



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

RECEIVED
NOV 13 2019

PROPERTY (location of work)

Address 301-305 E Marshall St
Historic district St. John's Church Church

Date/time rec'd _____
Rec'd by: MC BY: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name SEAN JEFFERSON
Company ESS PERFORMANCE SERVICES
Mailing Address 325 BURWICK ROAD
HEURIO VA 23227

Phone 804-304-3201
Email SEJ@ESS-PS.CO
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name RATPRO INVESTMENTS
Mailing Address 4445 CORPORATION LN ST 264
Virginia Beach VA 23462

Company _____
Phone 530 220 2348
Email jingjingrealtor@gmail.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Conversion of Duplex into mixed used property.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 11/13/2019



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

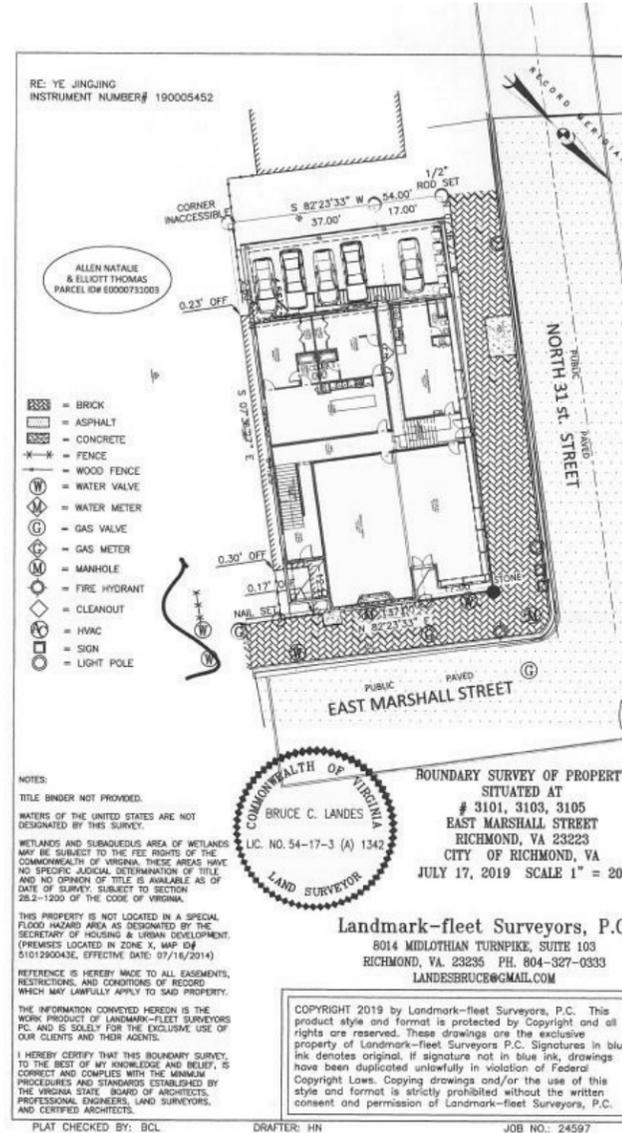
3101-3105 NORTH MARSHALL STREET

Submission Materials Checklist

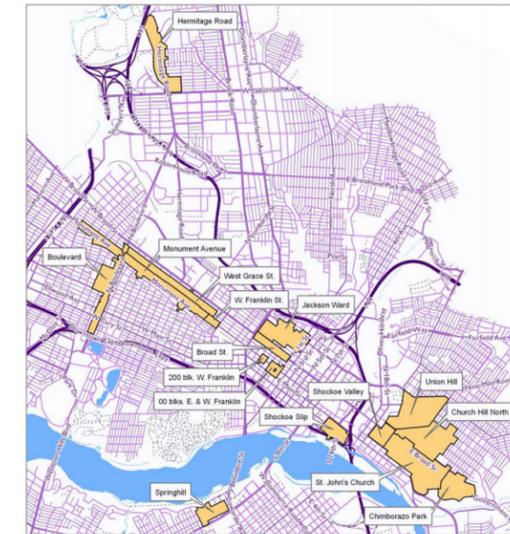
The following checklist is designed to help you submit a complete application, which will help to expedite the review process.

Note: This is a general list of information that can often be helpful. The level of detail will vary according to the size and scope of the project.

- Detailed description of proposed work.**
- Site Plan or Plat** showing existing building(s) and location of applicable fences and walls, additions, new construction (including garages) and any planned demolition. Photographs are also helpful.
- Materials List** including all new and replacement materials. This includes roofing, siding, door and window sizes and specifications, and exterior fixtures such as lighting and signs. Cut sheets and samples, when available, are helpful.
- Exterior Elevation Drawings** (including measurements) or photographs showing roof slopes, vertical dimensions, exterior materials, window and door openings and other architectural features.
- Other Details** as required (or requested) to describe the project – e.g. porch column and railing details; cornice, soffit and gutter details; door and window details, etc. Photographs and addresses of surrounding properties that have architectural details you want to reference are very helpful.
- Colors:** Please include paint color chips.
- For fences and walls:** Please include height, design, materials and location (on site plan)
- Consult with Staff** as necessary.



SITE PLAN



CITY OF RICHMOND OLD HISTORIC DISTRICTS



Distinctive Features of St. John's Church

- Impressive views of downtown Richmond and the James River.
- Large areas of public open space (in Chimborazo Park and Libby Hill Park) fronting the river bluffs.
- Well-established streetscapes with granite paving, mature trees and gaslights that provide a cohesive neighborhood with distinctive character.

ST. JOHN'S CHURCH HISTORIC DISTRICT

REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT LOCATION

PROJECT NAME:

Rehabilitation and Addition to 3101-3105 East Marshall Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

COVER SHEET

DESIGNED BY: Designer

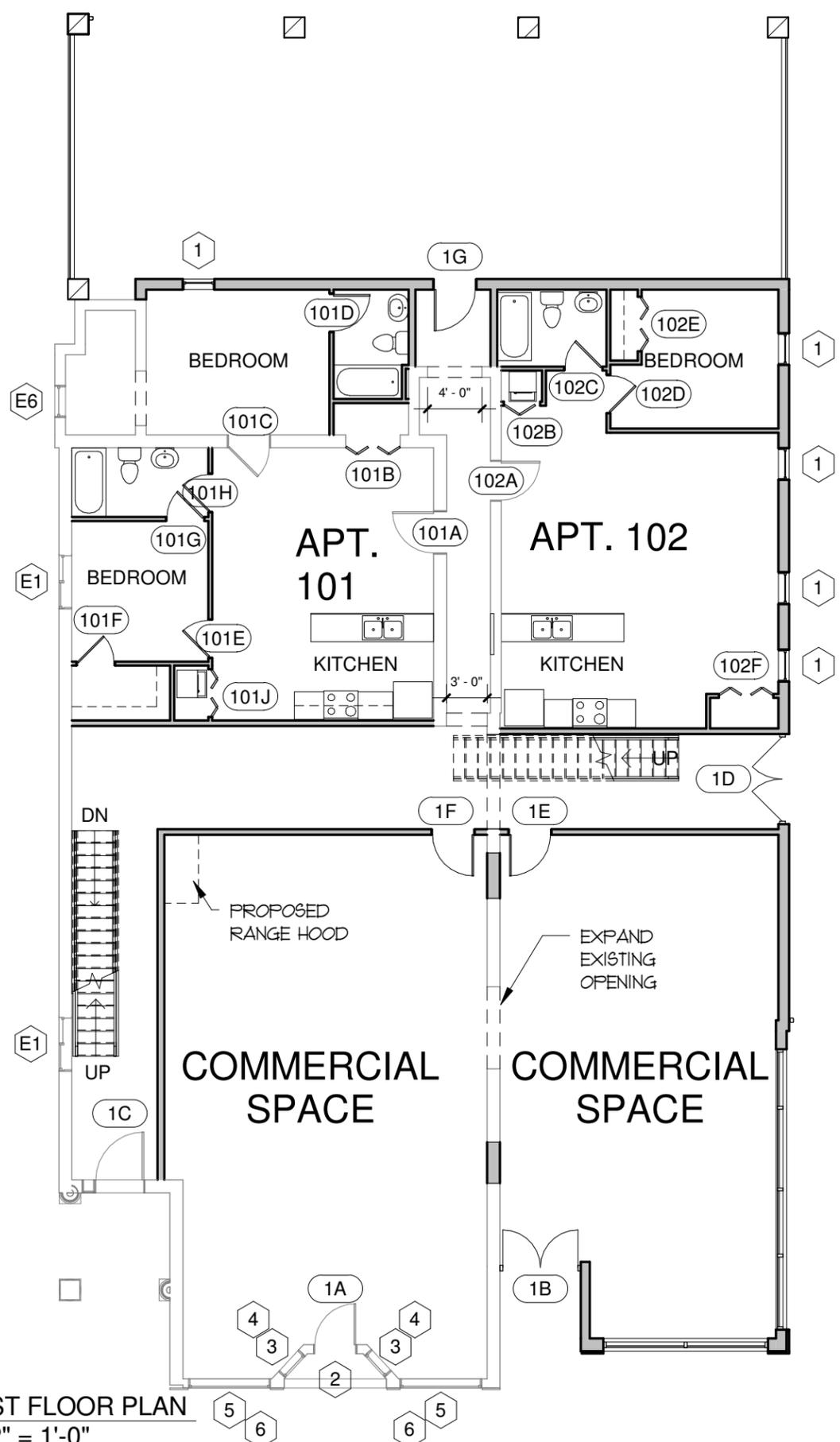
DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ----

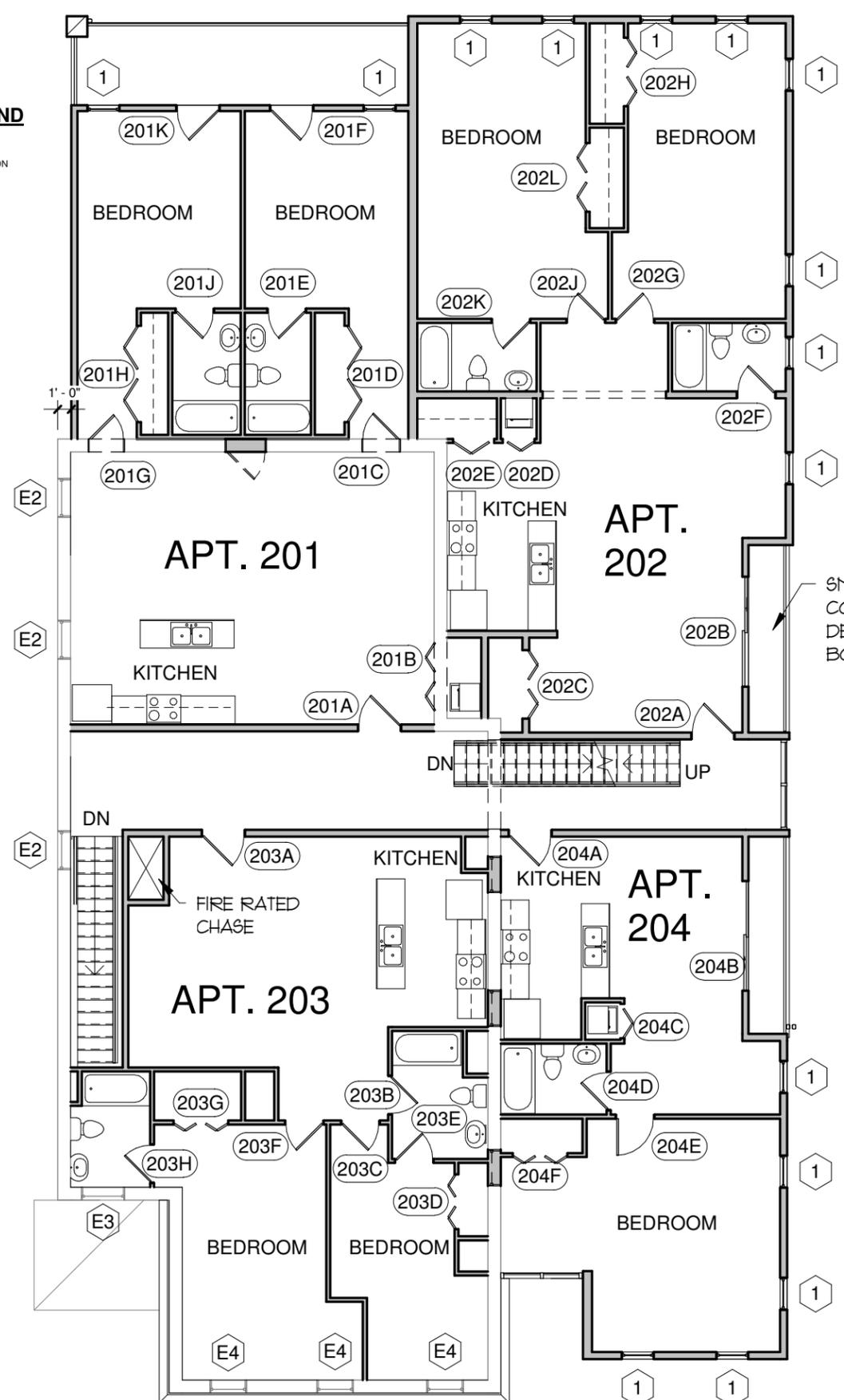
Date: 13 JAN 2020

THE DETAILED DESCRIPTION OF PROPOSED WORK WAS SUBMITTED BY THE OWNWE FOR THE INITIAL APPLICATION. THE SITE PLAN IS SHOWN TO THE RIGHT. MATERIAL ARE NOTED ON THE ELEVATION DRAWINGS. THE ELEVATION DRAWINGS ARE INCLUDED. OTHER DETAIL WILL BE PROVIDED TO THE COMMISSION AS REQUESTED. ALL PAINT COLORS WILL BE SELECTED FROM THE CAR APPROVED LIST. A PARTIAL HEIGHT BRICK SCREEN WALL IS PROPOSED AS SHOWN ON THE DRAWINGS. THE OWNER HAS CONDUCTED MULTIPLE MEETINGS AND CONSULTATIONS WITH STAFF AND HAS PRESENTED TO THE CAR AND BEEN DEFERRED ON 4 PRIOR DATES.



WALL LEGEND

- EXISTING
- DEMOLISHED
- NEW CONSTRUCTION



1 FIRST FLOOR PLAN
3/32" = 1'-0"

2 SECOND FLOOR PLAN
3/32" = 1'-0"

REVISIONS:

#	DATE	DESCRIPTION

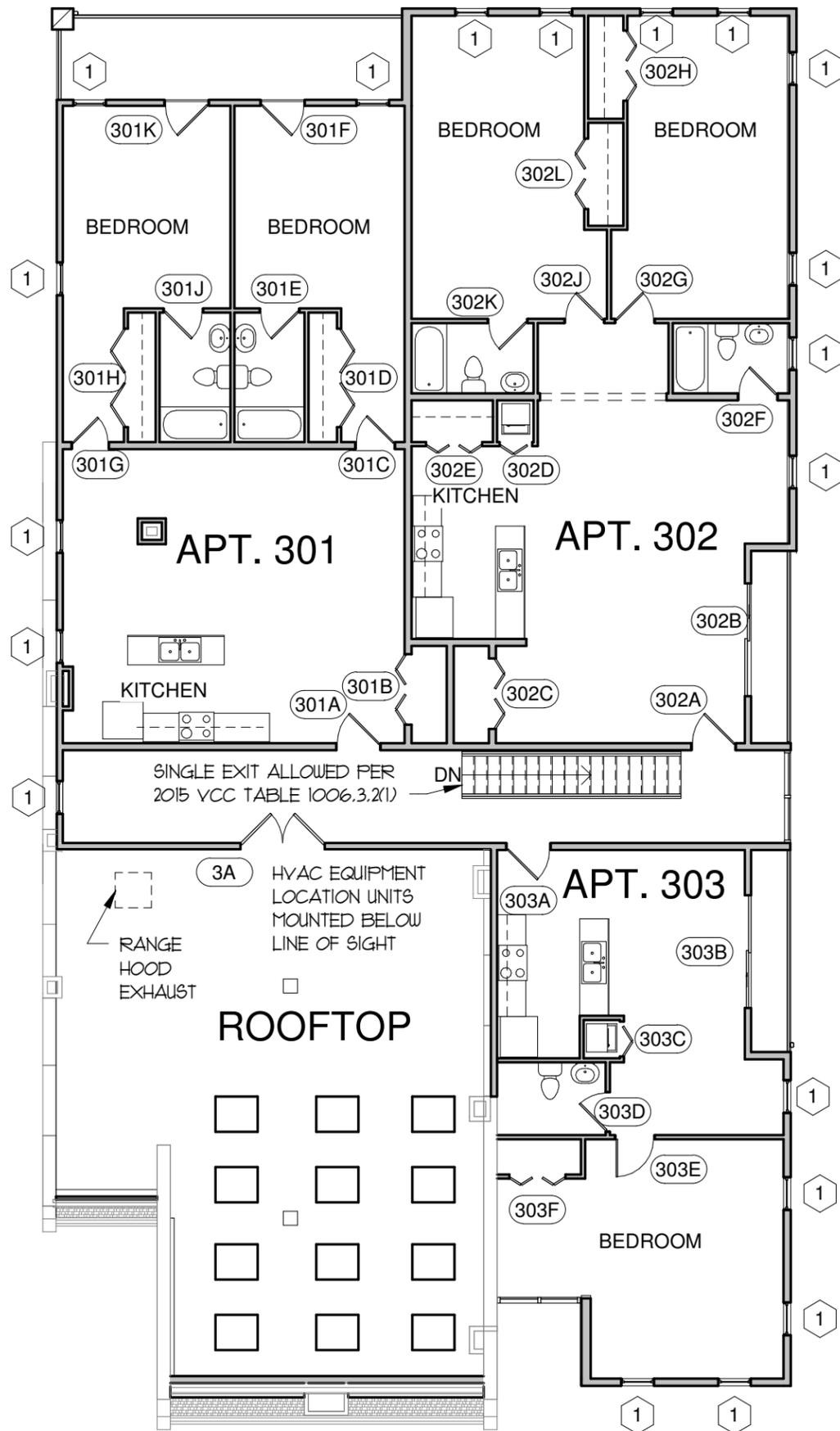
PROJECT NAME:
Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:
Datapro Investments Inc.

DRAWING NAME:
FIRST AND SECOND FLOOR
PLANS

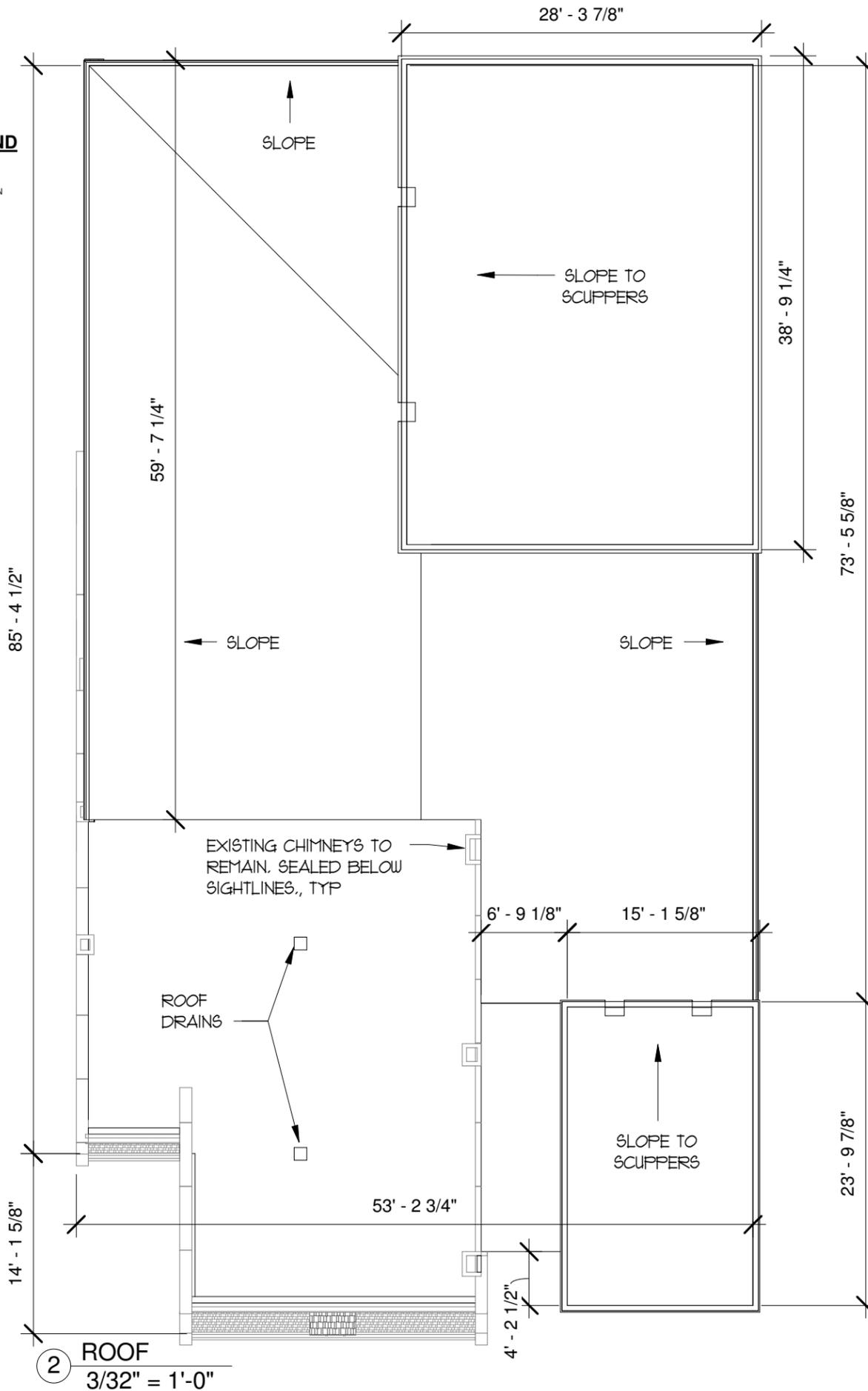
DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUM: ---
Date: 13 JAN 2020

C.A.R. RESUBMISSION



WALL LEGEND

- EXISTING
- DEMOLISHED
- NEW CONSTRUCTION



REVISIONS:

#	DATE	DESCRIPTION

PROJECT NAME:
Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:
Datapro Investments Inc.

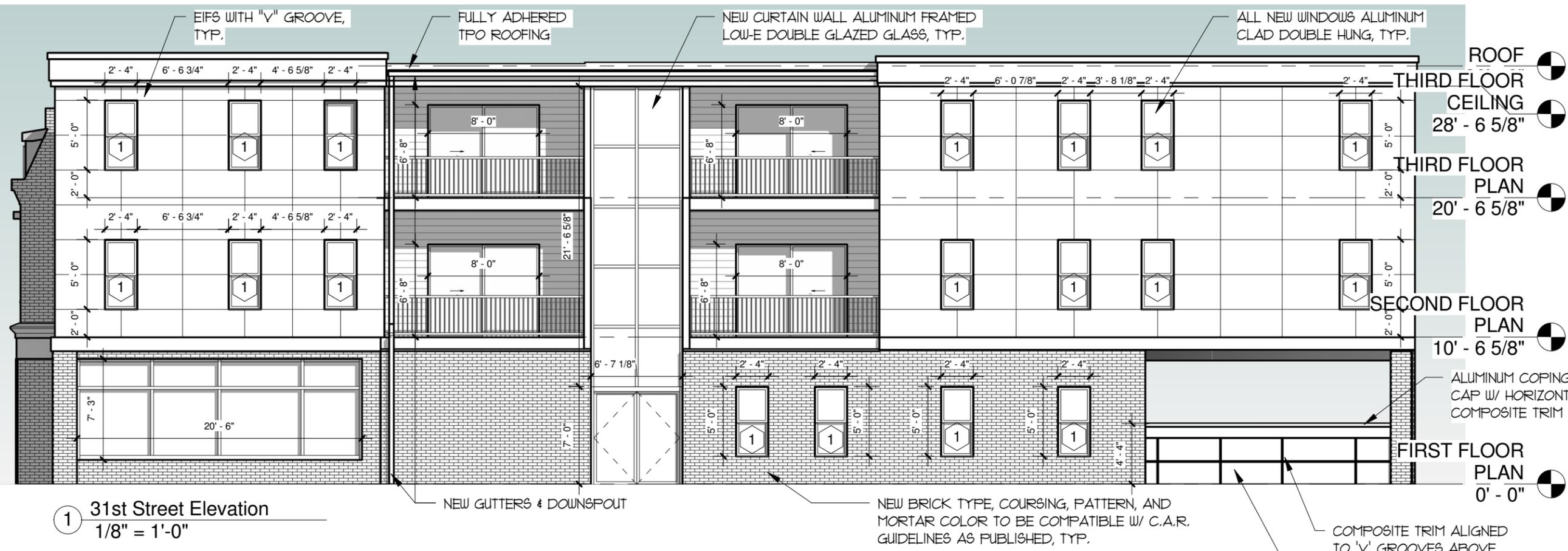
DRAWING NAME:
THIRD FLOOR AND ROOF
PLANS

DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUM: ----
Date: 13 JAN 2020

C.A.R. RESUBMISSION

1 THIRD FLOOR PLAN
3/32" = 1'-0"

2 ROOF
3/32" = 1'-0"

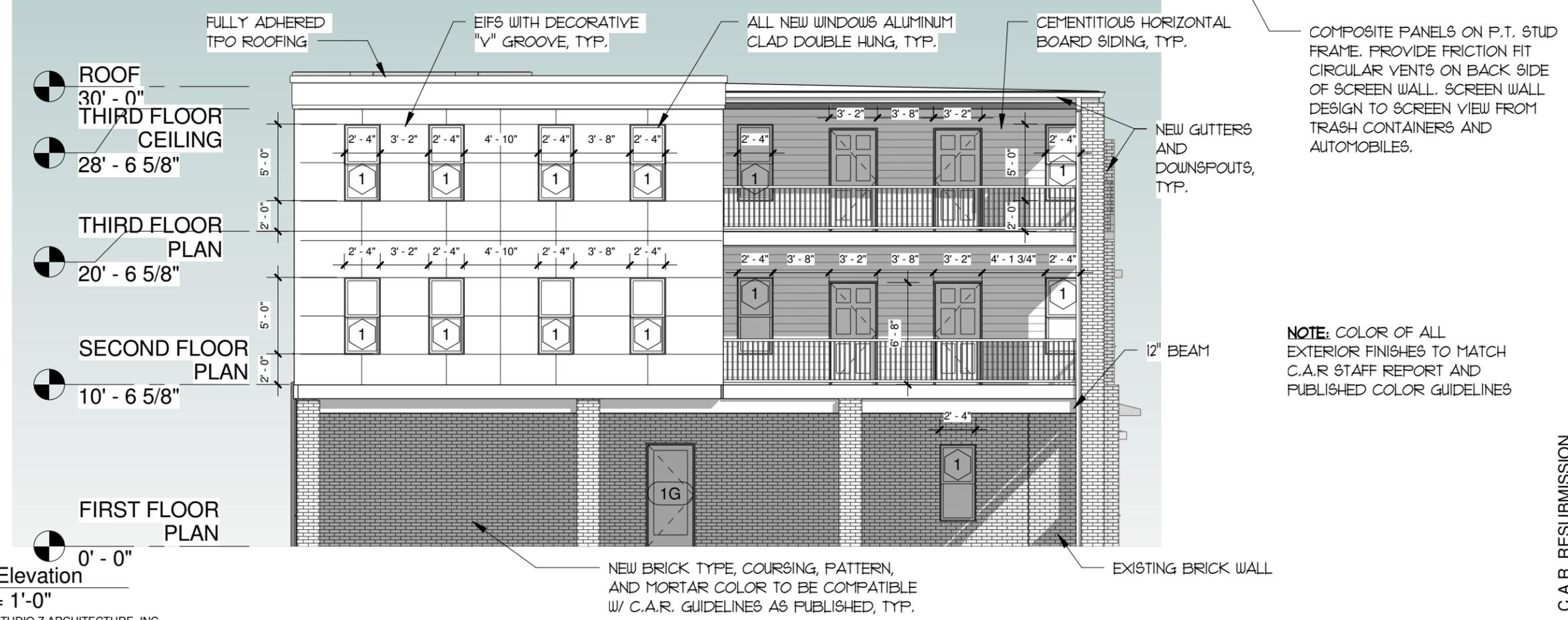


1 31st Street Elevation
1/8" = 1'-0"

ROOF
THIRD FLOOR CEILING 28' - 6 5/8"
THIRD FLOOR PLAN 20' - 6 5/8"
SECOND FLOOR PLAN 10' - 6 5/8"
FIRST FLOOR PLAN 0' - 0"

REVISIONS:

#	DATE	DESCRIPTION



2 Alley Elevation
1/8" = 1'-0"

PROJECT NAME:
Rehabilitation and Addition to
3101-3105 East Marshall
Street

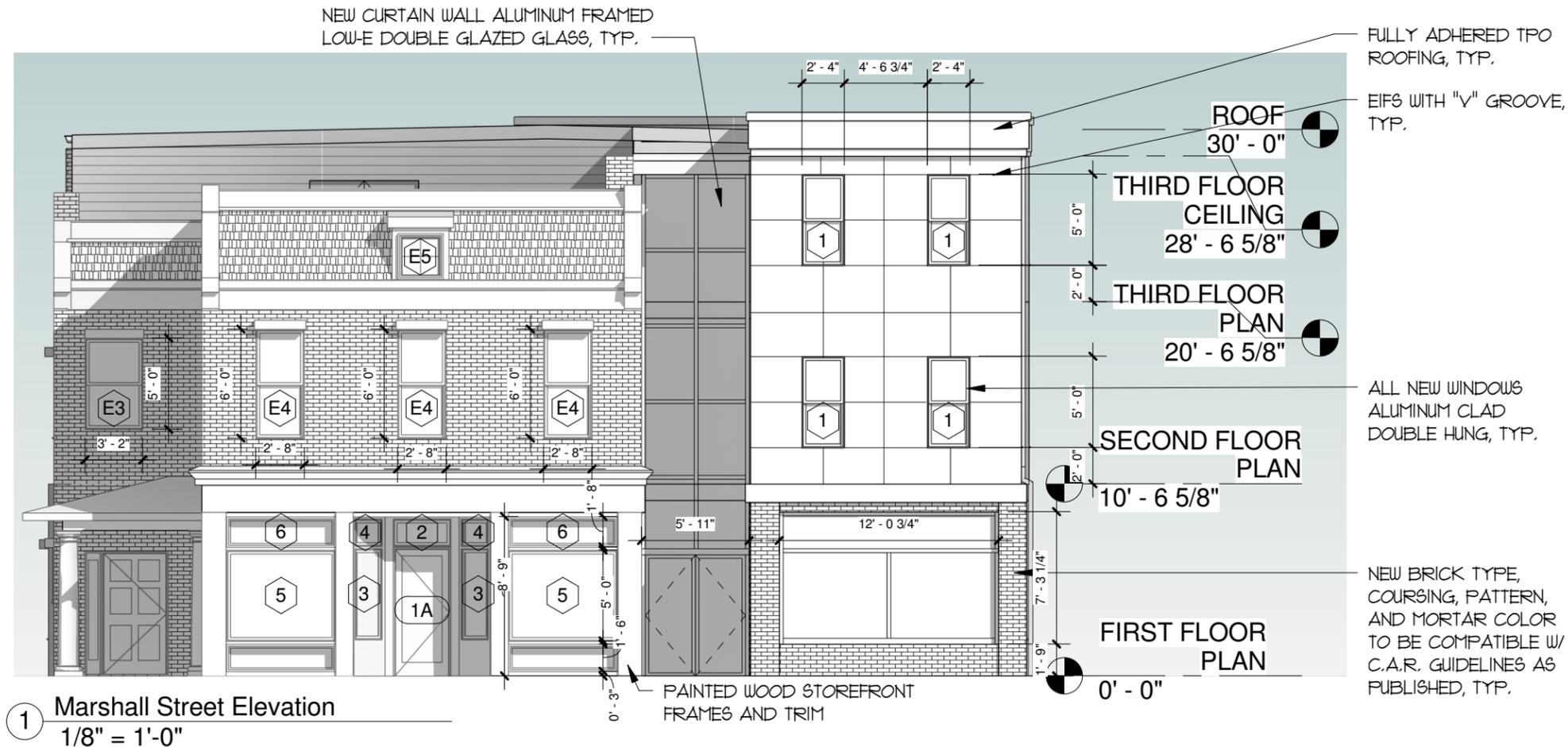
OWNER:
Datapro Investments Inc.

DRAWING NAME:
31ST STREET & ALLEY
ELEVATIONS

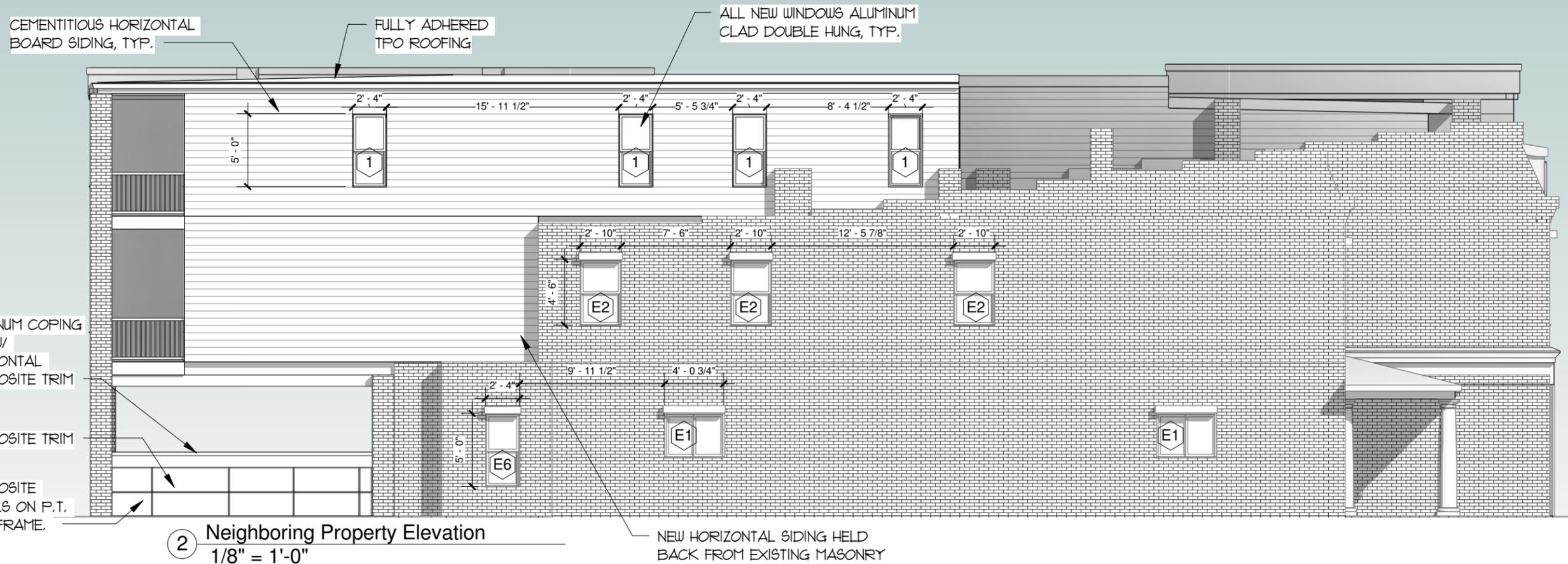
DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUM: ----
Date: 13 JAN 2020

C.A.R. RESUBMISSION

NOTE: COLOR OF ALL EXTERIOR FINISHES TO MATCH C.A.R STAFF REPORT AND PUBLISHED COLOR GUIDELINES



1 Marshall Street Elevation
1/8" = 1'-0"



2 Neighboring Property Elevation
1/8" = 1'-0"

REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT NAME:

Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

MARSHALL ST. &
NEIGHBORING ELEVATIONS

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ----

Date: 13 JAN 2020

C.A.R. RESUBMISSION



REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT NAME:

Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

MARSHALL ST W/ EXISTING
CONTEXT ELEVATION

DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUM: ----

Date: 13 JAN 2020

1 Marshall Street Elevation CONTEXT
1" = 10'-0"

C.A.R. RESUBMISSION



1 PARKING ALLEY



3 LINE OF SIGHT



2 EXISTING WITH ADDITION BEYOND



4 APPROACH ON MARSHALL STREET

REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT NAME:

Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

3D VIEWS

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ----

Date: 13 JAN 2020

C.A.R. RESUBMISSION



REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------



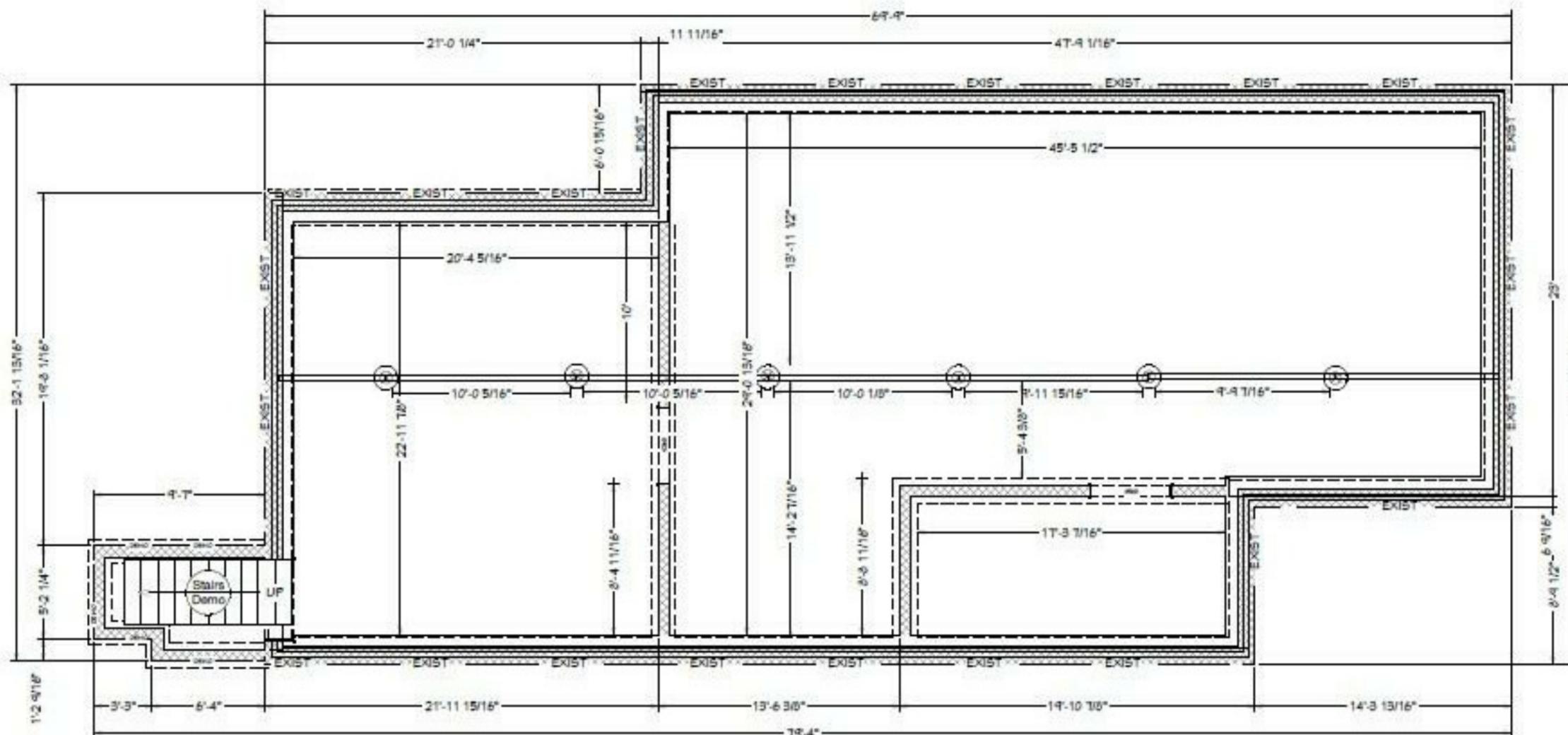
PROJECT NAME:
Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:
Datapro Investments Inc.

DRAWING NAME:
REFERENCE PHOTOS

DESIGNED BY: -
DRAWN BY: -
CHECKED BY: -
PROJECT NUM: ----
Date: 13 JAN 2020

C.A.R. RESUBMISSION



1/4 in = 1 ft Foundation

REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT NAME:

Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

BASEMENT DEMOLITION
PLAN

DESIGNED BY: Designer

DRAWN BY: Author

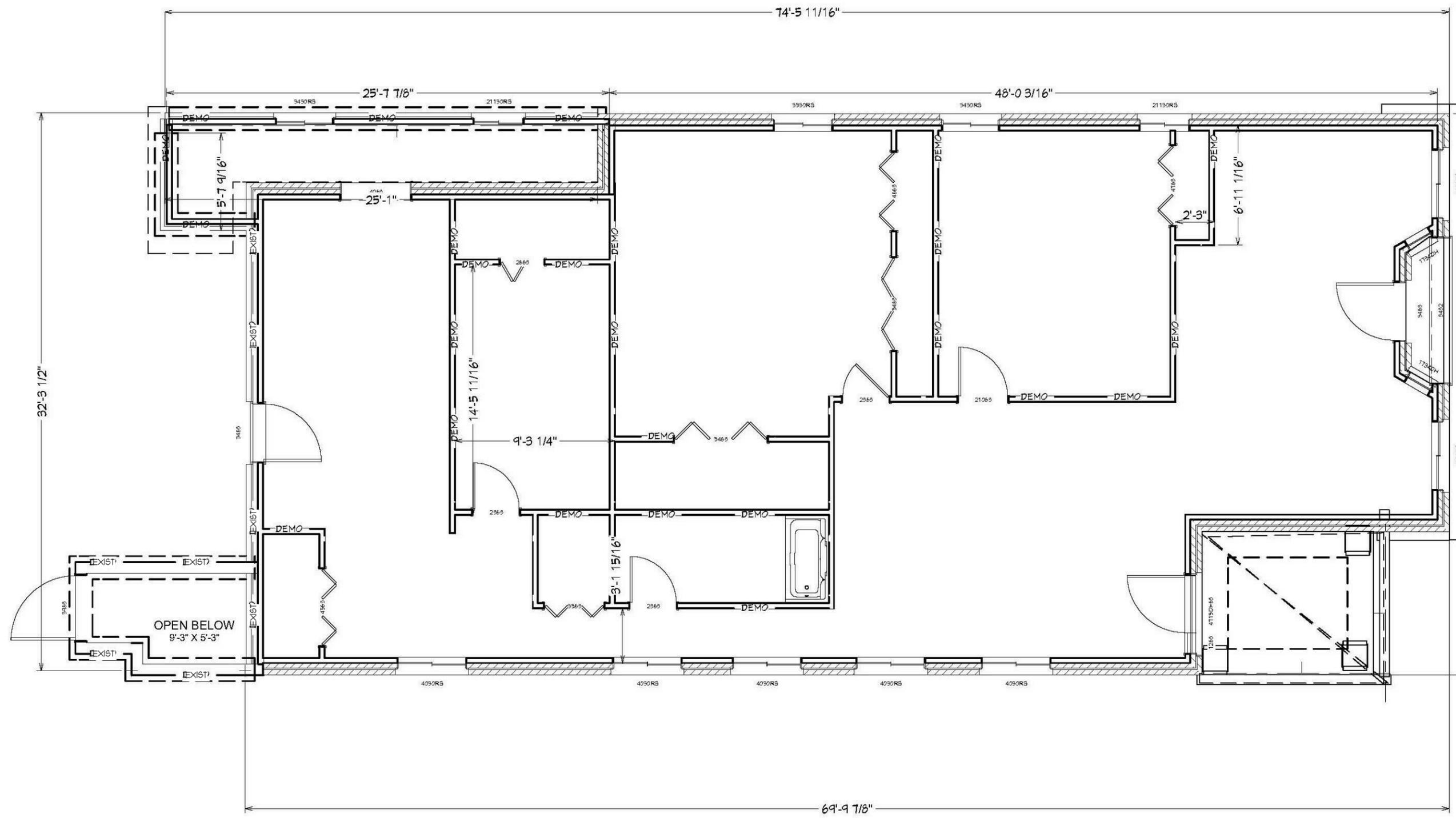
CHECKED BY: Checker

PROJECT NUM: ----

Date: 13 JAN 2020

C.A.R. RESUBMISSION

A108



REVISIONS:

#	DATE	DESCRIPTION

PROJECT NAME:
Rehabilitation and Addition to
3101-3105 East Marshall
Street

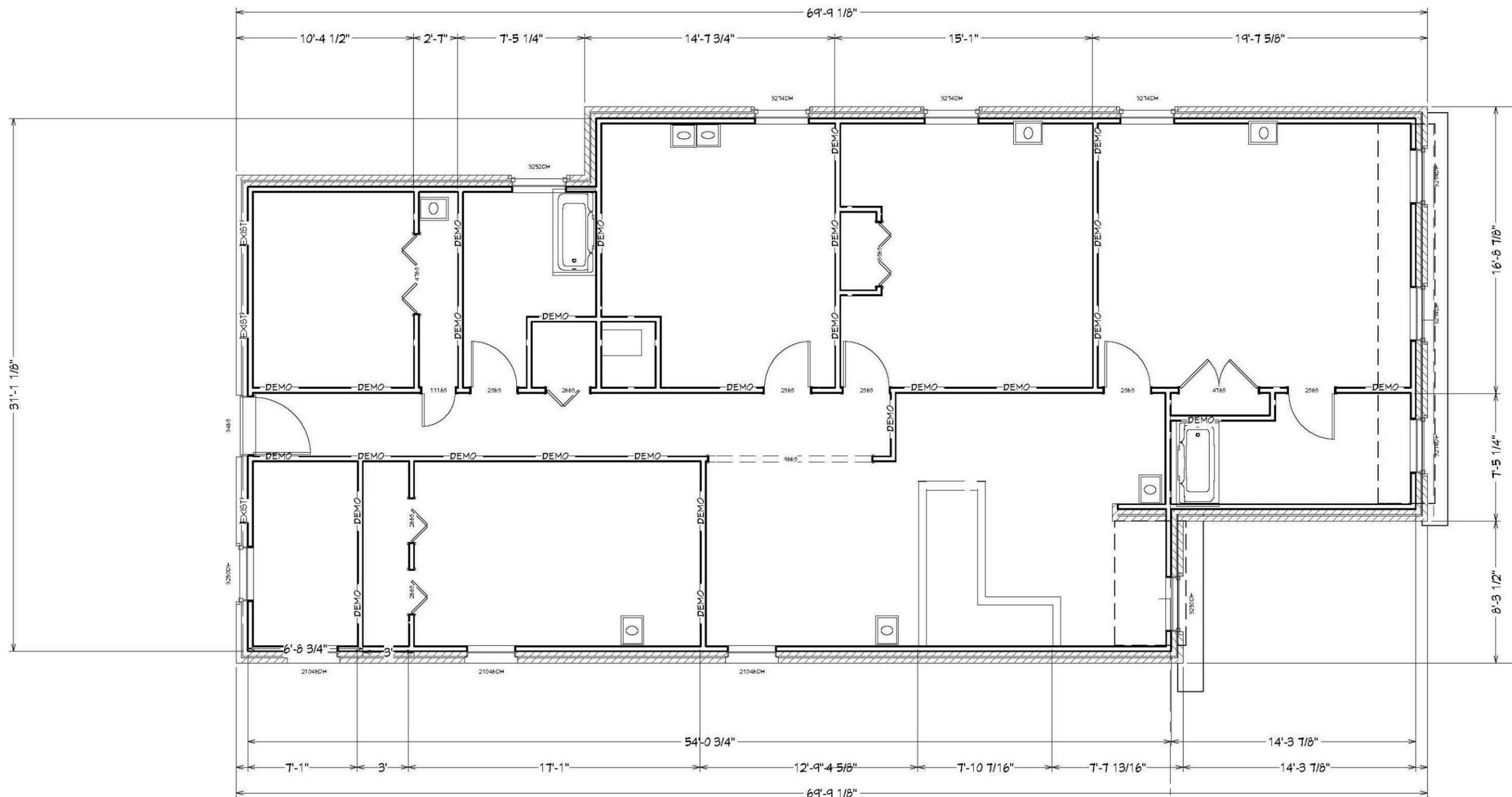
OWNER:
Datapro Investments Inc.

DRAWING NAME:
FIRST FLOOR DEMOLITION
PLAN

DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUM: ----
Date: 13 JAN 2020

1st Floor Demolition Plan

C.A.R. RESUBMISSION



2nd Floor Demolition

REVISIONS:

#	DATE	DESCRIPTION

PROJECT NAME:

Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

SECOND FLOOR DEMOLITION
PLAN

DESIGNED BY: Designer

DRAWN BY: Author

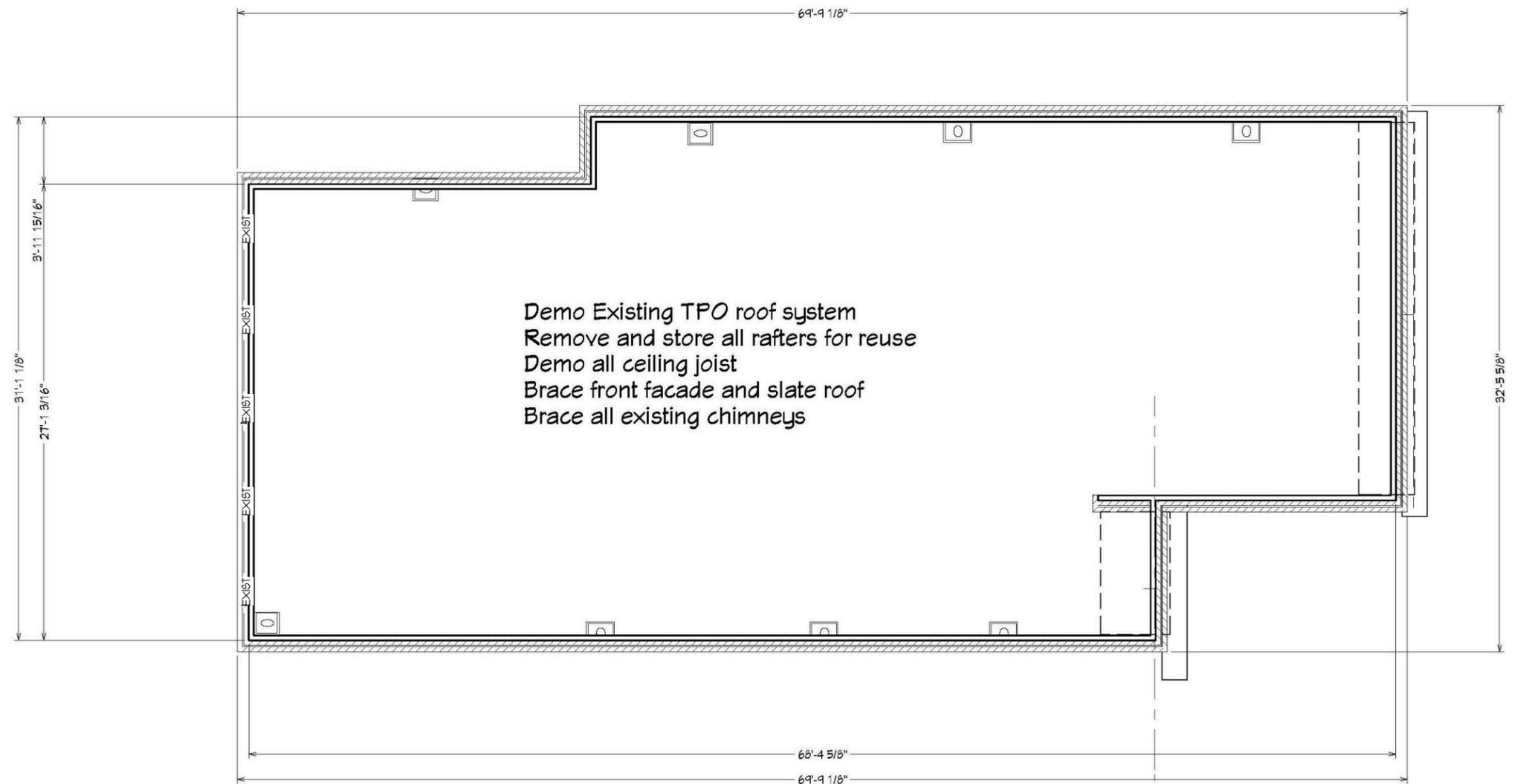
CHECKED BY: Checker

PROJECT NUM: ----

Date: 13 JAN 2020

C.A.R. RESUBMISSION

A110



Attic

REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT NAME:

Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

ROOF DEMOLITION PLAN

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ----

Date: 13 JAN 2020

C.A.R. RESUBMISSION

A111

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	FINISH	COMMENTS
1A	3'-0"	7'-0"	WOOD/GLASS	EXISTING
1B	5'-6"	6'-8"	GLAZING/ ALUMINUM	
1C	3'-6"	6'-8"	WOOD/GLASS	EXISTING
1D	6'-2"	6'-8"	GLAZING/ ALUMINUM	DOUBLE STOREFRONT DOOR
1E	3'-0"	6'-8"		
1F	3'-0"	6'-8"		
1G	3'-0"	6'-8"	HOLLOW STEEL	
3A	6'-0"	6'-8"		DOUBLE HOLLOW STEEL
101A	3'-0"	6'-8"		
101B	4'-0"	6'-8"		
101C	3'-0"	6'-8"		
101D	2'-8"	6'-8"		
101E	2'-8"	6'-8"		
101F	2'-8"	6'-8"		
101G	2'-8"	6'-8"		
101H	2'-8"	6'-8"		
101J	3'-6"	7'-0"		DOUBLE BIFOLD
101K	2'-10"	6'-8"		
102A	2'-10"	6'-8"		
102B	2'-8"	7'-0"		BIFOLD
102C	2'-8"	6'-8"		
102D	2'-8"	6'-8"		
102E	4'-0"	6'-8"		DOUBLE BIFOLD
102F	4'-0"	6'-8"		DOUBLE BIFOLD
201A	3'-0"	6'-8"		
201B	5'-0"	6'-8"		DOUBLE BIFOLD
201C	2'-8"	6'-8"		
201D	7'-0"	6'-8"		DOUBLE BIFOLD
201E	2'-8"	6'-8"		
201F	3'-0"	6'-8"		
201G	2'-6"	6'-8"		
201H	7'-0"	6'-8"		DOUBLE BIFOLD
201J	2'-8"	6'-8"		
201K	3'-0"	6'-8"		
202A	3'-0"	6'-8"		
202B	8'-0"	6'-8"		DOUBLE SLIDING GLASS
202C	5'-0"	6'-8"		DOUBLE BIFOLD
202D	2'-4"	6'-8"		BIFOLD
202E	3'-0"	6'-8"		BIFOLD
202F	2'-8"	6'-8"		
202G	2'-8"	6'-8"		
202H	5'-0"	6'-8"		DOUBLE BIFOLD
202J	2'-8"	6'-8"		
202K	2'-8"	6'-8"		
202L	5'-0"	6'-8"		DOUBLE BIFOLD
203A	3'-0"	6'-8"		
203B	2'-8"	6'-8"		
203C	2'-8"	6'-8"		
203D	4'-0"	6'-8"		DOUBLE BIFOLD
203E	2'-8"	6'-8"		
203F	2'-8"	6'-8"		
203G	4'-0"	6'-8"		DOUBLE BIFOLD
203H	2'-8"	6'-8"		
204A	3'-0"	6'-8"		
204B	8'-0"	6'-8"		DOUBLE SLIDING GLASS
204C	2'-6"	6'-8"		BIFOLD
204D	2'-8"	6'-8"		
204E	2'-8"	6'-8"		
204F	4'-0"	6'-8"		DOUBLE BIFOLD
301A	3'-0"	6'-8"		
301B	5'-0"	6'-8"		DOUBLE BIFOLD
301C	2'-8"	6'-8"		
301D	7'-0"	6'-8"		DOUBLE BIFOLD
301E	2'-8"	6'-8"		
301F	3'-0"	6'-8"		
301G	2'-6"	6'-8"		
301H	7'-0"	6'-8"		DOUBLE BIFOLD
301J	2'-8"	6'-8"		
301K	3'-0"	6'-8"		
302A	3'-0"	6'-8"		
302B	8'-0"	6'-8"		DOUBLE SLIDING GLASS
302C	5'-0"	6'-8"		DOUBLE BIFOLD
302D	2'-4"	6'-8"		BIFOLD
302E	4'-0"	6'-8"		DOUBLE BIFOLD
302F	2'-8"	6'-8"		
302G	2'-8"	6'-8"		
302H	5'-0"	6'-8"		DOUBLE BIFOLD
302J	2'-8"	6'-8"		
302K	2'-8"	6'-8"		
302L	5'-0"	6'-8"		DOUBLE BIFOLD
303A	3'-0"	6'-8"		
303B	8'-0"	6'-8"		DOUBLE SLIDING GLASS
303C	2'-6"	6'-8"		BIFOLD
303D	2'-8"	6'-8"		
303E	2'-8"	6'-8"		
303F	4'-0"	6'-8"		DOUBLE BIFOLD



REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT NAME:
Rehabilitation and Addition to
3101-3105 East Marshall
Street

OWNER:
Datapro Investments Inc.

DRAWING NAME:
DOOR SCHEDULE

DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUM: ----
Date: 13 JAN 2020

C.A.R. RESUBMISSION

WINDOW SCHEDULE

Number	Width	Height	Count	Comments
1	2' - 4"	5' - 0"	39	NEW WINDOWS TO BE ENERGY EFFICIENT, DOUBLE GLAZED ALUMINUM CLAD WINDOWS
2	3' - 2"	1' - 6"	1	NEW WINDOWS TO BE ENERGY EFFICIENT, DOUBLE GLAZED ALUMINUM CLAD WINDOWS
3	2' - 2"	5' - 0"	2	NEW WINDOWS TO BE ENERGY EFFICIENT, DOUBLE GLAZED ALUMINUM CLAD WINDOWS
4	2' - 2"	1' - 6"	2	NEW WINDOWS TO BE ENERGY EFFICIENT, DOUBLE GLAZED ALUMINUM CLAD WINDOWS
5	6' - 0"	5' - 0"	2	NEW WINDOWS TO BE ENERGY EFFICIENT, DOUBLE GLAZED ALUMINUM CLAD WINDOWS
6	6' - 0"	1' - 8"	2	NEW WINDOWS TO BE ENERGY EFFICIENT, DOUBLE GLAZED ALUMINUM CLAD WINDOWS
E2	2' - 10"	4' - 6"	3	EXISTING WINDOWS TO BE REPAIRED AND REPAINTED / REGLAZED
E3	3' - 2"	5' - 0"	1	EXISTING WINDOWS TO BE REPAIRED AND REPAINTED / REGLAZED
E4	2' - 8"	6' - 0"	3	EXISTING WINDOWS TO BE REPAIRED AND REPAINTED / REGLAZED
E5	2' - 6"	2' - 6"	1	EXISTING WINDOWS TO BE REPAIRED AND REPAINTED / REGLAZED
E6	2' - 4"	5' - 0"	1	EXISTING WINDOWS TO BE REPAIRED AND REPAINTED / REGLAZED

NOTE: ALL NEW WINDOWS TO BE ENERGY EFFICIENT , DOUBLE GLAZED INSULATED WINDOWS



REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

PROJECT NAME:

Rehabilitation and Addition to
 3101-3105 East Marshall
 Street

OWNER:

Datapro Investments Inc.

DRAWING NAME:

WINDOW SCHEDULE

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NUM: ----

Date: 13 JAN 2020

C.A.R. RESUBMISSION

A113