

— LAND USE, HOUSING & TRANSPORTATION DEVELOPMENT UPDATES

Diamond District



PRESENTED BY:

SHARON L. EBERT, DCAO, PLANNING & ECONOMIC DEVELOPMENT PORTFOLIO

04/16/2024

Page 01

What Remains the Same in the Project

- 67-acre site anchored by a new ballpark and mixed-use buildings
- A signature central park
- 40% Minority Business Enterprise requirements
- 40% union labor for the stadium and infrastructure
- 25% union labor for the privately financed portions of the project
- 20% of the residential units to be affordable to households with incomes averaging 60% AMI: Phase 1 to include up to 100 units with project-based vouchers to assist households at or below 30% AMI
- Partnership with Virginia Union University (VUU) to establish the Diamond District Small Business Institute and an associated \$250,000 Revolving Loan Program
- Sustainably designed buildings to at least the Silver rating in the Leadership in Energy and Environment Design (LEED) rating system



Diamond District

What has Changed

KEY PERSONNEL 2023 ADOPTED DEVELOPMENT AGREEMENT	KEY PERSONNEL 2024 PROPOSED DEVELOPMENT AGREEMENT
RVA DIAMOND PARTNERS, LLC	DIAMOND DISTRICT PARTNERS, LLC
Jason Guillot, Thalhimer Realty Partners – Master Developer	Jason Guillot, Thalhimer Realty Partners – Master Developer
Susan Cronin, Loop Capital	Michael Gaza, Thalhimer Realty Partners – Master Developer
Gregory Peck, Loop Capital	
Kenny Jones, Prestige Construction Group* – Construction	Kenny Jones, Prestige Construction Group – Construction *
Chad Rexrode, Whiting Turner - Construction	Chad Rexrode, Whiting Turner - Construction
Brendan Carrol, Whiting Turner - Construction	Brendan Carrol, Whiting Turner - Construction
Bryan Ozlin, Whiting Turner- Construction	Bryan Ozlin, Whiting Turner- Construction
Mike Hopkins, M Companies* - Residential Development & MBE Coordination	Mike Hopkins, M Companies* - Residential Development & MBE Coordination
Norman Jenkins, Capstone Development* - Hotel	Norman Jenkins, Capstone Development* - Hotel
Darren Linnartz, Capstone Development* - Hotel	Darren Linnartz, Capstone Development* - Hotel
Bob Carlson, DLR Group – Stadium Designer^	Burt Pinnock, Baskervill – Master Site Designer
Robert Easter, Kei Architects*	Robert Easter, Kei Architects*
Marcus Thomas, Kei Architects*	Marcus Thomas, Kei Architects*
Grace Washington, J&G Workforce Development*	Grace Washington, J&G Workforce Development*
Ivy Carter, Pennrose - Affordable Housing	Ivy Carter, Pennrose - Affordable Housing
Patrick Stewart, Pennrose – Affordable Housing	Patrick Stewart, Pennrose – Affordable Housing
	Ray Nix NixDev – Affordable Housing

^ Stadium designer is now Odell Architecture (Now part of LaBella Associates) and the Stadium Developer is now The Navigators (Parent Company of the Flying Squirrels).

* Indicates a Minority-owned Company)



What has Changed

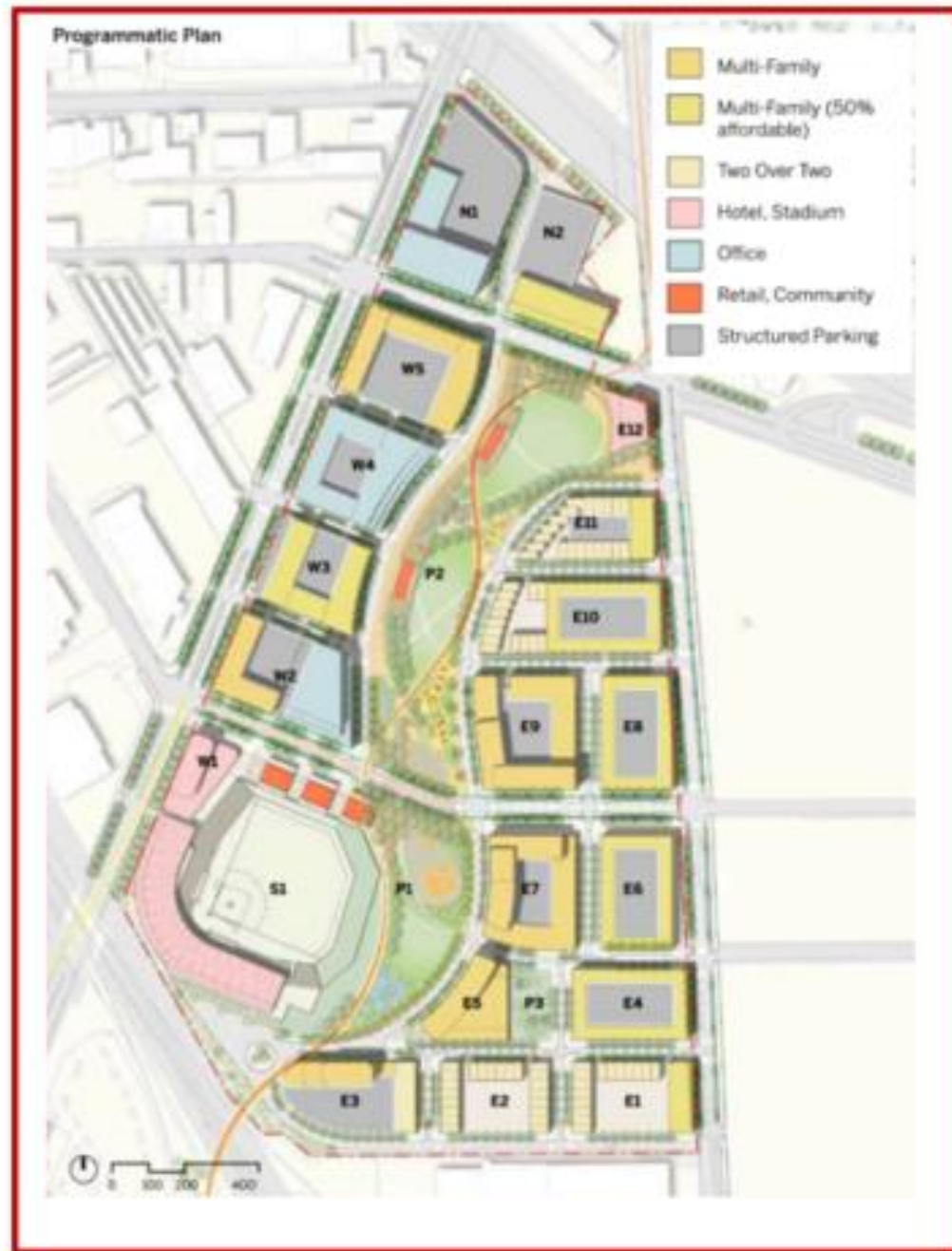
2023 CONCEPTUAL MASTER SITE PLAN



2024 CONCEPTUAL MASTER SITE PLAN



What has Changed



COUNCIL-APPROVED CONCEPT SITE PLAN 2023



REVISED CONCEPT PLAN 2024

The Council Approved Concept Site Plan has been further developed and the following changes have been made:

1. The Council-approved plan had smaller blocks with a total of 19; the revised plan has increased the blocks sizes and reduced the number to 13 blocks.
2. The number of secondary internal cross streets to Hermitage has decreased from 6 to 3 streets.
3. The stadium design has increased the stadium parcel footprint from approximately 6 acres to 10 acres and has expanded into the lower park area for necessary team parking behind the stadium.
4. Public park space (originally 11 acres) is now 10.3 acres: 8.2 acres for the park and 2.1 acres for a pedestrian greenway between 6 of the eastern residential blocks.
5. Parking spaces were in private parking garages: now some of the affordable housing sites will have surface parking lots and a publicly financed and operated parking garage is planned on the northeast corner of the site.
6. The Council approved plan had 3 locations for office buildings: the proposed plan has 2 locations for office buildings, due to the current decreased demand for new office space; and
7. Total commercial gross square footage (GSF) (includes retail and office GSF) was 1,093,000 GSF in the Council-approved plan and has been reduced to 318,306 GSF.



What has Changed

2023 Adopted Open Space Plan



2024 Proposed Open Space Plan

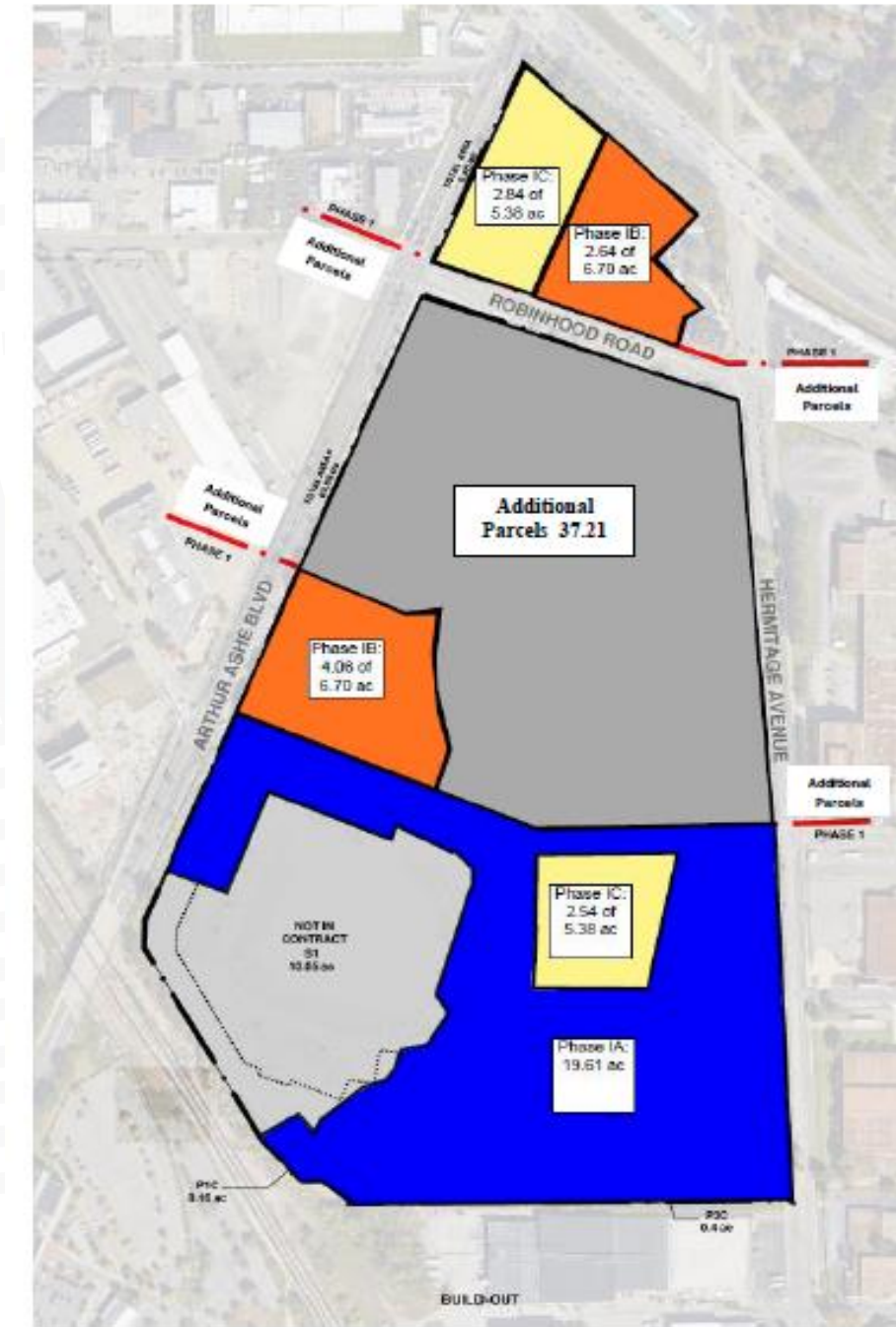


What has Changed

2023 PHASE 1 PURCHASE OF PROPERTY

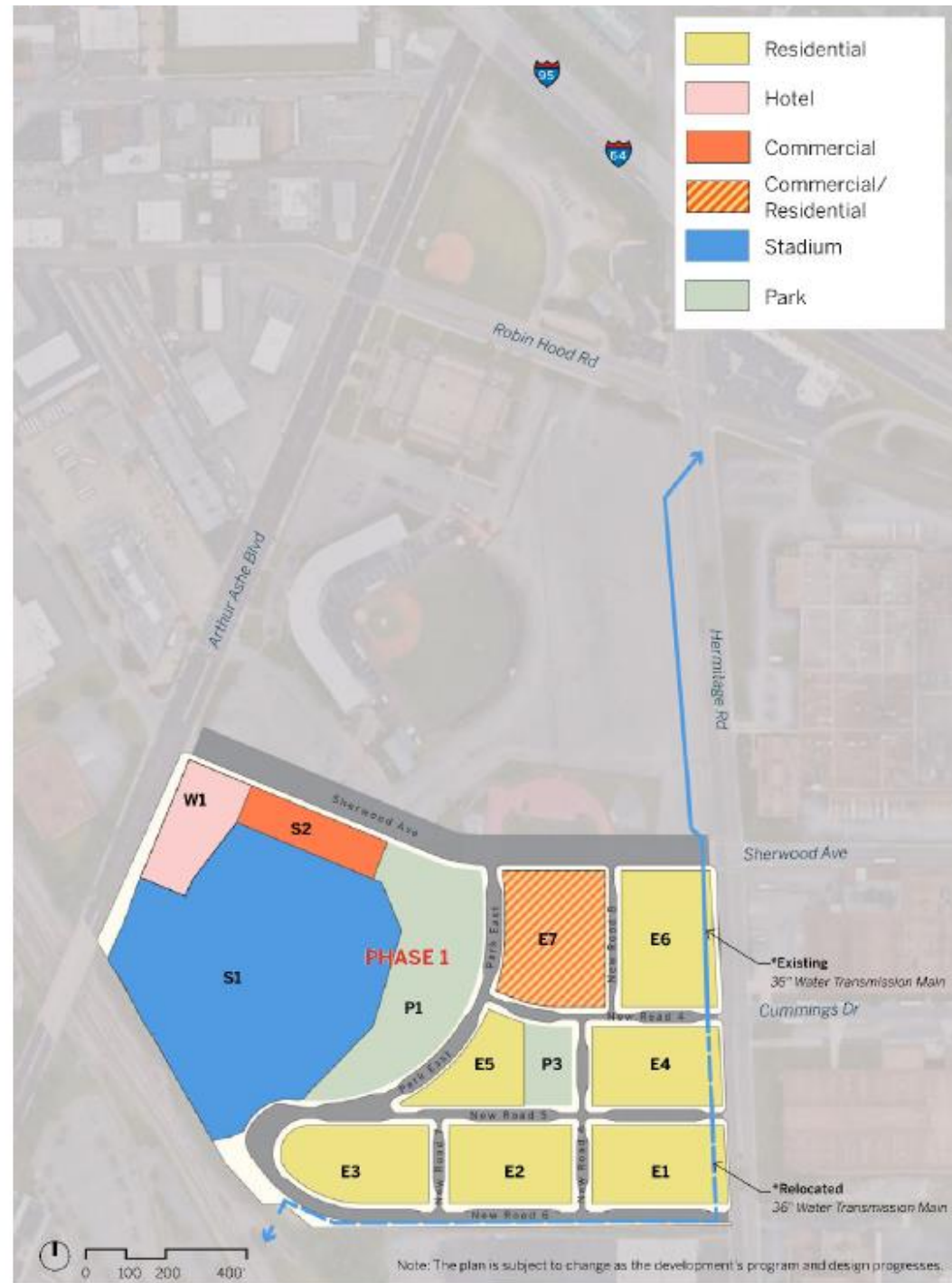


2024 PHASE 1 PURCHASE OF PROPERTY

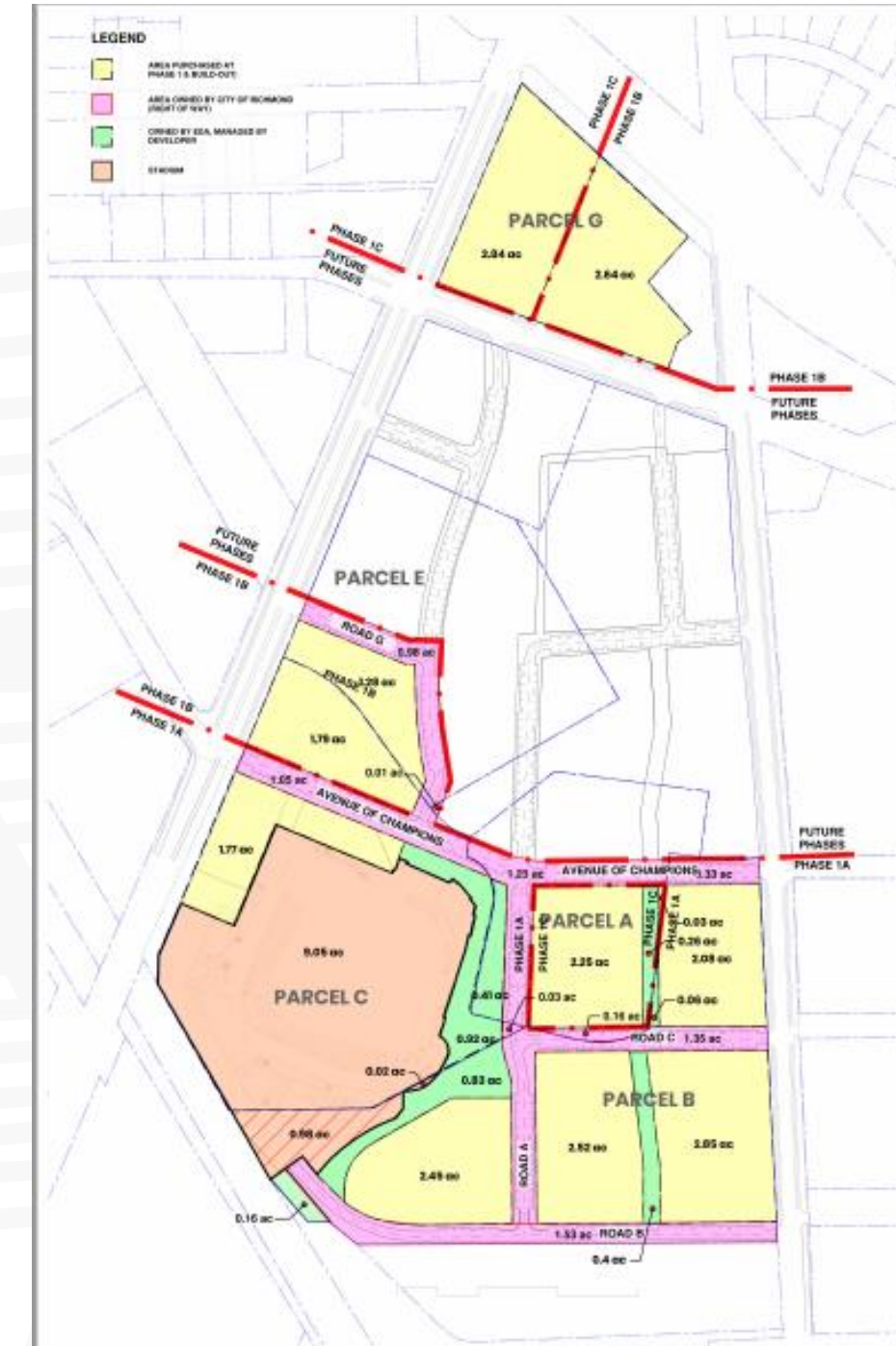


What has Changed

2023 PHASE 1 BLOCK AND STREET BUILDOUT



2024 PHASE 1 BLOCK AND STREET BUILDOUT



What has Changed

2023 ADOPTED 1 PHASING & PURCHASING

Purchased Property Phase	Purchase Price ¹	Approximate Acreage	Price Per Acre ²	Required Deposit Per Phase
Phase 1 Purchased Property	\$16,000,000	21.83	\$732,986	\$1,600,000
Sports Backers Parcel	\$11,800,000	6.60	\$1,787,879	\$1,180,000
Phase 2 Purchased Property	\$7,260,000	7.34	\$989,101	\$726,000
Phase 3 Purchased Property	\$16,390,000	12.90	\$1,270,543	\$1,639,000
Phase 4 Purchased Property	\$28,680,000	11.90	\$2,410,084	\$2,868,000

2024 PHASING & PURCHASING

PHASES	PARCELS	GROSS acreage (including ROW & park & public spaces)	SALES PRICE	PURCHASE DEADLINE
PHASE 1A	S2			
	W1			
	E1			
	E2			
	E3			
	E4			
SUBTOTALS:		19.61	\$11,407,500	8/31/2024
PHASE 1B	W2			
	N2			
SUBTOTALS:		5.38	5,710,000	12/31/2028
PHASE 1C	E5			
	N1			
SUBTOTALS:		6.7	7,882,500	12/31/2030
TOTALS:		31.69	\$25,000,000	



What has Changed

2023 PHASE 1 PROGRAM USES

Parcel	Residential Units					Hotel Keys	Commercial GSF Office (O), Retail (R), R&D	Stadium Capacity	Parking Structured Spaces
	Rental			For Sale					
	Market Rate	60% AMI	30% AMI	Market Rate	60-70% AMI				
Phase 1									
P1, P3, and Phase 1 Infrastructure									
E1	180								180
E2	200								200
E3	200								200
E4	114	76	25						245
E5	220								220
E6	104	79	14			7,000 (R)			245
E7	TBD					TBD			TBD
S1								9,000	
S2						16,000 (R)			
W1						180			
Total	1,018	155	39	-	-	180	23,000	9,000	1,290

*Note: The master plan program is subject to change based on the provisions in the Development Agreement

2024 REVISED PHASE 1 PROGRAM USES

Programmatic Plan						
Parcel	Multifamily Units (Market Rate)	Multifamily Units (Affordable)	Two Over Two Condo Units (Market Rate)	Two Over Two Condo Units (Affordable)	Hotel Keys	Commercial GSF (Office, R&D, Restaurant, & Retail)
E1	283					
E2	247					
E3		161				
E4	200					10,000
S2						20,000
W1					180	-
Phase IA Program:	730	161	-	-	180	30,000
W2 (Phase IB)	204	-	8	2		114,000
N2 (Phase IB)		121				
Phase IB Program:	204	121	8	2	-	114,000
E5 (Phase IC)	186		11	3		12,000
N1 (Phase IC)	216	51				
Phase IC Program:	402	51	11	3	-	12,000
Phase I Program Total:	1,336	333	19	5	180	156,000



What has Changed

COUNCIL-APPROVED PHASE 1 PROGRAM VERSES REVISED PHASE 1 PROGRAM

	RESIDENTIAL UNITS	RENTAL UNITS	FOR SALE UNITS	AFFORDABLE UNITS	% OF UNITS AFFORDABLE	HOTEL KEYS	COMMERCIAL GSF	PARKING SPACES
PHASE 1A	580	580	0	0	0	180	16000	580
PHASE 1B	632	632	0	194	23%	0	7000	465
TOTAL PHASE 1	1212	1212	0	194	16%	180	23000	1045
	RESIDENTIAL UNITS	RENTAL UNITS	FOR SALE UNITS	AFFORDABLE UNITS	% OF UNITS AFFORDABLE	HOTEL KEYS	COMMERCIAL GSF	PARKING SPACES
PHASE 1A	891	891	0	161	18%	180	30,000	965
PHASE 1B	335	325	10	124	38%	0	114,000	675
PHASE 1C	467	453	14	54	12%	0	12,000	552
TOTAL PHASE 1	1693	1669	24	338	20%	180	156,000	2192
NET CHANGE	678	654	24	237	-	SAME	133,000	1147



What's Next?

Transportation Impact Analysis & Report

A draft Transportation Study has been provided to the City & EDA by VHB (a City consultant) and is under review by staff.

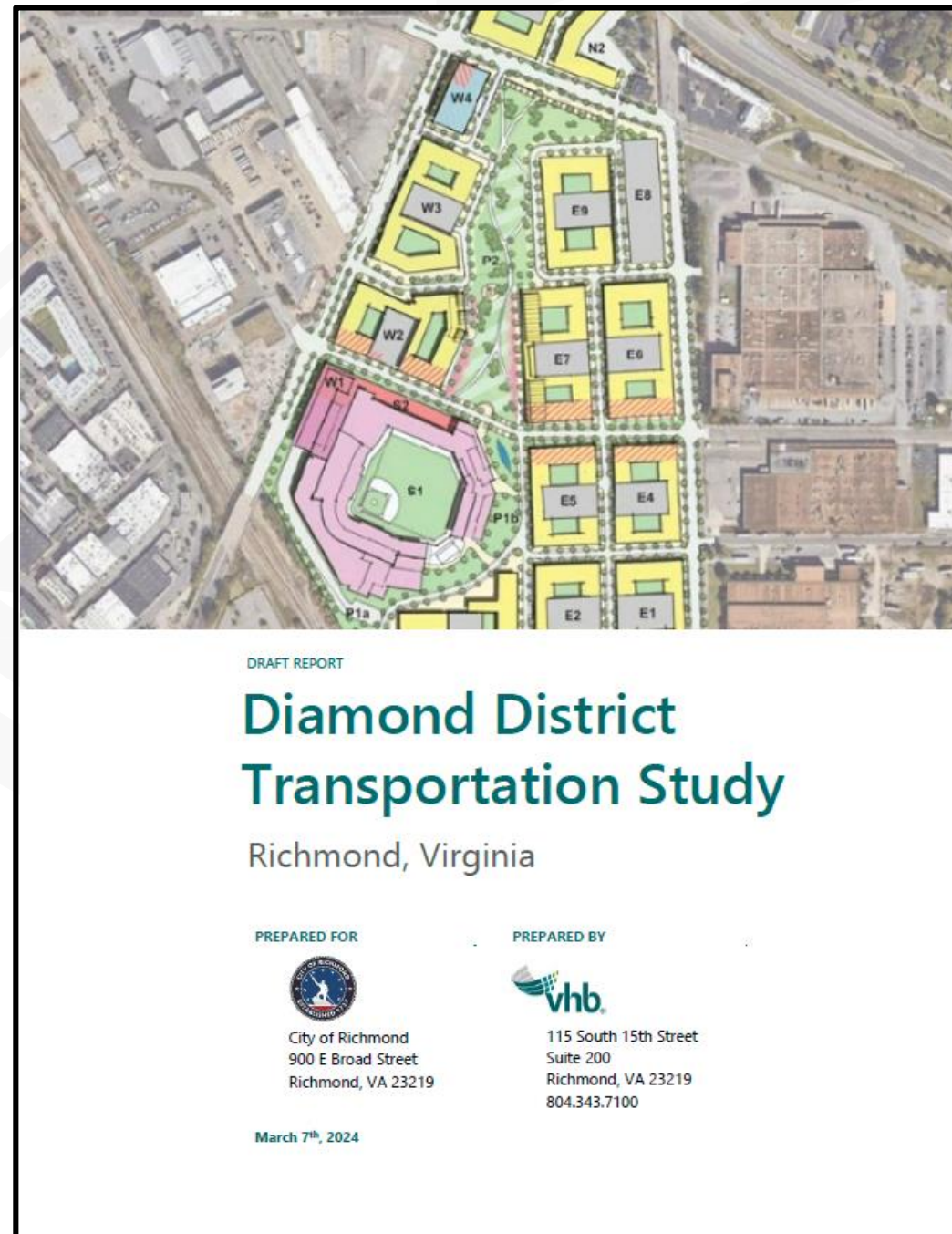


Figure 7 Diamond District Transportation Study Area

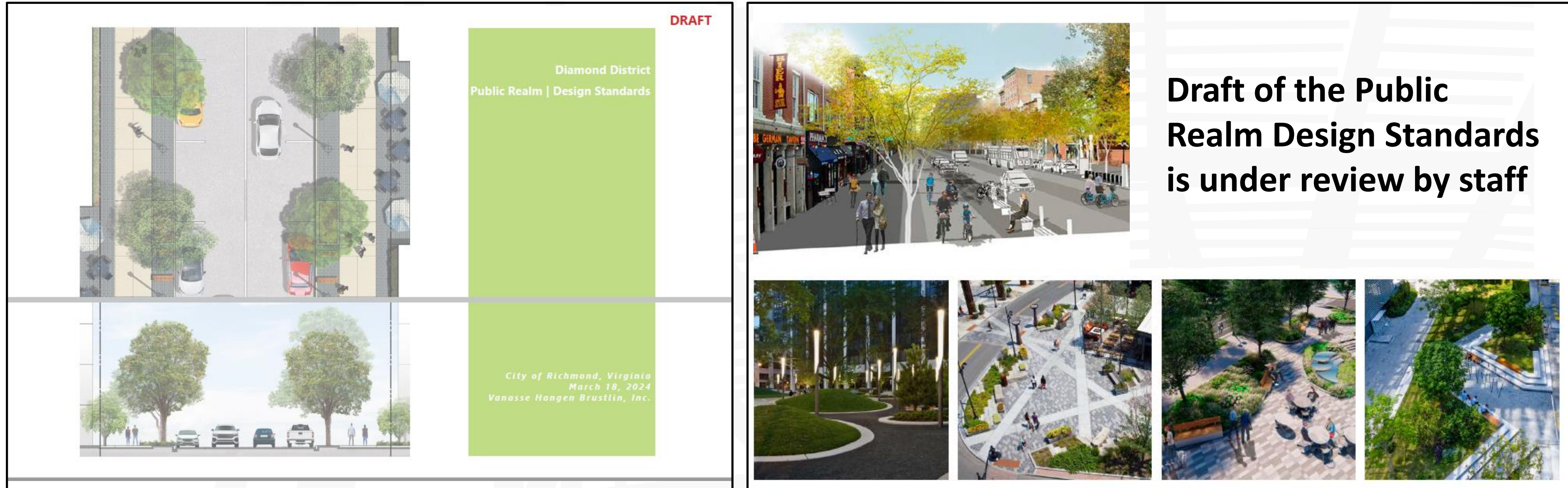
Table of Contents

1	Introduction and Summary	5
1.1	Purpose of Report	5
1.2	Executive Summary	5
2	Background Context	10
2.1	The Diamond District	10
2.1.1	Location	10
2.1.2	Site Description	12
2.1.3	Development Plan	12
2.2	Transportation Study Area	13
3	Vehicular Traffic Analysis	15
3.1	Data Collection and Model Development	15
3.1.1	Traffic Volume Data Collection	15
3.1.2	Traffic Model Development	16
3.2	Development of Future Year Traffic Volumes	16
3.2.1	Background Traffic Growth	17
3.2.2	Diamond District Trip Generation	18
3.2.1	Future Year Traffic Growth: Source Comparison	20
3.3	Vehicular Performance: Constraints and Mitigation	22
3.3.1	Identified Constraints in the Vehicular Transportation System	22
3.3.2	Potential Transportation Mitigation	23
3.3.3	Proposed Diamond District Access Configuration	31
4	Transportation Needs of the Public Right-of-Way	32
4.1	Pedestrian Analysis	32
4.1.1	Sidewalk Capacity	32
4.1.2	Intersections	35
4.2	Street Typical Sections	36
4.2.1	Arthur Ashe Boulevard	36
4.2.2	Hermitage Road	37
4.2.3	Robin Hood Road	38
4.3	Sherwood Avenue Extension	39
4.3.1	Street Typical Section	39
4.3.2	Intersection with Arthur Ashe Boulevard	40
4.3.3	Intersections Internal to Diamond District	40
5	Conclusion	42



What's Next?

Creation of Public Realm Design Standards



Draft of the Public Realm Design Standards is under review by staff



What's Next?

Creation of Privately-owned Building Design Standards

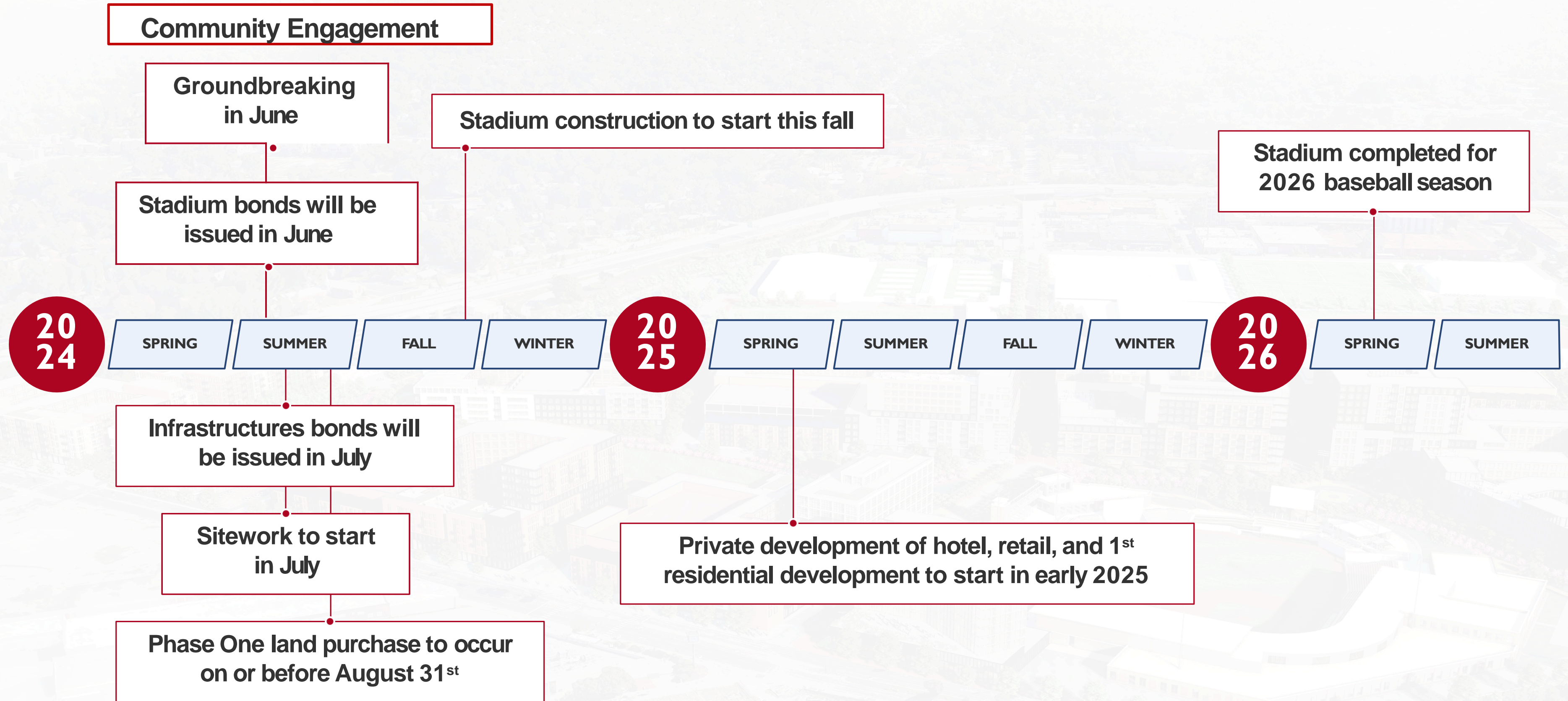


**Building
Precedents as
shared by
Baskervill**

**Master
Developer is
responsible for
creating Building
Design Standards**



What's Next Timeline



QUESTIONS

