



**City Of Richmond, Virginia
Office of the City Clerk**

Request to Withdraw Legislation

Paper Number: Ord. 2023-173

Chief Patron: Mayor Levar Stoney (By Request)

Introduction Date: May 22, 2023

Chief Patron Signature:  06/21/2023

For Office Use Only

Attestation: _____

Effective Date: June 21, 2023

INTRODUCED: May 22, 2023

AN ORDINANCE No. 2023-173

To authorize the special use of the property known as 701 East Cary Street for the purpose of a clean energy park with electric vehicle charging stations, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JUN 26 2023 AT 6 P.M.

WHEREAS, the owner of the property known as 701 East Cary Street, which is situated in a B-4 Central Business District, desires to use such property for the purpose of a clean energy park with electric vehicle charging stations, which use, among other things, does not meet the requirements of section 30-440.1 of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 701 East Cary Street and identified as Tax Parcel No. W000-0018/025 in the 2023 records of the City Assessor, being more particularly described on the survey entitled “ALTA/NSPS Land Title Survey Showing 1.983 Acres of Land Lying South of East Cary Street and East of South 8th Street,” prepared by Timmons Group, dated May 15, 2019, and last revised December 16, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a clean energy park with electric vehicle charging stations, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Dominion Clean Energy Park,” prepared by Baskervill, and last revised March 29, 2023, hereinafter referred to as “the Plans,” a copy of which is attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a clean energy park with electric vehicle charging stations, substantially as shown on the Plans. Permitted accessory uses to the Special Use shall include not only those permitted by applicable underlying zoning regulations, but also farmer’s market and food truck court uses. The location of any food truck court use shall be substantially as shown on the Plans.

(b) No more than 29 charging stations may be located on the Property.

(c) All building materials, elevations, and site improvements, including landscaping and walkways, shall be substantially as shown on the Plans.

(d) The Owner may choose between the two options presented in the Plans labeled “Enclosure 2” on sheet L3.00 and “Enclosure 2 – Optional Mural” on sheet L3.01.

(e) The Owner may install wind turbines, substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

RECEIVED
By City Attorney's Office at 6:17 pm, May 17, 2023

RECEIVED
By CAO Office at 4:04 pm, Apr 28, 2023

Item Request File Number: Admin-2023-0213


O & R Request

DATE: April 25, 2023

EDITION: 1

TO: The Honorable Members of City Council


THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)


on Behalf of Lincoln Saunders

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer 

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic
Development and Planning



FROM: Kevin J. Vonck, Director, Department of Planning and Development Review 

RE: To authorize the special use of the property known as 701 East Cary Street for the purpose of a clean energy park with electric vehicle charging stations, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 701 East Cary Street for the purpose of a clean energy park with electric vehicle charging stations, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit which would allow electric vehicle charging stations as surface parking within a B-4 - Business (Central Business) zoning district. The proposed use is not permitted within the B-4 District; therefore, a Special Use Permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council.

BACKGROUND: The property is located in the Central Office District neighborhood at 701 East Cary Street, South 7th Street and South 8th Street. The property is currently an 84,419 sq. ft. (1.983 acre) parcel of land that is currently vacant, but was previously the site of the Dominion Energy Inc. headquarters. The application requests to construct a clean energy park with electric vehicle charging stations.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Downtown Mixed-Use and within the Downtown Core National/Regional Node. This designation is defined as a "Central business district of the Richmond region features high-density development with office buildings, residential buildings, and a mix of complementary uses, including regional destinations in a highly-walkable urban environment."

Primary Use: Retail/office/ personal service, multi-family residential, cultural, institutional, government, and open space.

Secondary Uses: Not applicable.

The current zoning for this property is B-4 - Business (Central Business). Adjacent properties are generally zoned the same B-4 zone. The subject site is located within the downtown office district and the Downtown Expressway and Kanawha Plaza is located adjacent to the property to the south.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: May 22, 2023

CITY COUNCIL PUBLIC HEARING DATE: June 26, 2023

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
June 20, 2023

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Ray Roakes, Planner, Land Use Administration (Room 511) 804-646-5467



Application for **SPECIAL USE PERMIT**
 Department of Planning and Development Review
 Land Use Administration Division
 900 E. Broad Street, Room 511
 Richmond, Virginia 23219
 (804) 646-6304
<http://www.richmond.gov>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 701 East Cary Street, Richmond, VA (Alternate address: 700 E. Canal Street) Date: 11/4/2022
 Tax Map #: W0000018025 Fee: \$2,400.00
 Total area of affected site in acres: 1.983

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: B-4 Business (Central Business)

Existing Use: Vacant Land

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)
Clean Energy Park with electric vehicle charging stations, solar canopies, energy (battery) storage and other clean energy and park features.

Existing Use: Vacant Land

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: Special Use Permit Ord. No. 2016-191

Applicant/Contact Person: Brian Jackson

Company: Hirschler
 Mailing Address: 2100 E. Cary Street
 City: Richmond State: VA Zip Code: 23223
 Telephone: (804) 771-9545 Fax: ()
 Email: bjackson@hirschlerlaw.com

Property Owner: DE 700 Canal Place LLC

If Business Entity, name and title of authorized signee: Dominion Energy, Inc, Manager,
By: W. Keith Windle, Senior Vice President

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: ATTN: Legal Department – Project Acquisition, Development and Construction, 120 Tredegar Street, RS6
 City: Richmond State: VA Zip Code: 23219
 Telephone: (804) 771-9545 Fax: ()
 Email: bjackson@hirschlerlaw.com

Property Owner Signature: [Signature]
Dominion Energy, Inc, Manager, By: W. Keith Windle, Senior Vice President

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



Brian K. Jackson
D: 804.771.9545
bjackson@hirschlerlaw.com

Hirschler Fleischer | hirschlerlaw.com
2100 East Cary Street | Richmond, VA 23223
P: 804.771.9500 | F: 804.644.0957

February 2, 2023

**SUP-120788-2022 (701 E. Cary St)
Revised Applicant's Report for Special Use Permit Application by DE 700 Canal Place, LLC (hereinafter, the "Applicant" and "Dominion"), to develop a Clean Energy Park at 701 East Cary Street, Richmond, VA (the "Property").**

Dear Ladies and Gentlemen:

On behalf of the Applicant, the undersigned submits the following revised report (updating the November 4, 2022 Report), in connection with its Special Use Permit Application to allow development of a Clean Energy Park with various clean energy features, including electric vehicle (EV) charging stations powered by solar panel canopies and wind turbines and with energy (battery) storage facilities (the "Project"), on the Property. The Park and various components of the Project as shown on the enclosed Concept Plan, site Survey and other development plans (collectively the "Project Plans"), do not meet the uses allowed in the Property's zoning designation, B-4 Business district. The Applicant desires to develop the Project to generate solar electricity and help support the power needs that the EV charging hub will demand. The EV chargers would support nearby transit corridors, as well as the downtown area's businesses and urban residents.

Development of the Clean Energy Park is consistent with Dominion's and its affiliates' commitments to lowering its carbon footprint and providing a cleaner energy future for the customers and the communities it serves. Moreover, the Project is a great opportunity for Dominion and its affiliates to move towards net zero carbon emissions in the next couple of decades.

1. Background. The Applicant is an indirect, wholly-owned subsidiary of Dominion Energy, Inc. (NYSE: D). The Property is currently vacant and consists of approximately 2 acres owned by Applicant, and is the former site of the One James River Plaza office building.

2. Proposed Use and Special Use Permit Request. Approval of the Special Use Permit for development of the Clean Energy Park as shown on the Project Plans will allow the Applicant to (i) build an electrical vehicle charging hub in a park setting with features that are educational and open to the public with adequate lighting; (ii) provide a public use demonstration project to showcase clean transportation and clean energy solutions; (iii) serve downtown electric vehicle owners and the transit corridors of I-64, I-95, and the Downtown Expressway; and (iv) add to the esthetic quality of the downtown community. Additionally, the proposed Clean Energy Park would be one of the first such charging stations of its kind in an urban area in the United States.

To accomplish the Applicant's vision for the Property, the Project will be a zero emissions hub (in the central business district) that would feature:

- 28-29 Electric vehicle fast chargers (level 3 chargers);
- A solar canopy;
- Public green space and walking paths;
- Educational signage throughout the Park to allow the public to visit and learn more about Dominion's and its affiliates' sustainable investments in energy and transportation;
- Space for small community events – capable of supporting food trucks or farmers markets;
- Clean energy educational displays;
- The potential to accommodate onsite energy storage with an urban battery storage facility, if approved by the State Corporation Commission; and
- Solar canopy panels and urban wind turbines that will power the EV charging stations. The solar and wind turbine system will be in the range of 275kW to 300kW in size. Since all of the 29 chargers at this site will be rated to provide energy at rates higher than 200kW each, only at very low utilization periods during the day will the solar panels be instantaneously covering the full energy demand of the clean energy park. The planned battery storage system may also aid the retention of the locally produced green energy by storing the energy during low utilization periods and discharging the energy during times of high demand from the EV Chargers. During the first few years while EV adoption is in the early phase, we expect the solar canopy and wind turbines to offset the on-site energy use by roughly 10%-22.5%, depending on the total utilization of the EV Chargers at the site. As charger utilization increases in the latter years, the percentage is expected to decrease further.

3. The Richmond 300 Plan. The Property is in the Downtown Core of the City. The Richmond 300 Plan designates the Property's future use as Downtown Mixed Use, a future use category which prioritizes and accommodates a highly-walkable urban environment that engages with and enlivens the street. The primary uses include cultural and open space. The educational and environmental aspects of this Project will make it a cultural destination in the City that tells a compelling story about Richmond's evolution toward a more green and sustainable built environment. The proposed green spaces, walkways and public spaces will also provide more recreational features Downtown and generate more activity in this node.

4. Property and Surrounding Area. The Property is vacant and the surrounding area consists of a mix of urban commercial and office uses with the adjacent areas dominated by high-rise office buildings and the Kanawha Plaza Park.

5. Community Benefits. Approval of the Special Use Permit will allow the Applicant and its affiliates to further their goals of lowering their carbon footprints and providing a cleaner energy future for the Richmond community. Transportation is the largest source of carbon emissions in the

United States, so transportation electrification plays a vital role in reducing emissions and improving air quality. Moreover, the site will feature green space, walking paths and educational signage throughout the park to allow the public to visit and learn more about our sustainable investments in energy and transportation, while creating an energetic atmosphere in an urban setting.

6. Community Support of the SUP. This Property is within an area served by the Downtown Neighborhood Association, a City-registered neighborhood association, to which the Applicant will present the Project details and answer questions. Additionally, the Applicant has discussed the Project with Councilwoman Ellen Robertson who has indicated her support of the Project and the SUP request.

7. Jurisdictional Requirements, Suitability of Rezoning and Findings of Fact. All of the general jurisdictional requirements for approval of the requested Special Use Permit are satisfied for the following reasons:

(a) The Special Use Permit will not be detrimental to the safety, health, morals and general welfare of the community. The Project will accommodate EV owners, generate clean energy, and create a downtown amenity and educational experience for the community.

(b) The Special Use Permit will not tend to create congestion in the streets, roads, alleys and other public ways and places in the area involved. The development of the Park should have no impact on congestion in the area.

(c) The Special Use Permit will not result in hazards from fire, panic and other dangers. The Project will be developed with strict compliance with all applicable regulations for such development, including fire and other safety codes and the State Corporation Commission's approval of the battery storage facility (which is proposed to be owned and operated by Applicant's affiliate, Virginia Electric and Power Company).

(d) The Special Use Permit will not tend to overcrowd the land and cause an undue concentration of population. The development of the Park will leave ample open space and pedestrian paths for access.

(e) The Special Use Permit will not adversely affect or interfere with public or private schools, water supplies, sewage disposal, transportation or other requirements, conveniences and improvements. The Project will have no negative impact on any of the foregoing.

(f) The Special Use Permit will not interfere with adequate light and air. No improvements will be constructed on the Property that would create such impediments or that will have any impact on the supply of adequate light and air.

8. Conclusion. The Special Use Permit to allow the Applicant to develop the Clean Energy Park will have only beneficial effects on the community. Based on the foregoing Applicant's Report,

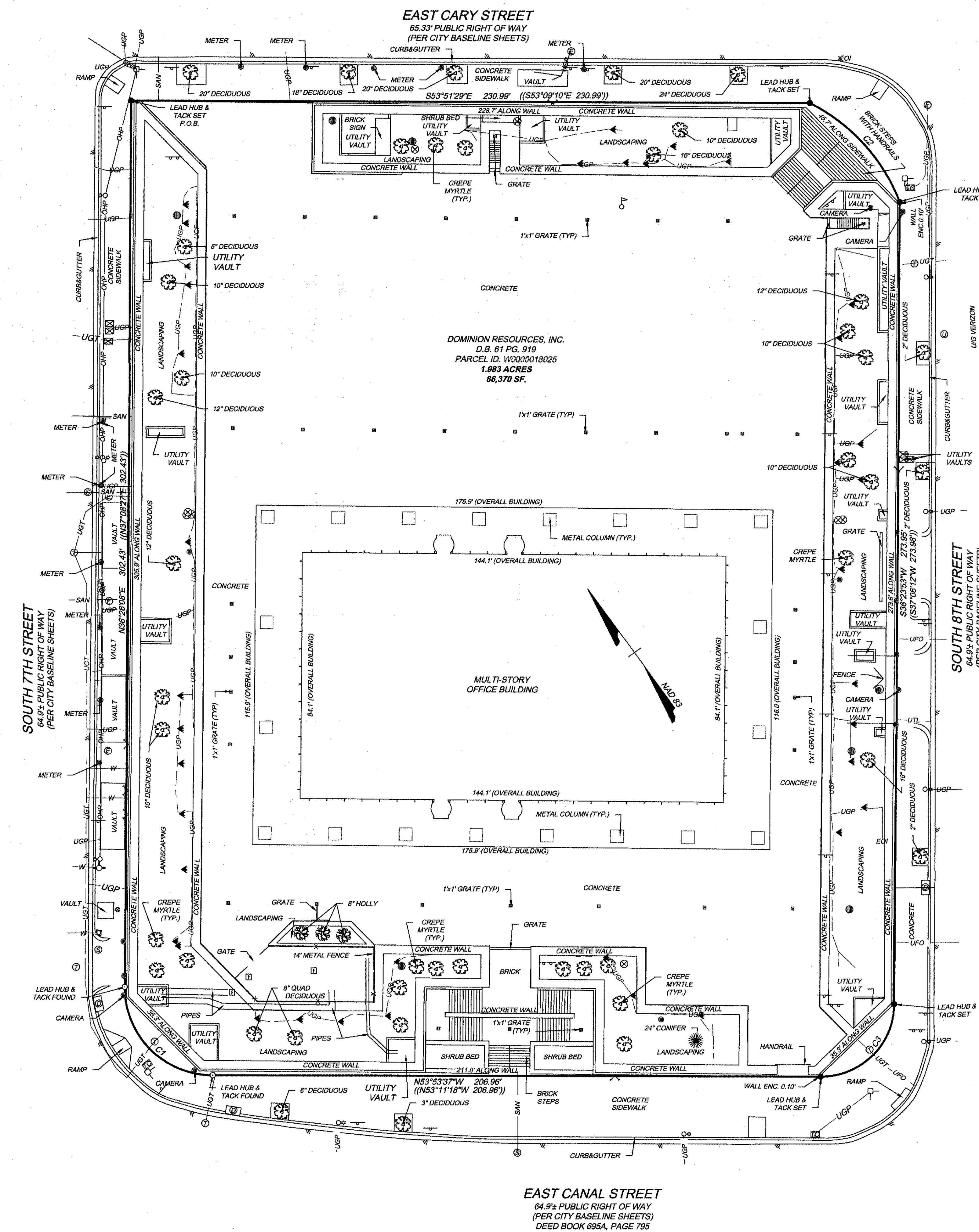
we respectfully request that the Planning Commission recommend and the Richmond City Council approve the Special Use Permit as requested.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "BKJ", with a long horizontal flourish extending to the right.

Brian K. Jackson

Y:\901\37837\003-Dominion\DWG\37837V-XPALTA_Dominion.dwg | Plotted on 12/16/2019 1:57 PM | by Robert Sidam

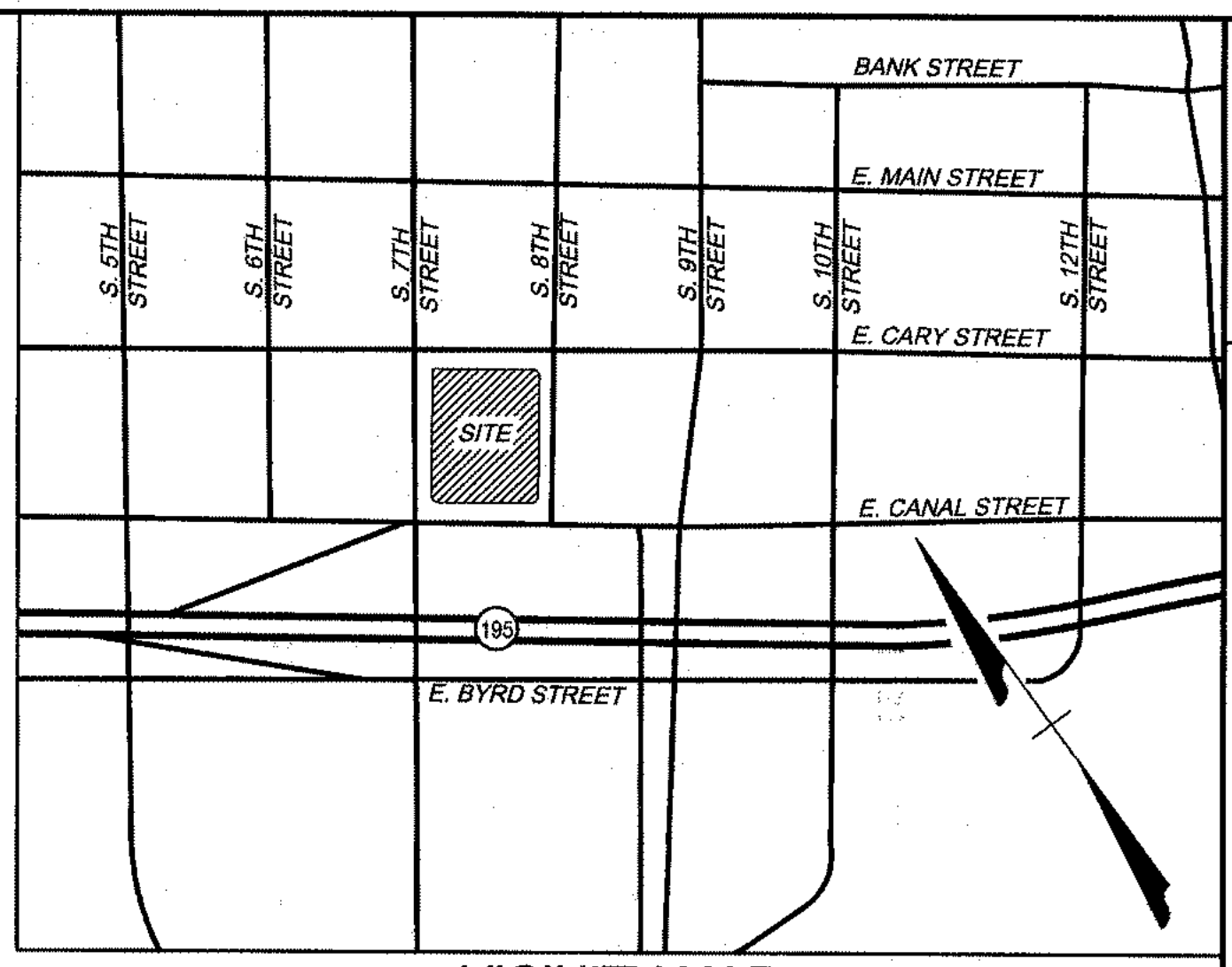


SCALE 1"=20'

EAST CANAL STREET
64.9± PUBLIC RIGHT OF WAY
(PER CITY BASELINE SHEETS)
DEED BOOK 695A, PAGE 795

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	30.00'	47.30'	30.18'	90°20'11"	N8°43'31"W	42.55'
C2	63.00'	46.54'	24.39'	42°19'50"	S6°12'30"E	45.49'
C3	25.00'	39.14'	24.87'	89°42'08"	S81°15'19"W	35.26'

- LEGEND**
- ⊕ UTILITY MANHOLE
 - ⊗ VAULT
 - ⊙ TELEPHONE MANHOLE
 - ⊕ LIGHT POLE
 - ⊕ ELECTRIC MANHOLE
 - ▲ GROUND LIGHT
 - ⊕ SANITARY MANHOLE
 - SIGN
 - ⊕ FLAG POLE
 - BOLLARD
 - ⊕ DRAINAGE MANHOLE
 - ⊕ STORM MANHOLE WITH GRATE
 - ⊕ TRAFFIC BOX
 - ⊕ SIGNAL POLE
 - ⊕ FIRE HYDRANT
 - WATER VALVE
 - ∨ SIAMESE HYDRANT
 - ⊕ SPRINKLER VALVE
 - UTL — UTILITY PAINT
 - UGT — TELEPHONE PAINT
 - W — WATER PAINT
 - UGP — POWER PAINT
 - UFO — FIBER OPTIC PAINT
 - OHP — OVER POWER
 - SAN — PAINTED SEWER
 - (()) RECORDED BEARINGS AND DISTANCES



VICINITY MAP
1"=400'

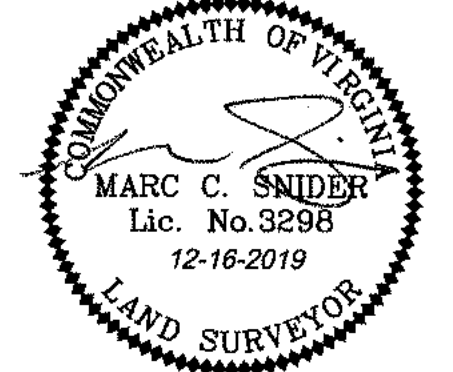
- NOTES:**
- OWNER OF RECORD: DOMINION RESOURCES, INC. - DEED BOOK 61, PAGE 919
 - PARCEL ID: W0000018025
 - ADDRESS: 701 EAST CARY STREET, ALTERNATE ADDRESS: 700 EAST CANAL STREET
 - ZONING: B-4 (PER PROPERTY CARD)
 - THIS PROPERTY LIES WITHIN ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP 5101290037D, REVISED 4-2-09.
 - THIS PLAT IS BASED ON A CURRENT TIMMONS GROUP FIELD SURVEY.
 - THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE BINDER FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-757213-PHL, EFFECTIVE DATE 4-28-2019. EXCEPTION 5 SHOWN, EAST CANAL STREET RIGHT-OF-WAY. EXCEPTION 4 LEASE AGREEMENT DEED BOOK 717, PAGE 584 AND ASSIGNMENT OF LEASE DEED BOOK 61, PAGE 924. EXCEPTION 5 SHOWN, (()) RECORDED BEARINGS AND DISTANCES.
 - THE PROPERTY HAS ACCESS FROM SOUTH 7TH STREET ON THE EAST AND SOUTH 8TH STREET ON THE WEST, ALL OF WHICH ARE OPEN PUBLIC ROADWAYS.

SURVEYED PARCEL DESCRIPTION:
BEGINNING AT A LEAD HUB & TACK SET AT THE INTERSECTION OF THE EASTERN LINE OF SOUTH 7TH STREET SOUTHERN LINE OF EAST CARY STREET AND LABELED P.O.B. HEREON. THENCE ALONG THE SOUTHERN LINE OF EAST CARY STREET, S 53°51'29" E, 230.99' FEET TO A LEAD HUB AND TACK SET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 63 FEET, A DELTA OF 42°19'50", A TANGENT LENGTH 24.39 FEET, A CHORD BEARING S 6°12'30" E FOR A CHORD DISTANCE OF 45.49 FEET, AN ARC LENGTH OF 46.54 FEET TO A LEAD HUB AND TACK SET ON THE WESTERN LINE OF SOUTH 8TH STREET; THENCE ALONG THE WESTERN LINE OF SOUTH 8TH STREET, S 36°23'53" W, 273.95' FEET TO A LEAD HUB AND TACK SET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25 FEET, A DELTA OF 89°42'08", A TANGENT LENGTH 24.87 FEET, A CHORD BEARING OF S 81°15'19" W FOR A CHORD DISTANCE OF 35.26 FEET, AN ARC LENGTH OF 39.14 FEET TO A LEAD HUB AND TACK SET ON THE NORTHERN LINE OF EAST CANAL STREET; THENCE ALONG THE NORTHERN LINE OF EAST CANAL STREET, N 53°53'37" W, 206.96 FEET TO LEAD HUB AND TACK FOUND; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 30 FEET, A DELTA OF 90°20'11", A TANGENT LENGTH 30.18 FEET, A CHORD BEARING N 8°43'31" W FOR A CHORD DISTANCE OF 42.55 FEET, AN ARC LENGTH OF 47.30 FEET TO A LEAD HUB AND TACK SET ON THE EASTERN LINE OF SOUTH 7TH STREET; THENCE ALONG THE EASTERN LINE OF SOUTH 7TH STREET, S 302°43' FEET TO THE TRUE AND ACTUAL POINT OF BEGINNING CONTAINING 1.983 ACRES OR 86,370 SQUARE FEET OF LAND

TITLE BINDER LEGAL DESCRIPTION (RECORD LEGAL):
ALL OF THOSE LOTS OR PARCELS OF LAND LOCATED IN THE CITY OF RICHMOND, VIRGINIA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
ALL THAT CERTAIN PIECE OR PARCEL OF LAND WITH ALL IMPROVEMENTS THEREON AND APPURTENANCES THERETO BELONGING, LYING AND BEING IN THE CITY OF RICHMOND, VIRGINIA, SHOWN ON A PLAT OF SURVEY ENTITLED "PLAT OF PROPERTY SITUATED BETWEEN CANAL STREET AND CARY STREET AND 7TH STREET AND 8TH STREET, RICHMOND, VA.", DATED NOVEMBER 20, 1985, BY CHAS. H. FLEET & ASSOC. ENGINEER AND SURVEYOR, A COPY OF WHICH PLAT IS RECORDED IN THE CLERK'S OFFICE, CIRCUIT COURT, CITY OF RICHMOND, VIRGINIA, IN DEED BOOK 61, AT PAGE 922, AND ACCORDING TO WHICH PLAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EASTERN LINE OF SOUTH 7TH STREET AND THE SOUTHERN LINE OF EAST CARY STREET; THENCE S 53°09'10" E 230.99 FEET ALONG THE SOUTHERN LINE OF CARY STREET TO A POINT; THENCE ON A CURVE TO THE RIGHT WHICH CURVE HAS A RADIUS OF 63 FEET, A DISTANCE OF 46.49 FEET TO A POINT ON THE WESTERN LINE OF SOUTH 8TH STREET; THENCE S 37°06'12" W 273.98 FEET ALONG THE WESTERN LINE OF SOUTH 8TH STREET TO A POINT; THENCE ON A CURVE TO THE RIGHT WHICH CURVE HAS A RADIUS OF 25 FEET, A DISTANCE OF 39.14 FEET TO A POINT ON THE NORTHERN LINE OF EAST CANAL STREET; THENCE N 53°11'18" W 206.96 FEET ALONG THE NORTHERN LINE OF EAST CANAL STREET TO A POINT; THENCE ON A CURVE TO THE RIGHT WHICH CURVE HAS A RADIUS OF 30 FEET, A DISTANCE OF 47.30 FEET TO A POINT ON THE EASTERN LINE OF 7TH STREET; THENCE N 37°08'27" E 302.43 FEET ALONG THE EASTERN LINE OF 7TH STREET TO THE POINT OF BEGINNING.

SURVEYOR'S CERTIFICATION
TO: DOMINION ENERGY, INC., DOMINION ENERGY SERVICES, INC., BANK OF AMERICA, N.A., BA LEASING BSC LLC, RENT ASSIGNEES, AND FIRST AMERICAN TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS
1 - MONUMENTS SET AS SHOWN
2 - ADDRESSES - SEE NOTES
3 - FLOOD ZONE - SEE NOTES
4 - GROSS LAND AREA SHOWN
6(A) - CURRENT ZONING CLASSIFICATION - B4 (PER PROPERTY CARD)
7(A) - EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL SHOWN
8 - IMPROVEMENTS SHOWN
11 - PAINTED UTILITIES BY TIMMONS GROUP DATED 02-28-2016 UPDATED BY MISS UTILITY DESIGN TICKET AS 13501637
13 - ADJOINING OWNERS SHOWN
14 - INTERSECTION SHOWN ON PLAT
16 - NO OBSERVED EVIDENCE OF EARTH MOVING WORK
17 - PROPOSED CHANGES IN STREET RIGHT OF WAY - NONE FOUND
18 - NO MARKERS FOUND
OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 15, 2019.



**ALTA/NSPS LAND TITLE SURVEY
SHOWING 1.983 ACRES OF LAND
LYING SOUTH OF EAST CARY STREET
AND EAST OF SOUTH 8TH STREET**

Date: May 15, 2019	City of Richmond, VA
Sheet 1 of 1	Scale: 1"=20'
Drawn by: M. Jones	J.N.: 37837
Revised: 9-27-19, 11-13-19, 11-18-19, 11-19-19, 12-16-19	Checked by: M. Snider

TIMMONS GROUP

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
1001 Builders Parkway, Suite 300 | Richmond, VA 23225
TEL 804.200.6500 FAX 804.150.1016 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

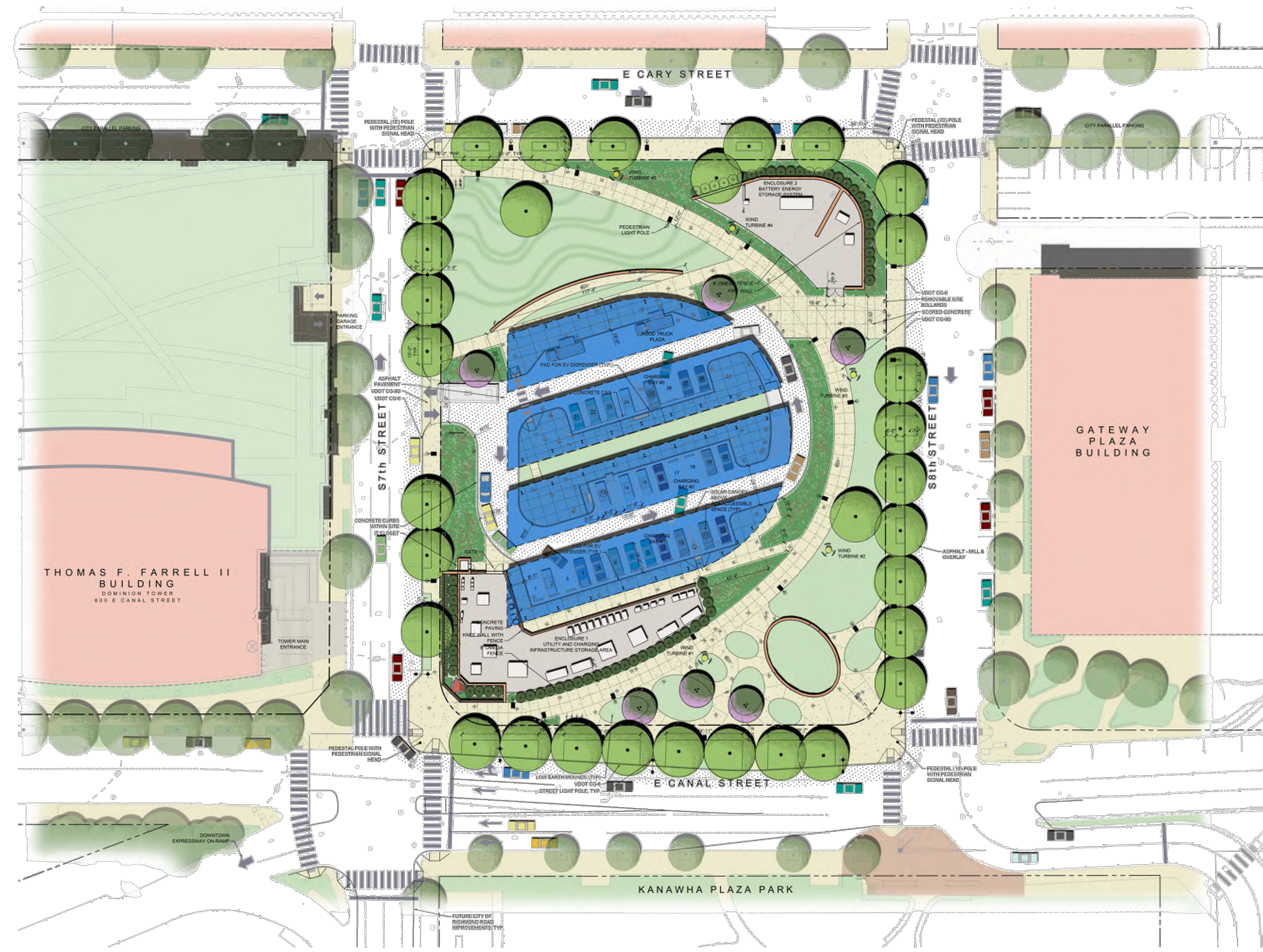
DOMINION CLEAN ENERGY PARK



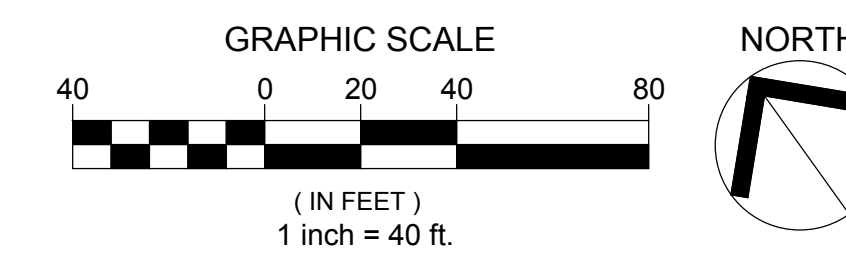
VICINITY MAP

NORTH ▲
1" = 50'

Sheet Number	Sheet Title
L0.00	Cover Sheet
L1.00	Site Plan
L2.00	Grading and Drainage Plan
L3.00	Illustrative Sections
L4.00	Site Details
L5.00	Landscape, Lighting Plan
L5.10	Lighting Cutsheets
L5.20	Landscape Notes, Details & Schedule
C2.01	Existing Conditions
C9.01	Pre-Development Drainage Area Map
C9.02	Post-Development Drainage Area Map
A1.02	Reflected Ceiling Plan, Roof Plan and Details
PVE2.00	Electrical Overall Plan
	Record Plat



SITE RENDER



SITE SUMMARY

OWNER/DEVELOPER: DOMINION ENERGY
600 E CANAL STREET, RICHMOND, VA 23219

CONTACT: MATT GOODLOE
TELEPHONE NO: 804-201-1225

LANDSCAPE ARCHITECT: VHB
115 S 15TH STREET, SUITE 200
RICHMOND, VIRGINIA, 23227

CONTACT: DAVE GERSTENMAIER
TELEPHONE NO: 804-441-7509
EMAIL: DGERSTENMAIER@VHB.COM

ENGINEER: TRC ENGINEERS, INC.
1030 WILMER AVE, SUITE 100
RICHMOND, VIRGINIA, 23227

CONTACT: W. CHARLES KREYE II, P.E.
TELEPHONE NO: 804-264-2228
EMAIL: CKREYE@TRCCOMPANIES.COM

PARCEL NUMBER: W0000018025

LOCATION: 700 E CANAL STREET, RICHMOND, VA 23219

PRESENT ZONING: B-4 - BUSINESS

PROJECT SUMMARY
EXISTING USE: -
PROPOSED USE: CLEAN ENERGY PARK
ACREAGE: 1.983 ACRES (PARCEL AREA FROM CITY GIS)

FLOOD ZONE X FIRM COMMUNITY-PANEL NUMBER: 5101290037D DATED APRIL 2, 2009

LAND DISTURBANCE: 1.27 ACRES

WETLANDS ON-SITE: NO
WETLAND PERMITS REQ'D: NO
VSMP PERMIT: NO
RPA ON-SITE: NO
RMA ON-SITE: NO
WATER: CITY OF RICHMOND
SEWER: NONE PROPOSED

PERMIT CHECKLIST:
WETLANDS DISTURBANCE (STATE) NO
LDP (CITY) YES
PLUMBING (CITY) YES
BUILDING (CITY) YES
WORK IN STREET (CITY) YES
VSMP (STATE) NO

WARNING
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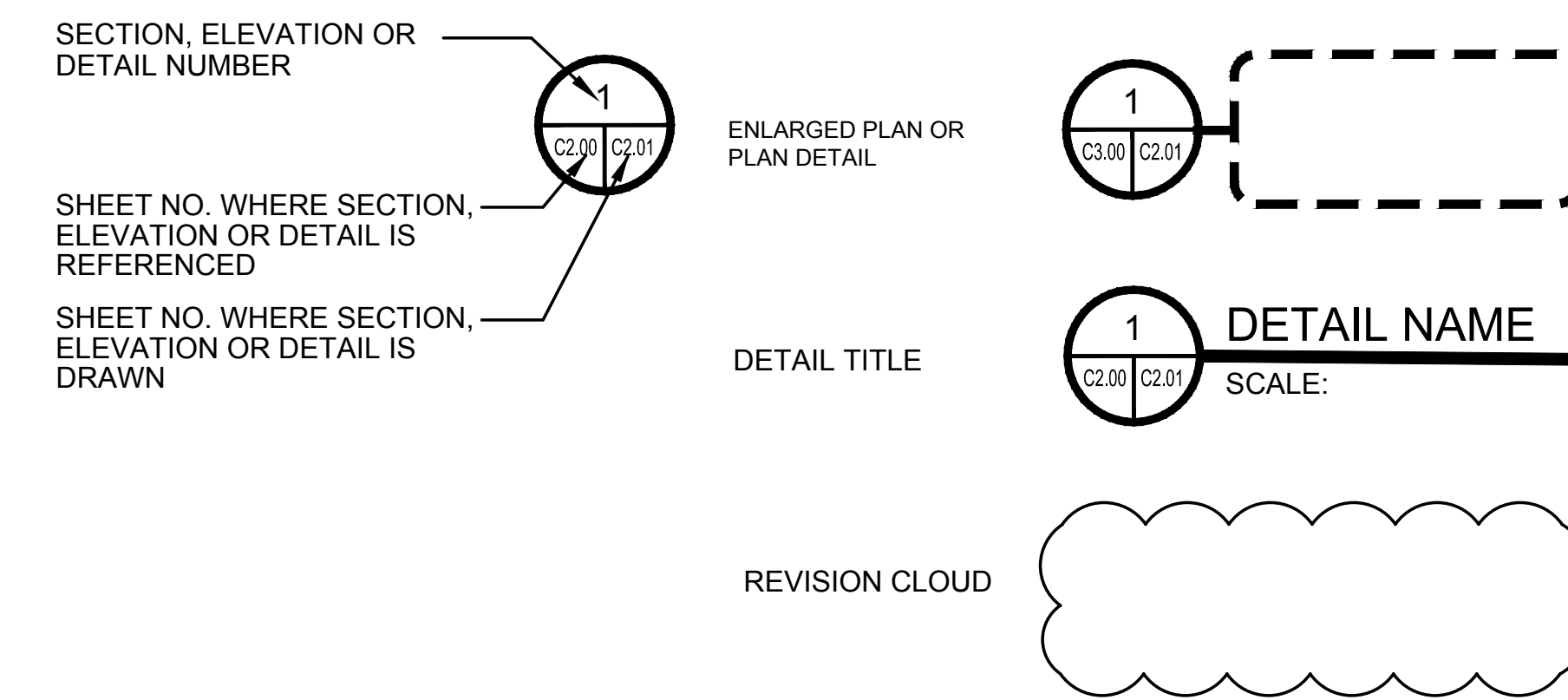
Abbreviations:

&	AND	E	EAST	OA	OVERALL
@	AT	ELEC	ELECTRICAL	OPP	OPPOSITE
~	CENTERLINE	EL	ELEVATION	PTD	PAINTED
<	DIAMETER OR ROUND	EQ.	EQUAL	PWD	PLYWOOD
#	NUMBER	EX.	EXISTING	PVC	POLYVINYL CHLORIDE
>	PROPERTY LINE	EXP.	EXPANSION	PSF	POUNDS PER SQUARE FOOT
ABV.	ABOVE	E.J.	EXPANSION JOINT	P.I.P.C.	POURED IN PLACE CONCRETE
ALUM.	ALUMINUM	FF	FINISH FLOOR	P.C.C.	PRECAST CONCRETE
APPROX.	APPROXIMATE	FIN	FINISH (ED)	PT	PRESSURE TREATED
ASPH.	ASPHALT	FTG	FOOTING	PVMT.	PAVEMENT
BD.	BOARD	F.O.C.	FACE OF CURB	RAD	RADIUS
BEL.	BELOW	GA	GAUGE	RCP	REINFORCED CONCRETE PIPE
BITUM.	BITUMINOUS	GALV.	GALVANIZED	REF	REFERENCE
BLDG.	BUILDING	GC	GENERAL CONTRACTOR	REINF	REINFORC (ED) (ING)
B.O.C.	BACK OF CURB	HT	HEIGHT	RND.	ROUND
BRK.	BRICK	HP	HIGH POINT	SCH.	SCHEDULE
BS	BOTTOM OF STEP	HORIZ	HORIZONTAL	SECT.	SECTION
B/T	BETWEEN	HB	HOSE BIB	SIM	SIMILAR
BW	BOTTOM OF WALL	INCL.	INCLUDE (D) (ING)	SD	STORM DRAIN
C.B.	CATCH BASIN	I.D.	INSIDE DIAMETER	S	SOUTH
C.E.J.	CAULKED EXPANSION JOINT	INV	INVERT	SFCMU	SPLIT FACE CONC. MASONRY UNIT
CF	CUBIC FEET	JT	JOINT	SPEC.	SPECIFICATION (S)
C.I.P.C.	CAST IN PLACE CONCRETE	LF	LINEAR FOOT	SQ.	SQUARE
C.I.	CAST IRON	LP	LOW POINT	S.S.	STAINLESS STEEL
CO	CLEAN OUT	MH	MANHOLE	STD.	STANDARD
COL.	COLUMN	MFR.	MANUFACTURE (R)	ST	STEEL
CONTR.	CONTRACTOR	MAS	MASONRY	THK	THICK
C.J.	CONTROL JOINT	MTL	METAL	T&G	TONGUE AND GROOVE
CLR.	CLEAR	MAX	MAXIMUM	T.O.C.	TOP OF CURB
CONC.	CONCRETE	MED	MEDIUM	TS	TOP OF STEP
CMU	CONC. MASONRY UNIT	MTL	METAL	T.O.W.	TOP OF WALL
CONSTR.	CONSTRUCTION	MIN	MINIMUM	TYP.	TYPICAL
CONT.	CONTINUOUS	MISC	MISCELLANEOUS	U.O.N.	UNLESS OTHERWISE NOTED
CTR.	CENTER	NO.	NUMBER	V.I.F.	VERIFY IN FIELD
CY	CUBIC YARD	NOM	NOMINAL	VERT.	VERTICAL
DET	DETAIL	N	NORTH	W/	WITH
DIA	DIAMETER	N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
DIM	DIMENSION	N.T.S.	NOT TO SCALE	W.D.	WOOD
DWG	DRAWING	O/C	ON CENTER	WWF	WELDED WIRE FABRIC
EA.	EACH	O.D.	OUTSIDE DIAMETER		

General Notes:

- CONTRACTOR SHALL CONTACT "MISS UTILITY" AT 811 AND HAVE ALL UNDERGROUND UTILITIES MARKED PRIOR TO ANY LAND DISTURBANCE OPERATIONS. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL PRIVATE UNDERGROUND UTILITIES MARKED PRIOR TO ANY DEMOLITION OR LAND DISTURBANCE OPERATIONS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND REPORT ALL DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- LAYOUT - CONTRACTOR SHALL VERIFY ALL LAYOUT DATA PROVIDED. CONTRACTOR SHALL NOTIFY VHB OF ANY DISCREPANCIES. NOTIFY VHB AT THE COMPLETION OF FIELD STAKING FOR REVIEW AND COORDINATION.
- ALL DIMENSIONING IS AT 90 DEGREES UNLESS OTHERWISE NOTED.

Symbol Legend:



Approval:

PROJECT NUMBER
2.220264.0

CLEAN ENERGY PARK

700 E. CANAL ST.
RICHMOND, VIRGINIA, 23219
REVISION 1 CITY COMMENTS 1.20.2023
REVISION 2 CITY COMMENTS 3.29.2023

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COVER SHEET
L0.00

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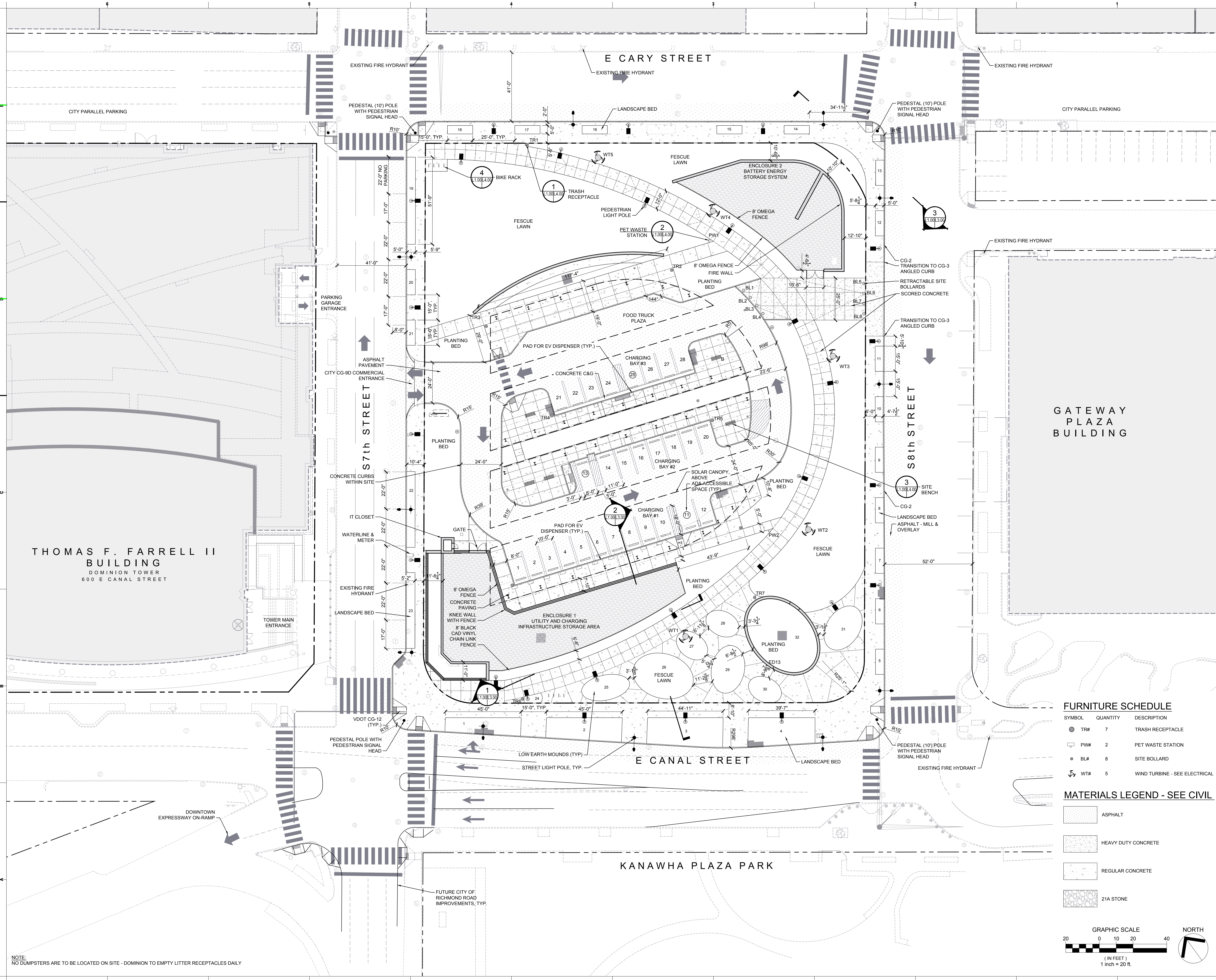
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SITE PLAN L1.00

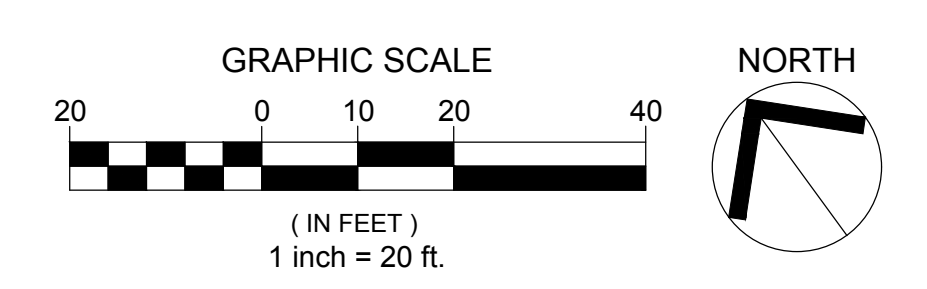


FURNITURE SCHEDULE

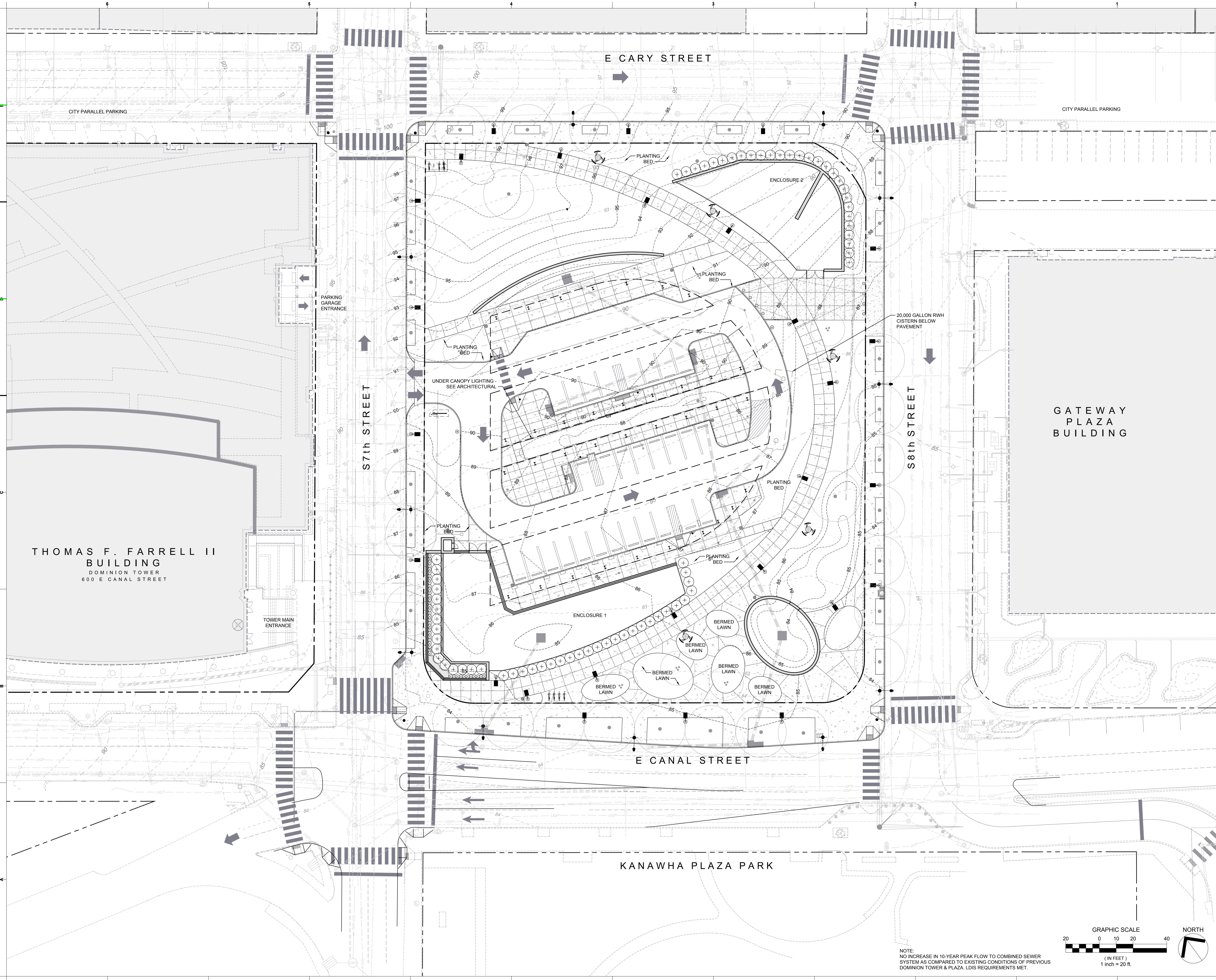
SYMBOL	QUANTITY	DESCRIPTION
TR#	7	TRASH RECEPTACLE
PW#	2	PET WASTE STATION
BL#	8	SITE BOLLARD
WT#	5	WIND TURBINE - SEE ELECTRICAL

MATERIALS LEGEND - SEE CIVIL

[Pattern]	ASPHALT
[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	REGULAR CONCRETE
[Pattern]	21A STONE



NOTE:
NO DUMPSTERS ARE TO BE LOCATED ON SITE - DOMINION TO EMPTY LITTER RECEPTACLES DAILY



GATEWAY
PLAZA
BUILDING

THOMAS F. FARRELL II
BUILDING
DOMINION TOWER
600 E CANAL STREET

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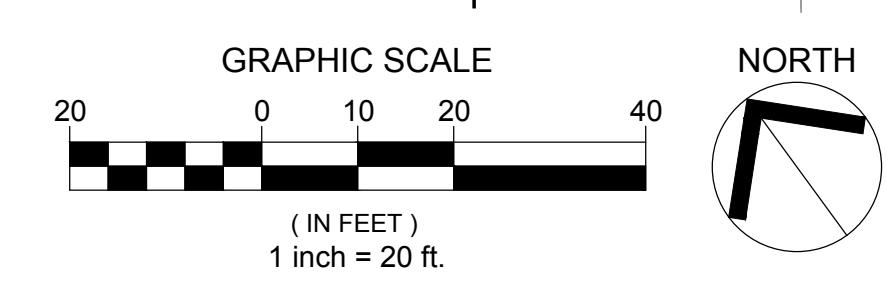
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**CLEAN ENERGY
PARK**

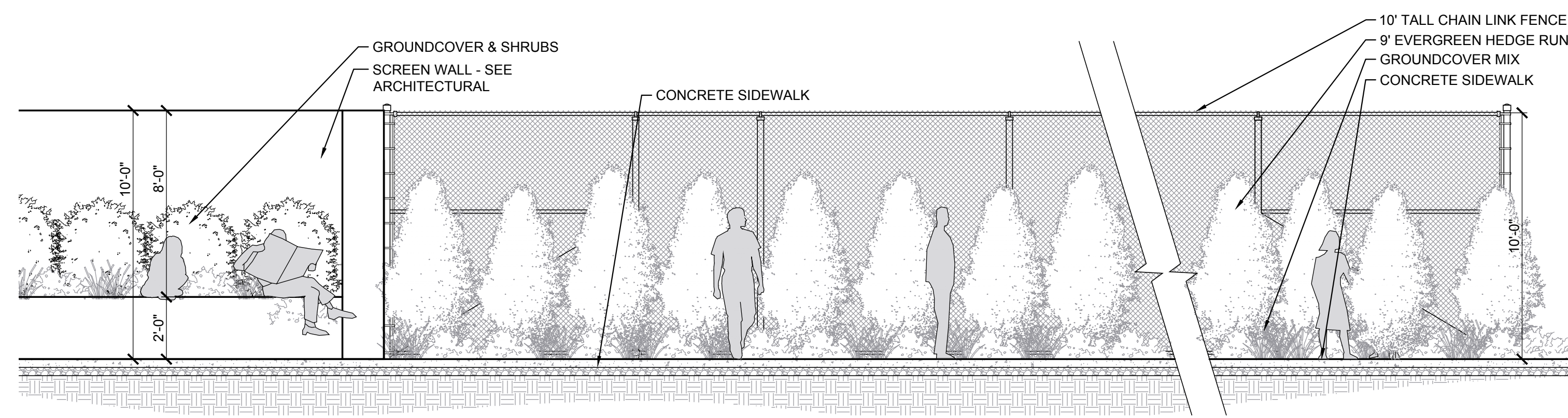
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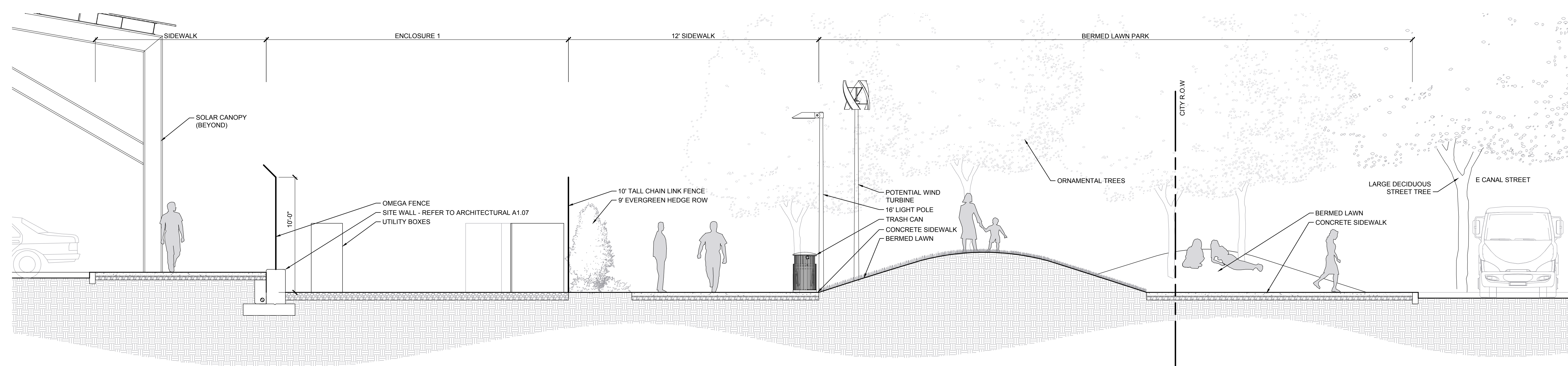


NOTE:
NO INCREASE IN 10-YEAR PEAK FLOW TO COMBINED SEWER
SYSTEM AS COMPARED TO EXISTING CONDITIONS OF PREVIOUS
DOMINION TOWER & PLAZA. LDIS REQUIREMENTS MET.

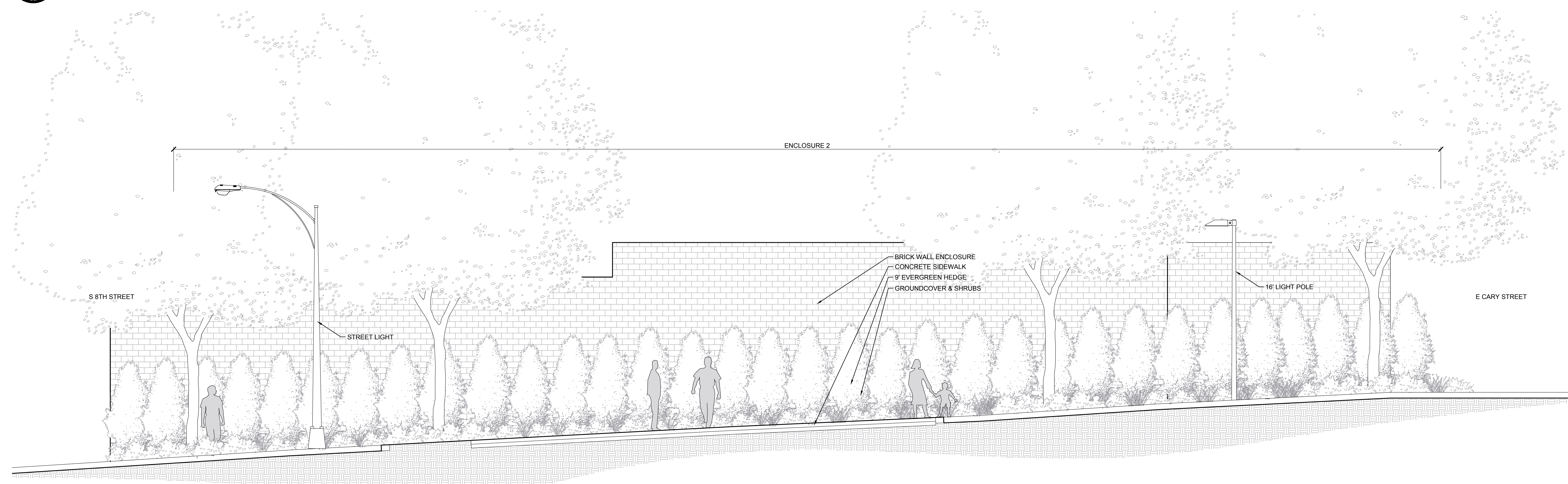
**GRADING AND
DRAINAGE PLAN
L2.00**



1
ELEVATION
UTILITY ENCLOSURE FENCE
SCALE: 1/4" = 1'-0"



2
SECTION
ENCLOSURE / BERMED PARK
SCALE: 1/4" = 1'-0"



3
ELEVATION
ENCLOSURE 2
SCALE: 1/4" = 1'-0"

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ILLUSTRATIVE SECTIONS
L3.00

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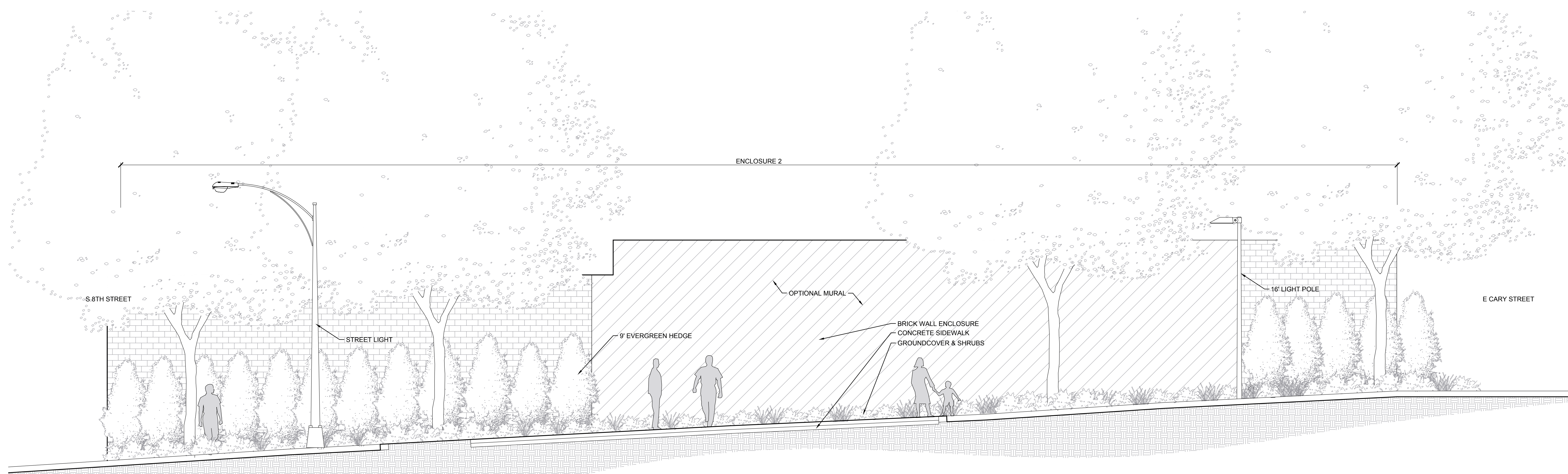
PROJECT NUMBER
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**CLEAN ENERGY
PARK**

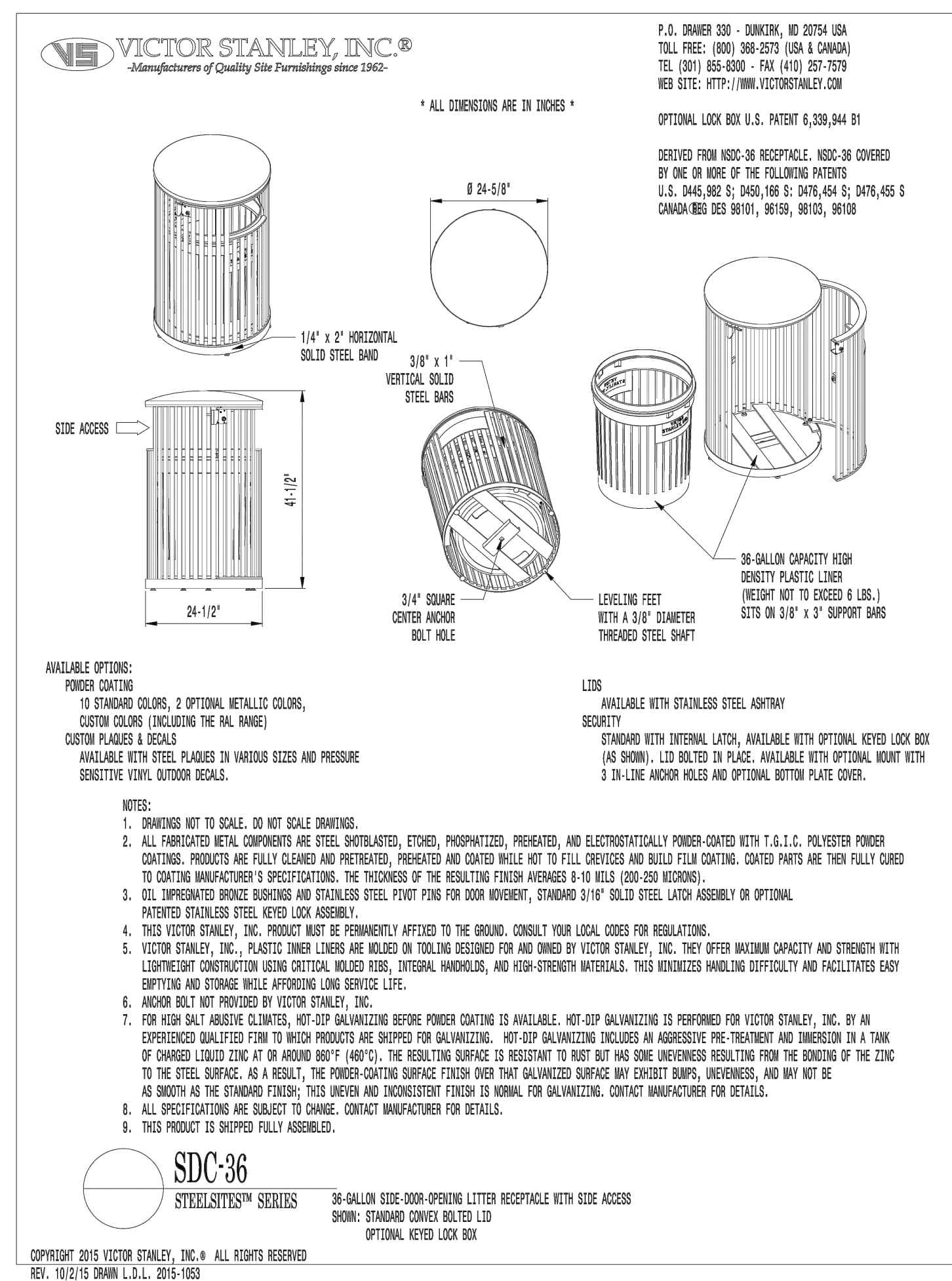
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ILLUSTRATIVE SECTIONS
L3.01



ELEVATION
ENCLOSURE 2 - OPTIONAL MURAL
SCALE: 1/4" = 1'-0"



VICTOR STANLEY
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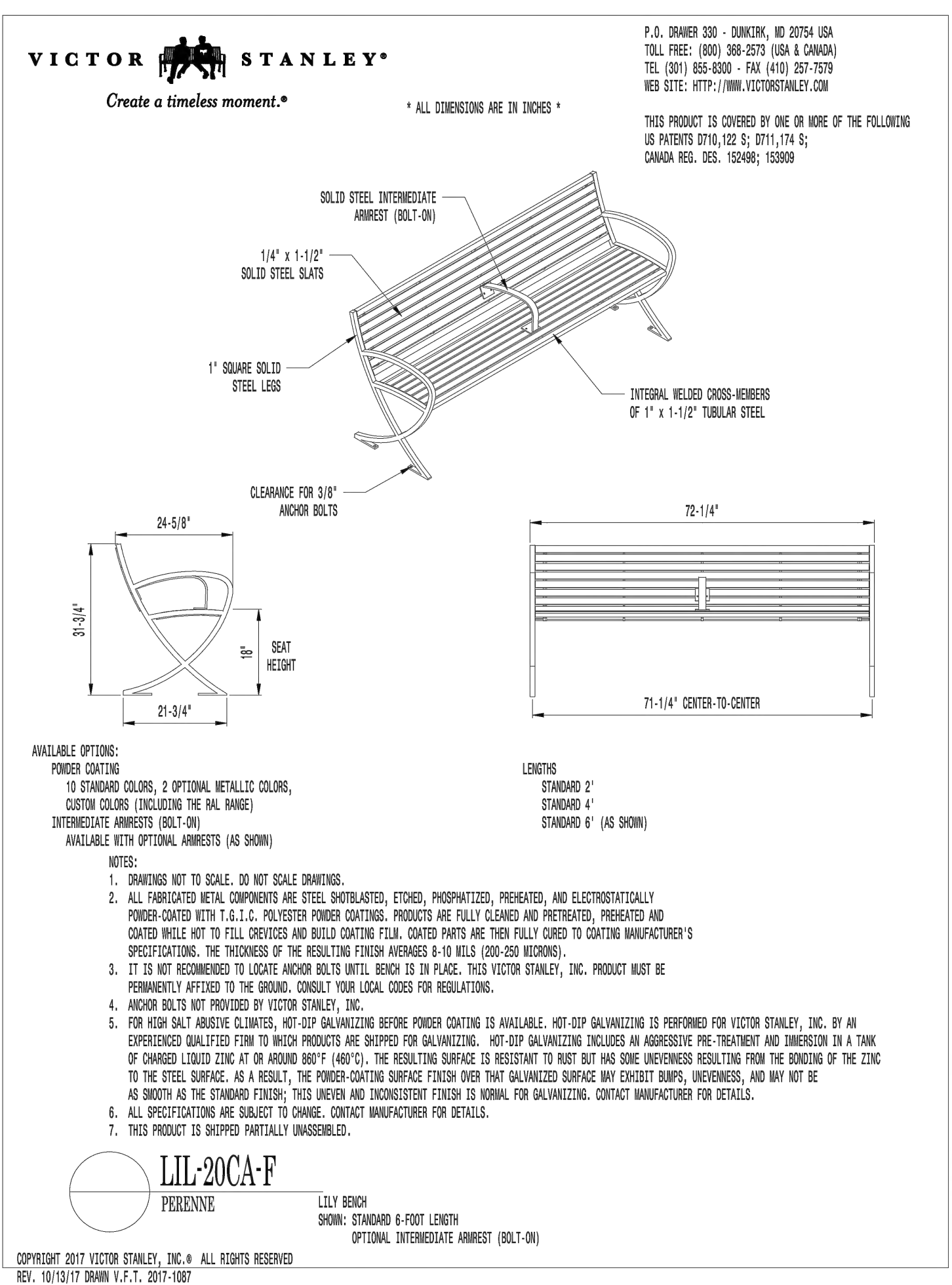
MANUFACTURER:
PET PICKUPS
PRODUCT NAME:
MODERN DOG KIT

SECTION 1
TRASH RECEPTACLE
SCALE: NTS

SECTION 2
PET WASTE STATION
SCALE: NTS

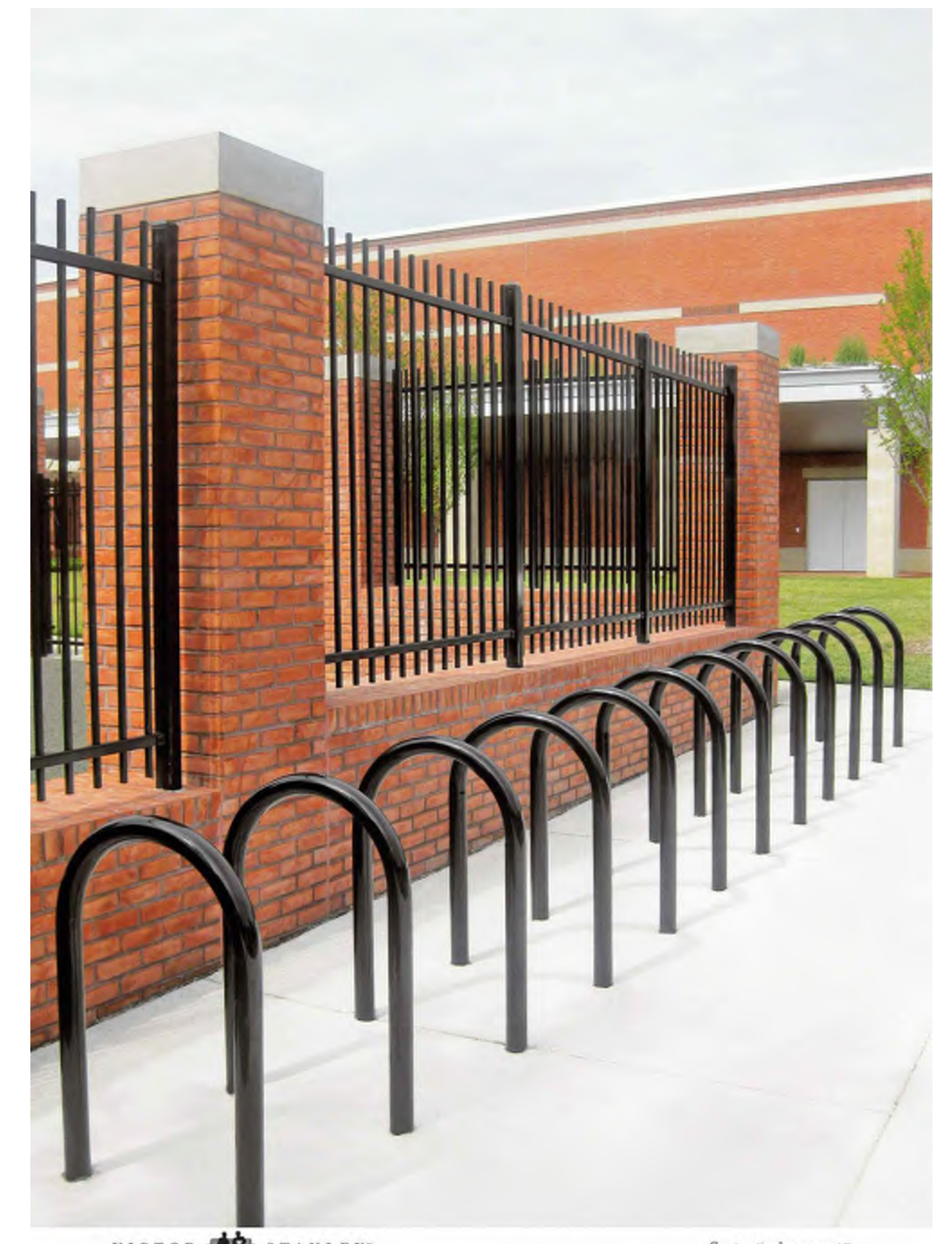
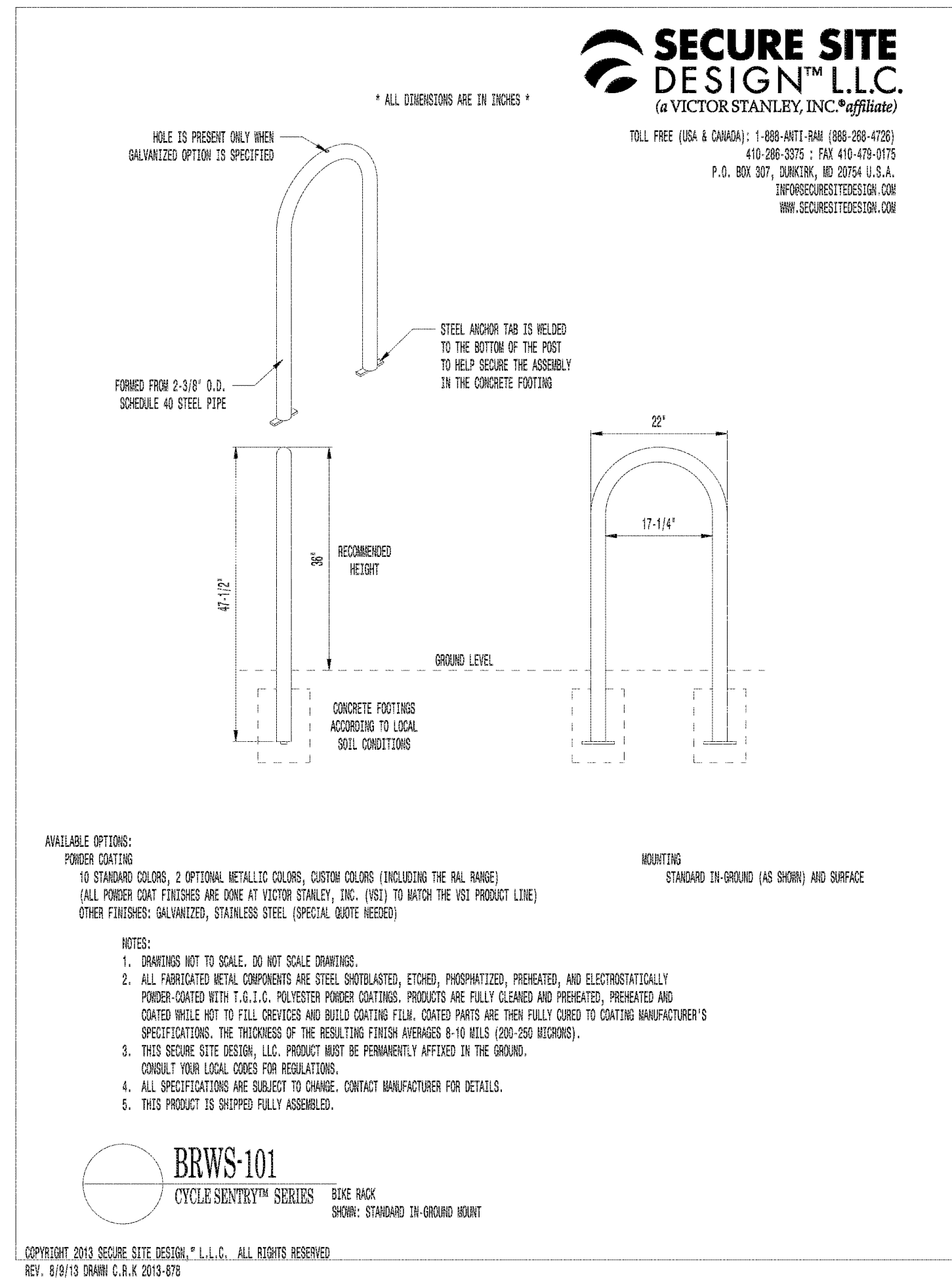
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SECTION 3
SITE BENCH
SCALE: NTS



SECTION 4
BIKE RACK
SCALE: NTS

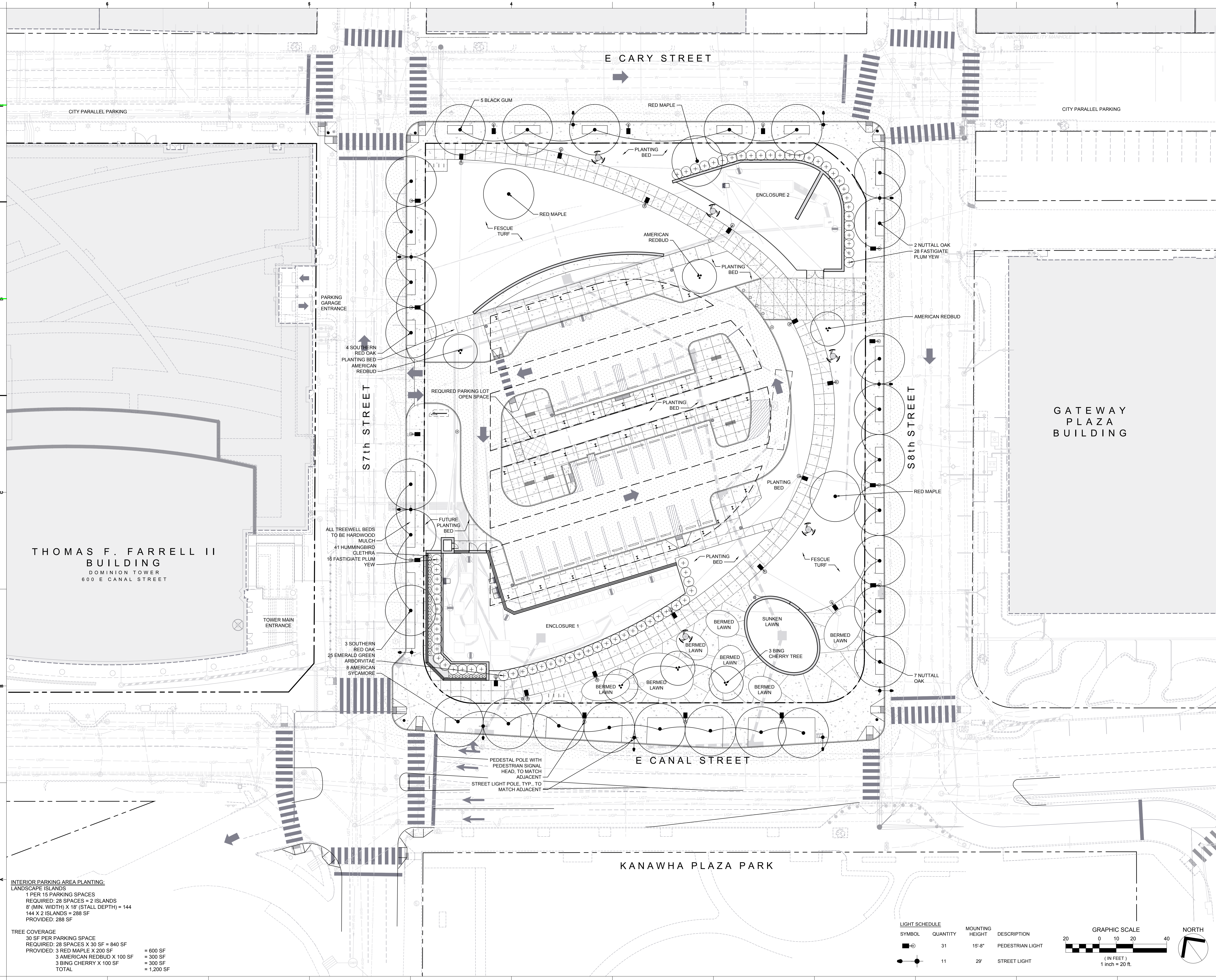
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SITE DETAILS
L4.00



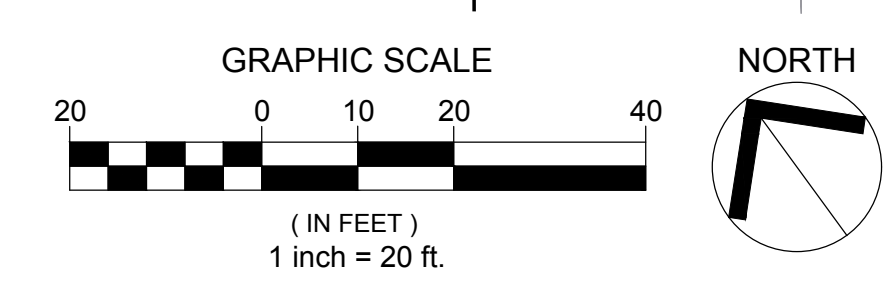
GATEWAY
PLAZA
BUILDING

THOMAS F. FARRELL II
BUILDING
DOMINION TOWER
600 E CANAL STREET

INTERIOR PARKING AREA PLANTING:
LANDSCAPE ISLANDS
1 PER 15 PARKING SPACES
REQUIRED: 28 SPACES = 2 ISLANDS
8' (MIN. WIDTH) X 18' (STALL DEPTH) = 144
144 X 2 ISLANDS = 288 SF
PROVIDED: 288 SF

TREE COVERAGE
30 SF PER PARKING SPACE
REQUIRED: 28 SPACES X 30 SF = 840 SF
PROVIDED: 3 RED MAPLE X 200 SF = 600 SF
3 AMERICAN REDBUD X 100 SF = 300 SF
3 BING CHERRY X 100 SF = 300 SF
TOTAL = 1,200 SF

LIGHT SCHEDULE		MOUNTING HEIGHT	DESCRIPTION
SYMBOL	QUANTITY		
	31	15'-8"	PEDESTRIAN LIGHT
	11	29'	STREET LIGHT



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**CLEAN ENERGY
PARK**

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**LANDSCAPE,
LIGHTING PLAN
L5.00**

HOURLIGAN | CLAYCO - Received - 2018.10.21

TYPE X7
Roadway Series 115
Roadway Lighting
50-250W HPS, 70-250W MH

PRODUCT OVERVIEW



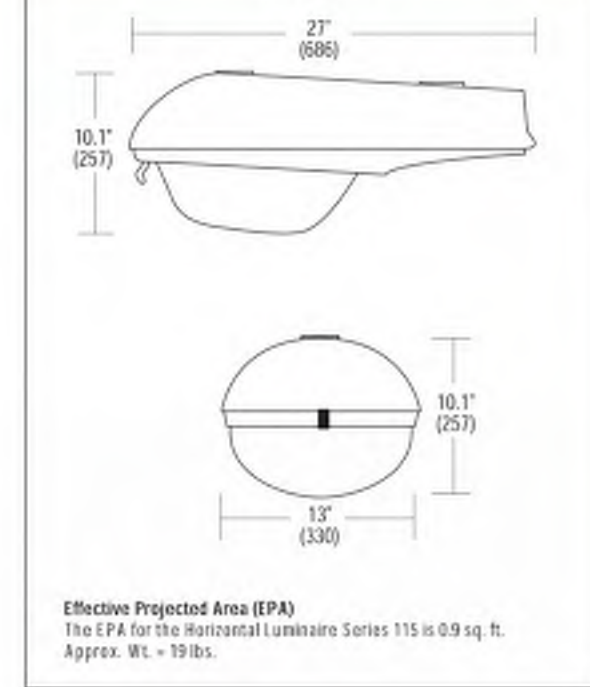
Features:

- Rugged die-cast aluminum housing is powder-coated for durability and corrosion resistance
- Two-bolt mast arm mount provides easy, secure installation and adjustability for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Optional four-bolt mounting provides extra security in high-vibration applications
- Die-cast trigger latch on doorframe enables easy and secure one-hand opening for re-lamping and maintenance
- Large surface area "breathing seal" gasket seals the optical chamber to prevent intrusion by insects and environmental contaminants. Heat-resistant gasket material remains effective over the life of the fixture
- Widely shield is cast into the housing (not a separate piece) on the two-bolt unit and is easily adjustable for 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) mast arms
- Photocontrol receptacle is adjustable without tools
- Anodized aluminum reflectors provide uniform lighting distribution with borosilicate glass, acrylic, or polycarbonate reflector
- New DTL photocontrol for solid-state lighting (available with PCS5 option) exceeds ANSI C136.10 criteria
- NEMA wattage label, terminal block, and NEMA photocontrol receptacle are standard
- E39 mogul base socket standard
- Suitable for -30°C MH / -40°C HPS
- Complies with ANSI: C136.2, C136.10, C136.14, C136.15, C136.17, C136.31

Applications:

- Roadways
- Residential streets
- Storage areas
- Parking lots
- Campuses
- Parks

DIMENSIONS



PREFERRED SELECTION CATALOG NUMBERS

- 115 10S RN 120 R2 DA
- 115 15S CA MT1 R2 DA EC
- 115 15S MH 120 R2 DA
- 115 25S CA MT1 R3 DG EC

Note: Specifications subject to change without notice.

Sheet # RW-115-A



HOURLIGAN | CLAYCO - Received - 2018.10.21

Roadway Series 115
Roadway Lighting
50-400W HPS, 70-250W MH

ORDERING INFORMATION

Example: 115 15S RN 120 R2 DG LC PC

Series	Wattage / Source	Ballast	Voltage	Distribution
115 Single Door	06 50W S HPS	RN Reactor Normal Power Factor	100 100V	R2 Roadway Type II
Colored	07 70W M MH*	RH Reactor High Power Factor	208 208V	R3 Roadway Type III
	10 100W	XX Reactor Normal Power Factor	240 240V	RX Roadway Type II 4-way*
	13 100/150W	XM High Reactance 4-tap Normal Power Factor	277 277V	<i>Refer to spec. description</i>
	14 100/150W	XN High Reactance 4-tap Normal Power Factor	347 347V	<i>Refer to spec. description</i>
	15 150W	XH High Reactance 4-tap High Power	480 480V	
	17 170W	MT1 Multi-tap Wound 120V	MT1 Multi-tap Wound 120V	
	18 150W	MT2 Multi-tap Wound 208V	MT2 Multi-tap Wound 208V	
	19 150W	MT3 Multi-tap Wound 240V	MT3 Multi-tap Wound 240V	
	20 200W	MT4 Multi-tap Wound 277V	MT4 Multi-tap Wound 277V	
	25 250W*	CT C/W1	CT C/W1	
	40 400W	CA C/W4	CA C/W4	
		SC SC/W4	SC SC/W4	
		MR MR/W4 (D Coil)	MR MR/W4 (D Coil)	

See ballast matrix for IESA compliant options

Optics

DA	Drop Acrylic Prismatic Reflector*
DP	Drop Polycarbonate Prismatic Reflector
DC	Drop Glass Prismatic Reflector

Notes:

- When ordered with metal halide, these wattages do not comply with California Title 20 regulations
- CA ballast not available with 70W - 400W metal halide in the U.S.; must use SC
- 90 option only
- For HPS products only
- Other colors available, please contact your local American Electric Lighting representative
- 73 option only available with 240, 480, 012, 014, MT2
- Not available in MT, TT, 01 voltages
- PC and SH not available with R2 option
- Tested to withstand 10 vibrations, 48 option required

Optic Distribution

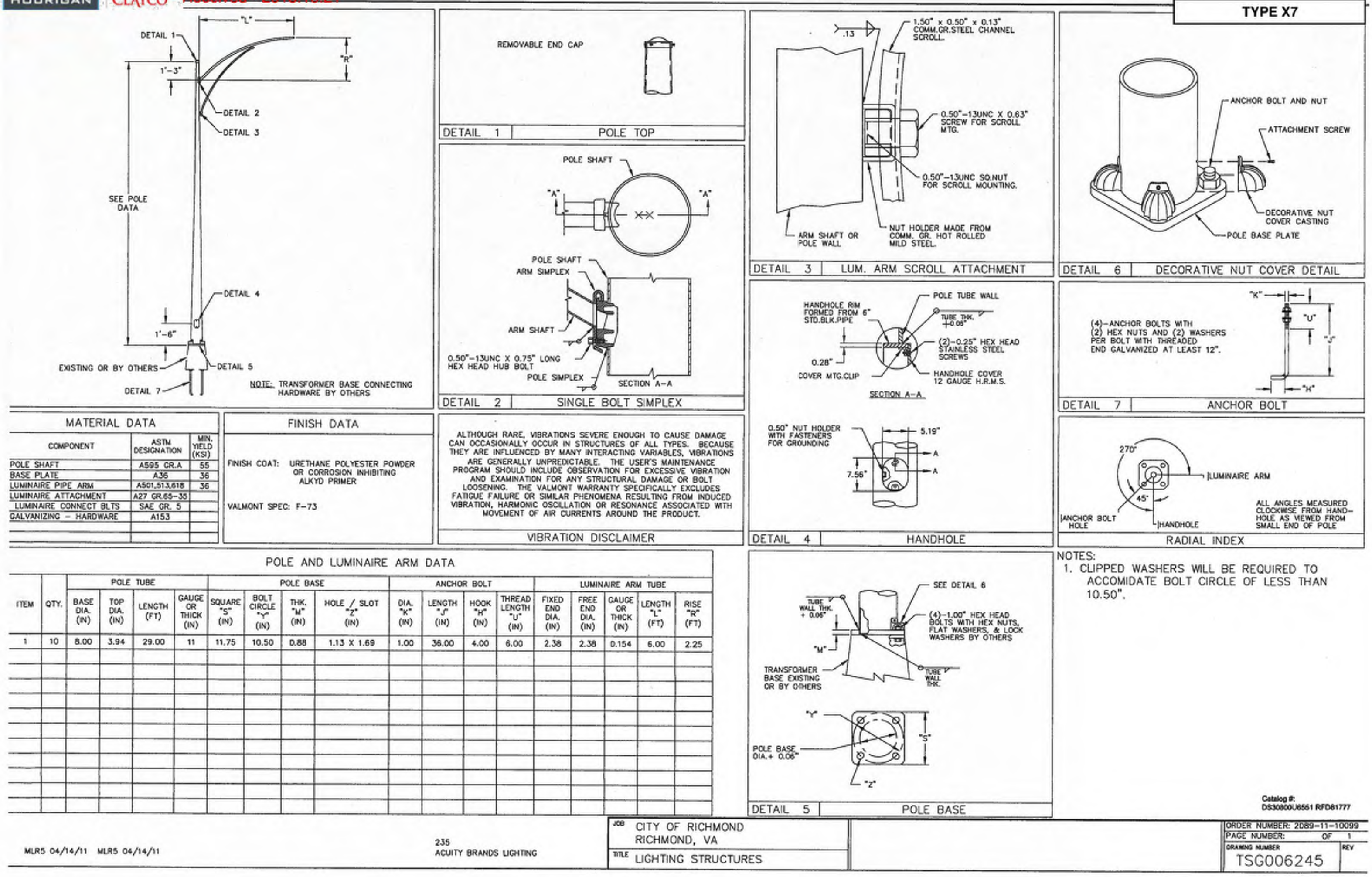
	R2 DA	R3 DA	R2 DP	R3 DP	R2 DG	R3 DG	RX DG	RX BK
055	▲	▲	▲	▲	▲	▲	▲	▲
075	▲	▲	▲	▲	▲	▲	▲	▲
07M	▲	▲	▲	▲	▲	▲	▲	▲
105	▲	▲	▲	▲	▲	▲	▲	▲
10M	▲	▲	▲	▲	▲	▲	▲	▲
155	▲	▲	▲	▲	▲	▲	▲	▲
133	▲	▲	▲	▲	▲	▲	▲	▲
145	▲	▲	▲	▲	▲	▲	▲	▲
15M	▲	▲	▲	▲	▲	▲	▲	▲
17M	▲	▲	▲	▲	▲	▲	▲	▲
205	▲	▲	▲	▲	▲	▲	▲	▲
255	▲	▲	▲	▲	▲	▲	▲	▲
25M	▲	▲	▲	▲	▲	▲	▲	▲
405	▲	▲	▲	▲	▲	▲	▲	▲

Warranty: Five-year limited warranty. Complete warranty terms located at www.ael.com. Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.



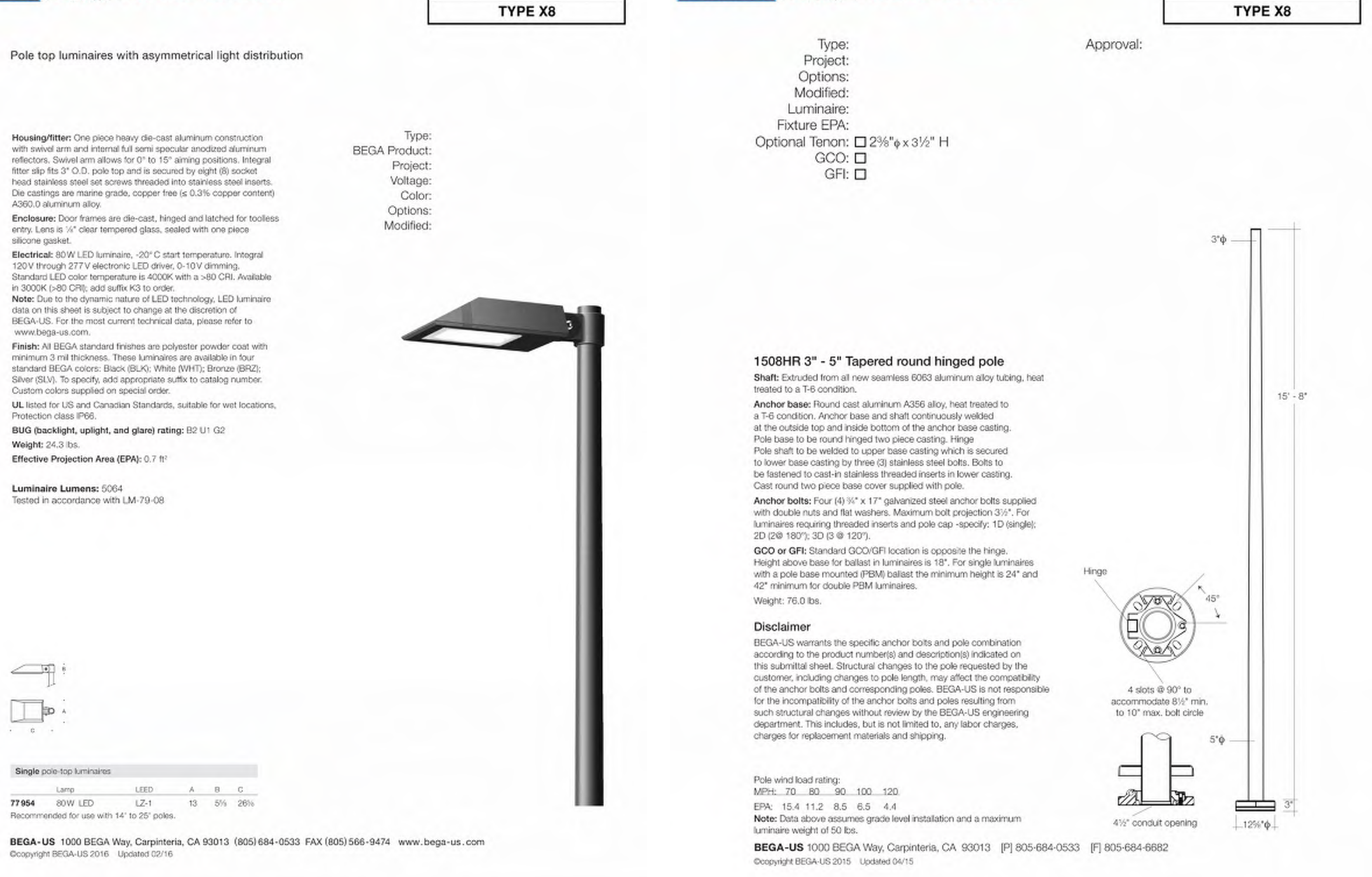
Please contact your sales representative for the latest product information.

HOURLIGAN | CLAYCO - Received - 2018.10.21



HOURLIGAN | CLAYCO - Received - 2018.10.21

HOURLIGAN | CLAYCO - Received - 2018.10.21



1 STREET LIGHT POLE

2 PEDESTAL POLE WITH PEDESTRIAN SIGNAL HEAD

WARNING
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PROJECT NUMBER
2.220264.0

CLEAN ENERGY PARK

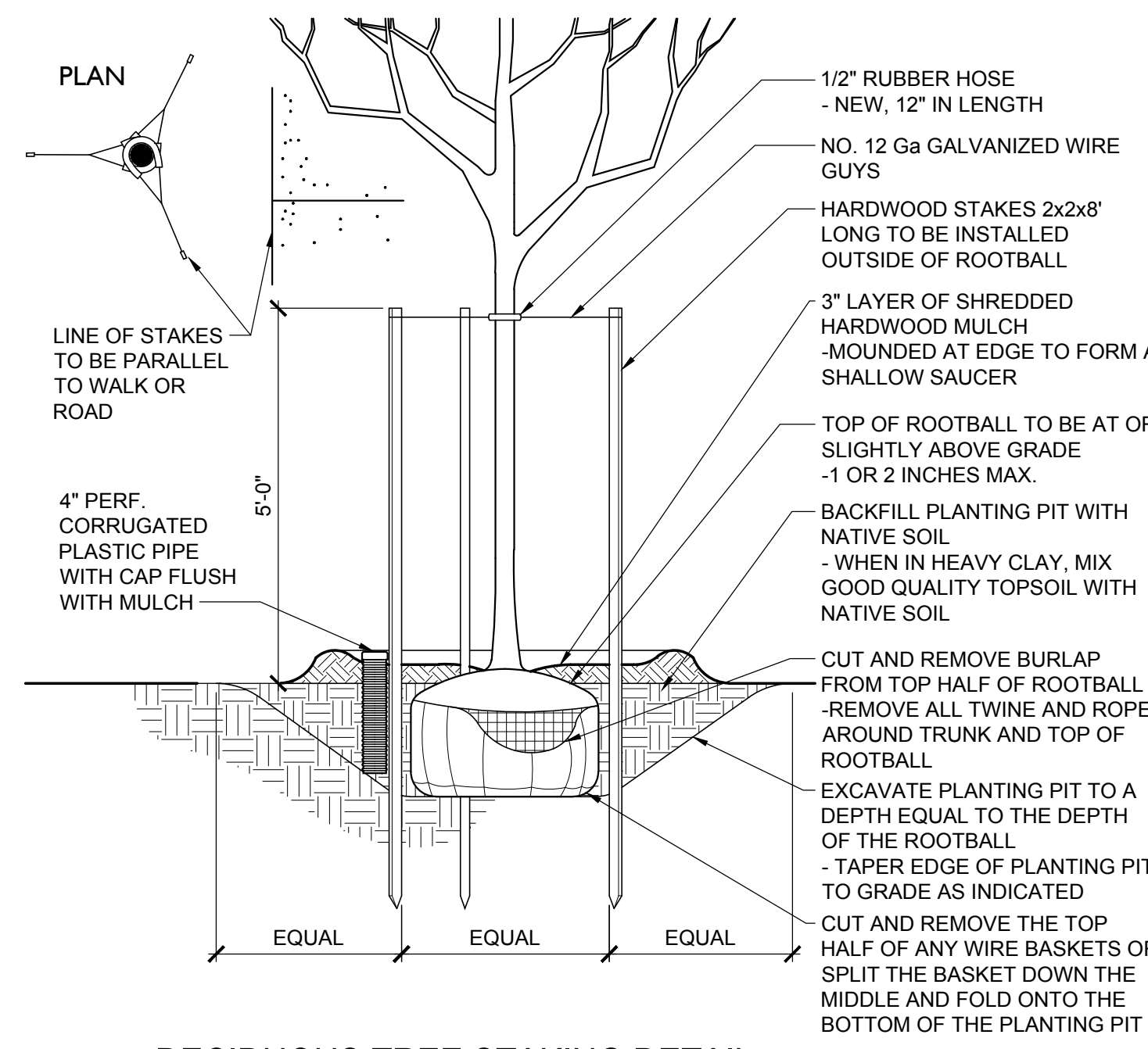
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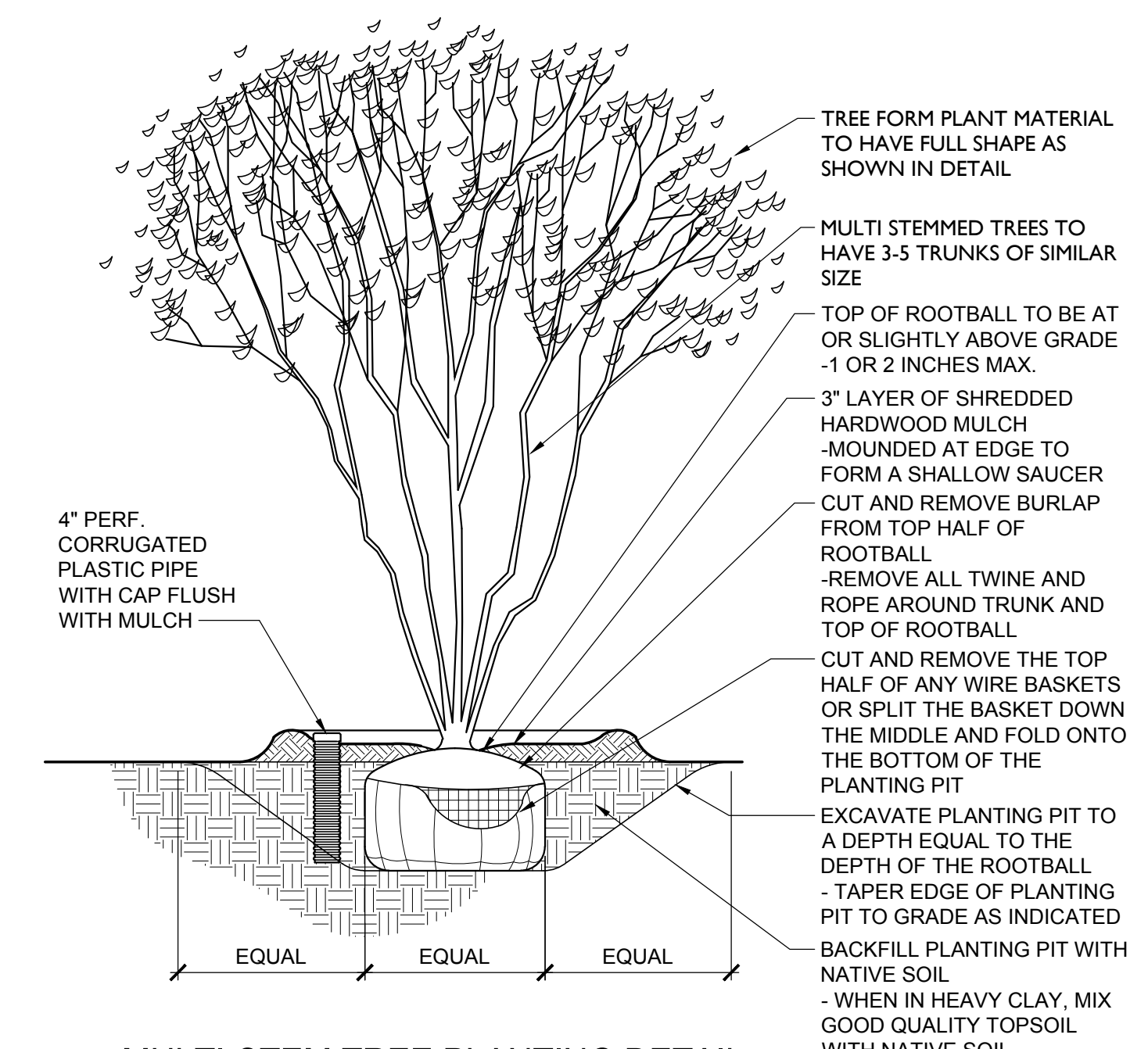
LIGHTING CUTSHEETS
L5.10

NOTE:
LIGHT POLE AND TURBINE POLE FINISHES TO MATCH

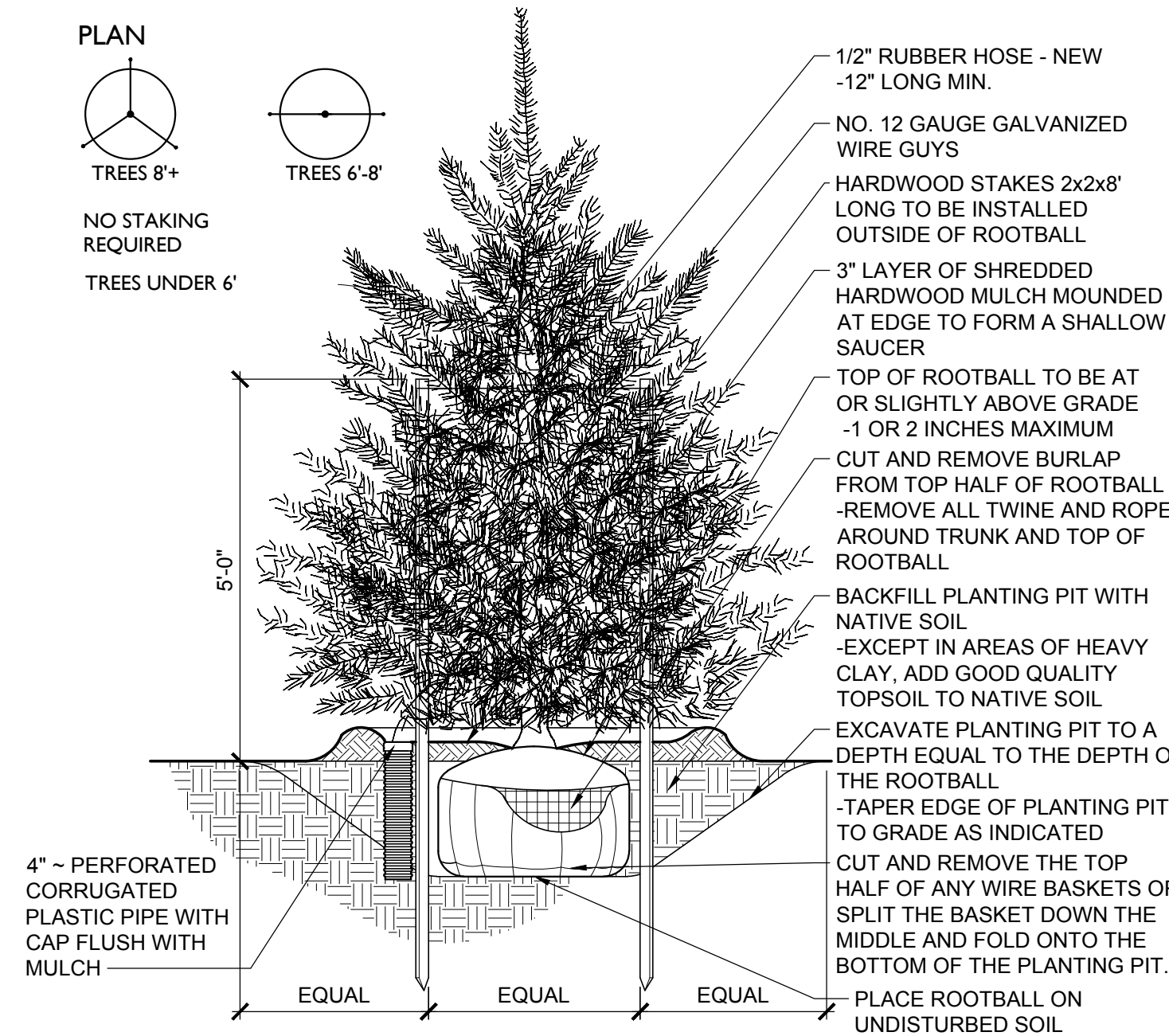
PLANTING DETAILS



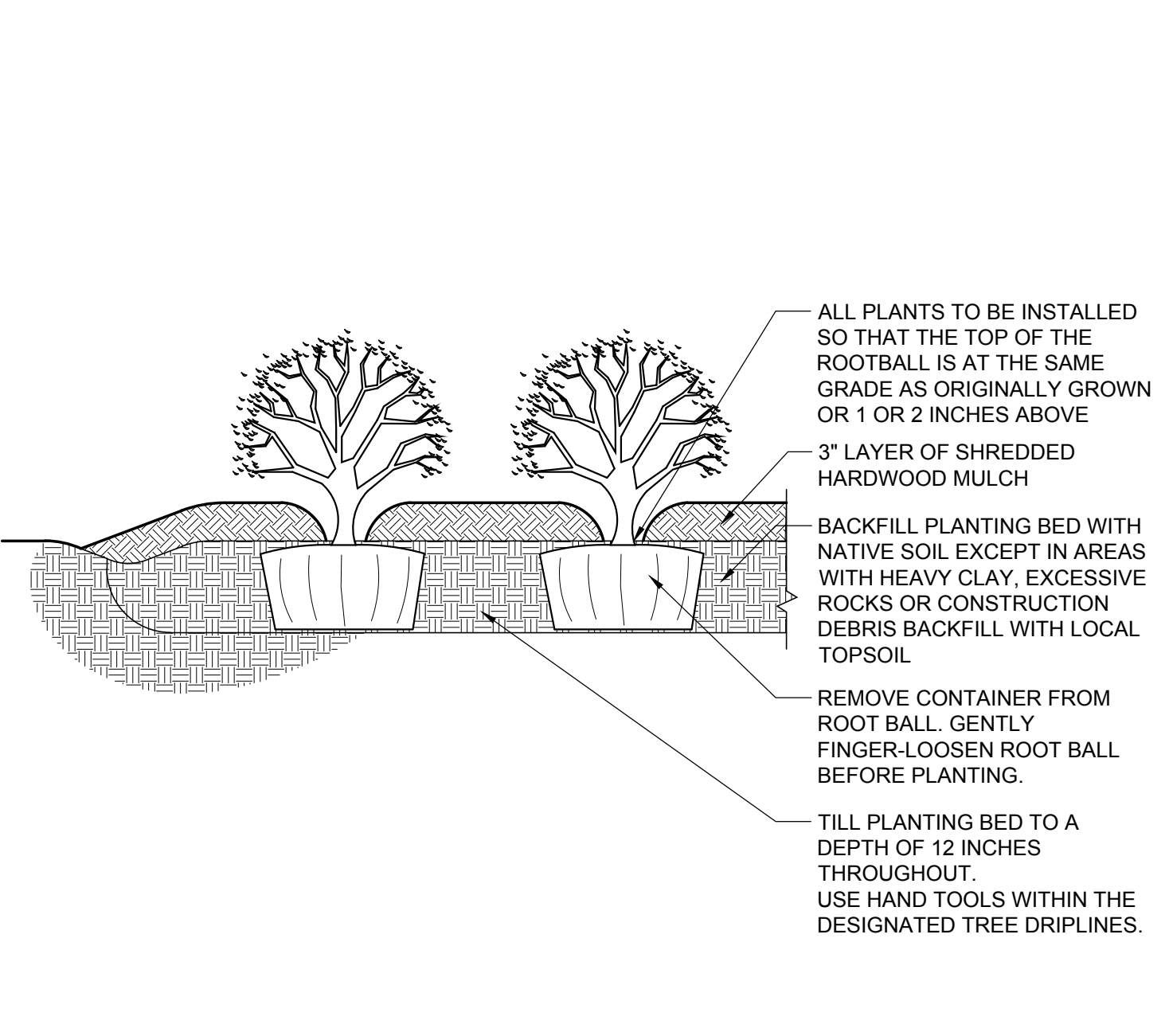
A DECIDUOUS TREE STAKING DETAIL
NOT TO SCALE



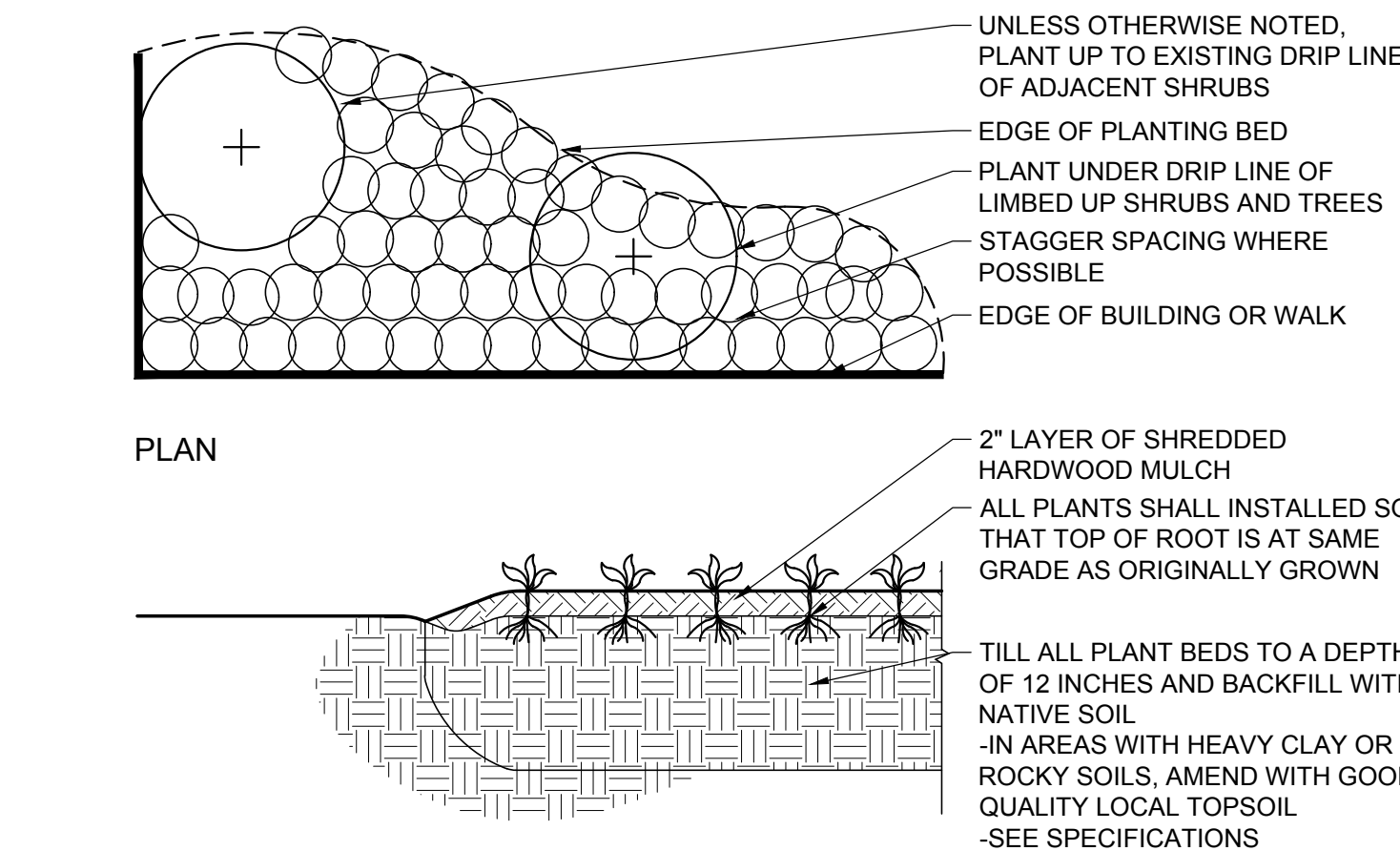
B MULTI-STEM TREE PLANTING DETAIL
NOT TO SCALE



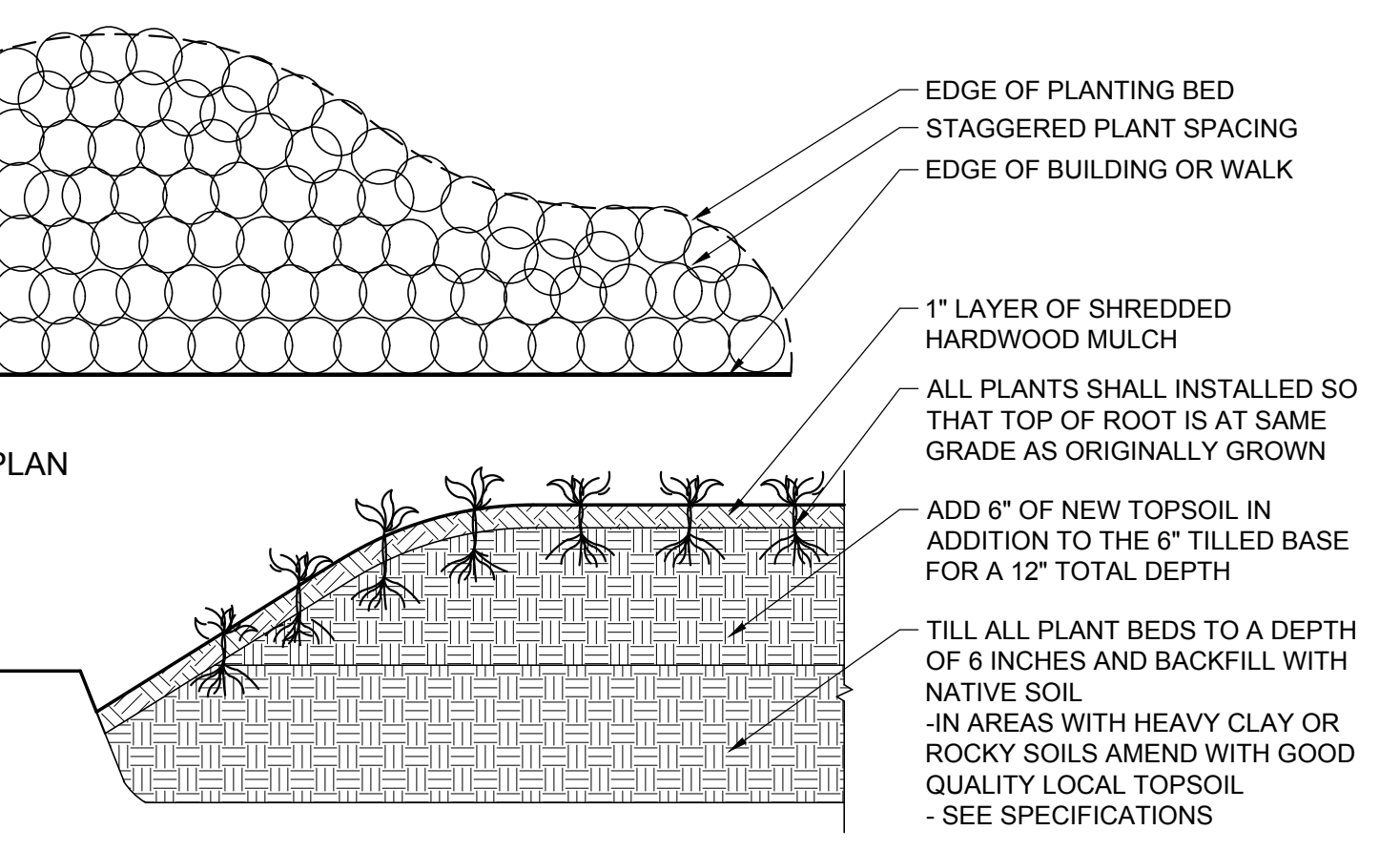
C EVERGREEN TREE STAKING DETAIL
NOT TO SCALE



D SHRUB PLANTING DETAIL
NOT TO SCALE



E GROUNDCOVER PLANTING BED DETAIL
NOT TO SCALE



F FLOWER BED PLANTING DETAIL
NOT TO SCALE

PLANT MATERIAL SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
TREES								
9	QUERCUS NUTTALLII	NUTTALL OAK	SHOWN	2.5"	8'-10'	B&B	A	NATIVE
3	ACER RUBRUM	RED MAPLE	SHOWN	3"	3"	B&B	A	NATIVE
7	QUERCUS FALCATA	SOUTHERN RED OAK	AS SHOWN	2"	8-10' HT.	B&B	A	NATIVE
5	NYSSA SYLVATICA	BLACK GUM	AS SHOWN	2"	8-10' HT.	B&B	A	NATIVE
8	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	AS SHOWN	2"	8-10' HT.	B&B	A	NATIVE
25	THUJA OCCIDENTALIS EMERALD GREEN	EMERALD GREEN ARBORVITAE	AS SHOWN		6-7' HT.	B&B	C	NATIVE
ORNAMENTAL NATIVE TREES								
3	CERCIS CANADENSIS	AMERICAN REDBUD	AS SHOWN		8-10' HT.	B&B	A	NATIVE
3	PRUNUS AVIUM 'BING'	BING CHERRY TREE	AS SHOWN		8-10' HT.	B&B	A	NATIVE
SHRUBS								
44	CEPHALOTAXUS HARRINGTONIA FASTIGIATE	FASTIGIATE PLUM YEW	AS SHOWN		MIN. 18"	1 GAL.	D	ADAPTIVE
41	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	24"			1 GAL.	E	NATIVE

PLANTING NOTES:

- CONTRACTOR SHALL VERIFY PLANT MATERIAL QUANTITIES SHOWN ON PLAN WITH TOTALS IN PLANTING SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNIT PRICES SHALL BE SUBMITTED AS PART OF FINAL BID.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT PLANT MATERIALS IN THE NURSERY.
- FOR TREES BALLED IN WIRE BASKETS, CUT AND REMOVE TOP AND SIDES OF BASKET AFTER INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO A.A.N. STANDARDS. SEE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (CURRENT EDITION).
- SOIL SHALL BE FREE OF ALL WEEDS.
- PLANT SIZES, QUANTITIES, AND SPECIES WILL BE CHECKED BY LANDSCAPE ARCHITECT FOR COMPLIANCE WITH PLANT SCHEDULE AS APPROVED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DELAY IN ISSUANCE OF CERTIFICATE OF OCCUPANCY BY THE LANDSCAPE ARCHITECT RESULTING FROM UNAUTHORIZED SUBSTITUTIONS OR DOWNSIZING.
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL, AND SCHEDULE A FINAL INSPECTION FOR ACCEPTANCE BY OWNER.
- THE ONE YEAR GUARANTEE PERIOD SHALL BEGIN UPON THE OWNER'S APPROVAL AND ACCEPTANCE OF THE PLANTING INSTALLATION. THE OWNER SHALL ASSUME RESPONSIBILITY FOR MAINTENANCE INCLUDING WATERING, WEEDING, PEST CONTROL, AND FERTILIZATION.
- CONTRACTOR SHALL REMOVE STAKING FROM TREES AT THE END OF THE ONE YEAR WARRANTY PERIOD.
- CONTRACTOR TO PROVIDE MAINTENANCE & WATERING SCHEDULE SPECIFICATIONS BOOKLET FOR ALL INSTALLED PLANTS.
- SOD QUANTITIES ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR MEASURING PLANS TO CONFIRM QUANTITIES.
- ALL SUBSTITUTES TO BE APPROVED BY LANDSCAPE ARCHITECT. ONLY NATIVE SPECIES WILL BE CONSIDERED.
- CONTRACTOR SHALL VERIFY PLANT MATERIAL QUANTITIES SHOWN ON PLAN WITH TOTALS IN PLANTING SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNIT PRICES SHALL BE SUBMITTED AS PART OF FINAL BID.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR TO BE IN A HEALTHY GROWING CONDITION. PLANT MATERIALS WHICH DO NOT FULFILL THIS GUARANTEE SHALL BE REPLACED AT NO COST TO THE OWNER. REPLACEMENT SHALL BE GUARANTEED THROUGHOUT THE ORIGINAL GUARANTEE PERIOD. PLANTS THAT DIE SHALL BE REPLACED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOT ASSUME IRRIGATION SYSTEM IS FULLY OPERATIONAL AT COMPLETION OF PLANTING INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING OF CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT IF ANY CONFLICTS OCCUR.
- THE LANDSCAPE ARCHITECT IS THE OWNERS REPRESENTATIVE AND SHALL BE THE APPROVING AUTHORITY FOR INFORMATION PROVIDED IN THESE PLANS AND SPECIFICATIONS.
- ALL PLANT MATERIALS, TOPSOIL, MULCH, FERTILIZERS, SOIL AMENITIES, PLANTING SUPPLIES AND METHODS SHALL BE SUBJECT TO LANDSCAPE ARCHITECTS APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.
- ALL PLANT MATERIALS AND PLANTING METHODS SHALL CONFORM TO A.A.N. STANDARDS.
- CONTRACTOR SHALL LAYOUT AND MARK LOCATION FOR ALL PLANT MATERIAL, PLANTING, AND IMPROVEMENTS SHOWN AND REQUEST IN FIELD APPROVAL FROM LANDSCAPE ARCHITECT.
- BEDS TO CONTAIN SHRUBS OR GROUND COVER SHALL BE TILLED TO A DEPTH OF 6" AND THE SOIL CONDITIONED BY ADDING CLEAN, WELL ROTTED MANURE. IF EXISTING SOIL IS CONSIDERED TO BE UNUSABLE BY OWNER, BEDS SHALL BE TREATED TO ELIMINATE WEEDS AND WEED SEEDS - SEE SOILS PLAN.
- ALL PLANTING BED AREAS SHALL BE COVERED WITH A 3" MINIMUM LAYER OF MEDIUM TEXTURE TRIPLE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED. EVERGREEN GROVE SHALL BE COVERED WITH A 3" MINIMUM LAYER OF PINE STRAW.
- ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER.

WARNING
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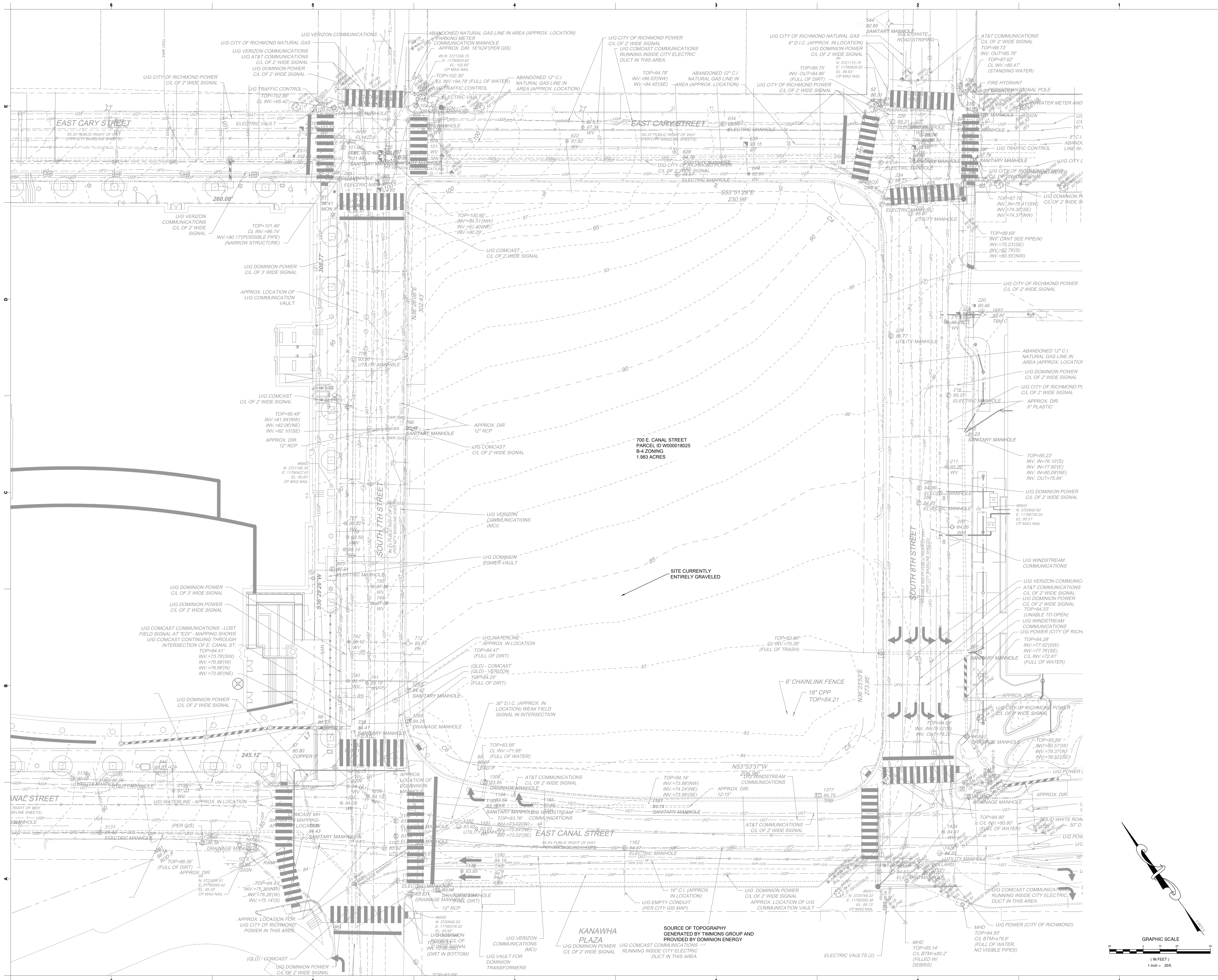
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CLEAN ENERGY PARK

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LANDSCAPE NOTES,
DETAILS & SCHEDULE
L5.20



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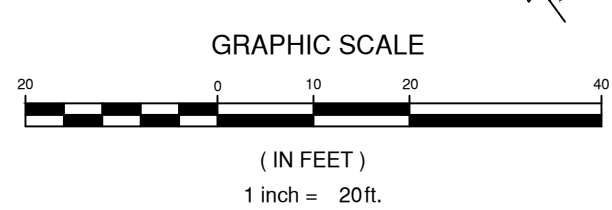
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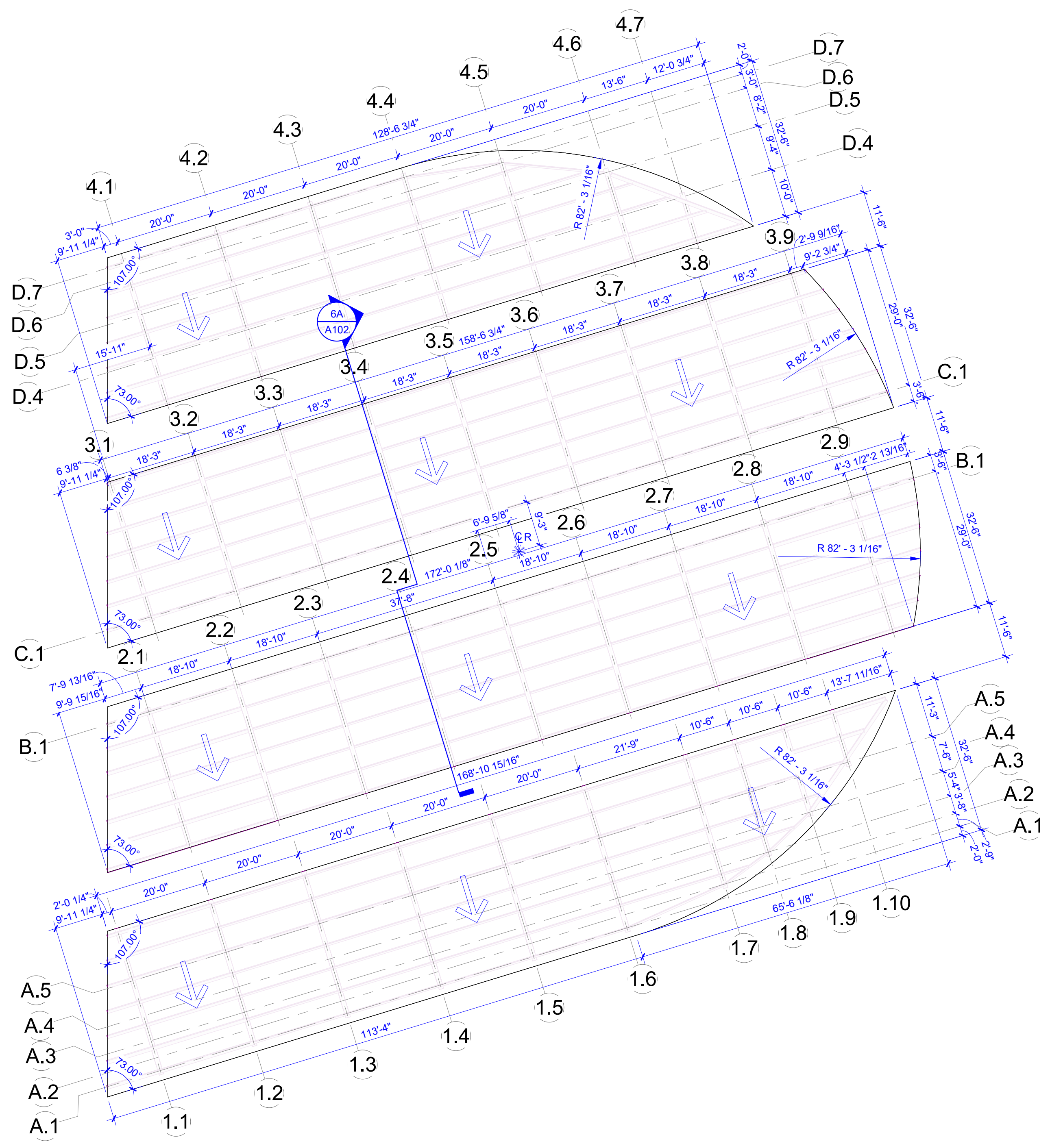
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EXISTING CONDITIONS
C201

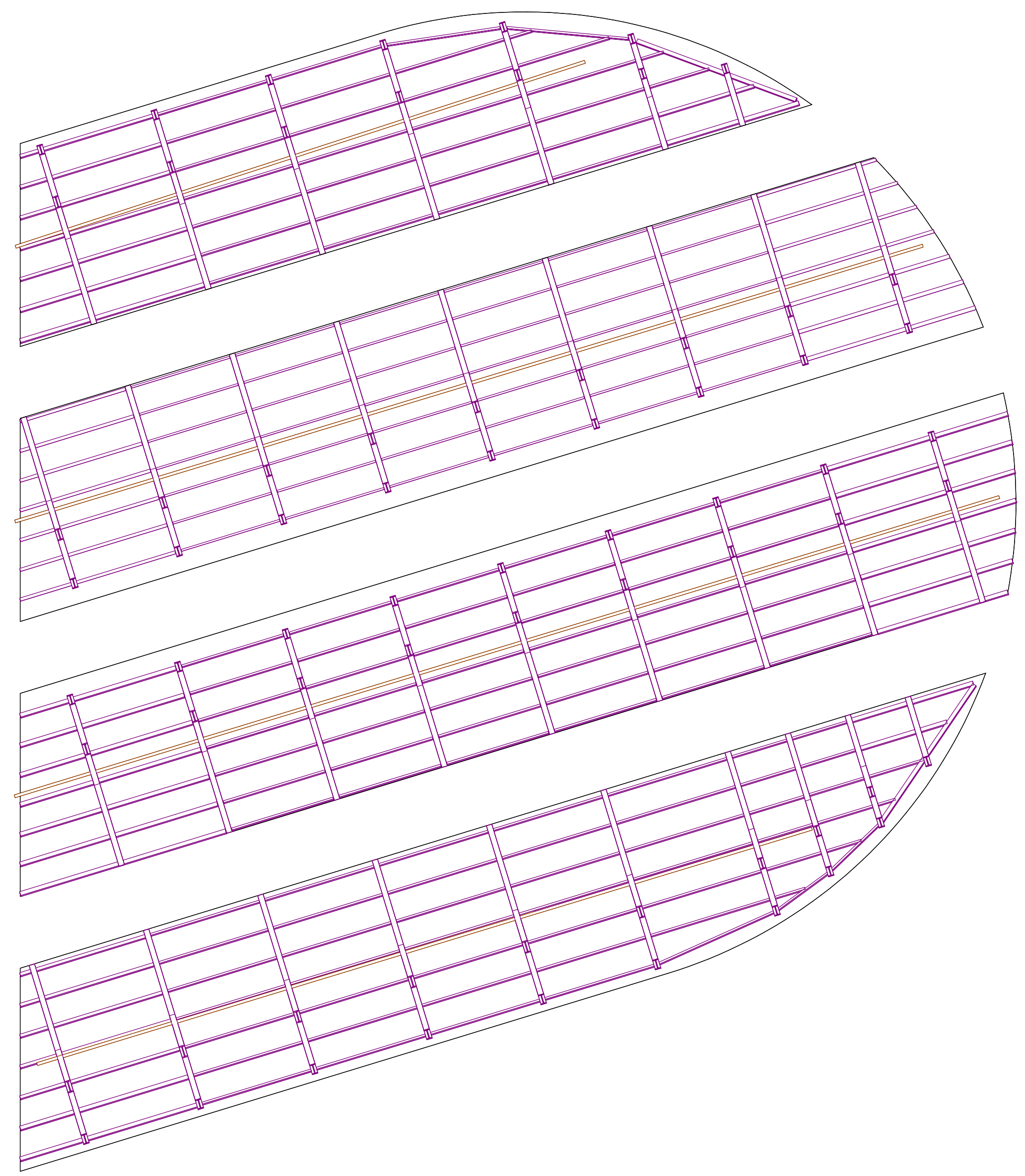


SOURCE OF TOPOGRAPHY
GENERATED BY TIMMONS GROUP AND
PROVIDED BY DOMINION ENERGY



6C ROOF PLAN

SCALE: 1/16" = 1'-0"



4C REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0" DRAWING REF: A101

KEYNOTES

- 05.12.00.A PAINTED STEEL COLUMN. REFERENCE STRUCTURAL DRAWINGS.
- 05.12.00.B PAINTED STEEL KICKER. REFERENCE STRUCTURAL DRAWINGS.
- 05.12.00.C PAINTED STEEL PURLIN. REFERENCE STRUCTURAL DRAWINGS.
- 05.12.00.D PAINTED STEEL BEAM. REFERENCE STRUCTURAL DRAWINGS.
- 07.61.13 STANDING SEAM SHEET METAL ROOFING
- 07.71.00.A PREFINISHED METAL GUTTER
- 07.71.00.B PREFINISHED METAL DOWNSPOUT
- 26.31.00 PHOTOVOLTAIC COLLECTORS. COORDINATE WITH ELECTRICAL DRAWINGS AND OWNER'S SOLAR CONSULTANT. PROVIDE RACKING ATTACHMENT TO STANDING SEAM ROOF PROFILE.
- 26.56.19.A EXTERIOR FEATURE LIGHTING. REFERENCE ELECTRICAL DRAWINGS.
- 32.39.13 MANUFACTURED METAL BOLLARD



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NOT FOR CONSTRUCTION

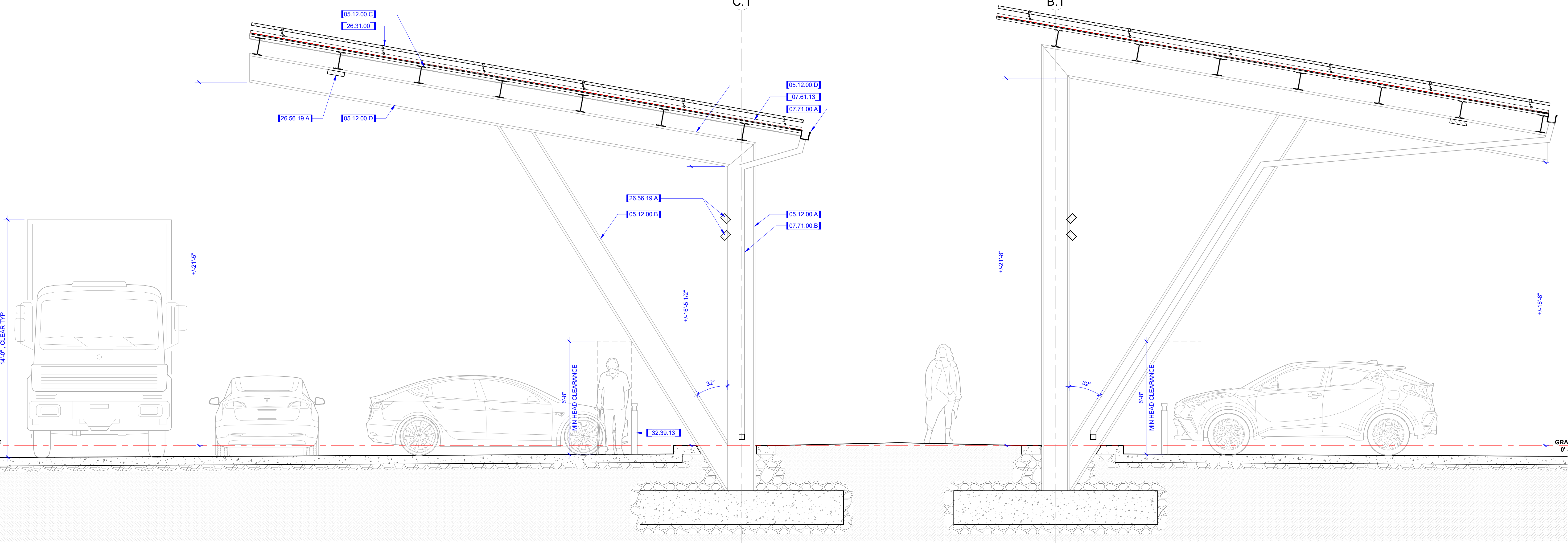
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REFLECTED CEILING PLAN, ROOF PLAN AND DETAILS
A102

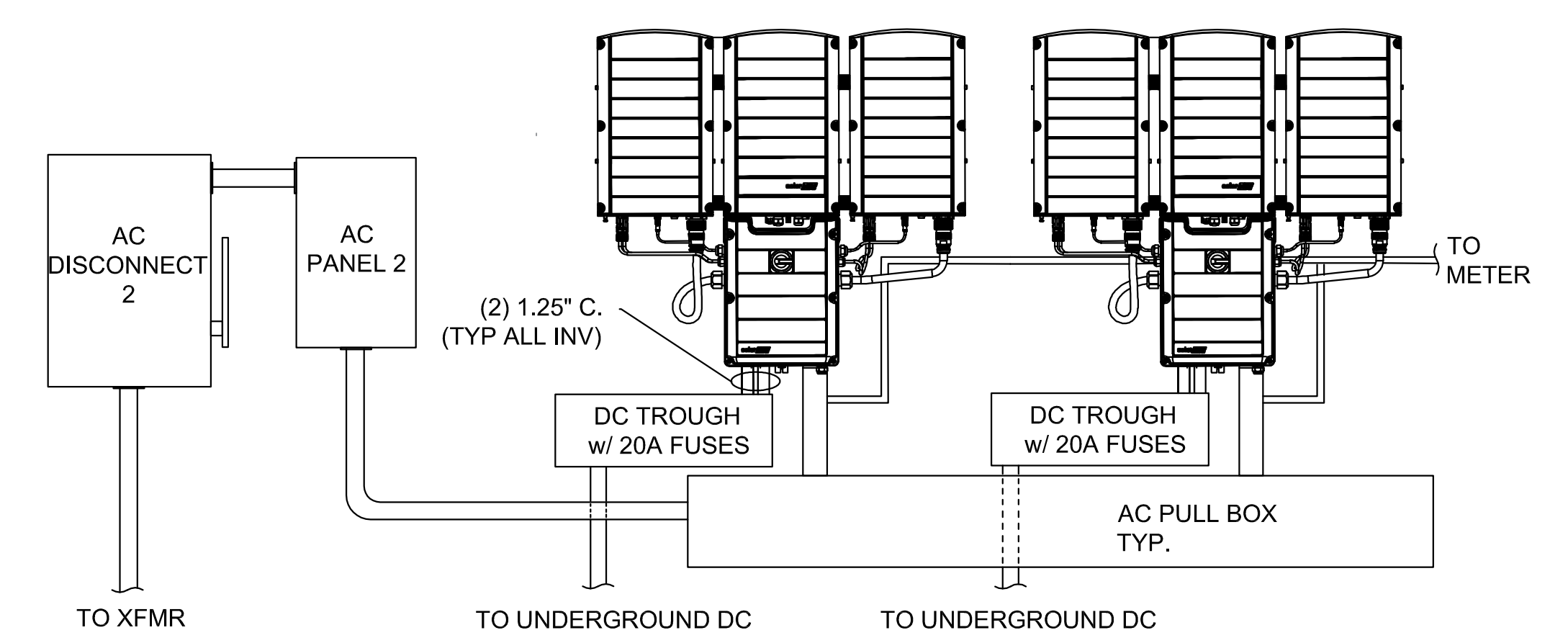


6A SECTION - CANOPIES

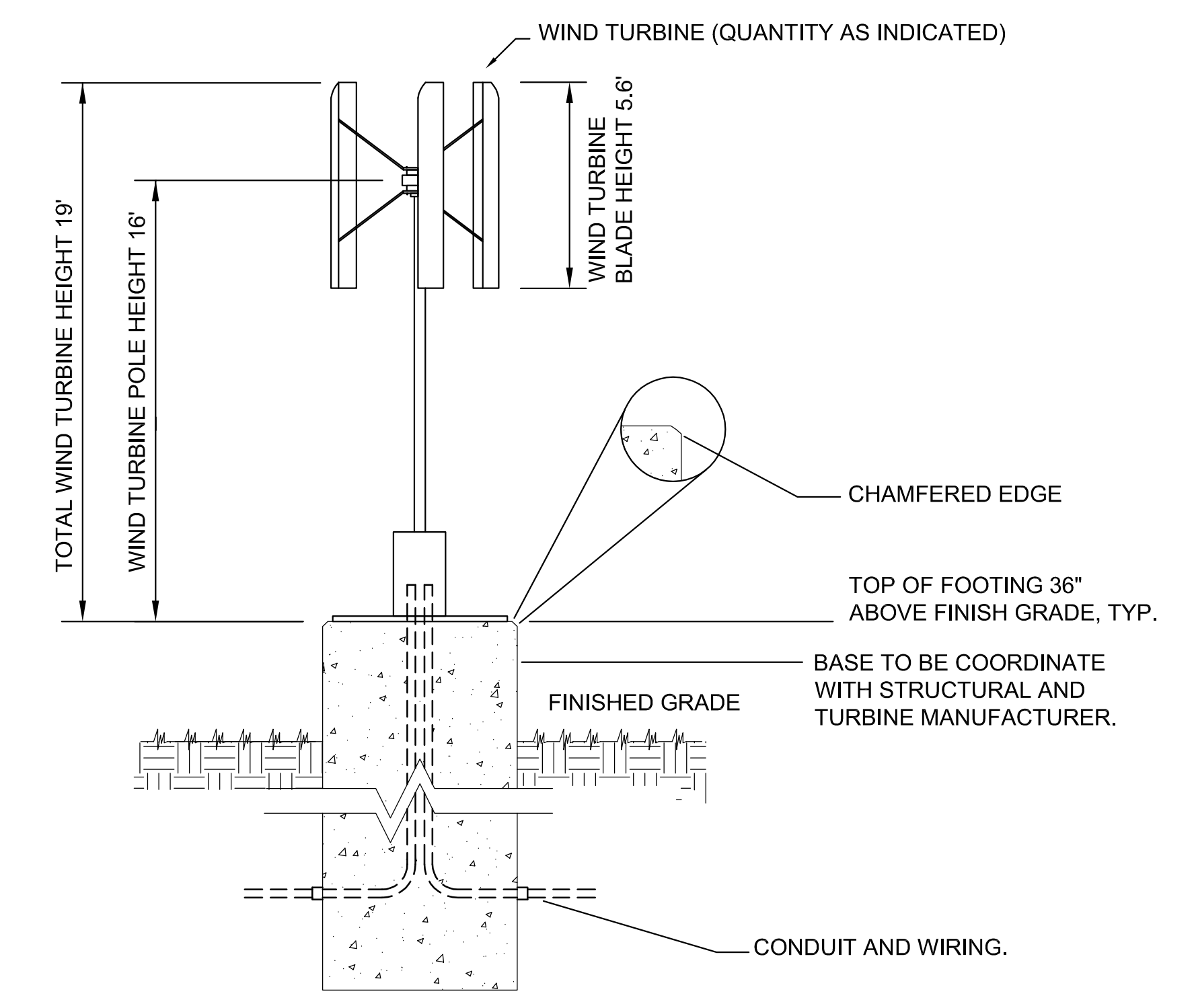
SCALE: 3/8" = 1'-0" DRAWING REF: A101

PROJECT DESCRIPTION	
SITE LOCATION: 700 E CANAL ST, RICHMOND, VA 23219	UTILITY INFO: DOMINION ENERGY
SYSTEM SPECIFICATIONS: GRID-TIED PHOTOVOLTAIC POWER GENERATION SYSTEM DC CAPACITY: 294.4kW AC CAPACITY: 240kW (LOAD RATIO 1.23) DC SYSTEM VOLTAGE: 850-1000V MODULE: (607) Q.PEAK DUO XL-G10.3 485W INVERTERS: SOLAR EDGE (2) 120kW (SE120KUS) RACKING: IRONRIDGE TILT: 15° AZIMUTH: 198.63°	CODE INFO: 2018 IBC 2018 VSBC 2018 VBC 2018 VCC 2017 NEC 2018 IECC

	NUMBER OF MODULES	TOTAL WATTAGE
INVERTER #1	275	133375 W
INVERTER #2	332	161020 W
TOTAL	607	294.40 kW



1 INVERTER ELEVATIONS
Scale: NONE

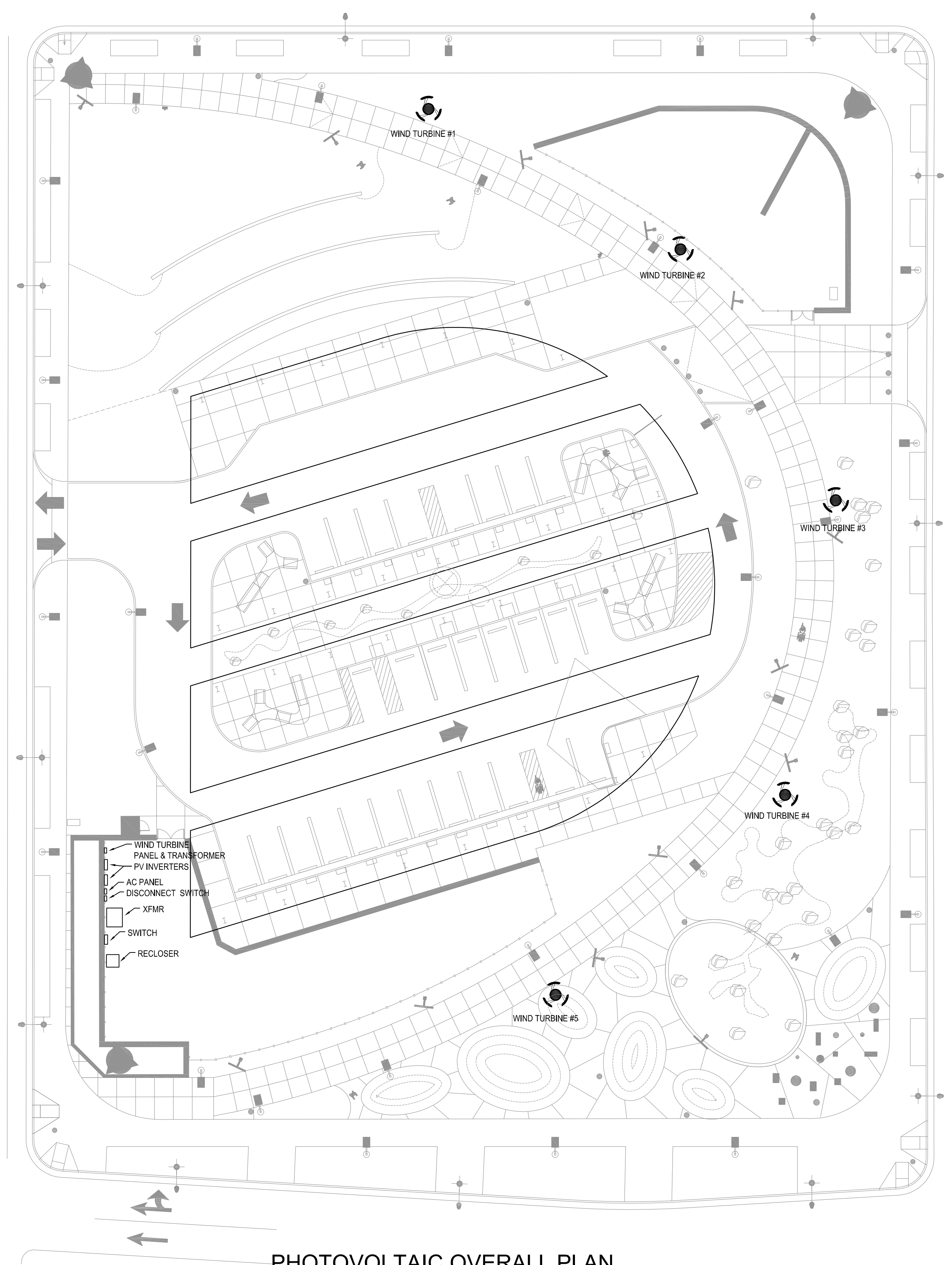


NOTE
1. PROVIDE END BUSHINGS ON ALL CONDUITS.
2. THE POLE BASE DESIGN SHALL BE BY CIVIL / STRUCTURAL ENGINEER AND BASED ON ACTUAL POLE AND FIXTURE(S) INSTALLED. THIS DETAIL IS PROVIDED FOR CONDUIT COORDINATION ONLY.

3 WIND TURBINE ELEVATIONS
Scale: NONE



2 WIND TURBINE REFERENCE PHOTO
Scale: NONE



PHOTOVOLTAIC OVERALL PLAN
1" = 20'-0"

NOTE: THESE DRAWINGS ARE AT A SCHEMATIC DESIGN LEVEL. DETAIL REQUIREMENTS ARE NOT SHOWN IN THEIR ENTIRETY. ALL INFORMATION SHOWN IS PRELIMINARY AND INTENDED TO SHOW GENERAL DESIGN INTENT. ANY PRELIMINARY CONSTRUCTION BUDGET PRICING MUST ACCOUNT FOR ADDITIONAL STRUCTURE NOT SHOWN ON THESE DRAWINGS.

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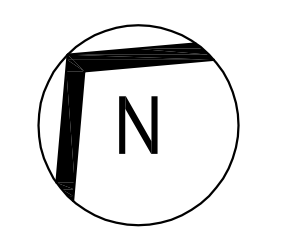
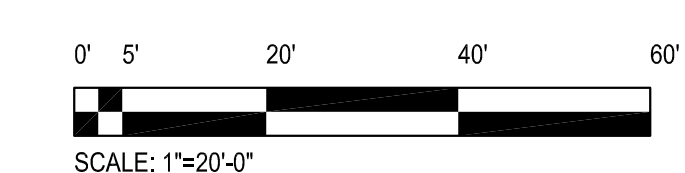
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ELECTRICAL OVERALL PLAN
PVE2.00

File: G:\2022\2022-04175-00\04175-E2.1.dwg Date: 07/18/23 Time: 11:54 Plot by: Singsoo Han