



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address land 8 Monmouth 31st

Historic district yes

Date/time rec'd: 1-30-18 1:37  
Rec'd by: M.P.H.  
Application #: COA-029720-2018  
Hearing date: 2/27/18

### APPLICANT INFORMATION

Name Carl Scott

Company \_\_\_\_\_

Mailing Address 4915 Radford Ave  
Over Suite 200 23230

Phone 804-622-2720

Email Carl.Scott@gmail.com

Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
Other (please specify): \_\_\_\_\_

### OWNER INFORMATION (if different from above)

Name Carl Scott

Mailing Address 4915 Radford Ave  
Suite 200 23230  
Richmond Va

Company \_\_\_\_\_

Phone 804-622-2720

Email Carl.Scott@gmail.com

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition

New Construction  
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

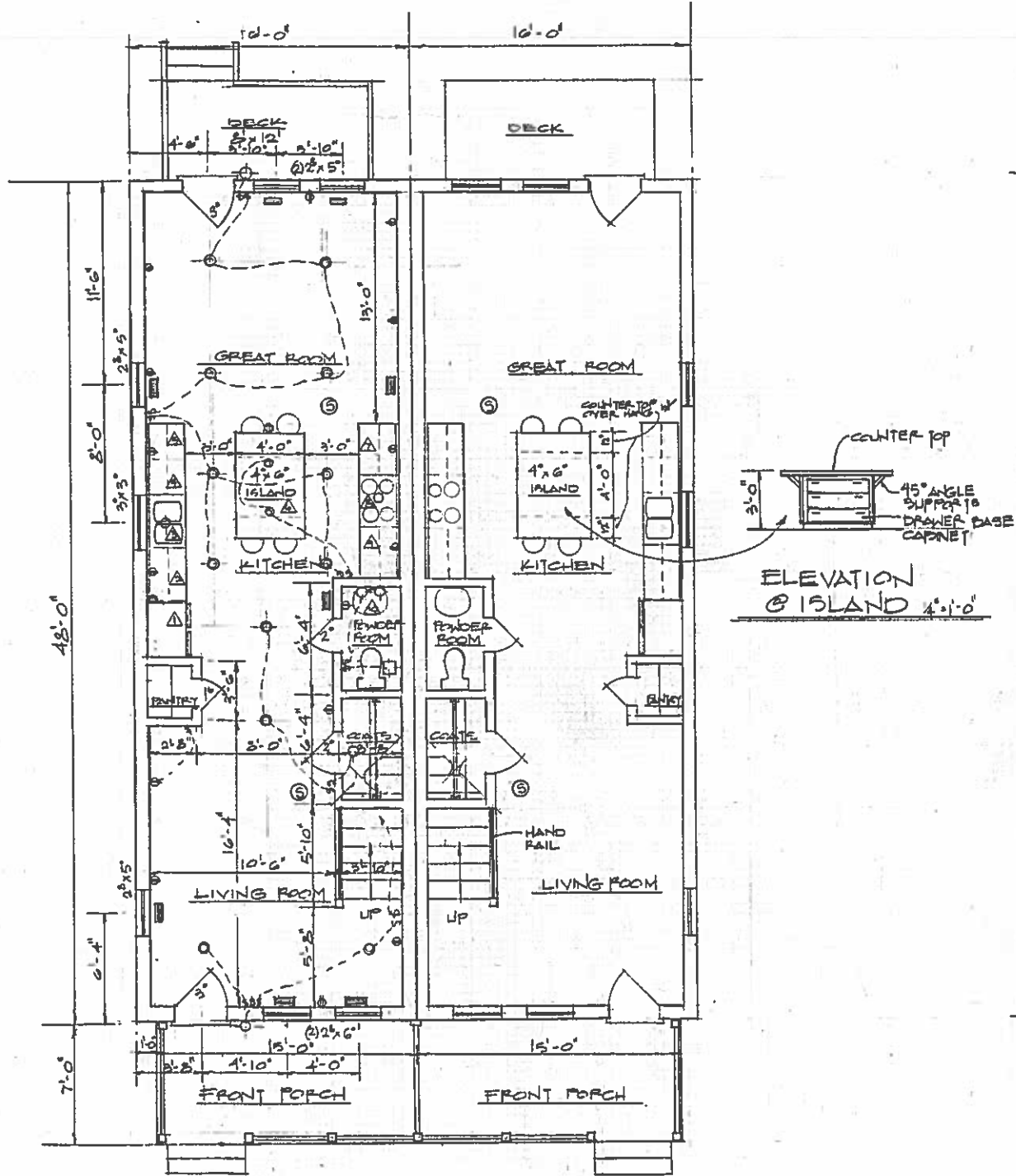
**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

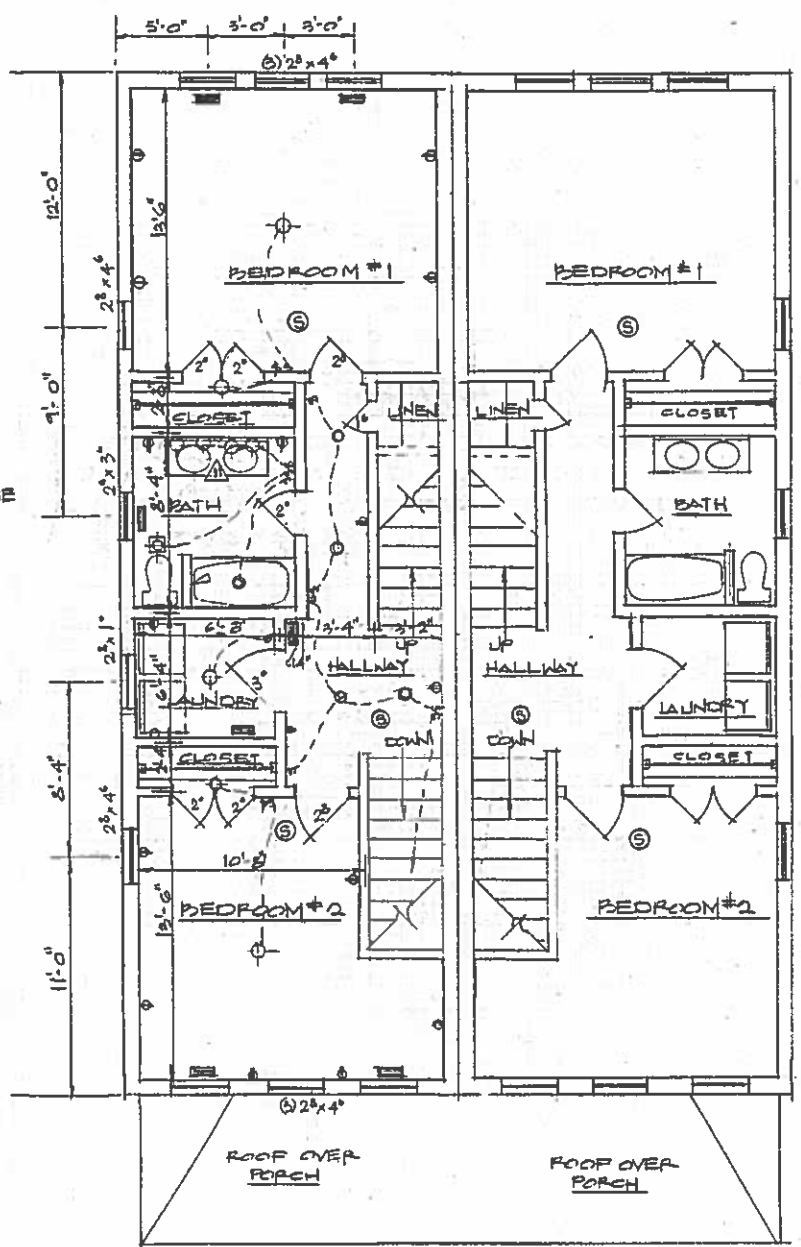
Date 1-3-18

**KITCHEN AND BATH CABINET LEGEND**  $\Delta$   
 CABINETS STYLE, COLOR AND COUNTER TOPS SHALL BE APPROVED AND SPECIFIED BY OWNER. BATHROOM CABINETS AND COUNTER TOPS SHALL BE SELECTED BY OWNER. ALL BASE CABINETS SHALL BE 36" HIGH UNLESS OTHERWISE SPECIFIED.

- 1 36" REFRIGERATOR/FREEZER
- 2 36" BASE CABINET AND WALL CABINET ABOVE
- 3 36" BASE SINK CABINET WITH (2) 8" DEEP SINKS W/ GARBAGE DISPOSAL
- 4 24" DISHWASHER BASE AND 24" WALL CABINET
- 5 24" DRAWER BASE CABINET AND WALL CABINET WITH FINISHED ENDS
- 6 (2) 48" DRAWER BASE CABINETS WITH FINISHED PANEL ENDS
- 7 36" BASE CABINET AND WALL CABINET ABOVE WITH FINISHED ENDS
- 8 36" RANGE AND OVEN WITH EXHAUST VENT AND WALL CABINET ABOVE
- 9 36" BASE CABINET AND WALL CABINET ABOVE
- 10 PEDISTAL SINK AND WALL MIRROR
- 11 60" VANITY BASE WITH DRAWERS AND CABINET WITH WALL MIRROR
- 12 30" VANITY CABINET BASE WITH WALL MIRROR
- 13 (2) 24" VANITY AND DRAWER BASE WITH KNEE SPACE IN MIDDLE



**FIRST FLOOR PLAN** 1/4"=1'-0"



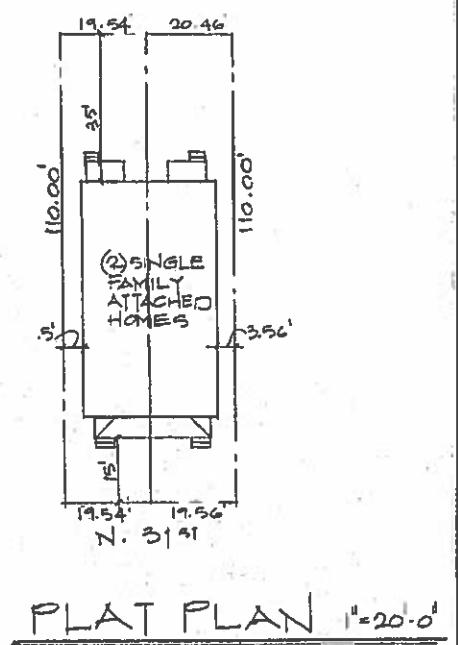
**SECOND FLOOR PLAN** 1/4"=1'-0"

**PROJECT DESCRIPTION:** NEW CONSTRUCTION OF TWO (2) 2384 SQUARE FOOT ATTACHED SINGLE FAMILY HOMES.

**PROJECT ADDRESS:** 6 AND 8 NORTH 31<sup>ST</sup> STREET, RICHMOND, VA

**FLOOR PLAN LEGEND**  
 NOTE: ALL FINISHES, MODELS, STYLE AND COLOR OF FIXTURES, EQUIPMENT AND FINISHES INDICATED ON FLOOR PLANS AND LISTED BELOW SHALL BE APPROVED BY THE OWNER PRIOR TO PURCHASE.

- ▭ NEW WALLS TO BE CONSTRUCTED
- ⊕ NEW DUPLEX ELECTRICAL RECEPTACLE - 18" ABOVE FINISHED FLOOR AT WALLS & ISLAND BASE CABINETS - 44" TO 46" ABOVE FINISHED FLOOR AT COUNTER TOPS AND BATH VANITY
- ⊕ NEW DUPLEX ELECTRICAL RECEPTACLE - TOP HALF SWITCHED BY WALL SWITCH
- ⊕ NEW CEILING OR WALL LIGHT FIXTURES
- ⊕ NEW RECESSED LIGHT FIXTURE
- ⊕ NEW PENDULUM HANGING LIGHT FIXTURE
- ⊕ NEW SMOKE DETECTORS - HARDWIRED AND BATTERY BACKUP
- ⊕ WALL SWITCHES - 52" ABOVE FINISHED FLOOR
- ⊕ WALL SWITCH WITH DIMMER
- ⊕ NEW CEILING EXHAUST FAN
- ⊕ NEW SINGLE SHOWER HEAD
- ⊕ NEW BODY SPRAY SHOWER HEAD
- ⊕ NEW HAND HELD SHOWER HEAD

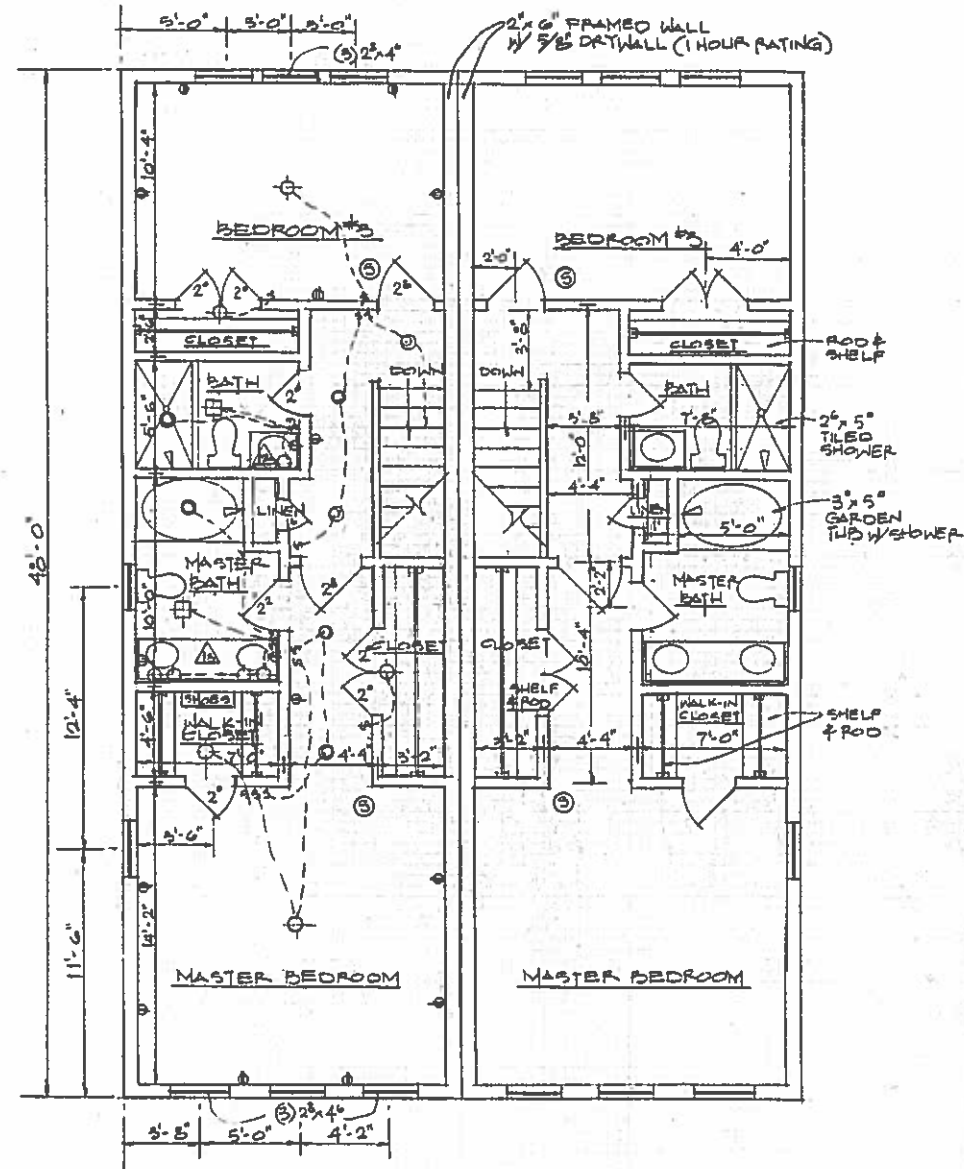


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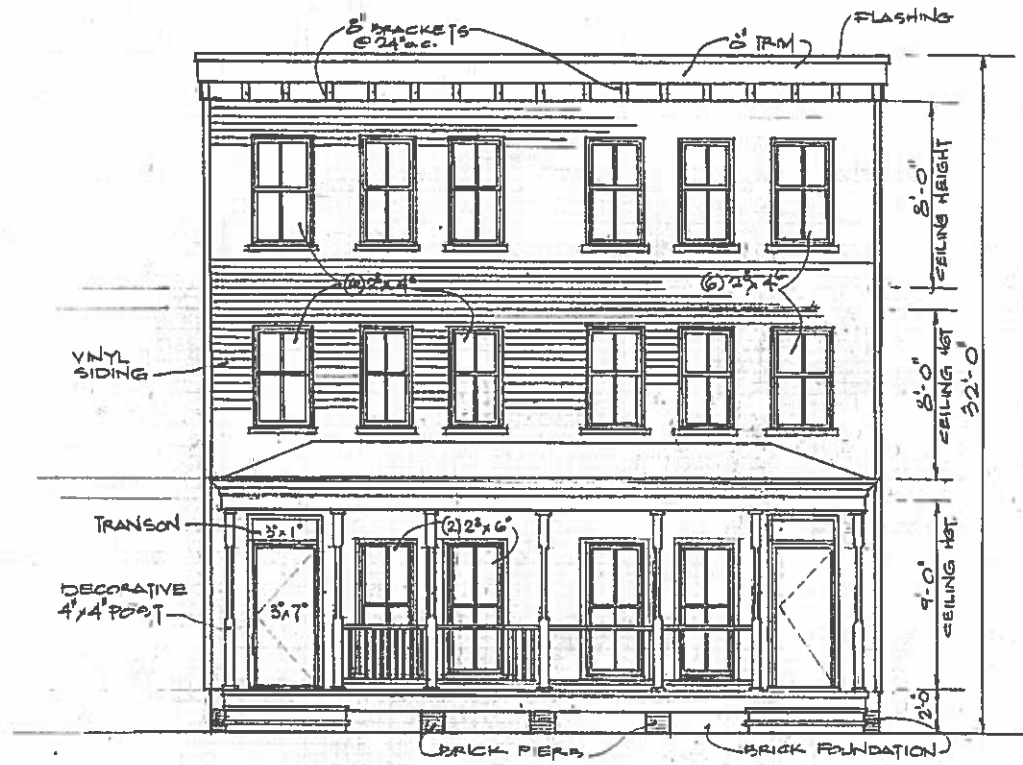
ARCHITECTURALLY YOURS  
 Michelle Bobbs  
 Phone: (804) 304-8172  
 architecturalyours@hotmail.com

NEW CONSTRUCTION - 2 ATTACHED SINGLE FAMILY HOMES  
 6 AND 8 NORTH 31<sup>ST</sup> STREET; RICHMOND, VA  
 RUFUS PROPERTY

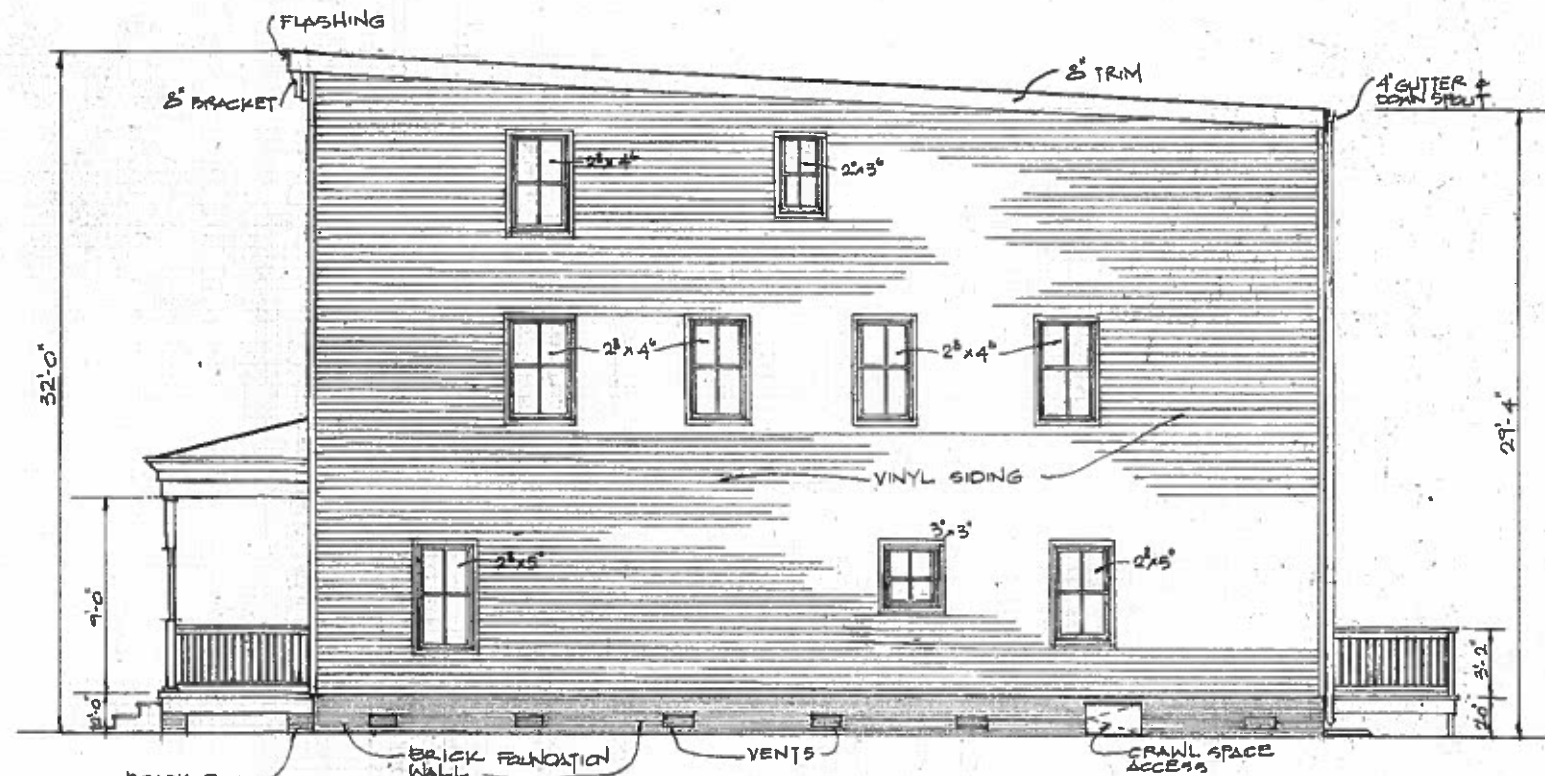
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Of	5 Sheets



THIRD FLOOR PLAN 1/4"=1'-0"



FRONT ELEVATION 1/4"=1'-0"



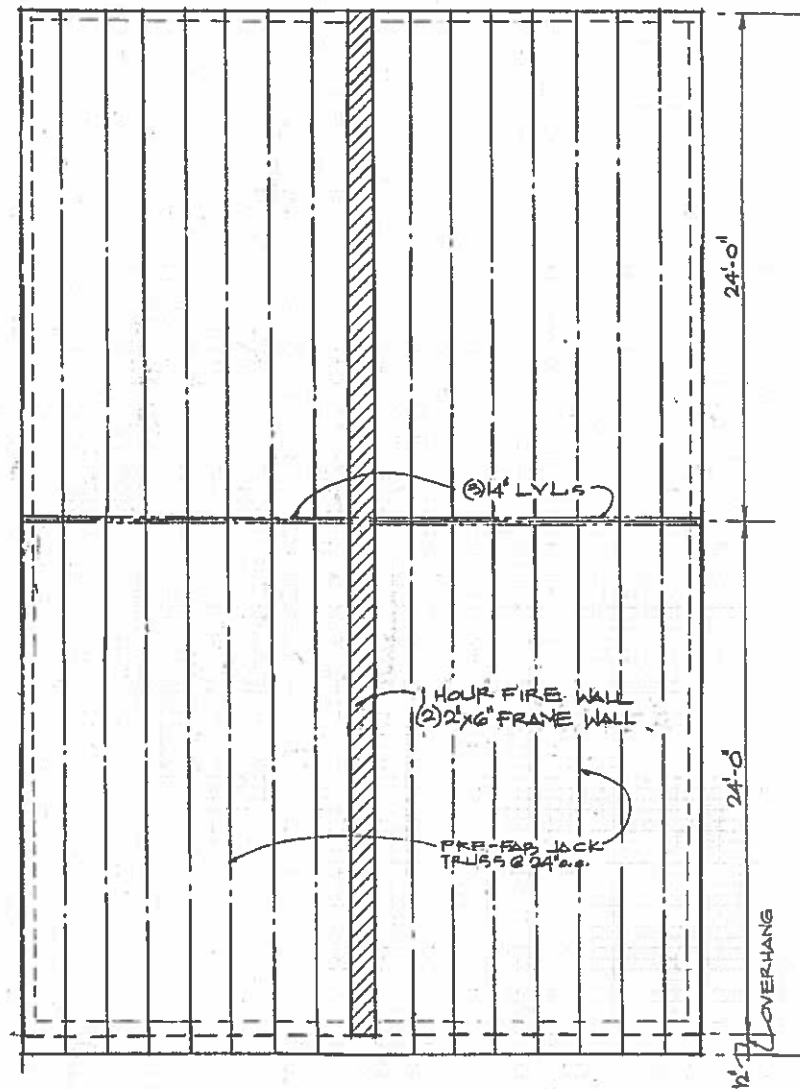
RIGHT SIDE ELEVATION 1/4"=1'-0"

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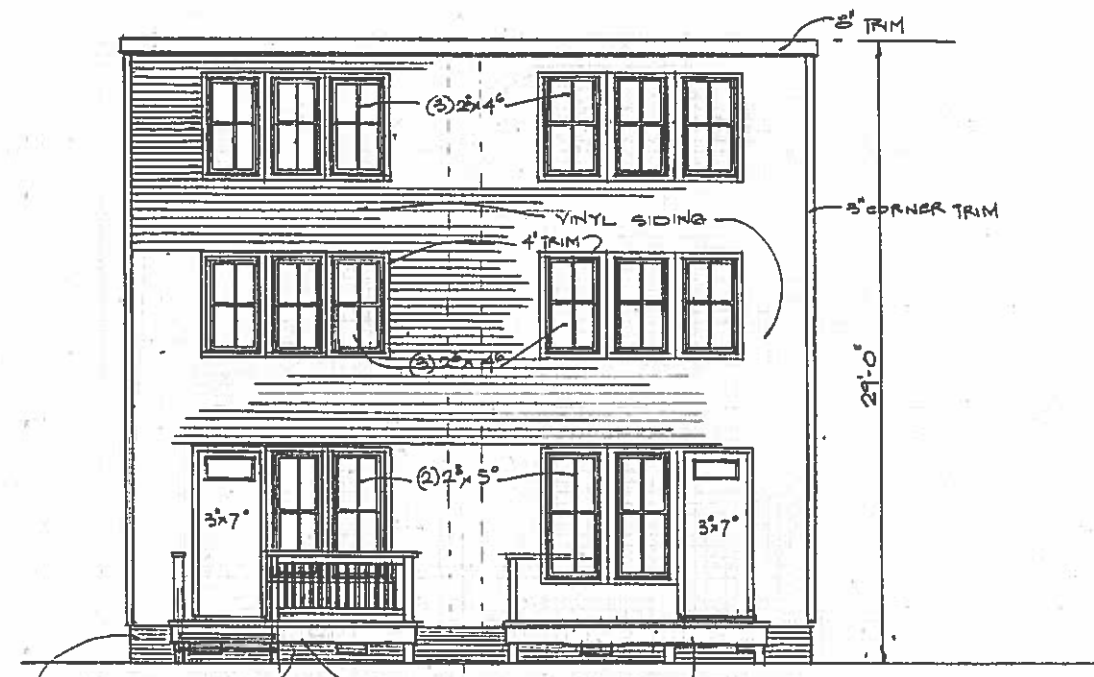
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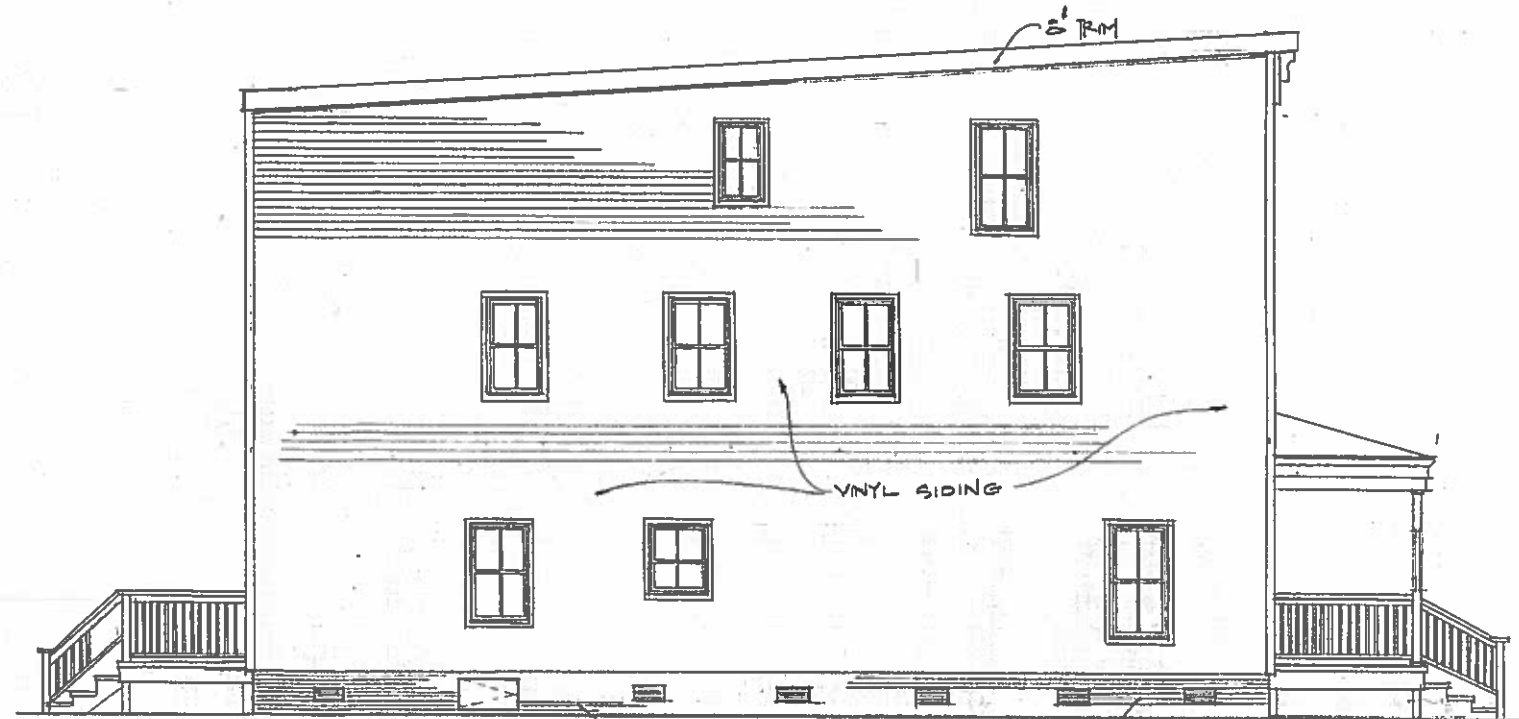
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ROOF PLAN 1/4"=1'-0"



REAR ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"

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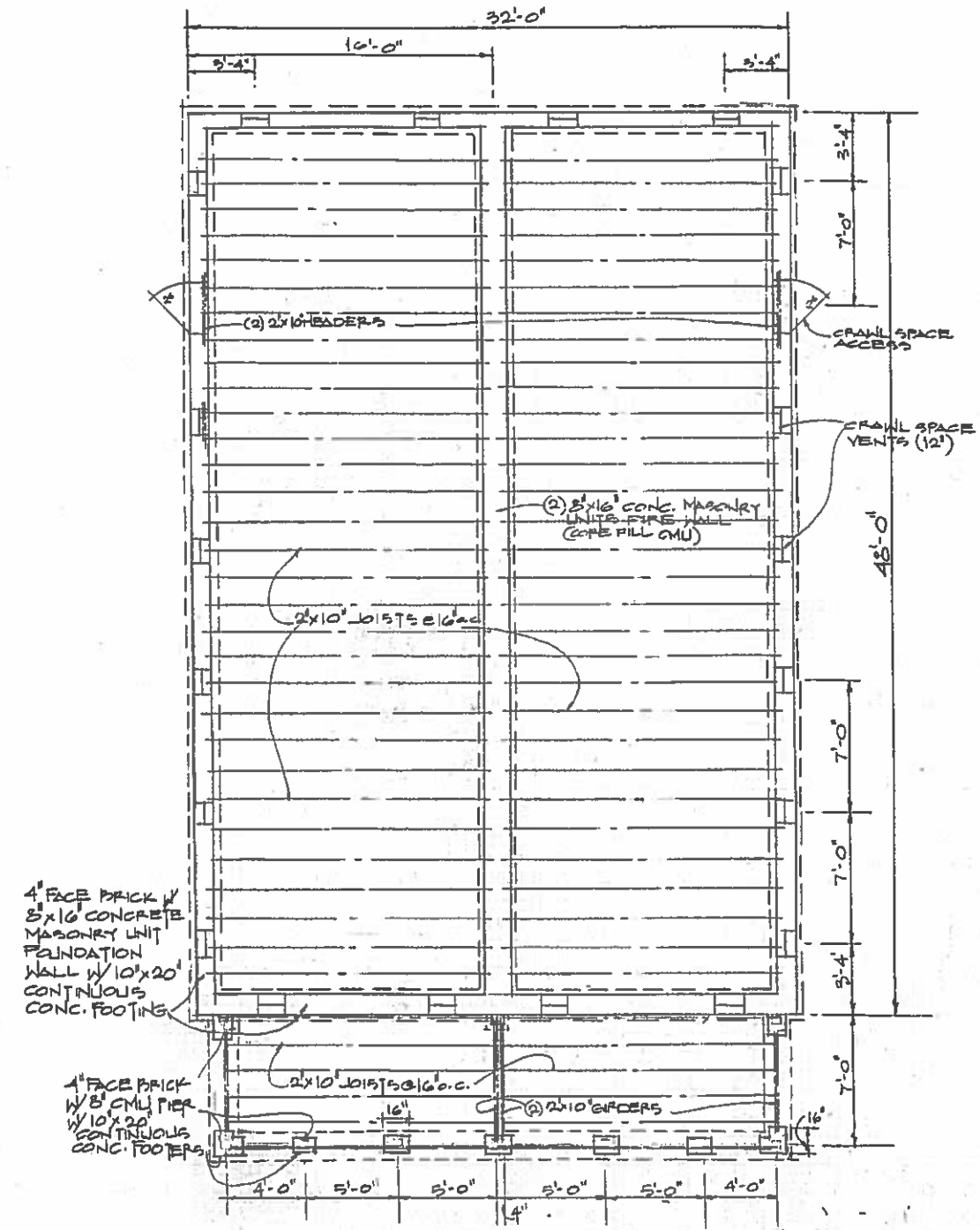
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Of 5 Sheets	

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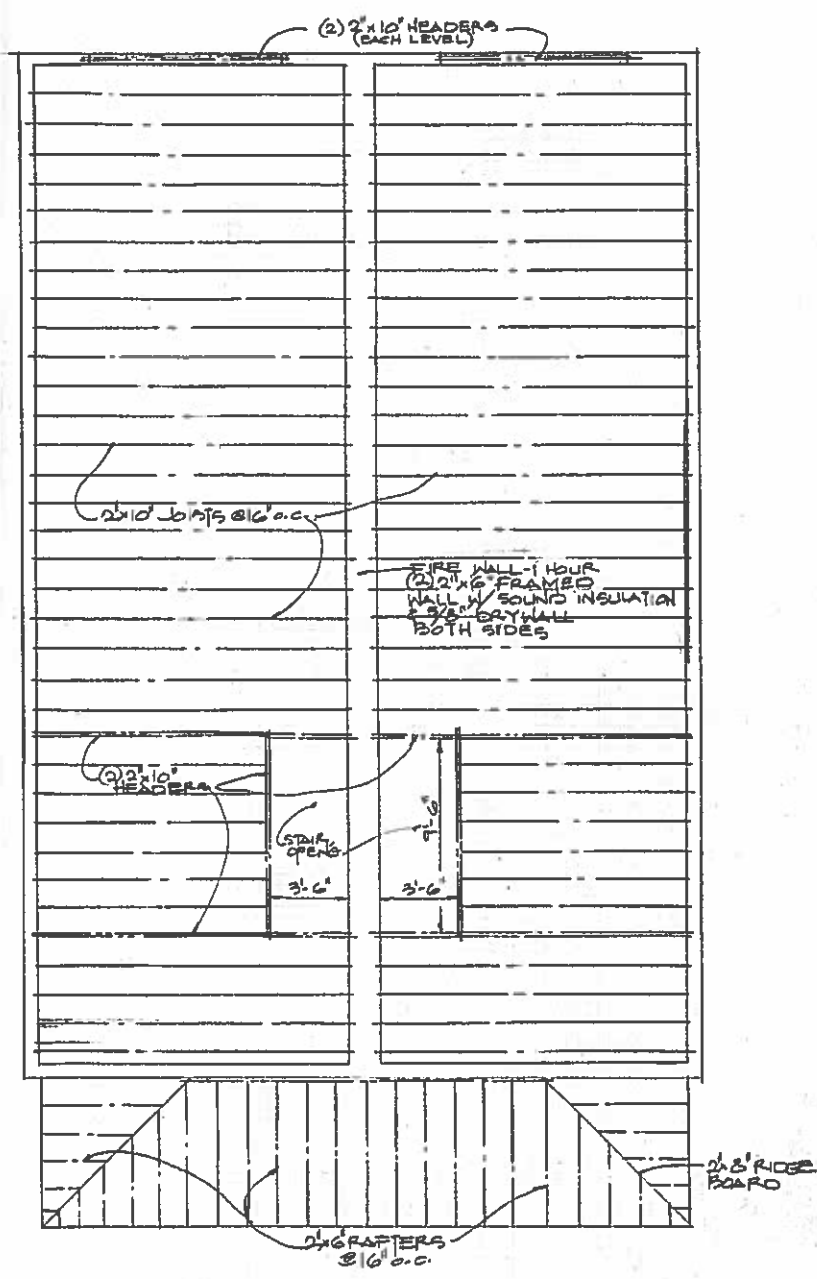
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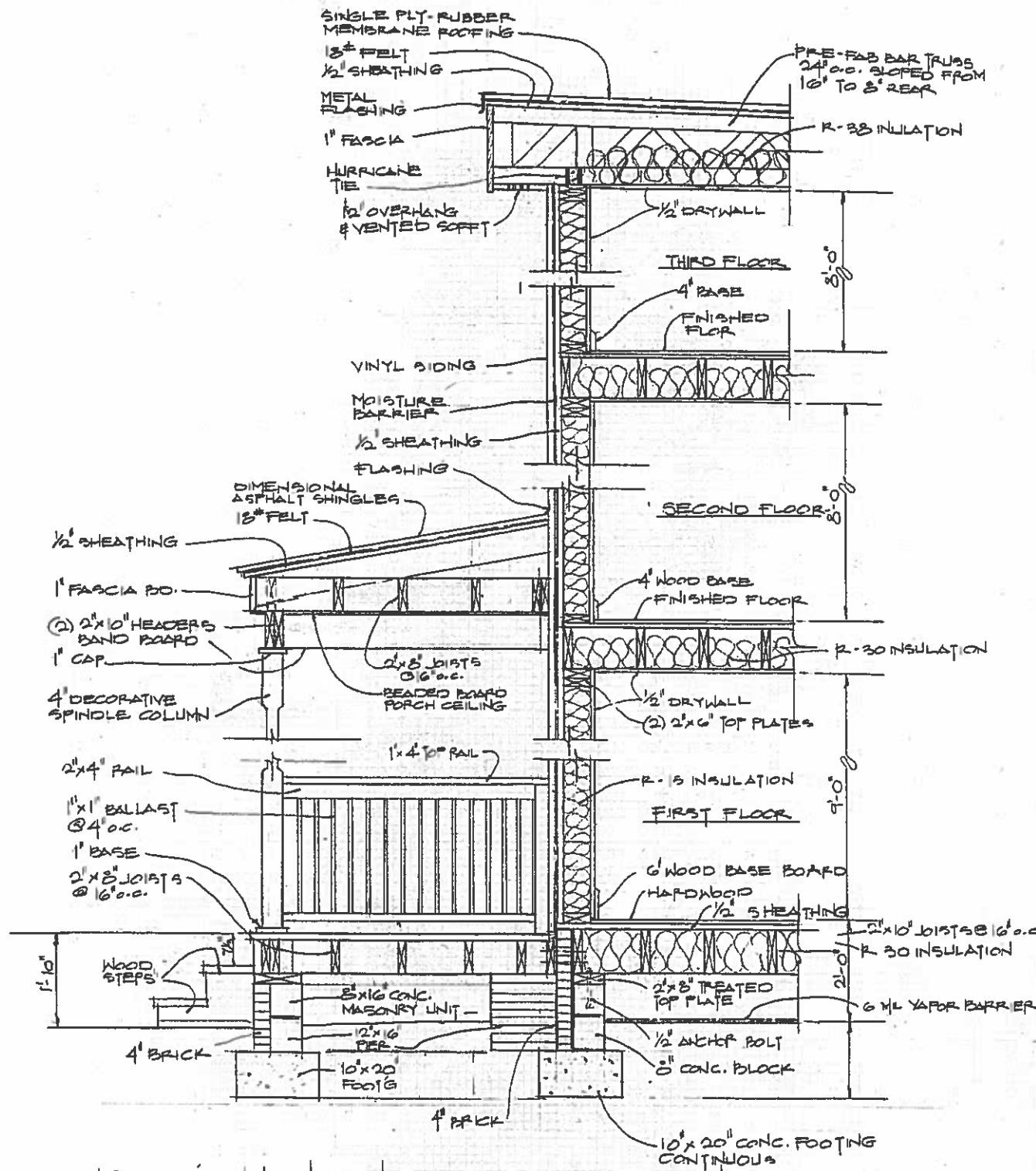
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 Of 5 Sheets



FOUNDATION PLAN 1/4"=1'-0"



SECOND FLOOR FRAMING PLAN 1/4"=1'-0"



PORCH & WALL SECTION 3/4" = 1'-0"

**GENERAL INFORMATION:**

- THE PLANS PROVIDE A DESIGN FOR TWO (2) ATTACHED 1104 SQUARE FOOT SINGLE FAMILY HOMES. THE HOMES ARE AN EXACT MIRROR IMAGE OF EACH OTHER. ALL DIMENSIONS, DETAILS, LAYOUTS AND OVERALL DESIGN ARE THE SAME WITH A MIRROR IMAGE. IF DIMENSIONS ARE NOT SHOWN ON ONE HOME, IT SHALL BE ASSUMED THAT THE DIMENSIONS AND DESIGNS PROVIDED ARE TO BE USED TO CONSTRUCT BOTH HOMES.
- MOST INTERIOR FLOOR PLAN DIMENSIONS ARE SHOWN CENTER LINE OF FRAMED WALLS FOR INTERIOR WALLS AND EDGE OF FRAMED EXTERIOR WALLS.
- CONTRACTOR SHALL BUILD IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE AND THE VIRGINIA UNIFORM STATEWIDE CODE. THESE SPECIFICATIONS ARE FOR USE IN ACCORDANCE TO THE ATTACHED ARCHITECTURAL PLANS FOR THE CONSTRUCTION OF THIS PROJECT ONLY. THE SPECIFICATIONS SHALL BE READ AND SHALL TAKE PRECEDENCE OVER THE PLANS SHOULD THEY CONFLICT. THESE SPECIFICATIONS SHALL SUBMIT TO ANY REVISIONS OR SUPERSEEDING VIRGINIA UNIFORM BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE OR THE CITY OF RICHMOND, VA CODES AND MUST COMPLY WITH AND CONFORM TO LOCAL, STATE AND FEDERAL CODE ENFORCEMENTS.
- CONTRACTOR SHALL FIELD VERIFY DIMENSIONS PRIOR TO ORDERING WINDOWS, DOORS, CABINETS, COUNTER TOPS, APPLIANCES AND ALL AREAS OF CONSTRUCTION REQUIRED TO ORDER MATERIALS REPORT ANY DISCREPANCIES TO DESIGNER.
- OWNER SHALL SELECT AND APPROVE ALL FINISHES (FLOOR MATERIALS, WALL FINISHES, TRIM AND PAINT COLORS), FIXTURES, AND EQUIPMENT PRIOR TO PURCHASE.
- OWNER SHALL APPROVE WALL AND FLOOR TILE SELECTION AND PATTERN PRIOR TO INSTALLATION.
- ALL PAINTED SURFACES SHALL BE PRIMED ONE (1) COAT AND PAINTED TWO (2) COATS. CONTRACTOR SHALL USE HIGH QUALITY PAINT.
- ALL EXTERIOR TRIM, VINYL SIDING AND COLOR OF BRICK MASONRY SHALL BE SELECTED BY OWNER.
- PLUMBING CONTRACTOR SHALL PROVIDE ALL WATER AND DRAIN LINE CONNECTIONS AND RISER DIAGRAMS. PLUMBER SHALL INSTALL ALL VERTICAL AND HORIZONTAL PIPES AND PLUMBING LINES WITHIN WALLS AND BETWEEN FLOORS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE WIRING DIAGRAMS FOR CIRCUITRY CONNECTIONS. ELECTRICAL CONTRACTOR SHALL PROVIDE ELECTRICAL PANEL, BOX AND ENTRY HOUSE SHALL SERVE ONE ELECTRICAL METER. CONTRACTOR SHALL INSTALL AND CONCEAL ALL ELECTRICAL WIRING WITHIN WALLS AND CEILINGS. LOCATE PANEL IN GARAGE.
- MECHANICAL CONTRACTOR SHALL PROVIDE HEATING, VENTILATING, AND AIR CONDITIONING SERVICE DESIGN AND DUCTWORK LAYOUTS. MECHANICAL CONTRACTOR SHALL ROUTE ALL MECHANICAL DUCTWORK WITHIN WALLS, CHASES, FLOORS OR CEILING. ALL DUCTWORK SHALL BE CONCEALED. PROVIDE SPLIT SYSTEM OR TWO SEPARATE UNITS WITH FIRST FLOOR SERVED SEPARATE FROM 1<sup>ST</sup> AND 2<sup>ND</sup> FLOORS.

**SPECIFICATIONS**

**FOUNDATION:**  
CONTRACTOR SHALL USE 4" x 8" STANDARD FACE BRICK AND 8" x 8" x 16" STANDARD GRAY CONCRETE MASONRY BLOCKS FOR THE FOUNDATION WALL. BOTTOM OF FOOTING SHALL BE LOCATED 1" OR GREATER BELOW EXISTING GRADE. PROVIDE PRESSURE TREATED LUMBER IN AREAS WHERE WOOD PLATES TOUCH CONCRETE SLAB, BLOCKS OR LESS THAN 12" FROM THE GROUND. ADD VAPOR BARRIER OVER GROUND IN CRAWL SPACE. GRADE AND SLOPE SOIL A WAY FROM EXTERIOR PERIMETER OF FOUNDATION WALL.

**EXTERIOR WALLS TRIM AND SOFFITS:**  
THE EXTERIOR WALLS SHALL BE VINYL SIDING WITH 4" REVEAL. CORNER TRIM SHALL BE VINYL AND SOFFITS AND WINDOW TRIM SHALL BE WOOD WRAPPED WITH METAL.

**FRAMING:**  
ALL DIMENSIONAL LUMBER, BLOCKING AND PLATS ARE SIZED BASED ON #2 SOUTHERN YELLOW PINE OR #3 SPUCE KIN DRIED WITH LESS THAN 19% MOISTURE CONTENT. EXTERIOR WALLS SHALL HAVE 2" x 4" FRAMING MEMBERS SPACED 16" ON CENTER AND INTERIOR WALLS SHALL BE 2" x 4" FRAMING MEMBERS SPACED 16" ON CENTER. ALL WOOD FRAMING BEARING ON MASONRY OR CONCRETE SHALL BEAR ON TREATED WOOD PLATE. ALL 2 OR MORE MEMBER HEADERS OR BEAMS SHALL BE NAILED TOGETHER @ 12" ON CENTER AT TOP AND BOTTOM. ALL LOAD BEARING WALLS AND PARTITIONS SHALL BE STRUCTURALLY REINFORCED.

**DRYWALL:**  
USE 1/2" DRYWALL IN ALL CEILINGS AND PARTITION WALLS. DRYWALL BOARD JOINTS SHALL BE SPACKLED, TAPED, AND SANDED SMOOTH WITH NO VISIBLE JOINTS. USE GREEN BOARD DRYWALL IN ALL BATHROOMS AND KITCHEN AREAS BEHIND CABINETS, SHOWERS, COMMODOES AND SINKS (WET AREAS).

**DOORS:**  
ALL INTERIOR DOORS SHALL BE NEW 1 3/8" WOOD PRE-HUNG RAISED SIX (6) PANEL DOORS THROUGHOUT HOUSE INTERIOR. FINAL DOOR STYLE AND COLOR SHALL BE MADE BY OWNER. PROVIDE ALL NEW HARDWARE, HINGES, LOCKS ON ALL DOORS. CONTRACTOR SHALL PROVIDE ALL WEATHER SEALS AND DOOR SWEEPS FOR WEATHER TIGHT CLOSURE AT FRONT AND REAR EXTERIOR DOORS. FRONT AND REAR DOOR STYLE SHALL BE SELECTED BY OWNER. SUPPLY FULL GLASS AND SCREEN STORM DOORS AT FRONT AND REAR DOORS. PROVIDE THRESHOLDS AT EXTERIOR DOORS.

**DOOR HARDWARE:**  
ALL BEDROOM AND BATHROOM DOORS SHALL RECEIVE BUILDER GRADE LEVER THRU-TURN HANDLES WITH PRIVACY LOCKSETS ON THE INTERIOR OF THE ROOM AND THREE HINGES. ALL EXTERIOR DOORS SHALL HAVE KEYED LOCKS AND DEAD BOLT LOCKSETS. STORM DOORS SHALL HAVE TURN LEVER HANDLES AND THRU-TURN INTERIOR LOCK AND EXTERIOR KEYED LOCK.

**WINDOWS:**  
ALL NEW WINDOWS SHALL BE DOUBLE TRUNG INSULATED DOUBLE PANE WOOD/VINYL COVERED WINDOWS WITH TILT OUT EASY CLEAN. WINDOW STYLE SHALL BE 2 OVER 2 PANE UNLESS SPECIFIED OTHERWISE BY OWNER. ALL WINDOWS SHALL HAVE SCREENS AND LOCKS. WINDOWS SHALL MATCH THE STYLE (A) UNLESS SPECIFIED OTHERWISE BY OWNER. ALL WINDOW ROUGH OPENINGS SHALL BE FIELD MEASURED BY WINDOW SUPPLIER TO INSURE CORRECT OPENING DIMENSIONS FOR ALL NEW WINDOWS TO BE INSTALLED. CONTRACTOR SHALL PROVIDE ALL WINDOW TRIM, CAULKING AND SEALANTS TO PROVIDE A WEATHER TIGHT INSTALLATION OF ALL WINDOWS.

**INTERIOR TRIM:**  
ALL INTERIOR TRIM THROUGHOUT THE HOUSE SHALL BE 6" WOOD BASE ON THE FIRST FLOOR AND 4" WOOD BASE ON THE 2<sup>ND</sup> AND 3<sup>RD</sup> FLOORS. 3" TO 4" WOOD TRIM AT WINDOWS AND DOORS WITH MIDERED CORNERS. ADD WOOD TRIM AND WOOD WINDOW SILLS WITH BEVELED EDGES AT ALL WINDOWS. CROWN MOLDING AT CEILINGS ON FIRST FLOOR.

**CABINETS:**  
STYLE, WOOD, PATTERN AND MODEL OF NEW CABINETS SHALL BE SELECTED BY OWNER. ALL KITCHEN CABINET HARDWARE AND THE KITCHEN APPLIANCES SHALL BE SELECTED BY OWNER. CONTRACTOR SHALL MEASURE AREA FOR CABINET LOCATIONS. CABINET MAKER TO PROVIDE SHOP DRAWING OF CABINET LAYOUT FOR APPROVAL PRIOR TO PURCHASE OR CONSTRUCTION OF BUILT-IN CABINETS.

**CLOSET SHELVING:**  
ALL CLOSET SHELVING AND LINEN SHELVING SHALL BE FINISHED PINE WOOD SHELVING BOARD, SANDED AND FINISHED WITH CLEAR SATIN VARNISH.

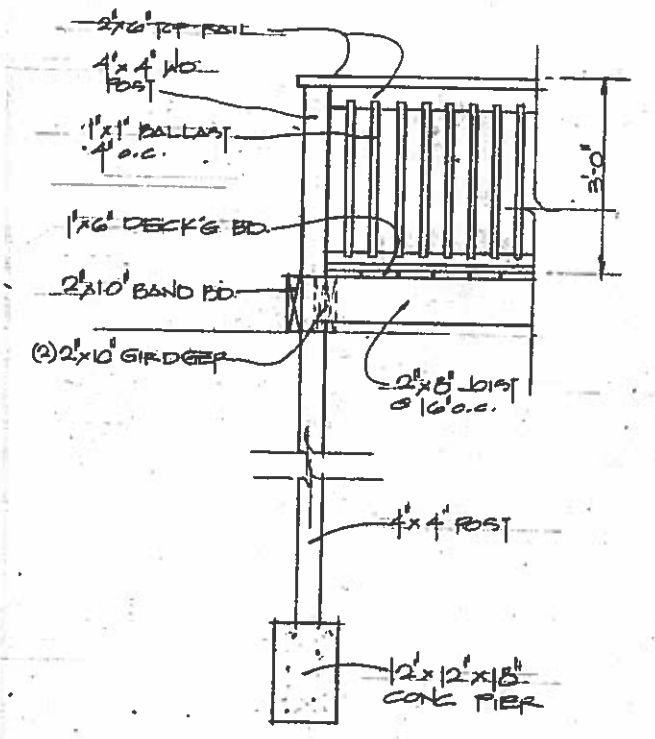
**FLOORING:**  
NEW FINISHED FLOORS (CARPET, TILE AND WOOD) PER DIRECTION OF OWNER. PROVIDE FINISH SAMPLES TO OWNER AND/OR DESIGNER FOR APPROVAL PRIOR TO PURCHASE. HARDWOOD FLOORING ENTIRE FIRST FLOOR AND ALL INTERIOR STAIRWAYS. ALL BEDROOMS TO RECEIVE CARPET. ALL BATHROOMS AND LAUNDRY ROOMS SHALL RECEIVE CERAMIC TILE UNLESS OTHERWISE SPECIFIED BY OWNER.

**INSULATION:**  
INSTALL R-13 BATT INSULATION IN ALL EXTERIOR WALLS AND INTERIOR WALLS. INSTALL R-38 IN CEILING AND R-30 OVER CRAWL SPACE.

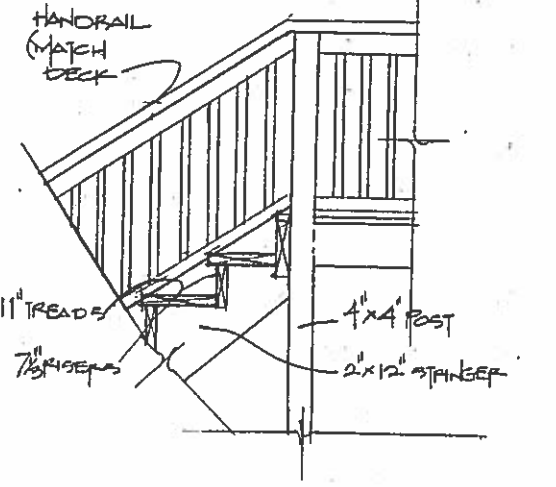
**ROOFING:**  
1/2" SHEATHING WITH 18 POUND FELT PAPER, 1" INSULATION BOARD AND SINGLE PLY RUBBER MEMBRANE ROOFING. ADD METAL FLASHING AT PERIMETER.

**BATHROOMS:**  
USE CERAMIC WALL TILES SELECTED BY OWNER. TUB SHALL BE 60" x 36" GARDEN STYLE TUB/SHOWER UNIT IN THIS MASTER BEDROOM, 30" x 60" STANDARD TUB/SHOWER UNIT IN FAMILY BATH AND TILED SHOWER ON 3<sup>RD</sup> FLOOR BATH. ALL FIXTURES AND FAUCETS SHALL BE SELECTED BY OWNER.

USE TILE ON WALLS SURROUNDING THE TUBS AND SHOWERS TILE SELECTED BY OWNER. CONTRACTOR SHALL PROVIDE TOILET PAPER HOLDERS, VANITY MIRRORS, AND TOWEL RODS FOR ALL BATHROOMS, ALL SELECTED BY OWNER.



DECK DETAIL 3/4" = 1'-0"



DETAIL STAIR 3/4" = 1'-0"

REVISIONS	BY

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RUFUS PROPERTY

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Job RUFUS  
Sheet 5  
Of 5 Sheets