK ROUND HOUSE ADA UPGRADE

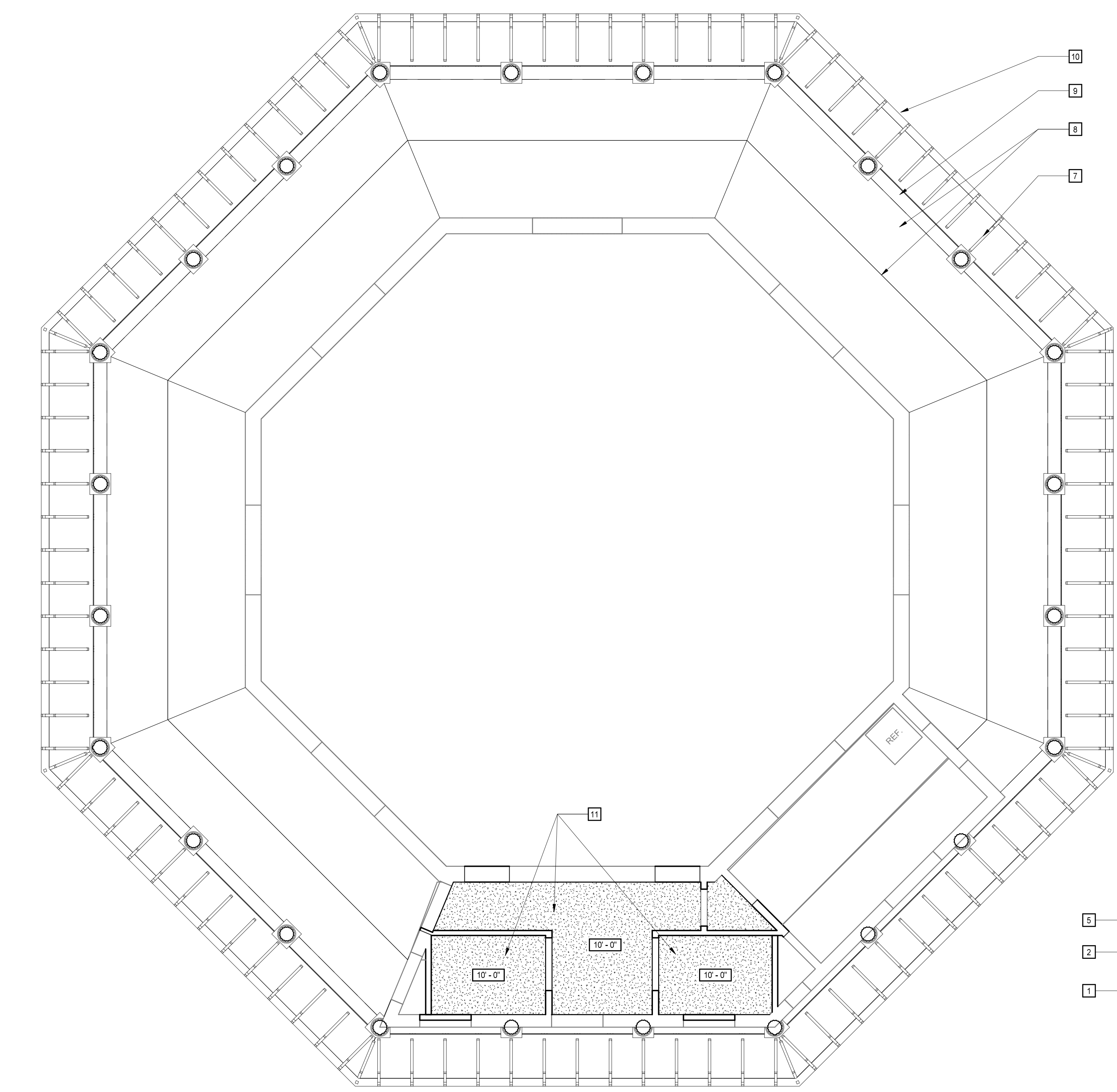
**621 WESTOVER ROAD
 CITY OF RICHMOND**

PROJECT NO:	563131
DATE:	March 11, 2021
REVISIONS	
DATE	DESCRIPTION

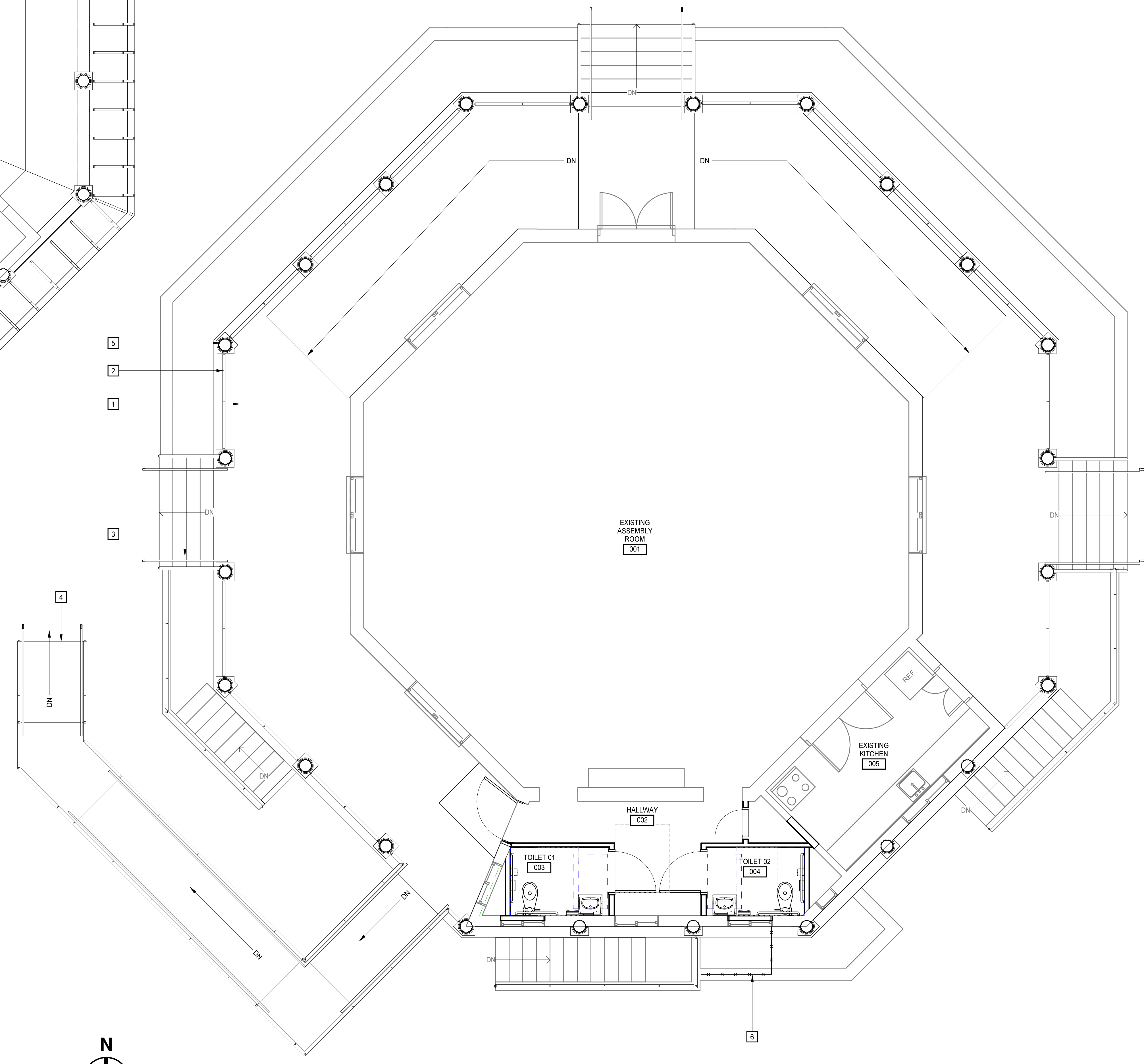
**FLOOR PLAN AND
 REFLECTED CEILING
 PLAN**

A2.1

FLOOR PLAN KEYNOTES	
REPRESENTED BY [A]	
APPLIES TO DRAWINGS A2.1 - A2.m	
1	INSTALL REPLACEMENT WOOD DECK
2	INSTALL REPLACEMENT PORCH BANISTER GUARDRAIL
3	STAIR GUARDRAIL AND HANDRAIL
4	RAMP, GUARDRAIL, AND HANDRAIL
5	INSTALL REPLACEMENT COLUMNS
6	INSTALL REPLACEMENT CHAINLINK FENCE ENCLOSURE
7	INSTALL REPLACEMENT RAFTER TAILS
8	INSTALL REPLACEMENT SOFFIT CEILING AND TRIM
9	INSTALL REPLACEMENT BEAM
10	INSTALL REPLACEMENT GUTTER AND DOWNSPOUTS
11	GYPSUM BOARD CEILING



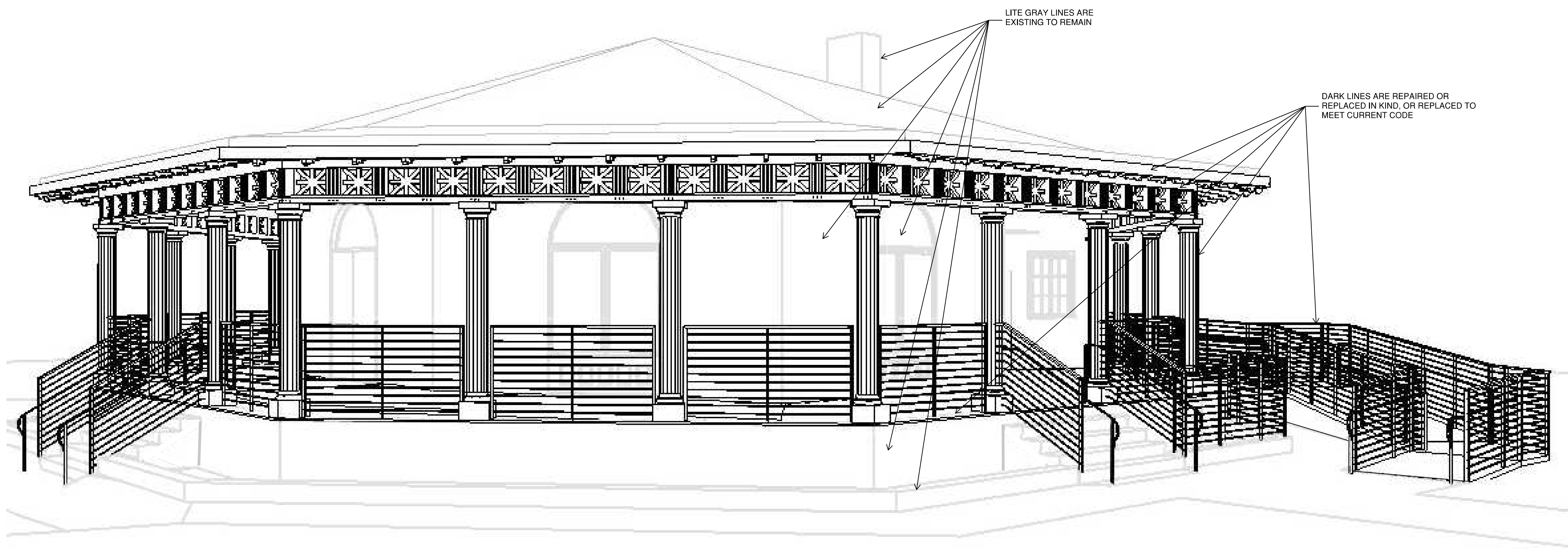
N
 REFLECTED CEILING PLAN
 1/4" = 1'-0"



N
 FLOOR PLAN
 1/4" = 1'-0"

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PROPOSED NORTHWEST FACADE



EXISTING NORTHWEST FACADE

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BYRD PARK ROUND HOUSE ADA UPGRADE

**621 WESTOVER ROAD
CITY OF RICHMOND**

PROJECT NO.	563131
DATE	March 11, 2021
REVISIONS	
DATE	DESCRIPTION

PERSPECTIVE