

INTRODUCED: September 13, 2021

AN ORDINANCE No. 2021-255

To authorize the special use of the property known as 901 Lake Road for the purpose of a two-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: OCT 11 2021 AT 6 P.M.

WHEREAS, the owner of the property known as 901 Lake Road, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of a two-family detached dwelling, which use, among other things, is not currently allowed by section 30-410.1 of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: OCT 11 2021 REJECTED: _____ STRICKEN: _____

an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 901 Lake Road and identified as Tax Parcel No. W000-0886/001 in the 2021 records of the City Assessor, being more particularly shown on a survey entitled “Survey of Lot and Improvements Thereon Located at #901 Lake Road, Richmond, Virginia,” prepared by A. G. Harocopos & Associates, P.C., and dated September 15, 2020, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a two-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Proposed Addition & Alterations to 901 Lake Road, Richmond, Virginia 23225,” prepared by David Clinger, Jr., Architectural Design & Planning, and dated December 1, 2020, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a two-family detached dwelling, substantially as shown on the Plans.

(b) Two off-street parking spaces shall be provided to the rear of the Property.

(c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(d) All elevations and site improvements shall be substantially as shown on the Plans. Building siding materials shall consist of brick, cementitious siding, or similar materials.

4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

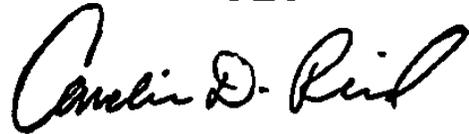
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or

otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:
TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reed". The signature is written in a cursive, flowing style.

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2021.700

O & R Request

DATE: August 12, 2021

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)



THROUGH: J.E. Lincoln Saunders, Acting Chief Administrative Officer



THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Acting Director, Department of Planning and Development Review



RE: To authorize the special use of the property known as 901 Lake Road for the purpose of allowing a two-family detached dwelling, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 901 Lake Road for the purpose of allowing a two-family detached dwelling, upon certain terms and conditions.

REASON: The subject property is located in the R-5 Single-Family Residential zoning district. Two-family dwellings are not permitted uses in this zoning district. Therefore a special use permit amendment is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its October 4, 2021 meeting.

BACKGROUND: The 6,056 square foot subject property is located on the corner of Lake Road and Walker Street. It is improved with a 2,252 square foot home and is located in the Byrd Park neighborhood and is within the boundary of the Byrd Park Civic League.

On April 15, 1946 the City of Richmond Board of Zoning Appeal granted a variance authorizing the construction of a two-family dwelling on the property. On October 14, 2002 the property was rezoned from the R-6 Single-Family Attached Residential District to the R-5 Single-Family Residential District.

Under the new zoning designation the two-family dwelling became a legally nonconforming use. A nonconforming structure *shall not be enlarged, extended, reconstructed, moved or structurally altered unless such building or structure is thereafter devoted to a conforming use*. The property owner proposes to add porches to the structure as part of an extensive renovation. This proposal is an expansion of the nonconforming use that exceeds the 10% threshold for an expansion that can be granted by the Board of Zoning Appeals under a Special Exception. A special use permit authorizing a two-family dwelling for the property will remedy the nonconforming status of the structure and allow the proposed expansion to occur.

The Richmond 300 Master Plan recommends Residential Uses for the Property. The development style in this designation calls for houses on medium-sized and large-sized lots in a largely auto-dependent environment. Homes are setback from the street. Future developments continue and/or introduce a gridded street pattern to increase connectivity. Future single-family housing, accessory dwelling units, duplexes, and small multi-family residential buildings are built to a scale and design that is consistent with existing buildings.

Intensity: Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000+ sq. ft. Residential density of 2 to 10 housing units per acre.

Primary Uses: Single-family houses, accessory dwelling units, and open space.

Secondary Uses: Duplexes and small multi-family buildings (typically 3-10 units), institutional, and cultural.

The addition to the existing two-story structure will be a traditional urban design that is complementary to the surrounding dwellings on the block and in the neighborhood. The net density of the two-family structure is approximately 14 units per acre.

All properties surrounding the subject property are located within the same R-5 Single-Family Residential zoning district. Within the area of the subject property, properties are improved with single-family and two-family dwellings. There are also five structures built as duplexes and still retain this use.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: September 13, 2021

CITY COUNCIL PUBLIC HEARING DATE: October 11, 2021

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
October 4, 2021

AFFECTED AGENCIES: Office of Chief Administration Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application and Narrative, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 901 Lake Road Date: 2/24/2021
 Tax Map #: W00008860 Fee: \$300
 Total area of affected site in acres: .139

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-5

Existing Use: Duplex

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)
Duplex (please see attached for full description)

Existing Use: Duplex

Is this property subject to any previous land use cases?

Yes No
 If Yes, please list the Ordinance Number: Year 1946/Case 086 page 56

Applicant/Contact Person: David Neely

Company: DL Phillips Construction
 Mailing Address: 1014 Sharon Lane
 City: Richmond State: VA Zip Code: 23229
 Telephone: (804) 363-3211 Fax: ()
 Email: davidpneely@verizon.net

Property Owner: 901 Lake Road LLC

If Business Entity, name and title of authorized signee: Laurie Petronis

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 7401 Riverside Drive
 City: Richmond State: VA Zip Code: 23225
 Telephone: (804) 564-6222 Fax: ()
 Email: lpetronis@me.com

Property Owner Signature: *Laurie Petronis*

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Whereas, a public hearing was held at a meeting of the Board on Monday, April 15, 1946, after public notice in the News-Leader and written notice sent to the the adjoining property owners; and

Whereas, the property consists of a plot of ground fronting 56 ft. on Smithdeal Avenue and 120 ft. on 43 rd Street; and

Whereas, there was no opposition, and the purpose of the enclosure is to provide an open air retreat for an invalid free from insects, etc;

Now therefore, be it resolved that the Board does hereby make a variance from the requirements of the Zoning Ordinance and does hereby grant the permit.

APPEAL: 86-46

APPLICANT: William B. Eubank

SUBJECT: Erect a two-family dwelling

PREMISES: 901 Lake Road

APPEARANCES:

For applicant - W. B. Eubank & Mr. & Mrs. Goodwyn by phone
 For City - W. G. Wharton
 Against applicant - None

ACTION OF BOARD: Granted

Vote to grant -	
Affirmative - Budina, Muhleman, Maynard, Woodson	4
Negative -	0
Absent - Ballou	1

RESOLUTION:

Whereas, Wm. B. Eubank filed an application under date of April 3, 1946, for permission to erect a two family dwelling occupying a portion of the required yard area; and

Whereas, the decision of the Commissioner of Buildings rendered under date of April 3, 1946, disapproved the request under Article V Section 4 Paragraph 1 and Article IV Section 4 Paragraph 1(c) of the Zoning Ordinance for the reason that "Where front yards have been established or may be required on each of two ~~inter-~~secting streets, there shall be a front yard on each street side of a corner lot"; and

Whereas, a public hearing was held at a meeting of the Board on April 15, 1946, after public notice in the News-Leader and written notice sent to the adjoining property owners; and

> Whereas, the property consists of a plot of ground fronting 37 ft. on Byrd Park by 182 ft.; and

Whereas, there was no opposition and the building fronting Walker Street are about 100 ft. from the proposed building;

Now therefore, be it resolved that the Board does hereby make a variance from the requirements of the Zoning Ordinance and does hereby grant the request.

901 Lake Road is one of three adjacent parcels hosting duplexes built in the late 1940's. This proposed duplex is also one of five multi-family structures within a two square block area in Byrd Park (803-807 Lake Road, 901 Lake Road, 903 Lake Road, 2005 Walker Street and 900 S. Meadow Street) and it will compare in size, use and density with these other grandfathered duplexes in its improved form. These structures, within the R-5 residential zone of southern Byrd Park, were granted variance approval as there were no neighborhood objections to the creation of two and four family homes that would offer residents the recreation Byrd Park and Swan Lake offer.

The property today remains as a nonconforming duplex in the R-5 district. After 75 years in service, the structure at 901 Lake Road requires a full rehab to revive its usefulness. The current building has suffered water damage from a damaged roof and plumbing in need of repair. The structure does not have modern HVAC and the windows need to be replaced throughout. The existing porch was made unstable from overgrown tree roots and the property's fence lines are now encased by trees that are no longer healthy and a risk to neighboring properties. The current owner of 901 Lake Road is committed to investing more than six figures to revitalize this property and breath new life into this block of Richmond. The nonconforming status of this property, however, hinders her ability to enhance the property's dated and cramped quarters and offer quality two-family living in this urban oasis.

When she realized the size of the renovation required, the owner became determined to make a forward thinking investment. She paid close attention to the recommendations made in the Richmond300 plan. She was inspired by the recent findings of the Department of Planning and Development Review when they published the takeaways from the "Planning for a Post Pandemic World" survey and revised the 901 Lake Road project to include the PDR's recommendations.

The proposed use for 901 Lake Road is to continue as a duplex with a modest addition that would encroach on no boundaries nor overwhelm the property or its neighbors. The density of the proposed project remains the same, as the addition proposed will allow for the addition of a second bathroom, closet and desirable in unit washer and dryer. The proposal does not encourage more tenants, but rather provides better living for the same number of tenants. The reconfigured space inside will combine to allow for an office for teleworking tenants that that opens to an improved front porch (balcony on second floor) overlooking Byrd Park and Swan Lake. The front façade of the building will have more visual interest with its improved windows and porches. This improved layout will offer tenants a stronger connection to the public park and a more interesting building for passing pedestrians to view while walking. The front of the structure, including the second level of the front stoop, will showcase the views of Swan Lake and complement the recent renovations in the area.

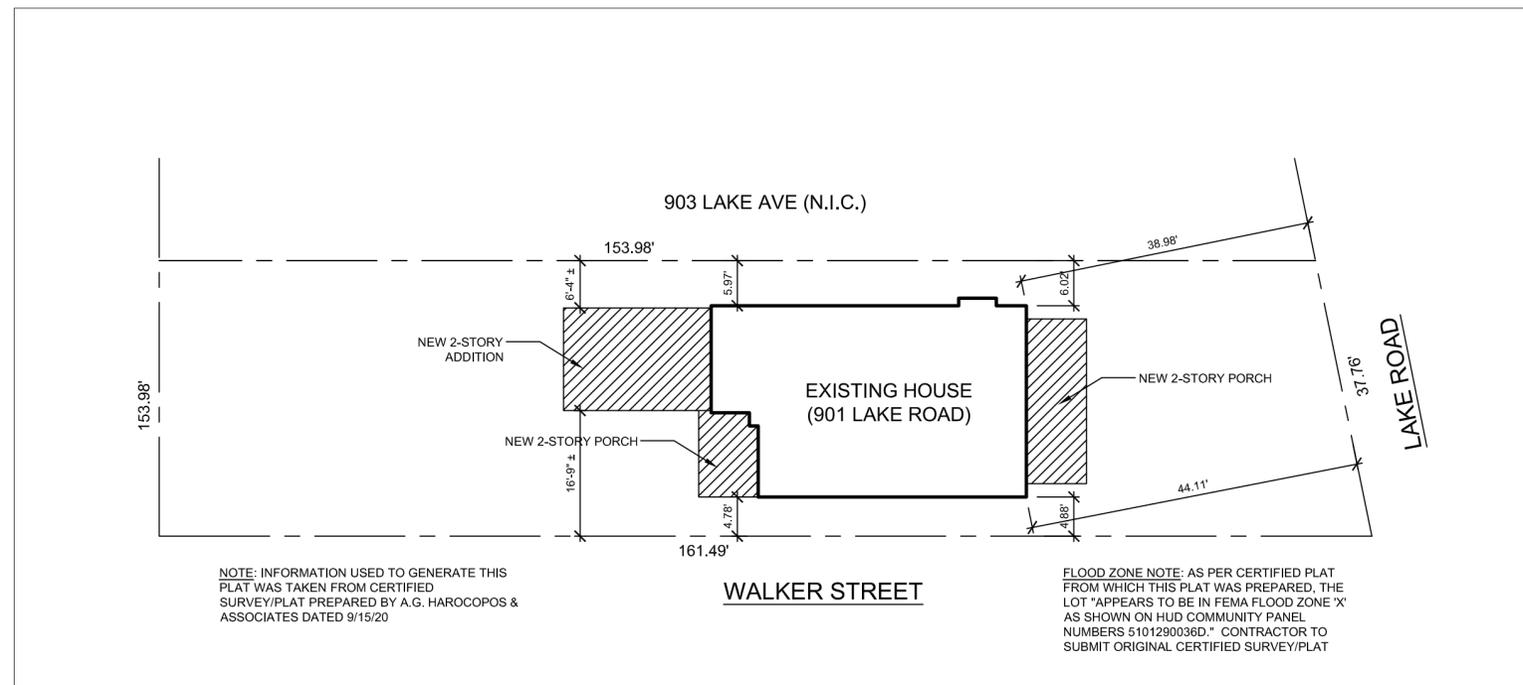
The proposed use for 901 Lake Road does not increase congestion in the surrounding streets. Conversely, the removal of existing concrete slabbing in the back yard and the refencing of the property will allow the property to retain its coveted off street parking accessed in the alley, but in a safer and more appealing manner. The renovated rear of the structure will better and more safely allow access to the building and allow for covered storage of bicycles, as tenants embrace the improved bicycle infrastructure of Richmond. The new deck areas adjacent to the addition in the rear of the property create a private and welcoming new entrance to the units. The improved fenced back yard leading to alley parking will allow for garden space that does not compete with the more public city park setting in the front and also improves the quality of life for tenants. This fenced area will also encourage safe pet ownership when tenants are not walking their pets in the park and allow for electric car charging access for tenants.

The impact of the proposal for 901 Lake Road is a renewed duplex with ample space that blends with its surroundings, respects the natural features of Byrd Park, and offers amenities important to residents in the post-pandemic world. The owner of 901 Lake Road is excited to provide two quality residences in a location of the City of Richmond that is appreciating at a rapid rate. She believes there are many hard working people in Richmond that are being left behind because they have the income, but may lack the savings or credit that would enable them to live in a park front location they desire. Nonconforming duplexes in R-5 districts play an important role in providing residences to people in the locations they may have never had the opportunity to live. The owner feels the improvement of duplexes in the Byrd Park area is especially important, to honor the past and present homeowners in an area that has been historically diverse. The property, with the improvements detailed in the attached plans complete the vision the original designers of this urban streetscape had in the 1940's. The proposal also heeds the recommendations of the Richmond300 plan for Richmond's future.

The owner has discussed the project with surrounding neighbors and members of the neighborhood civic association and has gained their support. She has worked hard to build her relationship with the neighborhood by carefully planning this project to be in keeping with the current residential neighborhood practice and the future of the city of Richmond with its commitment to a greener and more connected urban experience.

Proposed Addition & Alterations to 901 LAKE ROAD

Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC



CONTACT INFORMATION

OWNER:
 901 Lake Road LLC
 7401 Riverside Drive
 RICHMOND, VA 23225
 lpetronis@icloud.com

ARCHITECTURAL DESIGNER:
 DAVID M. CLINGER, JR.
 300 W. FRANKLIN STREET
 SUITE 1507W
 RICHMOND, VIRGINIA 23220
 PH. 804-683-5718
 cclinger47@gmail.com

BUILDING & CODE DATA

APPLICABLE CODE:
 INTERNATIONAL REHABILITATION CODE 2015 EDITION
 (w/ STATE AMENDMENTS)

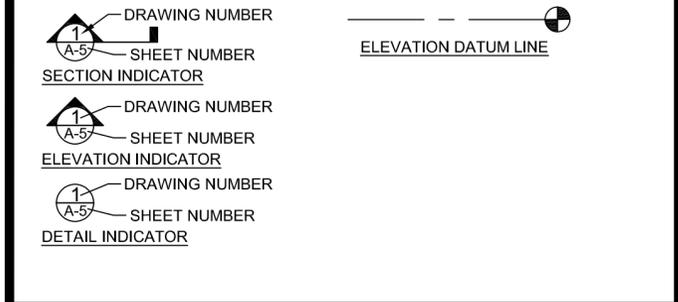
PROJECT SQUARE FOOTAGE:
 EXISTING HOUSE: 1,001 s.f. per floor = (x2) = 2,002 s.f.
 REAR ADDITION: 274 s.f. per floor = (x2) = 548 s.f.
 TOTAL: 2,550 s.f.

STRUCTURAL LOADS:
 FLOOR LOAD: LIVE/40 PSF - DEAD/10 PSF
 ROOF LOAD: LIVE/20 PSF - DEAD 10 PSF
 SNOW LOAD: 20 PSF
 WIND LOAD: 120 MPH (3 SECOND GUST), V_{asd}= 95 MPH
 SEISMIC CATEGORY: 1

DRAWING INDEX

- C-1 COVER SHEET w/ GENERAL NOTES & DESIGN DATA
- A-1 DEMOLITION PLANS
- A-2 FOUNDATION PLAN
- A-3 NEW WORK FLOOR PLAN
- A-4 ELEVATIONS
- A-5 ELEVATIONS
- A-6 SECTIONS/DETAILS

DRAWING SYMBOLS (NOT ALL SYMBOLS USED)



GENERAL NOTES

1. ALL WALLS ARE TO BE CONSTRUCTED OF 2x4 STUDS (#2 SYP) AT 16" O.C. UNLESS NOTED OTHERWISE
 2. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE w/ ALL APPLICABLE BUILDING CODES AND REGULATIONS
 3. ALL DIMENSIONS ARE TO FACE OF SHEATHING AT EXTERIOR WALLS, FACE OF MASONRY, OR FACE OF STUD AT INTERIOR WALLS (AS DESCRIBED BELOW) UNLESS NOTED OTHERWISE
-
- EXTERIOR WALL** **MASONRY WALL** **INTERIOR WALL**
4. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL EXISTING CONDITIONS AND DIMENSIONS. IF SIGNIFICANT DISCREPANCIES ARE FOUND THAT MAY IMPACT NEW WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECTURAL DESIGNER TO REVIEW AND DIRECT.

Proposed Addition & Alterations to
901 LAKE ROAD
 Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC

REVISIONS:

#	DATE

DATE: 12/1/20

Proposed Addition & Alterations to
901 LAKE ROAD
 Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC

REVISIONS:

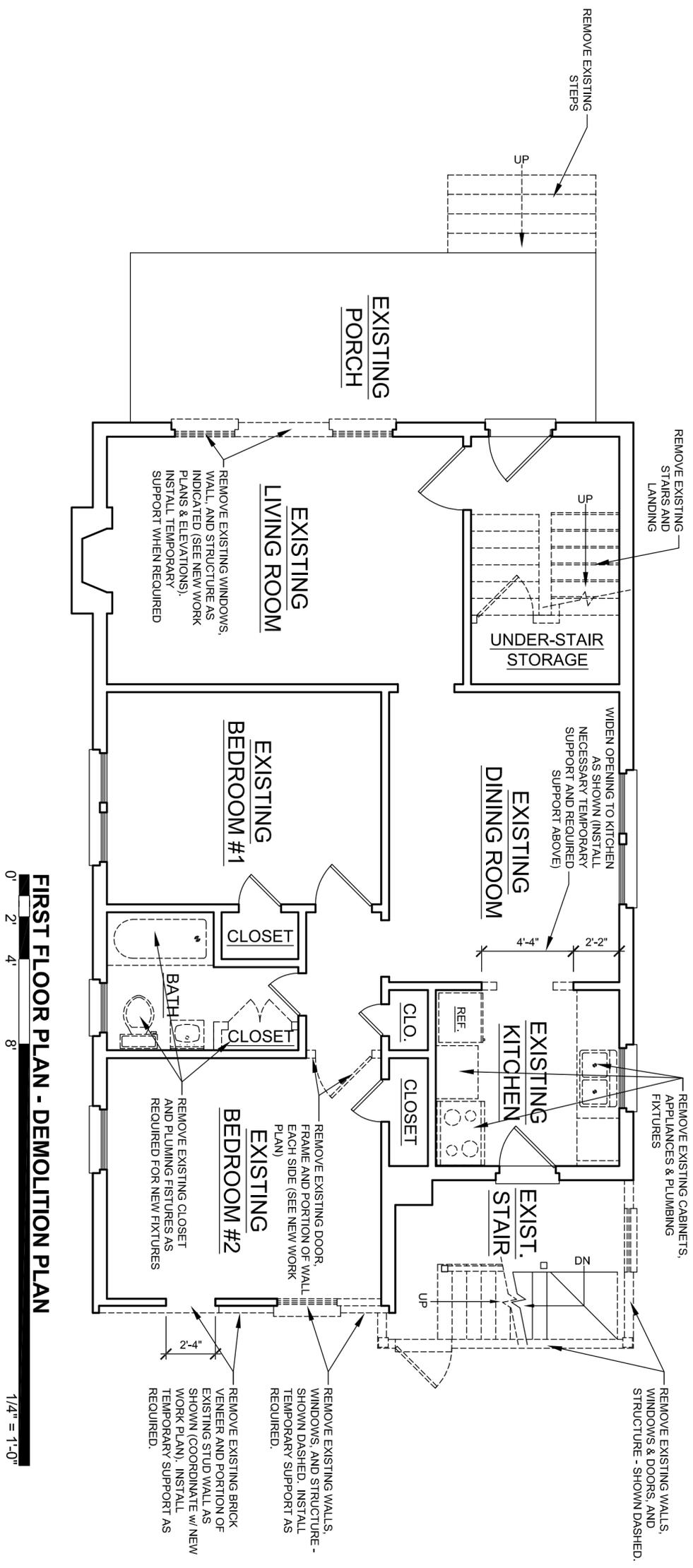
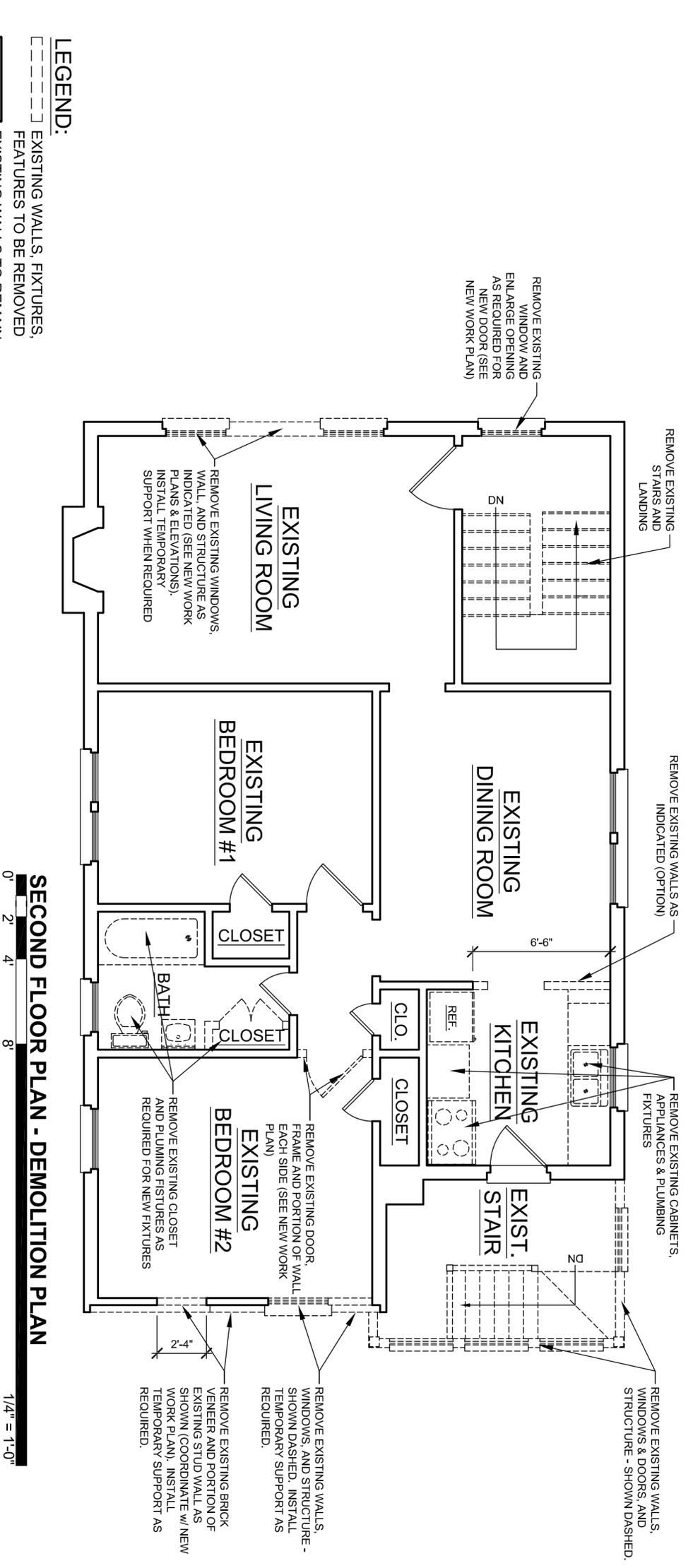
NO.	DATE	DESCRIPTION
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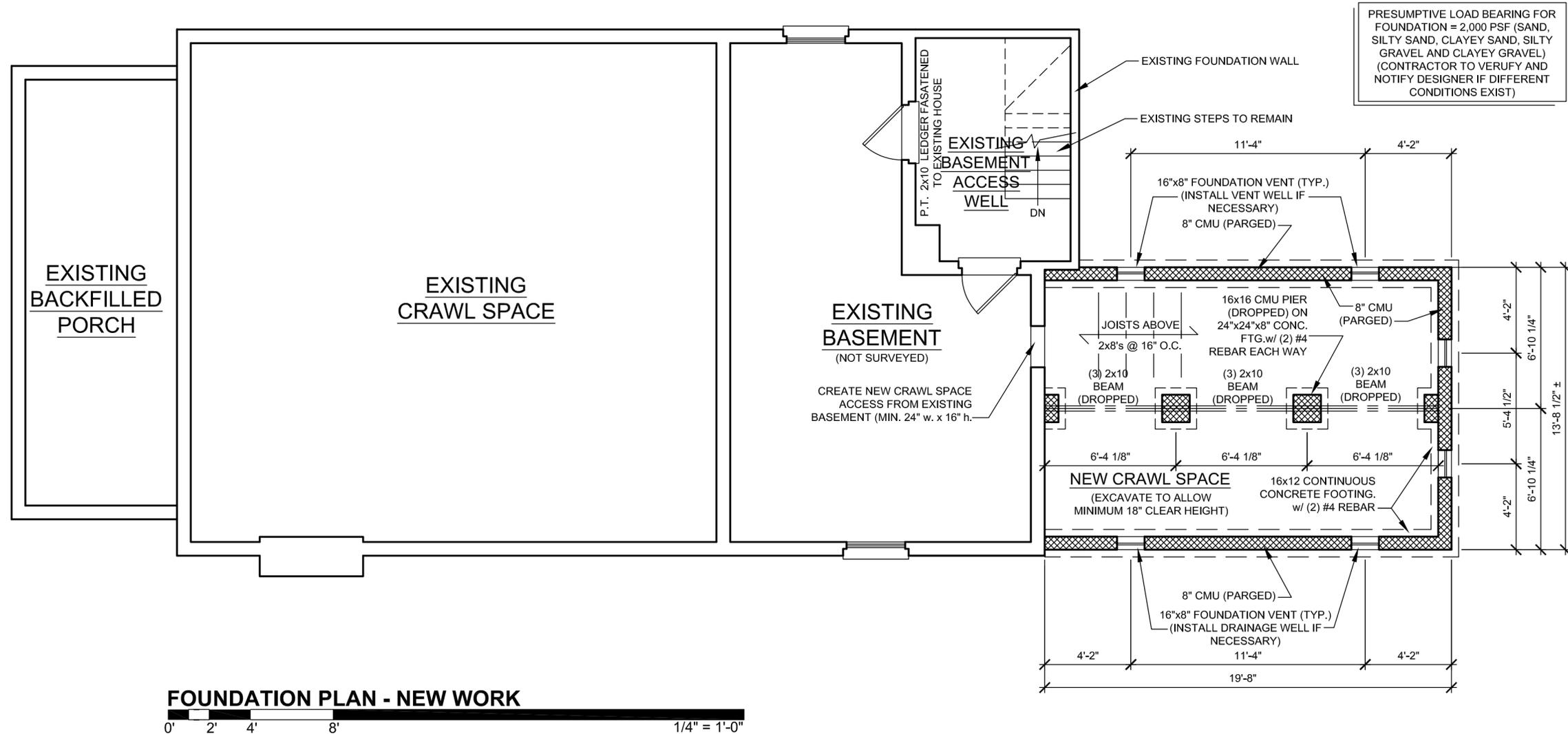
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A-1

DEMOLITION PLAN

LEGEND:
 [---] EXISTING WALLS, FIXTURES,
 FEATURES TO BE REMOVED
 [—] EXISTING WALLS TO REMAIN





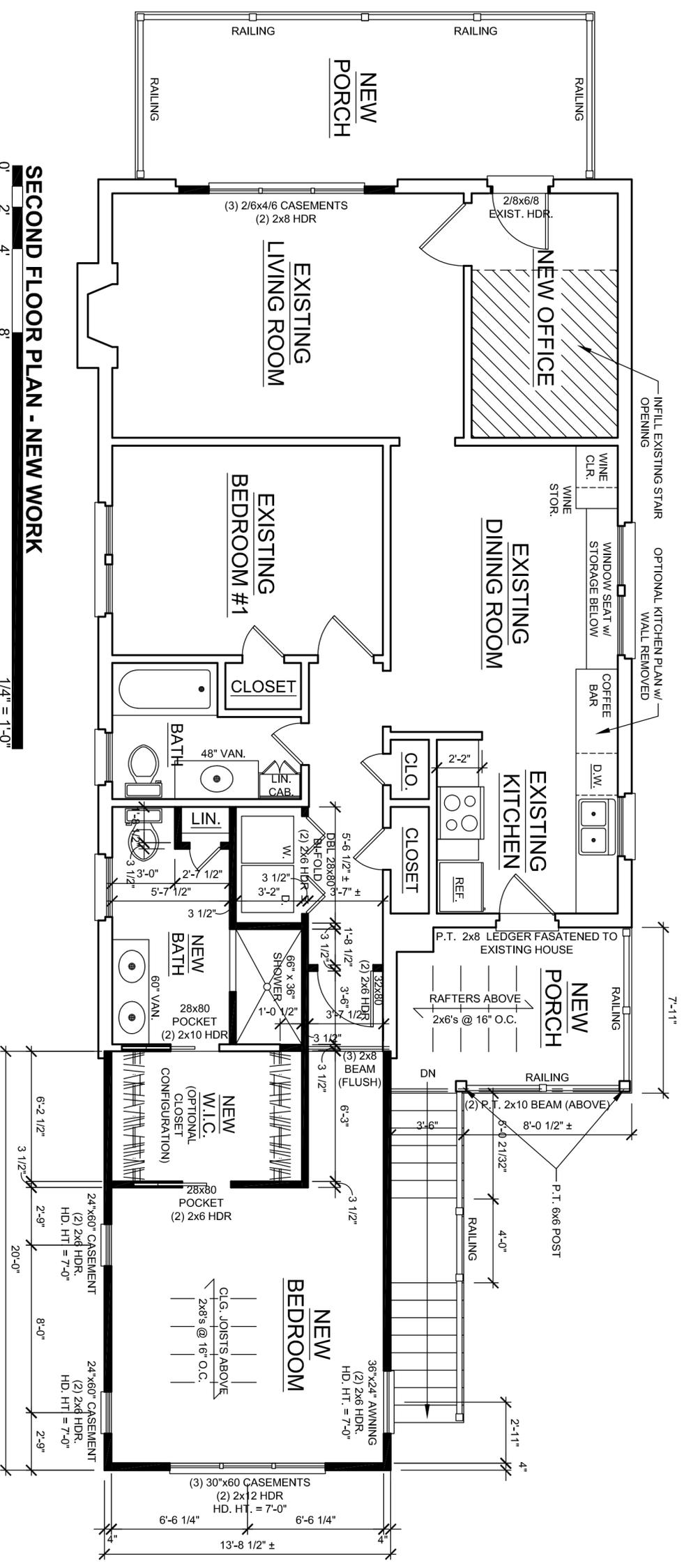
PRESUMPTIVE LOAD BEARING FOR FOUNDATION = 2,000 PSF (SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL) (CONTRACTOR TO VERIFY AND NOTIFY DESIGNER IF DIFFERENT CONDITIONS EXIST)

Proposed Addition & Alterations to
901 LAKE ROAD
 Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC

REVISIONS:

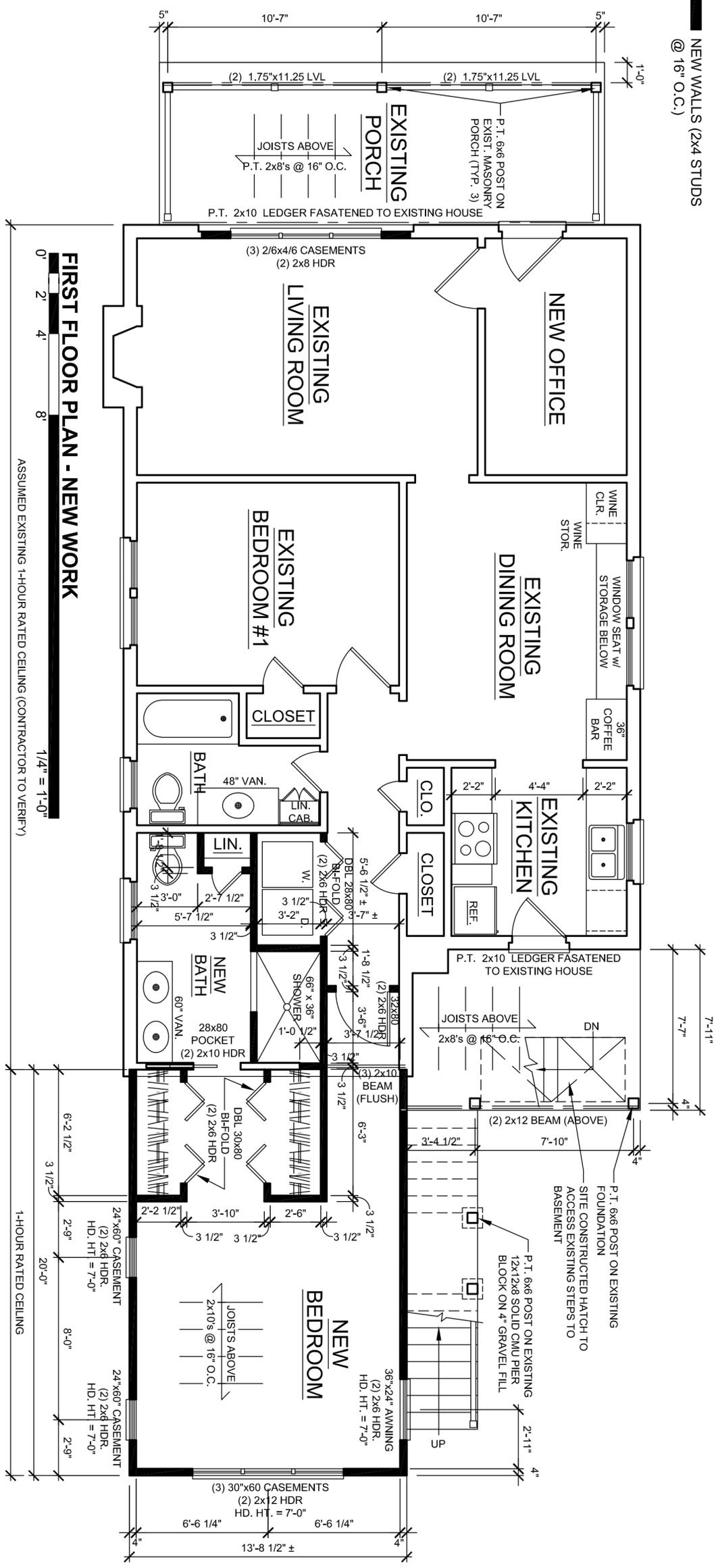
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DATE: 12/1/20



LEGEND:
 [Line style] EXISTING WALLS TO REMAIN
 [Line style] NEW WALLS (2x4 STUDS @ 16" O.C.)

SECOND FLOOR PLAN - NEW WORK



FIRST FLOOR PLAN - NEW WORK

Proposed Addition & Alterations to
901 LAKE ROAD
 Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC

REVISIONS:

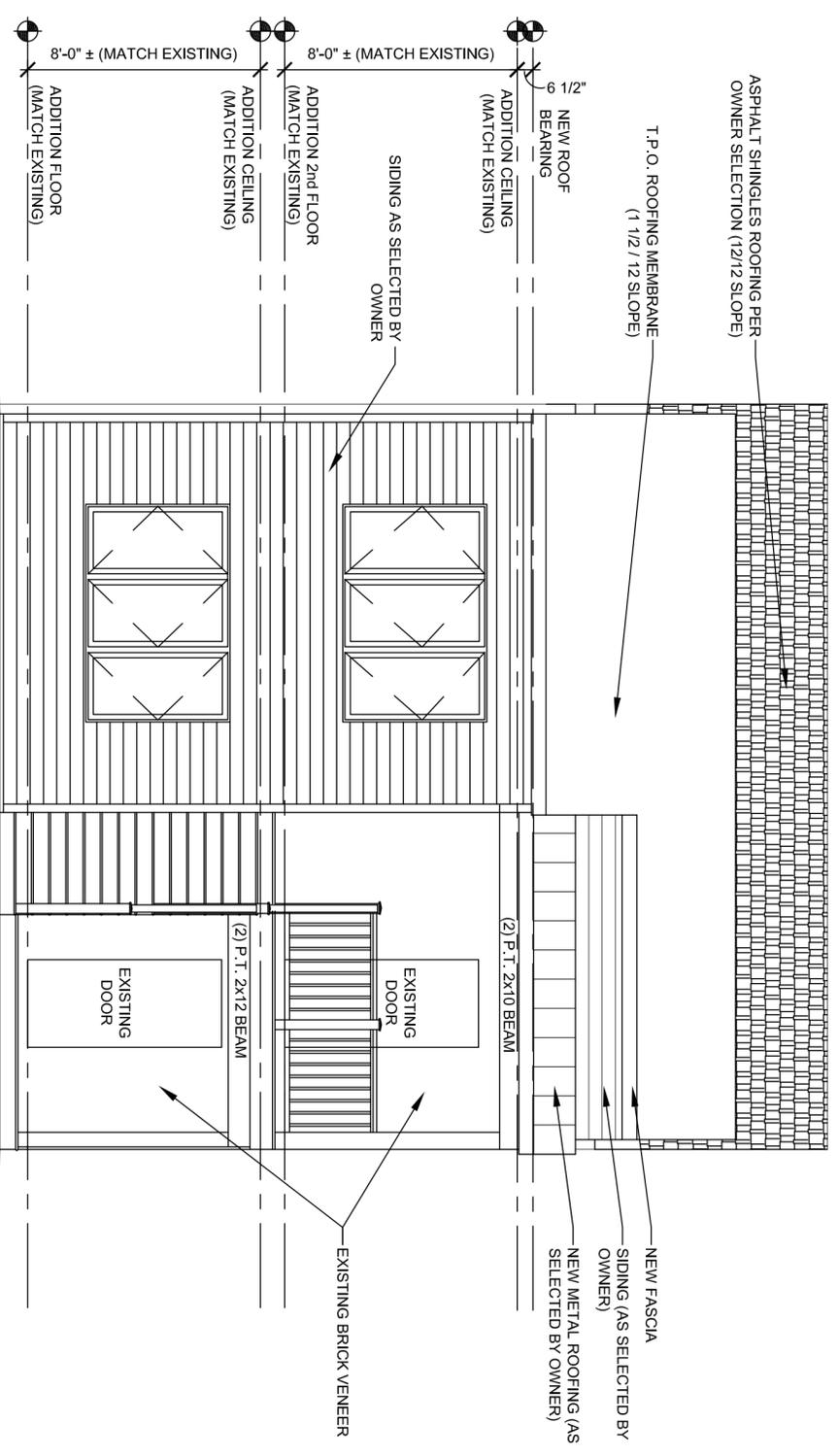
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DATE: 12/1/20

A-3

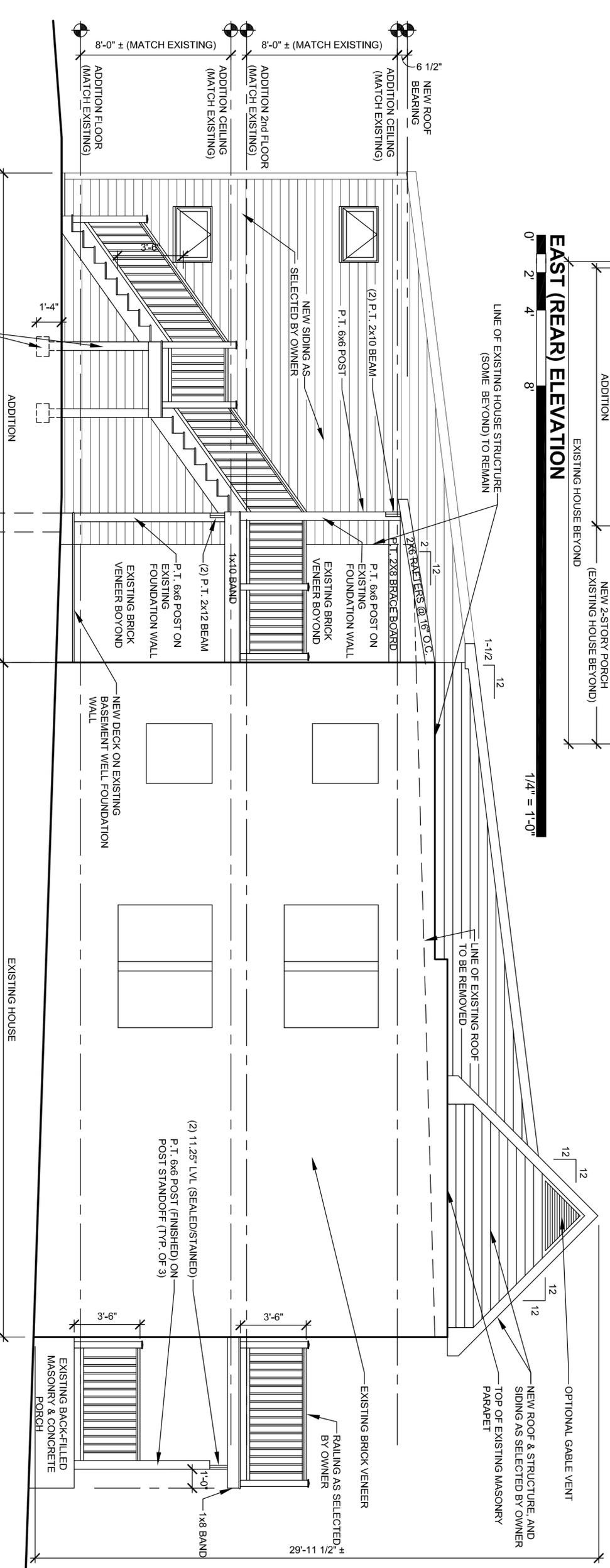
NEW WORK PLANS

ASSUMED EXISTING 1-HOUR RATED CEILING (CONTRACTOR TO VERIFY)



EAST (REAR) ELEVATION

0' 2' 4' 8' 14" = 1'-0"



NORTH (RIGHT SIDE) ELEVATION

0' 2' 4' 8' 1/4" = 1'-0"

Proposed Addition & Alterations to
901 LAKE ROAD
 Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC

REVISIONS:

X	XXXXXX
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DATE: 12/1/20

Proposed Addition & Alterations to
901 LAKE ROAD
 Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC

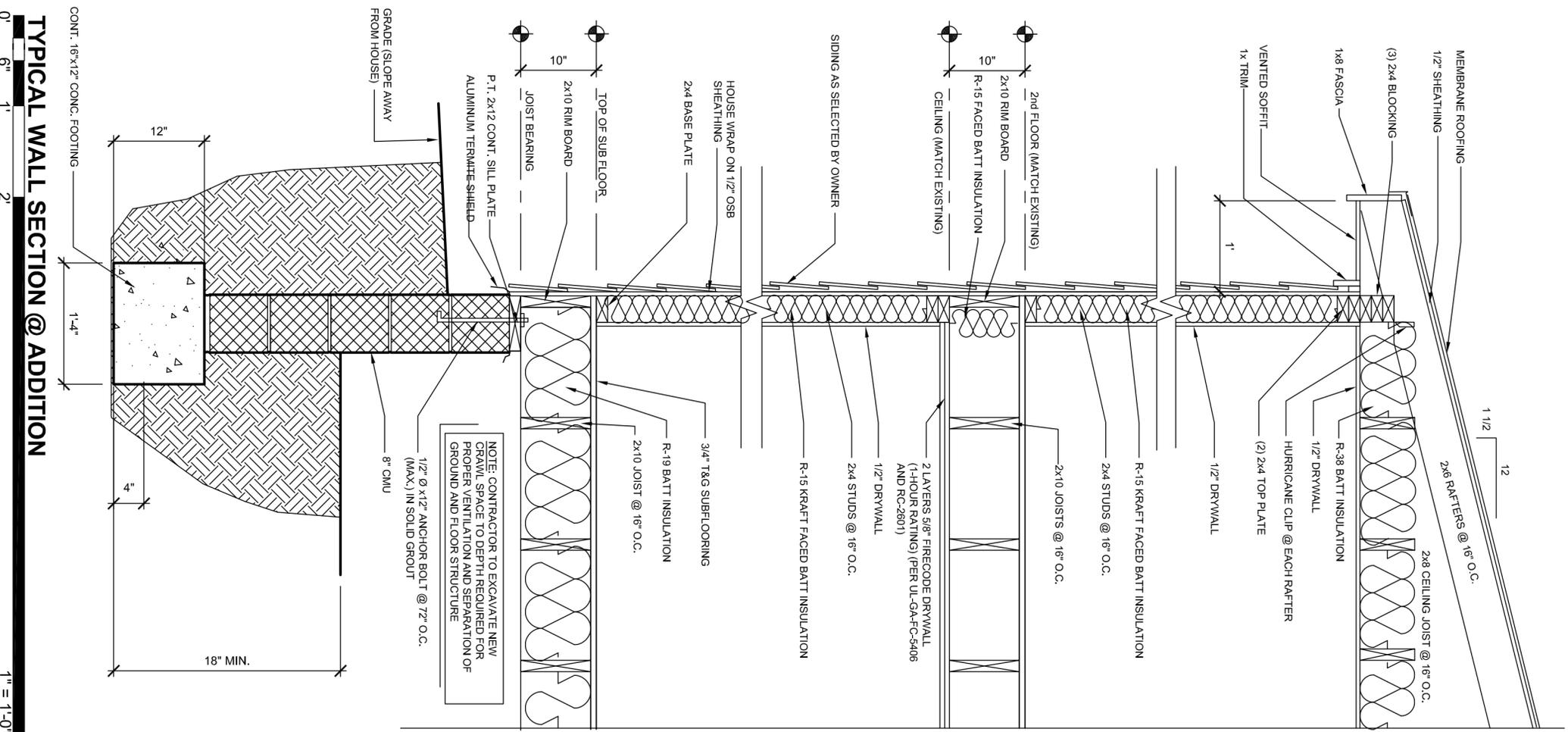
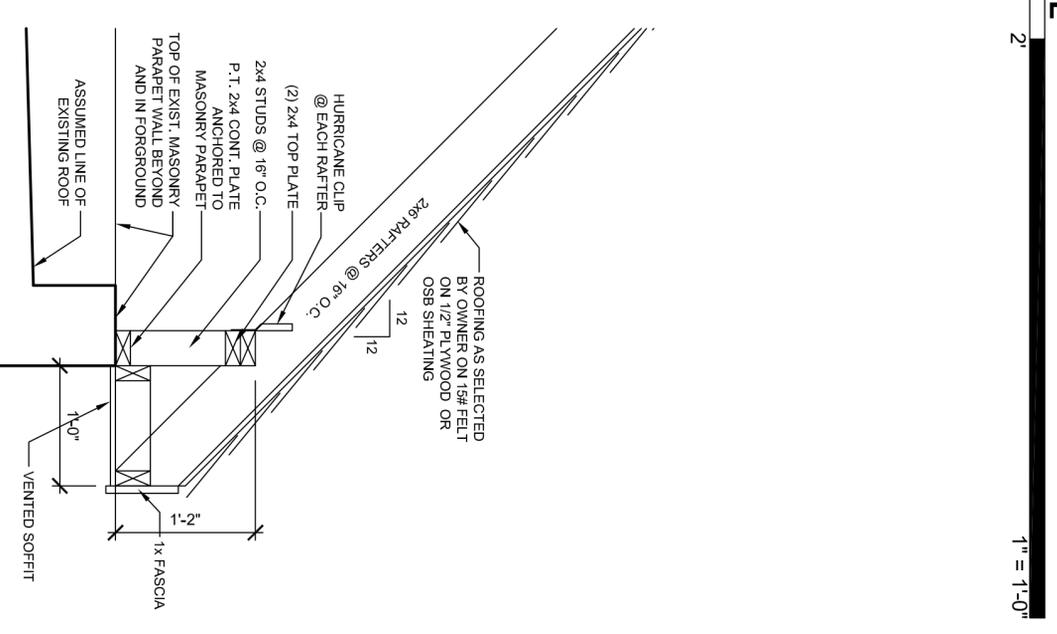
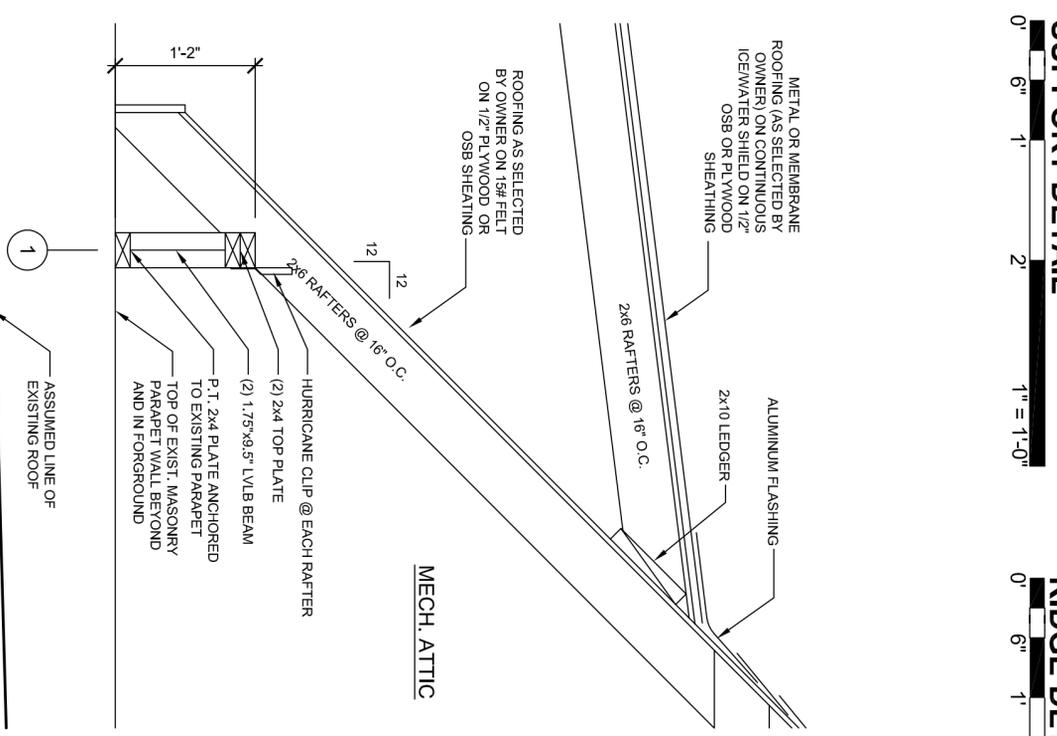
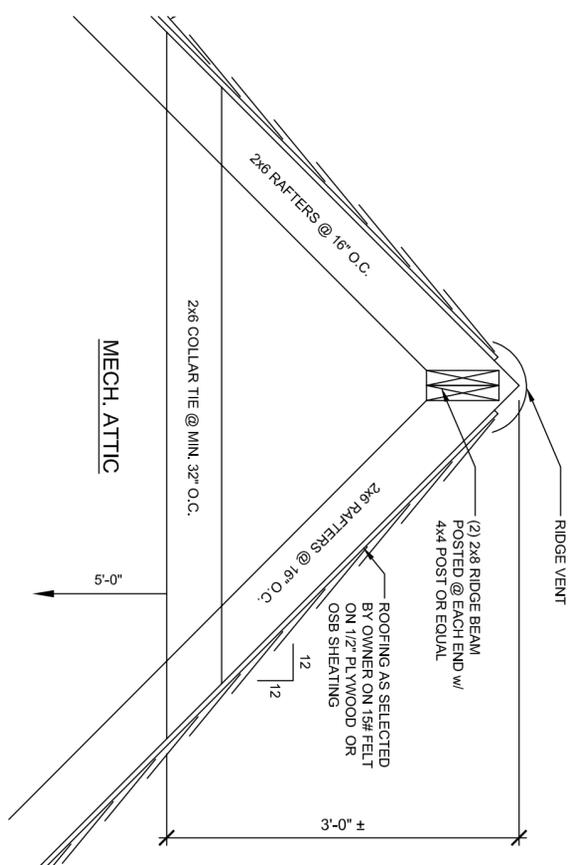
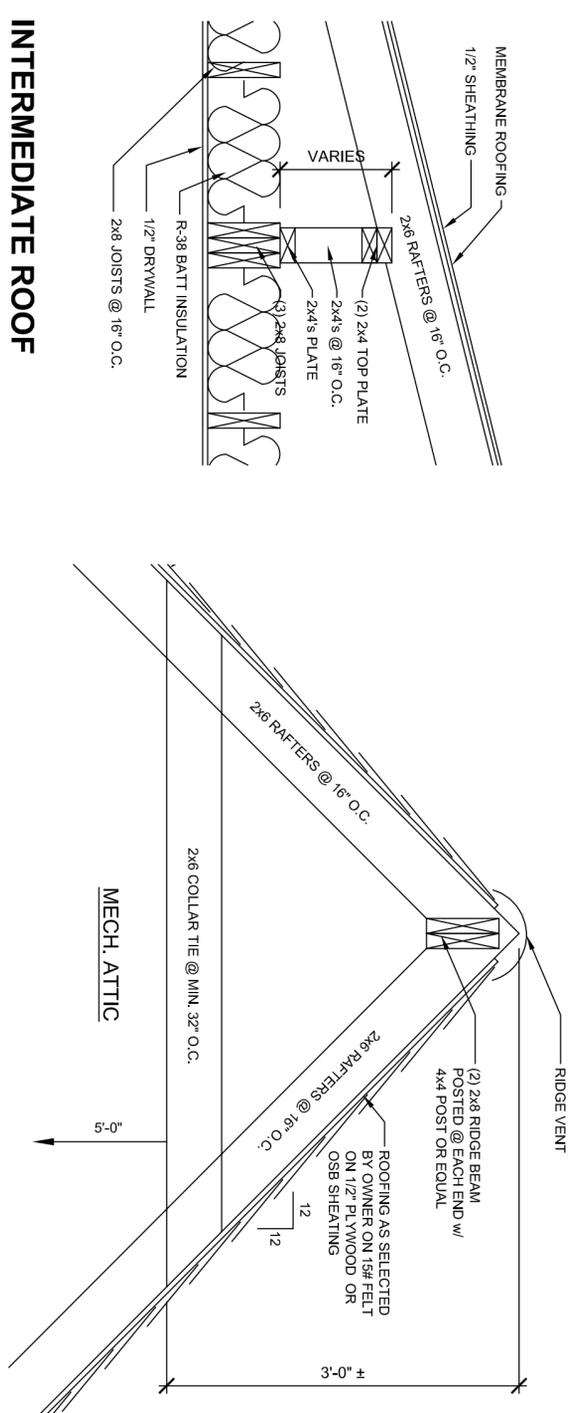
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DATE: 12/1/20

A-6

SECTION



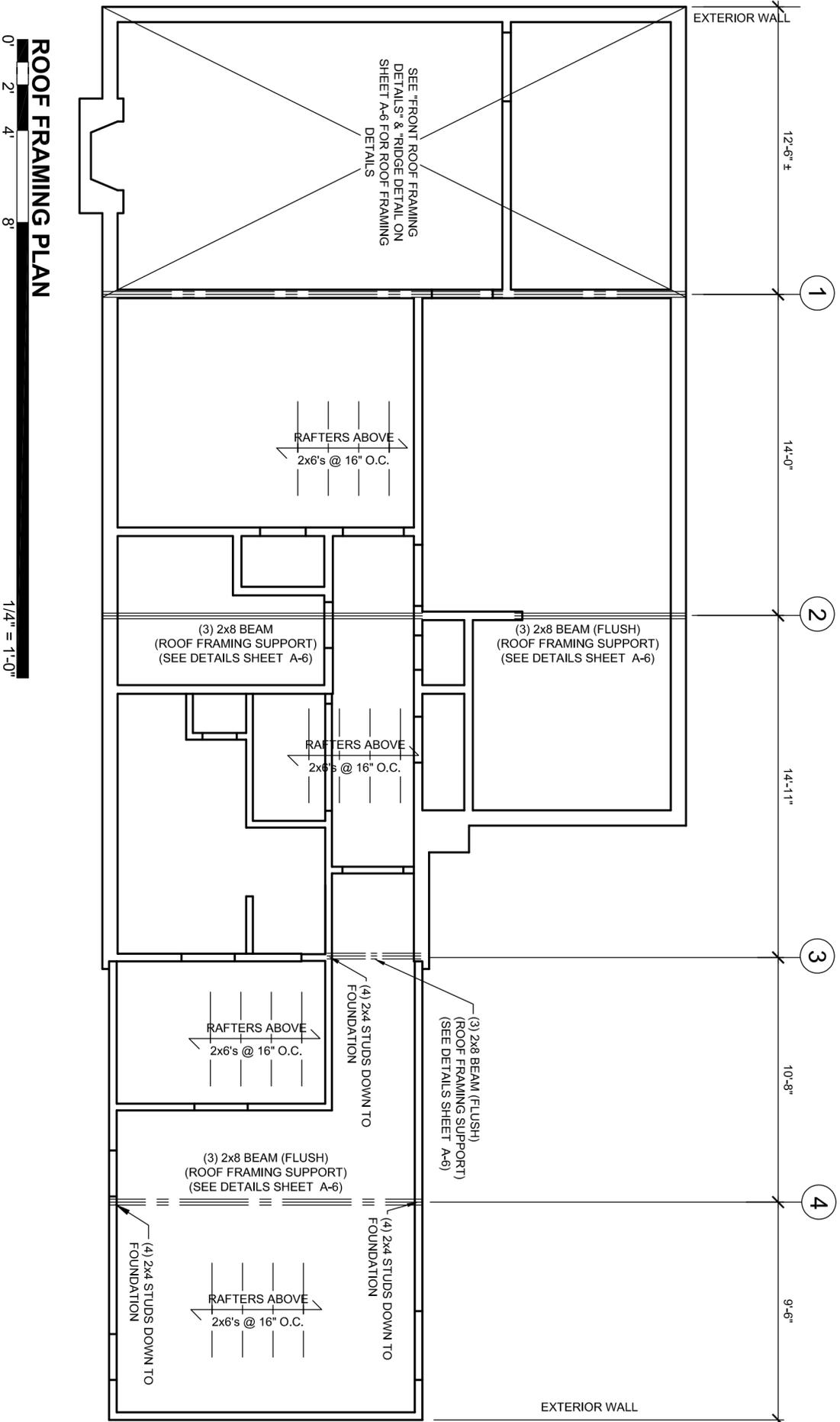
TYPICAL WALL SECTION @ ADDITION

CONT. 16"x12" CONC. FOOTING

0" 6" 1' 2' 1" = 1'-0"

BEAM/ROOF FRAMING NOTES:

- BEAM ① : (2) 1.75"x8.5" LVL ANCHORED TO EXISTING PARAPET EXTERIOR WALLS AND SUPPORTED BY INTERIOR EXISTING INTERIOR WALLS. CONTRACTOR TO VERIFY LOAD IS SUPPORTED TO FOUNDATION, AND CONSULT STRUCTURAL ENGINEER IF REQUIRED. SEE "FRONT ROOF FRAMING DETAILS"
- BEAMS ② ③ : (3) 2x8 BEAM (FLUSH w/ CEILING JOISTS). WHERE WALL EXISTS BELOW, THE ROOF SUPPORTING KNEE WALL CAN REST ON WALL. CONTRACTOR TO VERIFY LOAD IS SUPPORTED TO FOUNDATION, AND CONSULT STRUCTURAL ENGINEER IF REQUIRED. SEE "INTERMEDIATE ROOF SUPPORT DETAIL."
- BEAM ④ : (3) 2x8 BEAM (FLUSH w/ CEILING JOISTS). CONTRACTOR TO VERIFY LOAD IS SUPPORTED TO FOUNDATION, AND CONSULT STRUCTURAL ENGINEER IF REQUIRED. SEE "INTERMEDIATE ROOF SUPPORT DETAIL."



Proposed Addition & Alterations to
901 LAKE ROAD
 Richmond, Virginia 23225
 Owner: 901 Lake Rd. LLC

REVISIONS:

NO.	DATE	DESCRIPTION
X	XXXXXX	

DATE: 12/1/20

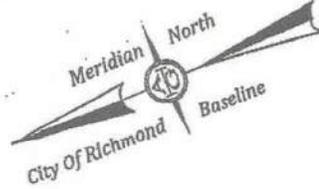
A-7

ROOF FRAMING PLAN

This is to certify that on 9/15/20
 I made an accurate field survey of the known premises shown hereon; that all improvements known or visible are shown hereon; that there are no encroachments by improvements either from adjoining premises, or from subject premises upon adjoining premises, other than shown hereon.

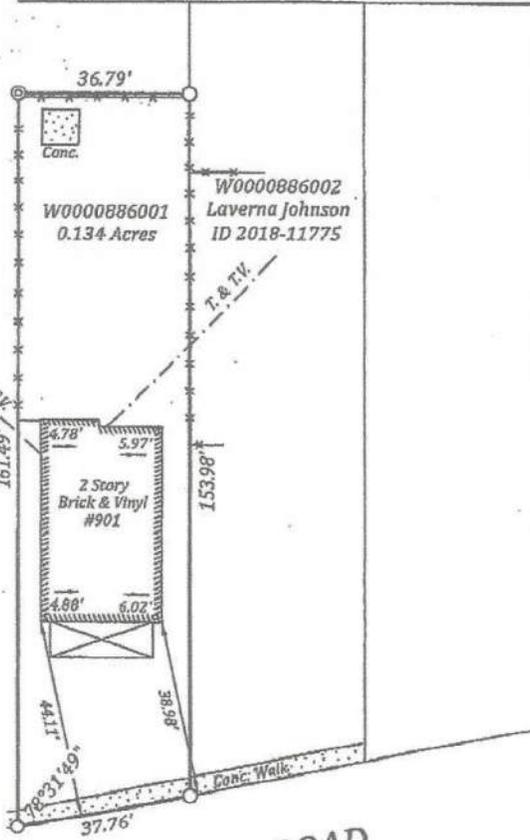
NOTE: THIS LOT APPEARS TO BE IN FEMA FLOOD ZONE X AS SHOWN ON HUD COMMUNITY PANEL NUMBERS 5101290036D

NOTE: This survey has been prepared without the benefit of a title report and does not therefore necessarily indicate all encumbrances on the property.



W0000886007
 Horace E. & Evelyn J. Funn
 ID 2012-435

WALKER STREET



LAKE ROAD

LEGEND

- Rod/F
- ⊙ Nail/S

SURVEY OF
 LOT AND IMPROVEMENTS THEREON LOCATED AT
#901 LAKE ROAD
 RICHMOND, VIRGINIA

JN 49872

A. G. HAROCOPOS & ASSOCIATES, P.C.
 CERTIFIED LAND SURVEYOR AND CONSULTANT

4920 E. MILLRIDGE PKWY, SUITE 200 MIDLOTHIAN VA. 23112
 Office 804 744 2630 FAX 804 744 2632
 E-MAIL AGHAROCOPOS72@GMAIL.COM

NOTE: PLAT PREPARED FOR THE EXCLUSIVE USE OF THE CONVEYANCE TO 801 LAKE RD LLC

Scale 1"=30' Date 9/15/20 Drawn by GAH