

INTRODUCED: October 8, 2018

AN ORDINANCE No. 2018-280

To authorize the special use of the properties known as 1715 and 1717 Maury Street for the purpose of two two-family attached dwellings, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: NOV 13 2018 AT 6 P.M.

WHEREAS, the owner of the properties known as 1715 and 1717 Maury, which are situated in a R-7 Single- and Two-Family Urban Residential District, desires to use such property for the purpose of two two-family attached dwellings, which use, among other things, is not currently allowed by section 30-413.5, concerning lot area and lot width, of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2018), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES:            9            NOES:            0            ABSTAIN: \_\_\_\_\_

ADOPTED:    NOV 13 2018    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the properties known as 1715 and 1717 Maury Street and identified as Tax Parcel Nos. S000-0234/026 and S000-0234/027, respectively, in the 2018 records of the City Assessor, being more particularly shown on a survey entitled “Survey of Lot Line Adjustment between #1715 & #1717 Maury Street, Richmond, Virginia,” prepared by A. G. Harocopos & Associates, P.C., and dated May 12, 2018, and provided as an inset in the plans entitled “1715 & 1717 Maury Townhouse, 1715 & 1717 Maury Street, Richmond, Virginia,” prepared by Joseph F. Yates, Architects, dated June 6, 2018, and last revised August 7, 2018, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two two-family attached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “1715 & 1717 Maury Townhouse, 1715 & 1717 Maury Street, Richmond, Virginia,” prepared by Joseph F. Yates, Architects, dated June 6, 2018, and last revised August 7, 2018, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be two two-family attached dwellings, substantially as shown on the Plans.

(b) Six off-street parking spaces shall be provided, substantially as shown on the Plans.

(c) The height of the Special Use shall not exceed the height as shown on the Plans.

(d) All building materials, elevations, setbacks, and site improvements, shall be substantially as shown on the Plans.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(g) Prior to the issuance of any final certificate of occupancy for the Special Use, a boundary line adjustment, substantially as shown on the survey attached to this ordinance, shall be accomplished by recording the appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final,

non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.richmondgov.com

## Item Request

File Number: PRE.2018.334

O & R REQUEST

RECEIVED

4-8168

SEP 12 2018

SEP 26 2018

OFFICE OF CITY ATTORNEY

O & R Request

Office of the  
Chief Administrative Officer

DATE: September 11, 2018

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (by request) *LS* 9/25/18  
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: Selena Cuffee Glenn, Chief Administrative Officer *SCG*

THROUGH: Douglas C. Dunlap, Interim Deputy Chief Administrative Officer for Economic  
Development and Planning *DCD*

FROM: Mark A. Olinger, Director, Department of Planning and Development Review *MAO*

RE: To authorize the special use of the properties known as 1715 and 1717 Maury Street for the  
purpose of authorizing two two-family attached dwellings, upon certain terms and  
conditions.

ORD. OR RES. No. \_\_\_\_\_

**PURPOSE:** To authorize the special use of the properties known as 1715 and 1717 Maury Street for the  
purpose of authorizing two two-family attached dwellings, upon certain terms and conditions

**REASON:** The applicant has proposed two two-family attached dwellings that do not meet the minimum  
lot area and lot with requirements of the R-7 Single- and Two-Family Urban District. A Special Use Permit  
is therefore required.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning  
Ordinance, the City Planning Commission will review this request and make a recommendation to City  
Council. This item will be scheduled for consideration by the Commission at its November 5, 2018,  
meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following  
that meeting.

**BACKGROUND:** The subject property referenced as 1715 Maury Street consists of a 3,875 SF (.089  
acre) parcel of land with 25 linear feet of street frontage. The property has no improvements. 1717 Maury

Street consists of 4,340 SF (.10 acre) and has 28 linear feet of street frontage. The property contains a one-story 947 square-foot single-family dwelling that is in very poor condition. The properties are located in the Blackwell neighborhood of the Old South Planning District.

The City of Richmond's current Master Plan designates a future land use category for the subject property as Single Family Residential at Medium densities. Primary uses for this category "...are single family and two family dwellings, both detached and attached, at densities of 8 to 20 units per acre. Includes residential support uses such as schools, places of worship, neighborhood parks and recreation facilities, and limited public and semi-public uses. Typical zoning classifications that may accommodate this land use category: R-5A, R-6 and R-7. (City of Richmond Master Plan, 133). The proposal would yield a residential density of approximately 21 units per acre.

The current zoning for this property is R-7 Single- and Two-Family Urban Residential. All adjacent properties are located within the same R-7 District. Single-, two-, and multi-family land uses are found in the vicinity, as well as vacant, commercial, and institutional land uses.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No.

**REVENUE TO CITY:** \$300 application fee.

**DESIRED EFFECTIVE DATE:** Upon Adoption.

**REQUESTED INTRODUCTION DATE:** October 8, 2018

**CITY COUNCIL PUBLIC HEARING DATE:** November 13, 2018

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None.

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission, November 5, 2018.

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)  
City Assessor (for preparation of mailing labels for public notice)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None.

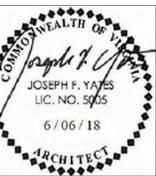
**REQUIRED CHANGES TO WORK PROGRAM(S):** None.

**ATTACHMENTS:** Application Form, Applicant's Report, Draft Ordinance, Plans, Survey, Map

**STAFF:** David Watson, Senior Planner, Land Use Administration 646-1036

*PDR O&R No. 18-60*

# MAURY STREET TOWNHOUSE



## GENERAL NOTES :

The General Contractor (GC) guarantees all materials and workmanship for a period of one (1) year from the date of Substantial Completion. GC shall repair any deficient work during this period, at no cost to Owner.

- GC verify all existing conditions prior to proceeding with any work. Notify architect if any condition does not coincide with Construction Documents.
- The GC responsible to pay for all permits and coordinate all inspections, including final inspection, unless directed in writing by owner.
- Dimensions shown are to face of studs in new construction, and to face of plaster in existing construction unless noted otherwise.
- Submit shop drawings to architect for approval on the following: WINDOWS & DOORS and specification information on ROOFING.

### STRUCTURAL:

- Presumed allowable soil bearing load is 2000 psf. If the Owner chooses, the GC shall employ, at the owner's expense, a Geotechnical Engineer to perform hand augers of the footing excavations prior to pouring of footings. GC shall follow the recommendations of the engineer prior to proceeding with foundation work.
- Mixed, poured-in-place concrete shall be designed to produce compressive strengths as follows: Footings: 3000 psi at 28 days. Provide proper protection when air temperature falls below 40 degrees F. Concrete exposed to freeze-thaws cycle shall be air entrained.
  - Reinforcing Steel: Deformed bars - ASTM A615, Grade 60. Welded wire fabric (WWF) - ASTM A185.
  - All masonry to be placed with continuous horizontal joint reinforcement at 8" o.c. below grade and at 1'-4" o.c. above grade. Where foundation walls act as retaining walls provide reinforcing using #3 rebar embedded in concrete footing at 2'-8" o.c.
  - Floor Joists: Refer to Construction Documents.

### EXTERIOR:

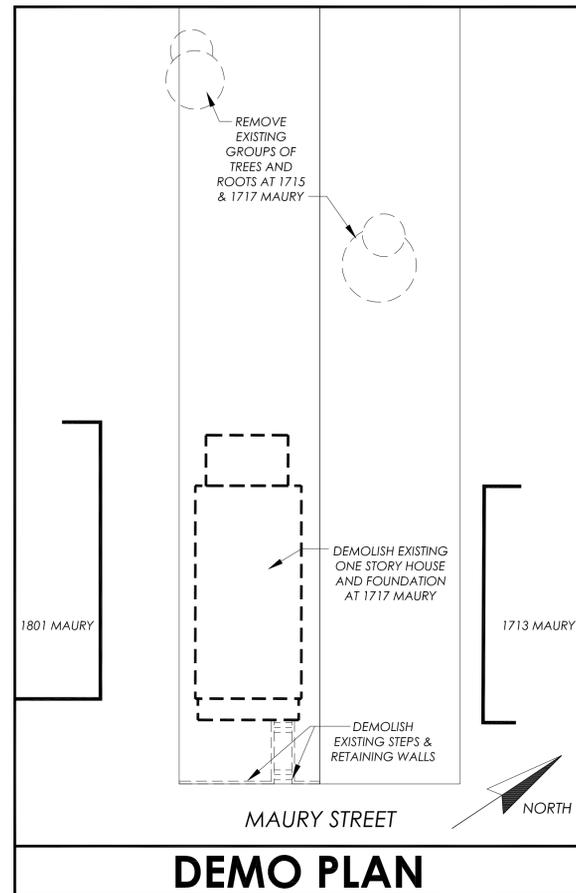
- Concrete Masonry (CMU): ASTM C90, 2000 psi compressive strength.
- Architect shall approve brick selection prior to purchase of face brick. Face brick shall be common bond pattern.
- Mortar: Shall meet ASTM C270. Below grade use Type M mortar. Above grade use Type S mortar. Joints shall be concave, 3/8" wide. Mortar color selected by Architect.
- All wood exposed to exterior in contact with concrete or CMU or below grade shall be pressure treated.
- Siding to be a Hardie Plank w/ a 6" exposure & Hardie trim boards. Hardie Board butt jointed flush siding 24" height & staggered joints.
- Plywood: Use 5/8" CC exterior grade for roof deck (use edge clips for roof deck), and 3/4" CC exterior grade tongue and groove for floor decks.
- Floor decking shall be glued and nailed to floor joists.
- Windows & doors shall be simulated divided light, aluminum clad wood. Provide aluminum flashing at heads and bottom of all windows & doors. Window & door design basis is Jeld-Wen "Siteline". Contact Scott Wagner at Customview 804-523-1167. Approval by Owner and Architect required prior to purchase.
- All wood trim shall be clear White Pine or Fir unless otherwise noted. Brush on a minimum of two coats of an oil-based wood preservative over all exposed exterior wood surfaces, including edge cuts of wood trim, prior to installation. Back prime all wood trim.
- HB&G Permasnap column wrap over 6 x 6 pressure treated wood columns under porches covered by metal roofing.
- Exterior Painting:
  - The following are acceptable paint manufacturers: Benjamin Moore, Sherwin Williams
  - Exterior paint match Sherwin-Williams colors (GC coordinate factory finishes for Jeld-Wen doors and windows):
    - Siding: SW 6075 Garret Gray
    - Trim: SW 7555 Patience
    - Window Sash: SW6993 Black of Night
  - All exterior wood is to receive two coats of oil base or acrylic paint. Prime All bare and new wood prior to receiving finish coats.

### ROOFING:

- Roofing Materials: Single-Ply EPDM Roofing
  - Provide and install Single-Ply EPDM 0.60 roofing as manufactured by Carlisle or Equal.
  - Entire roof deck is shall be covered with ice and water shield as recommended by manufacturer.
- Tapered roof insulation to create roof minimum roof slope 1/4" per foot.
- Roofing Materials: Standing seam metal roof.
  - Provide and install new 26 gauge Kynar pre-finished standing seam metal roofing over porches.
  - Install continuous ice and water shield over sheathing on entire roof. Install continuous slip sheet over entire roof.
- Downspouts: All downspouts prefinished aluminum, 4" wide.

### INTERIOR:

- All joists, rafters and beams shall have a minimum bearing of not less than 3-1/2" x 3-1/2". All bearing masonry shall be grouted solid to footings.
- Framing lumber shall be Southern Yellow Pine, No. 2, kiln dried, min. Fb = 1200 psi. Studs spaced at 16" OC
- Plywood: Use 3/4" CC exterior grade tongue and groove for floor decks. Glue and nail floor decking to floor joists.
- Install fiberglass batt insulation, in all exterior walls, to achieve a minimum rating of R-19. Butt edges of insulation, do not leave voids in wall. Install R-38 batt insulation at roof joists.
- WALLS/CEILINGS:
  - Walls: Install 5/8" rated gypsum board in fire walls and 1/2" in other stud wall. Ceilings: 1/2" gypsum board
  - Use only brand name gypsum board and finishing materials. Install ceilings first, so that edges are supported and concealed by gypsum board at walls.
- WOOD FLOORS:
  - Solid red oak wood flooring.
  - Floor stain color approved by Owner.
  - Apply two coats of semi-gloss and one coat of matte finish polyurethane floor finish to all wood floors. Follow manufacturer's instructions for application and drying times.
- INTERIOR PAINTING, TRIM & DOORS:
  - The following are acceptable paint manufacturers: Sherwin Williams
  - Use all flat finish for easy spot painting.
  - Prime All gypsum board walls and ceilings with one coat of latex primer and two coats of latex paint. Prime All bare and new wood trim with one coat of oil based primer two finish coats of oil or acrylic paint. Color scheme as follows:
    - Walls: SW7004
    - Trim: SW7018 Dovetail
    - Doors: SW7019 Gauntlet
  - Interior DOORS: Solid core, flush, birch for stained finish
  - Interior TRIM:
    - Door & Window casing: RE Trim, SI-44B1, 3/4 x 3-1/2 YP
    - Window stool: SI-17C, 5-1/2 YP
    - Window apron: RE Trim, SI-44B1, 3/4 x 3-1/2 YP
    - Baseboard: SI-11D, 3-1/2 YP
- Door Hardware: (Brushed Nickel Finish)
  - Front and rear doors to have latch with lever handle, key operated deadbolt lock, 3 hinges each
  - Interior doors to have lever handle, 3 hinges each
  - Passage locks at bathroom doors
- TILE provide and install:
  - Kitchen back splash: Glossy 3" x 6" Subway tile.
  - Floors: Townscape Porcelain 12" x 24" (TS03 Dark Grey).
  - Tub / Shower Surround: Townscape 12" x 24" (TS02 Light Grey), installed vertically.
- CASEWORK (KITCHEN & BATH) provide and install:
  - Cabinets / Vanities: Wolf Grey Shaker Style cabinets.
  - Counter Tops: Granite- Furlow white tops.
- WINDOW BLINDS provide and install:
  - Aluminum mini blinds equal to Bali brand at all windows.
- TOILET ACCESSORIES provide and install:
  - At each toilet, Pamex BC12-43 paper holder satin nickel finish
  - In each bathroom, Pamex BC12-15824 towel bars satin nickel finish
  - At each tub, Pamex BSR-552, 652 satin nickel finish
  - Above each vanity, AJW U701 Series frameless mirror 24" x 34"



### APPLIANCES:

GC provide and install All products are Frigidaire ( aka Electrolux), stainless steel, with black side finishes.

- Laundry units are white.
- Refrigerator model # FFH1832TS with ice maker and the water line kit
  - Range model # FFEF3054TS with 4 prong 220 volt lead cords
  - Laundry center (one piece washer dryer 220 volt ) model # FFLE4033QW with a 3" vent kit and flexible water lines and with 4 prong 220 volt lead cords
  - Dishwasher model # FFB2406NS
  - Garbage disposals Badger brand 1/3 H. P or equal.
  - Microwave, above range mounting model# FFMV1645TS

### ELECTRICAL:

- Install 200 amp service at each unit.
- GC pays for all permits and coordinates with Dominion Energy for service installation.
- GC provide and install all wiring, outlets, junction boxes and panel boxes as required for a complete installation. All new wiring to be concealed, surface mounted conduit will not be permitted.
- Lighting Fixtures: Selected by Owner, purchased and installed by Contractor.
  - Recessed Ceiling Halogen Lights: equal to WAC.
  - Vanities: Quorum International, Catalog #: 86525-2-65.
  - Over Tub / Shower: GM Lighting, 120V Driverless LED Surface Downlight.
  - Walk-In Closets: Lithonia Lighting, Wraparound Narrow End Utility Fluorescent.
  - Living Rooms & Bedrooms: Royal Pacific Ltd., Catalog #: 1079 Series w/ light kit.
  - Exterior Doors: Hinkley & FR, Aria 2300KZ-LED.

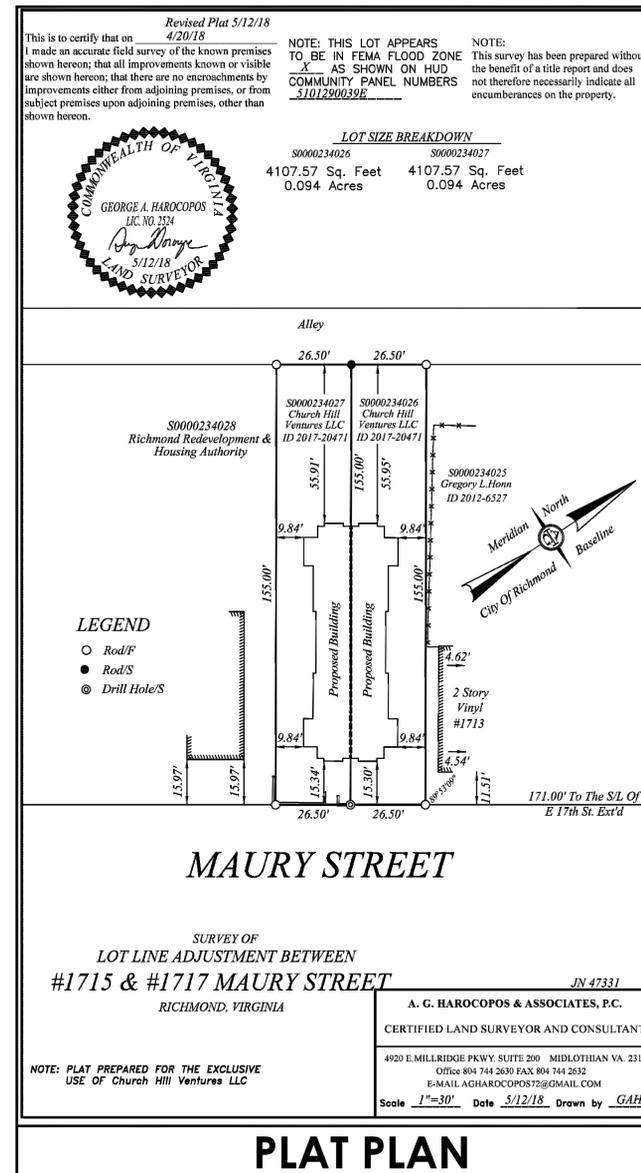
- GC provide all necessary rough-in and hook-ups for appliances, including washer and dryer.
- GC provide and install following appliances: Refrigerator/Freezer, Dishwashers, Range, Microwave, Hood Exhaust system, Sink Disposers, Washer/Dryer

### PLUMBING:

- GC provide and install materials for all plumbing work.
- Plumbing Fixtures and Accessories - Complete fixtures and accessories to be selected by Owner and GC provide and install the following:
  - Bathtubs: Bootzcast Porcelain enamel 60" x 30" x 14 1/4" by Bootz Industries.
  - Tub & Shower Faucet Trim: Delta Tub/Shower (BT13410 Series).
  - Rough-in Valve: Delta "MultiChoice" Universal Rough Valve Body.
  - Toilets: Alto, Model 137-160, Elongated Front, "SmartHeight", Vitreous China, Two-Piece Toilet by Mansfield.
  - Lavatory Faucets: Delta 559-LF"Trinsic" Collection, single handle deck mount.
  - Kitchen Faucets: Delta 917 8-DST "Leland" Collection, single handle pull-down.
  - Water Heaters: "Proline" commercial-grade residential by State Water Heaters.

### MECHANICAL:

- GC responsible for installing a complete heating and air conditioning system, including all controls, piping, etc.
- Locate first floor HVAC units in designated closets.



## CODE DATA

- CODE: Virginia Residential Code
- ZONING: R-7
- CURRENT USE: Vacant Lot
- PROPOSED USE: Single Family
- SQUARE FOOTAGE:
 

1715: UNIT A	1,000 SQ FT
UNIT B	1,000 SQ FT
1717: UNIT C	1,000 SQ FT
UNIT D	1,000 SQ FT
- USE GROUP: R-5
- TYPE OF CONSTRUCTION: III B
- SPRINKLER: NONE
- OCCUPANCY:
 

1715: 2,000 ÷ 200 SQ FT = 10 GROSS
1717: 2,000 ÷ 200 SQ FT = 10 GROSS

## DRAWING INDEX

T1	Title Drawing
	Landscape Plan
A1	Site Layout & Fire Wall Plan
A2.1	First Floor Plan
A2.2	Second Floor Plan
A3	Front & Side Elevation
A4	Finish & Door Schedule & Types
A5.1	First Floor RCP
A5.2	Second Floor RCP
A6.1	Building Sections
A6.2	Building Sections
A6.3	Wall Sections
A6.4	Details
S1	Foundation/First Floor Framing Plan
S2	Second Floor Framing Plan
S3	Roof Framing Plan

1715 & 1717 Maury Townhouse

1715 & 1717 MAURY STREET  
RICHMOND, VIRGINIA

Joseph F. Yates

ARCHITECTS  
804-839-3747  
joe@jfyarchitects.com

Set Date:

JUN 06, 2018

Revisions:

1 7/10/18

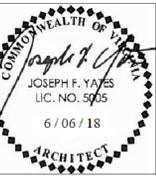
2 8/07/18

Project No.:

2018-03

SUP  
T1.1





1715 & 1717 Maury Townhouse

1715 & 1717 MAURY STREET  
RICHMOND, VIRGINIA

Joseph F. Yates

ARCHITECTS

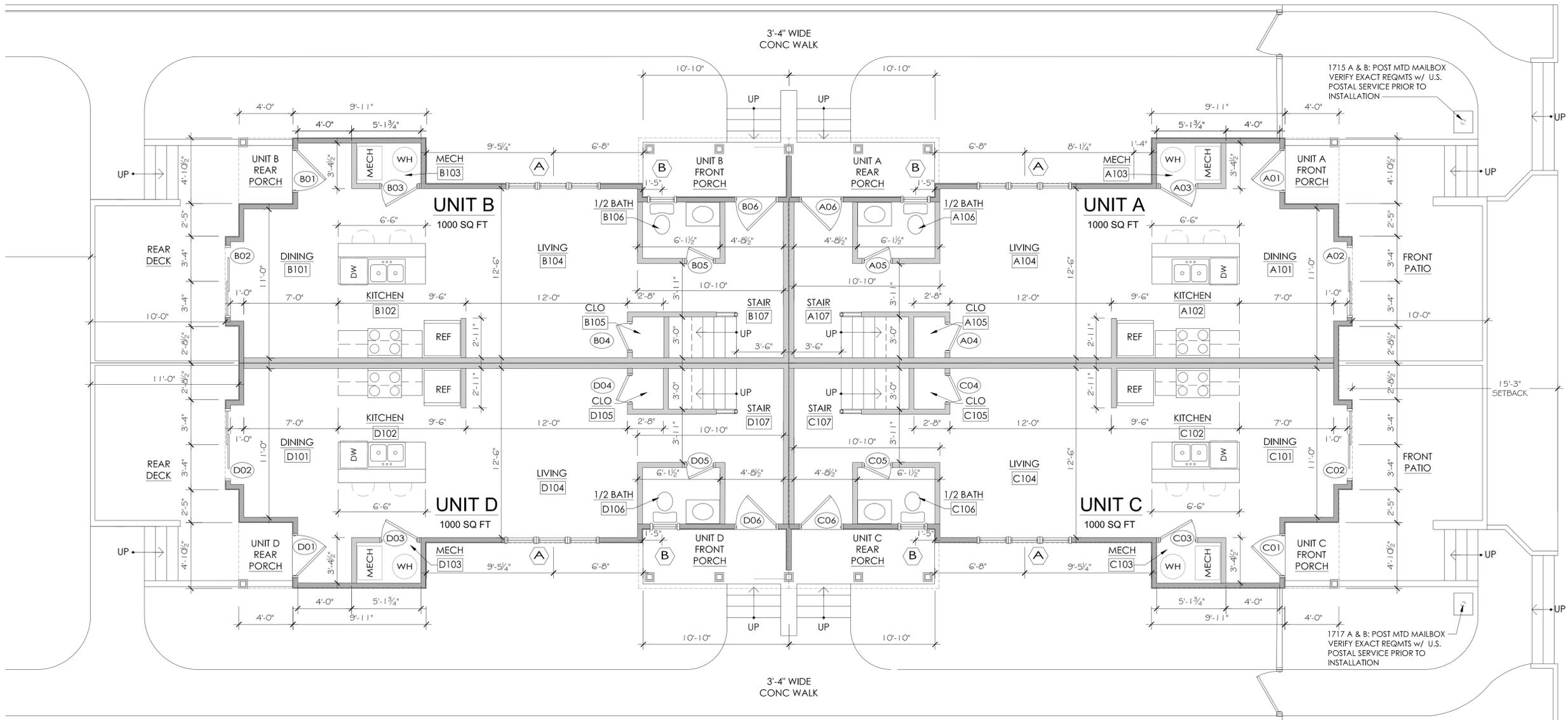
804-839-3747  
joe@jfyarchitects.com



Set Date:  
JUN 06, 2018  
Revisions:

Project No.:  
2018-03

A2.1



1st FLOOR

SCALE: 1/4" = 1' - 0"





1715 & 1717 Maury Townhouse  
 1715 & 1717 MAURY STREET  
 RICHMOND, VIRGINIA

Joseph F. Yates  
 ARCHITECTS  
 804-839-3747  
 joe@jfyarchitects.com

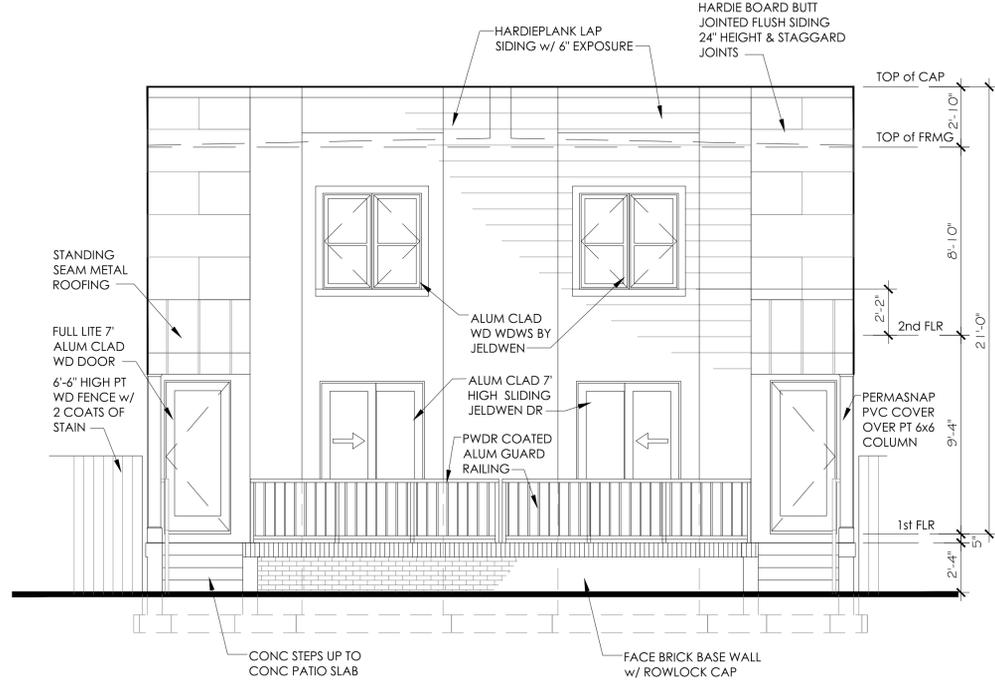
Set Date:  
**JUN 06, 2018**  
 Revisions:

Project No.:  
**2018-03**

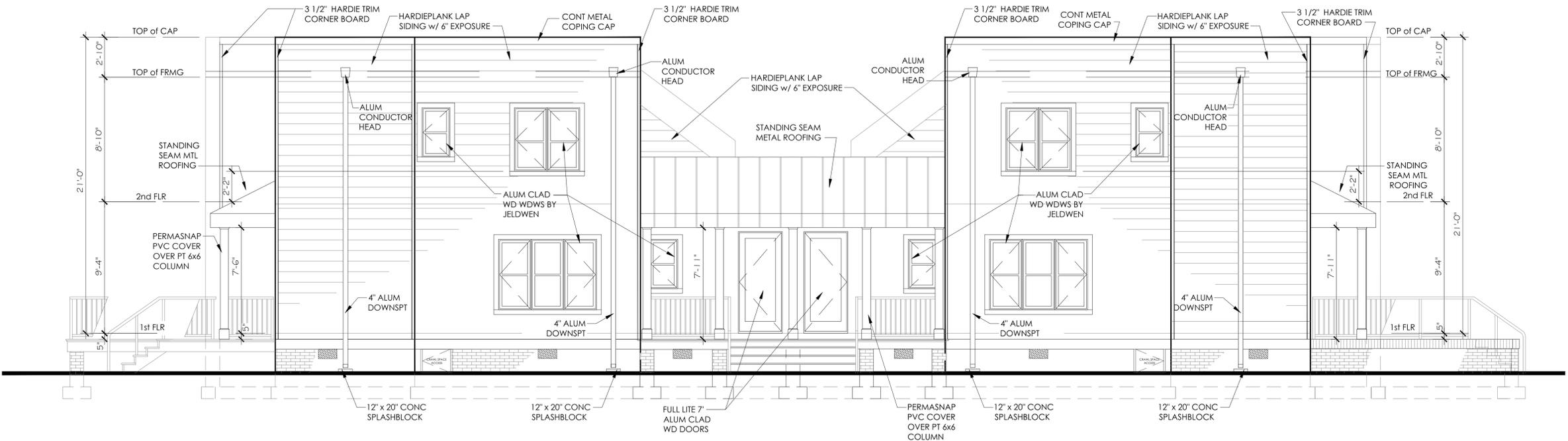
**A3**



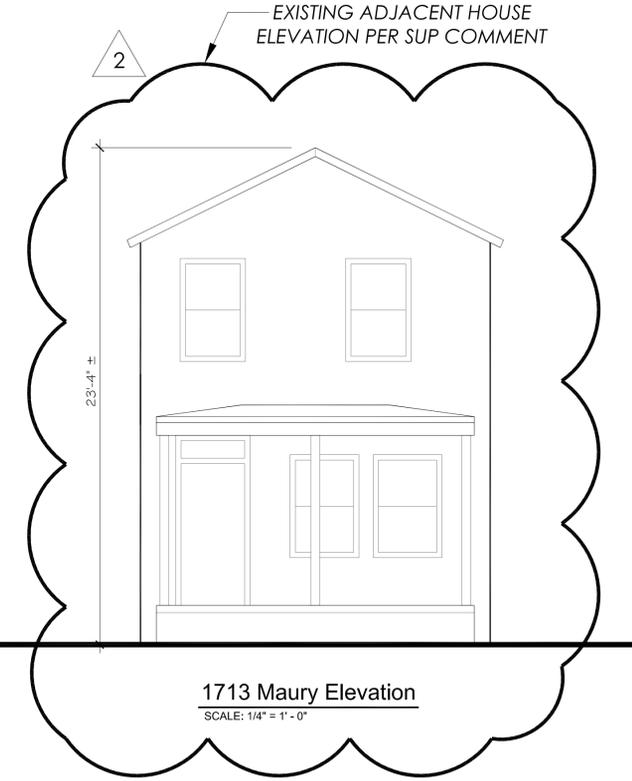
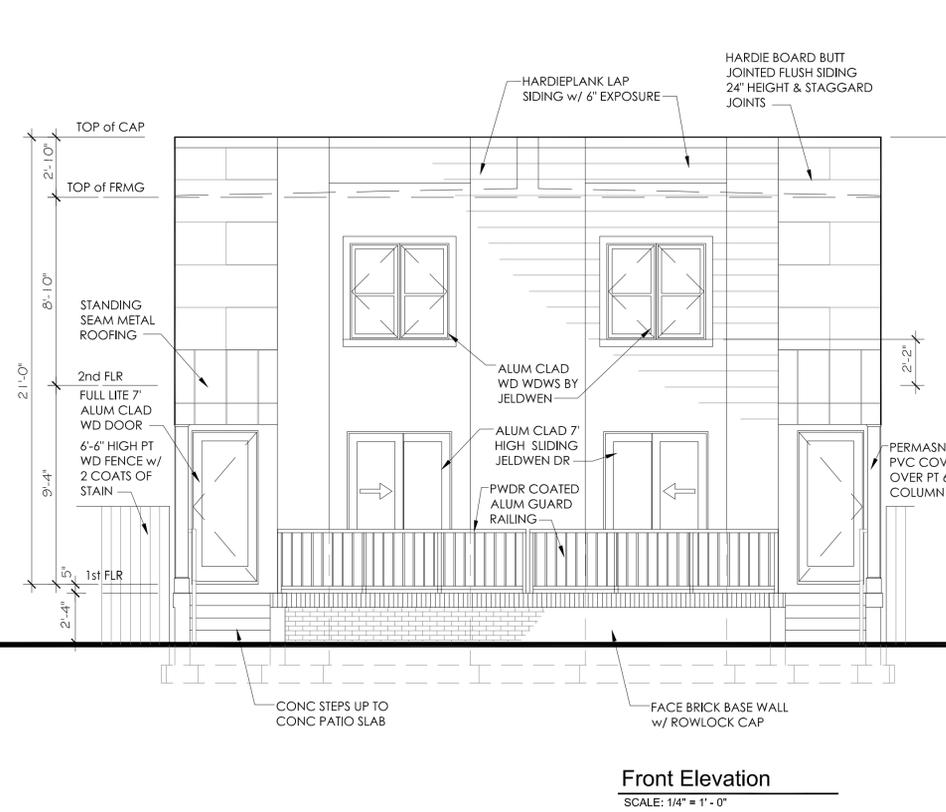
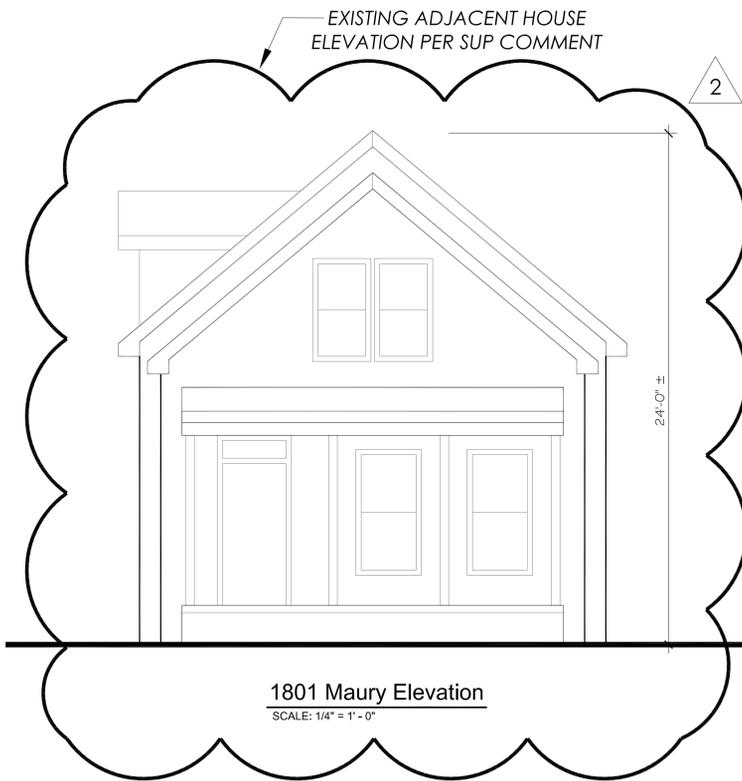
**Rear Elevation**  
 SCALE: 1/4" = 1' - 0"



**Front Elevation**  
 SCALE: 1/4" = 1' - 0"



**Side Elevation**  
 SCALE: 1/4" = 1' - 0"





Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondva.gov/>

SUP-036238-2018

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

**Project Name/Location**

Property Address: 1715 - 1717 MAURY STREET

Date: 5/29/2018

Tax Map #: \_\_\_\_\_ Fee: \$ 300

Total area of affected site in acres: 0.189 ACRES

1715 - 60000234026, 1717 - 60000234027  
(See page 6 for fee schedule. please make check payable to the "City of Richmond")

**Zoning**

Current Zoning: R-7

Existing Use: 1717 VACANT HOUSE TO BE DEMOLISHED  
1715 VACANT LOT

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)

NEW 2 FAMILY DWELLING @ 1715 & 2 FAMILY DWELLING @ 1717

Existing Use: 1717 VACANT HOUSE TO BE DEMOLISHED  
1715 VACANT LOT

Is this property subject to any previous land use cases?

Yes

No

Yes  No If Yes, please list the Ordinance Number.

Applicant/Contact Person: DANIEL SCHEROTTER

Company: CHURCH HILL VENTURES, LLC

Mailing Address: 1100 BOULDER SPRINGS DR., SUITE 420

City: RICHMOND

Telephone: (415) 572-1969

State: VA Zip Code: 23225

Email: SCHEROTTER@GMAIL.COM

Fax: \_\_\_\_\_

Property Owner: CHURCH HILL VENTURES

If Business Entity, name and title of authorized signee: LAURA HILD, MEMBER

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 1100 BOULDER SPRINGS DR., SUITE 420

City: RICHMOND

Telephone: (804) 873-8384

State: VA Zip Code: 23225

Email: LAURAHILD@CHURCHHILLVENTURES.COM

Fax: \_\_\_\_\_

Property Owner Signature: \_\_\_\_\_

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



August 7, 2018

Church Hill Ventures, LLC PO Box 14144

Richmond, Virginia 23225

**Re: 1715 & 1717 Maury Street - Request for a Special Use Permit**

David Watson,

Church Hill Ventures is committed to improving life, security, commerce and property in Manchester, Blackwell and Swansboro neighborhoods. CHV owns the vacant properties at 1715 and 1717 Maury Street. We are excited to tell you about a new project we are planning that will have a positive impact on the neighborhood. CHV is requesting the city grant a special use permit for this new project.

First, the property at 1717 has a house that is beyond repair. This dilapidated house will be removed to allow for the new project. Currently, this block of Maury Street is zoned R-7. This allows for two family dwellings. Since CHV owns these two adjacent lots, we propose placing two townhouses on the adjoining property line along a common wall. Zoning notes a 3'-0" setback on each side yard of a structure. Since we want to build on the property line, we need to ask the city for a special use permit. The advantage to building on the common property line is:

1. A shared common wall allows for better economy of construction that will reduce the construction cost and make the townhouses more affordable for residents of the community.
2. We can also more than double the side yard space to the neighbors. It's important to note this new arrangement also includes 6 new parking spaces accessed from the alley. That is 2 additional parking spaces than required.

The new duplexes are compatible with the surrounding residential styles in the area. The existing houses are a combination of single and two-family dwellings. At the corner of 17th and Maury are a series of four-unit buildings waiting to be rehabilitated.

The new duplex units will only contribute to the safety, health and morals and general welfare of the community as the rents for these units will be above the typical rents now being charged in the neighborhood.

There are six off-street parking places being provided on site. On street parking is not allowed in this block so that there will be no added congestion on the areas streets, roads alleys or other public ways and places.

The four new units will be located on existing lots with a boundary line adjustment to equalize the two lots. There will be no additional hazards from fire, panic or other dangers as this new construction will be infilling one vacant lot and replacing one badly deteriorated dwelling.

As duplexes are currently allowed by zoning in this area the Special Use Permit will not cause overcrowding of land or and undue concentration of population.

The new residents may use the local school several blocks away. Unfortunately no public parks or playgrounds are close by. Again, as stated above since duplexes are allowed by zoning there will be no adverse affect or interference with water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, nor will the new structures interfere with adequate light and air.

These significant improvements to the vacant properties at 1715 and 1717 Maury Street keeps this a strong, healthy community. We look forward to your responses.

Yours Truly:



Daniel H. Scherotter, Culinary Director,  
Development and Property Manager,  
Owner's Representative  
Church Hill Ventures (415) 572-1969