

INTRODUCED: October 10, 2022

AN ORDINANCE No. 2022-294

To authorize the special use of the property known as 207 Avon Road for the purpose of a dwelling unit within an accessory building to a single-family dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: NOV 14 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 207 Avon Road, which is situated in a R-1 Single-Family Residential District, desires to use such property for the purpose of a dwelling unit within an accessory building to a single-family dwelling, which use, among other things, is not currently allowed by section 30-402.2, concerning permitted accessory uses and structures, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: NOV 14 2022 REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 207 Avon Road and identified as Tax Parcel No. W022-0264/014 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Topographic and Improvements Survey on Lot 14, Block 41, Windsor Farms, City of Richmond, Virginia,” prepared by Balzer & Associates, and dated April 29, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a dwelling unit within an accessory building to a single-family dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Howren Residence, 207 Avon Road, Richmond, VA 23221,” prepared by Menlo Architecture, and dated December 6, 2021, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a dwelling unit within an accessory building to a single-family dwelling, substantially as shown on the Plans.

(b) No less than two off-street parking spaces shall be provided for the Special Use, substantially as shown on the Plans.

(c) All building materials, elevations, setbacks, and site improvements shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

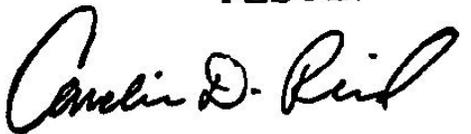
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or

otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:
TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reed". The signature is written in a cursive style with a large initial 'C'.

City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2022.0296

O & R Request

DATE: August 29, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 207 Avon Road for the purpose of a dwelling unit within an accessory building to a single-family dwelling, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 207 Avon Road for the purpose of a dwelling unit within an accessory building to a single-family dwelling, upon certain terms and conditions.

REASON: The property is located in the R-1 Single-Family Residential District. Accessory dwelling units are not permitted uses in this zoning district. Therefore a special use permit is requested in order to authorize this use.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its October 17, 2022, meeting.

BACKGROUND: The .63 acre subject property is located midblock on the southern side of Avon Road between Sulgrave Road and West Oxford Circle in the Windsor Farms neighborhood. The property is improved with a 2,799 square foot single-family detached dwelling.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Residential Uses. This designation is defined as a "neighborhood consisting primarily of single-family houses on large or medium-sized lots more homogenous in nature. Accessory dwelling units are considered a primary use in this area.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: September 26, 2022

CITY COUNCIL PUBLIC HEARING DATE: November 14, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
October 17, 2022

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application, Applicant's Report, Property, Plans, Map

STAFF: David Watson, Senior Planner, Land Use Administration (Room 511) 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 207 Avon Rd Date: April 11, 2022
 Tax Map #: W0220264014 Fee: \$300.00
 Total area of affected site in acres: 0.63

(See **page 6** for fee schedule, please make check payable to the "**City of Richmond**")

Zoning

Current Zoning: R-1

Existing Use: Single family detached residential

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Dwelling unit in an accessory building
 Existing Use: Single family detached residential

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Lory Markham

Company: Markham Planning
 Mailing Address: 208 E Grace St
 City: Richmond State: VA Zip Code: 23219
 Telephone: (804) 248-2561 Fax: ()
 Email: lory@markhamplanning.com

Property Owner: HOWREN, JENNIFER RUBIN AND JAMES HUDGINS JR

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 323 Clovelly Road
 City: Richmond State: VA Zip Code: 23221
 Telephone: (804) 432-1514 & (804) 350-0252 Fax: ()
 Email: jay@howren.com

Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



April 19, 2022

Kevin Vonck, Director
Department of Planning & Development Review
900 East Broad Street, Suite 511
Richmond, VA 23219

Re: 207 Avon Road Special Use Permit

Dear Mr. Vonck,

Please accept this letter as the Applicant's Report along with the Special Use Permit application for the property located at 207 Avon Road. With this application the property owners are petitioning the City Council for a SUP to authorize the construction of a dwelling unit on the second level of a new detached garage.

Currently, the property is improved with a single-family detached dwelling in the R-1 Single-Family Residential District. The residence is a two-story dwelling containing 2,799 square feet of floor area constructed in 1951. The property owners are renovating the existing dwelling along with the rest of the property to include new landscaping, patio, swimming pool, driveway, and construction of a two-story detached garage.

On the second level of the proposed garage, the property owners wish to construct a finished living area as an additional amenity space. This space will include a living room, lounge, half-bathroom, and kitchen. On the ground floor the owners propose a bathroom with a shower. With the inclusion of the kitchen and the shower, based on the definitions included in the Zoning Ordinance, the space is considered as a dwelling unit. In the R-1 District, this dwelling unit in the garage is not permitted. Therefore, the property owners are requesting a Special Use Permit.

Existing Site Conditions

The subject property is one parcel containing 0.63 acres of land area located on the south side of Avon Road between W Oxford Circle and Sulgrave Road. The parcel is irregularly-shaped with a lot width along Avon Road of 125 feet. The property is currently improved with a single-family dwelling constructed in 1951 with 2,799 square feet of finished living area.

Current Zoning

The property is currently zoned R-1 Single-Family Residential which permits single-family detached dwellings and compatible uses such as churches, libraries, and schools.

Accessory uses and structures are also permitted such as private garages and storage buildings. However, dwelling units are not permitted in accessory buildings.

City's Master Plan for Future Land Use

The Richmond 300 Master Plan recommends Residential land use for the property. This recommendation is for neighborhoods consisting primarily of single-family houses on large- or medium sized lots more homogeneous in nature.

Houses on medium-sized and large-sized lots in a largely auto-dependent environment. Homes are setback from the street. Future developments continue and/or introduce a gridded street pattern to increase connectivity. Future single-family housing, accessory dwelling units, duplexes, and small multi-family residential buildings are built to a scale and design that is consistent with existing buildings.

Neighborhood Outreach

The property owners have reached out to the Windsor Farms Home Owners Association and have received approval from the Association's Architectural Review Committee.

The property owners have also notified surrounding neighbors of their proposal.

City Charter Conditions

We trust that you will agree with us that this proposed Special Use Permits meets the City Charter criteria for the granting of SUPs as the project will not:

- (i) be detrimental to the safety, health, morals and general welfare of the community involved;
- (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved;
- (iii) create hazards from fire, panic or other dangers;
- (iv) tend to be overcrowding of land and cause an undue concentration of population;
- (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or
- (vi) interfere with adequate light and air.

Thank you for your consideration of this Special Use Permit. Please feel free to contact me at lory@markhamplanning.com or (804) 248-2561 if you have any questions or require additional materials to process the application.

Very Truly Yours,

A handwritten signature in black ink, appearing to read "Lory Markham". The signature is fluid and cursive, with the first name "Lory" being more prominent than the last name "Markham".

Lory Markham

Enc: Application form, existing survey, conceptual plans

cc: Richard Saunders, Secretary to the City Planning Commission
The Honorable Andreas D. Addison, 1st District Representative

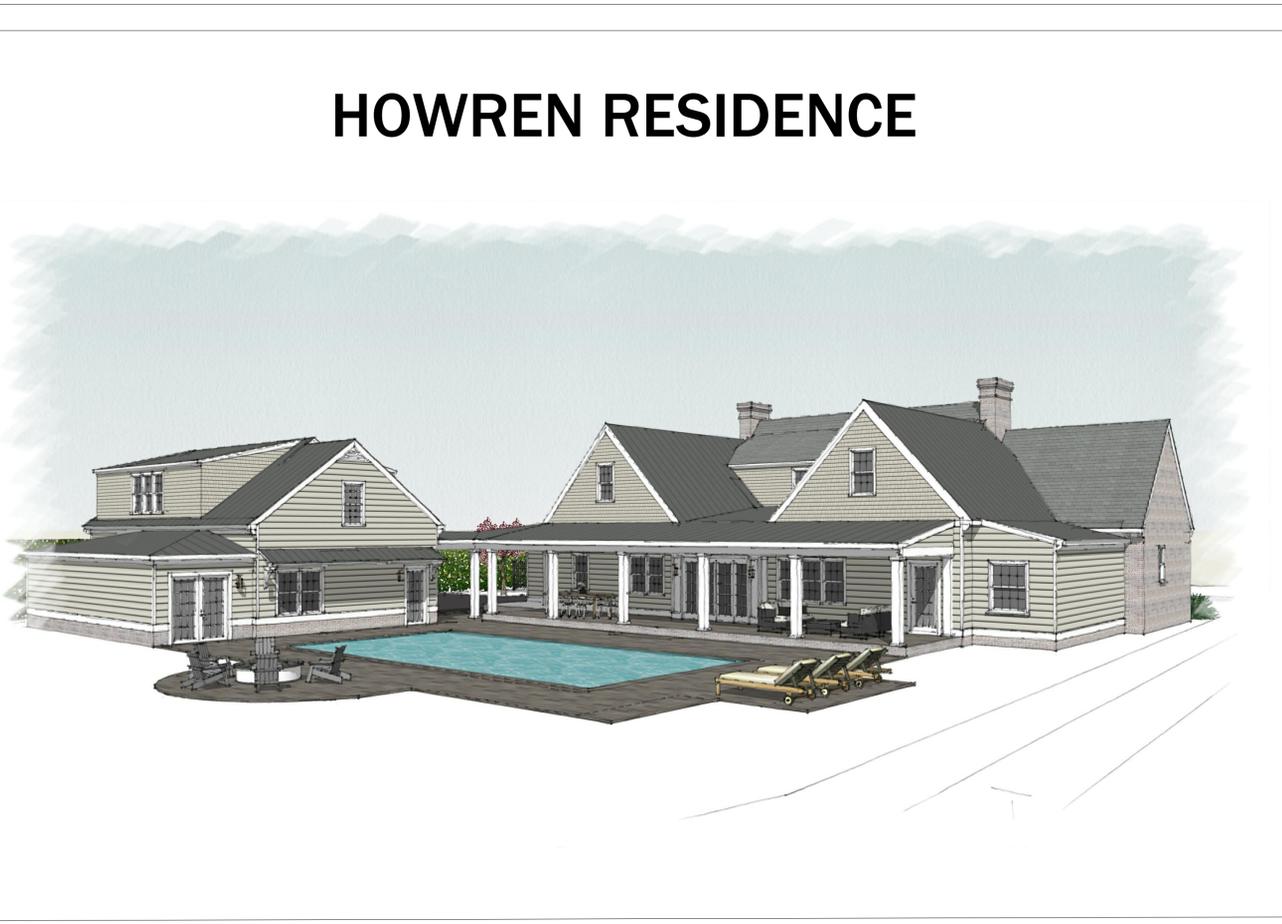
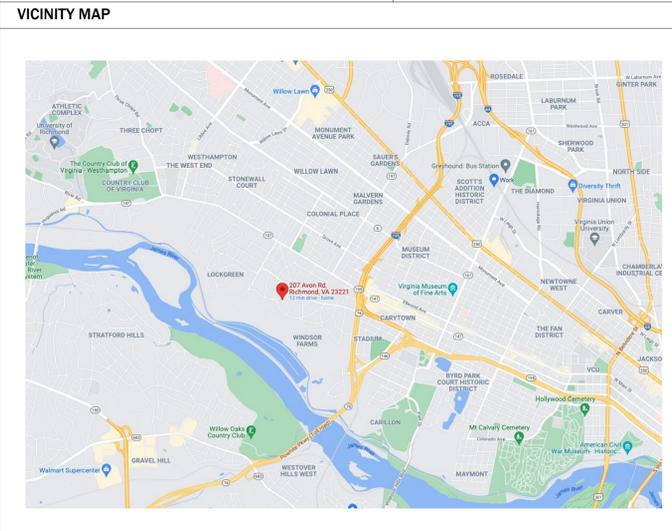
REVISION	DATE
1	
2	
3	

NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' = 0'-0"

PROJECT TEAM	
OWNER	JAY AND JENNY HOWREN
ARCHITECT	MENLO ARCHITECTURE CONTACT: NAME: BYRON KNOWLSON EMAIL: BYRON@MENLOARCHITECTURE.COM PHONE: 804.305.9997
CONTRACTOR	LIONHEAD LLC CONTACT: NAME: DREW MILLER EMAIL: DREW@LIONHEADLLC.COM PHONE: 804.814.0411
INTERIOR DESIGNER	HANOVER AVENUE CONTACT: NAME: LAUREN KNOWLSON EMAIL: LAUREN@HANOVERAVENUE.COM PHONE: 804.514.6582
STRUCTURAL ENGINEER	DUNBAR, MILBY, WILLIAMS PITTMAN VAUGHAN NAME: DONNA ADAMS EMAIL: DADAMS@DMWV.COM PHONE: 804.323.0656

CODE INFORMATION																					
PROJECT ADDRESS	<ul style="list-style-type: none"> 207 AVON ROAD RICHMOND VA 23221 PARCEL ID: W0220264014 																				
ZONING ORDINANCE	<ul style="list-style-type: none"> CITY OF RICHMOND VIRGINIA ZONE: R-1 RESIDENTIAL HEIGHT LIMIT: 																				
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APPLICABLE BUILDING CODES	<ul style="list-style-type: none"> 2018 VIRGINIA UNIFORM STATE WIDE BUILDING CODE (VUSBC) 2018 VIRGINIA RESIDENTIAL CODE (VRC) 																				

SQUARE FOOTAGES		ENERGY DESIGN CRITERIA
<ul style="list-style-type: none"> EXISTING FIRST FLOOR 1,723 SF EXISTING SECOND FLOOR 1,076 SF EXISTING TOTAL (FINISHED) 2,799 SF DEMOLISHED SUN PORCH (203) SF ADDED FIRST FLOOR 2,078 SF ADDED SECOND FLOOR 0 SF TOTAL ADDED SQUARE FOOTAGE (HOUSE) 2,078 SF NEW HOUSE CONDITIONED SQFT 4,674 SF GARAGE UNCONDITIONED FIRST FLOOR 751 SF GARAGE CONDITIONED FIRST FLOOR 609 SF GARAGE CONDITIONED SECOND FLOOR 795 SF GARAGE TOTAL SQUARE FOOTAGE 2,155 SF COVERED PORCHES 934 SF TOTAL CONDITIONED 6,078 SF 		<p>REFERENCE PART IV-ENERGY CONSERVATION, SECTION N1101 OF THE 2018 VIRGINIA RESIDENTIAL CODE</p> <p>CEILING R-VALUE: 49</p> <p>WOOD FRAME WALL R-VALUE: 20</p> <p>MASS WALL R-VALUE: 8/13</p> <p>FLOOR R-VALUE: 19</p> <p>BASEMENT WALL R-VALUE: 10/13</p> <p>SLAB R-VALUE, DEPTH: 10, 2 FEET</p> <p>CRAWL SPACE WALL R-VALUE: 10/13</p> <p>FENESTRATION U-FACTOR: .32</p> <p>SKYLIGHT U-FACTOR: .55</p> <p>GLAZED FENESTRATION SHGC: .40</p>



ABBREVIATIONS	
<p>ABV ABOVE</p> <p>AFF ABOVE FINISH FLOOR</p> <p>ACT ACOUSTICAL TILE</p> <p>ACC ACOUSTICAL</p> <p>ADJ ADJACENT</p> <p>AHU AIR HANDLING UNIT</p> <p>ALUM ALUMINUM</p> <p>AB ANCHOR BOLT</p> <p>APPROX APPROXIMATE</p> <p>AD AREA DRAIN</p> <p>APC ARCHITECTURAL PRECAST CONC.</p> <p>BRG BEARING</p> <p>BLW BELOW</p> <p>BLDG BUILDING</p> <p>BLK BLOCK</p> <p>BLKG BLOCKING</p> <p>BD BOARD</p> <p>BM BEAM</p> <p>BO BOTTOM OF</p> <p>BRK BRICK</p> <p>BTW BETWEEN</p> <p>BUR BUILT UP ROOFING</p> <p>BOW BOTTOM OF WALL</p> <p>CPT CARPET</p> <p>CI CAST IRON</p> <p>CIP CAST IN PLACE</p> <p>CB CEMENT BOARD</p> <p>CLG CEILING</p> <p>CTR CENTER</p> <p>CT CERAMIC TILE</p> <p>CIR CIRCLE</p> <p>CLR CLEAR(ANCE)</p> <p>CLOS CLOSET</p> <p>CO CLEAN OUT</p> <p>COL COLUMN</p> <p>COMP COMPOSITION</p> <p>CONC CONCRETE</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CONST CONSTRUCTION</p> <p>CONT CONTINUOUS OR CONTINUE</p> <p>CLL CONTRACT LIMIT LINE</p> <p>CJ CONTROL JOINT</p> <p>CG CORNER GUARD</p> <p>CORR CORRIDOR</p> <p>CH COUNTER HEIGHT</p> <p>CRS COURSE(S)</p> <p>CF CUBIC FEET</p> <p>CY CUBIC YARD</p> <p>DEPT DEPARTMENT</p> <p>JT JOINT</p> <p>DIA DIAMETER</p> <p>DIM DIMENSION</p> <p>DISP DISPENSER</p> <p>DIV DIVISION</p> <p>DR DOOR</p> <p>DRY DRYER</p> <p>DBL DOUBLE</p> <p>DH DOUBLE HUNG</p> <p>DN DOWN</p> <p>DS DOWNSPOUT</p> <p>DWG DRAWING</p> <p>DF DRINKING FOUNTAIN</p> <p>EA EACH</p> <p>E EAST</p> <p>EJ EXPANSION JOINT</p> <p>ELEC ELECTRICAL</p> <p>ENCV ELECTRIC WATER COOLER</p> <p>ELEV ELEVATOR</p> <p>EMER EMERGENCY</p> <p>ENCL ENCLOSE(SURE)</p>	<p>EP EQUIP</p> <p>EST ESTIMATE</p> <p>EXH EXHAUST</p> <p>EXTG EXISTING</p> <p>(E) EXISTING DIMENSIONS</p> <p>EXP EXPOSED</p> <p>EXT EXTERIOR</p> <p>EIFS EXTERIOR INSULATION FINISH SYSTEM</p> <p>FOC FACE OF CONCRETE</p> <p>FOM FACE OF MASONRY</p> <p>FOS FACE OF STUDS</p> <p>FIN FINISH FLOOR ELEVATION</p> <p>FT FINISH(ED)</p> <p>FIXT FIXTURE</p> <p>FCU FAN COIL UNIT</p> <p>FE FIRE EXTINGUISHER</p> <p>FEC FIRE EXTINGUISHER CABINET</p> <p>FA FIRE ALARM</p> <p>FLR FLOOR(ING)</p> <p>FD FLOOR DRAIN</p> <p>FLOU FLOURESCENT</p> <p>FT FOOT OR FEET</p> <p>FT FOOTING</p> <p>FND FOUNDATION</p> <p>GA GAUGE</p> <p>GALV GALVANIZED</p> <p>GC GENERAL CONTRACT(OR)</p> <p>GL GLASS/GLAZING</p> <p>GLB GLASS BLOCK</p> <p>GCMU GLAZED CMU</p> <p>GR GRADE</p> <p>GRNT GRANITE</p> <p>GFCMU GROUND FENCE CMU</p> <p>GFCI GROUND FAULT CIRCUIT</p> <p>GPDW GYPSUM DRYWALL</p> <p>HDW HARDWARE</p> <p>HTG HEATING</p> <p>HVAC HEATING VENTING AIR</p> <p>HGT HEIGHT</p> <p>HM HOLLOW METAL</p> <p>HORIZ HORIZONTAL</p> <p>HOSE BIB</p> <p>HR HOUR</p> <p>INCL INCLUDE</p> <p>ID INSIDE DIAMETER</p> <p>INSUL INSULATION</p> <p>INT INTERIOR</p> <p>JAN JANITOR</p> <p>JAN JANITOR CLOSET</p> <p>JOINT</p> <p>RECEP RECEPTACLE</p> <p>RFL REFLECT(ED)</p> <p>REFR REFRIGERATOR</p> <p>REIN REINFORCED</p> <p>REQ REQUIRED</p> <p>RESIL RESILIENT</p> <p>RH RIGHT HAND</p> <p>RND ROUND</p> <p>RM ROOM</p> <p>RL RAIN LEADER</p> <p>RO ROUGH OPENING</p> <p>RO SELF ADHERED FLASHING</p> <p>SCHED SCHEDULE</p> <p>SFCMU SPLIT FACE CMU</p> <p>SLNT SEALANT</p> <p>SECT SECTION</p> <p>SHT SHEET</p> <p>SIM SIMILAR</p> <p>S SOUTH</p> <p>SC SOLID CORE</p> <p>SD SMOKE DETECTOR</p>

GENERAL NOTES	
<ol style="list-style-type: none"> ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES & ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC). IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR SHALL NOT PROCEED WITH THE EFFECTED WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THIS SHALL SPECIFICALLY INCLUDE ON-SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, IT SHALL SPECIFICALLY INCLUDE THE PROTECTION OF ANY EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT. THE CONTRACTOR SHALL NOTIFY THE DESIGNER ARCHITECT OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN ANY AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED. THE CONTRACTOR SHALL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR SHALL ALSO PROVIDE A PROFESSIONAL CLEANING AT PROJECT COMPLETION. SEE SPECIFICATIONS FOR REQUIREMENTS. WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR USING NECESSARY PRECAUTIONS DURING WORK AND / OR DISPOSAL. IF UNFORESEEN SUSPECT MATERIALS ARE UNCOVERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL STOP WORK IN THE AREA IMMEDIATELY AND NOTIFY THE ARCHITECT. ALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK, AS REQUIRED, TO BE COMPLETED BY LICENSED CONTRACTOR IN THEIR RESPECTIVE TRADES. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE PERMITS AS NECESSARY FROM THE MUNICIPALITY HAVING JURISDICTION 	
SYMBOLS	
<p>DRAWING TITLE 1 DRAWING NAME</p> <p>DRAWING SCALE</p> <p>ELEVATION KEY</p> <p>SECTION KEY</p> <p>INTERIOR ELEVATION KEY</p> <p>ELEVATION TAG</p>	<p>ROOM NAME, NUMBER & FINISH</p> <p>WINDOW TAG</p> <p>DOOR TAG</p> <p>CENTER LINE</p> <p>STEP ELEVATION (PLAN)</p> <p>WALL TYPE</p> <p>REVISION BUBBLE TAG</p>

DRAWING LIST				
SHEET #	DRAWING TITLE	PROGRESS 09/15/21	PERMIT 12/06/21	
A0.0	PROJECT INFORMATION	X	X	
A0.1	SITE PLAN	X	X	
D1.0	DEMOLITION PLANS	X	X	
S1.0	BRACED WALL PANEL CALCS & GEN. STRUCT. NOTES		X	
A1.0	FLOOR PLAN - HOUSE FOUNDATION	X	X	
A1.1	FLOOR PLAN - HOUSE FIRST FLOOR	X	X	
A1.2	FLOOR PLAN - HOUSE SECOND FLOOR	X	X	
A1.3	FLOOR PLAN - HOUSE ROOF PLAN	X	X	
A1.4	FLOOR PLAN - GARAGE FOUNDATION & FIRST FLOOR	X	X	
A1.5	FLOOR PLAN - GARAGE SECOND FLOOR & ROOF PLAN	X	X	
A2.0	BUILDING ELEVATIONS - HOUSE	X	X	
A2.1	BUILDING ELEVATIONS - HOUSE	X	X	
A2.2	BUILDING ELEVATIONS - GARAGE	X	X	
A3.0	BUILDING SECTIONS	X	X	
A3.1	BUILDING SECTIONS	X	X	
A3.2	BUILDING SECTIONS	X	X	
A4.0	WALL SECTIONS			
A4.1	WALL SECTIONS			
A4.2	WALL SECTIONS			
A6.0	INTERIOR ELEVATIONS	X	X	
A6.1	INTERIOR ELEVATIONS	X	X	
A6.2	INTERIOR ELEVATIONS	X	X	
A6.3	INTERIOR ELEVATIONS	X	X	
A6.4	INTERIOR ELEVATIONS	X	X	
A6.5	INTERIOR ELEVATIONS		X	
A6.6	INTERIOR ELEVATIONS		X	
A9.0	SCHEDULES - DOORS & WINDOWS	X	X	
A9.0	SCHEDULES - FINISHES, PLUMBING, APPLIANCES	X	X	
E1.0	ELECTRICAL & LIGHTING PLAN - FIRST FLOOR HOUSE	X	X	
E1.1	ELECTRICAL & LIGHTING PLAN - SECOND FLOOR HOUSE	X	X	
E1.2	ELECTRICAL & LIGHTING PLAN - GARAGE	X	X	

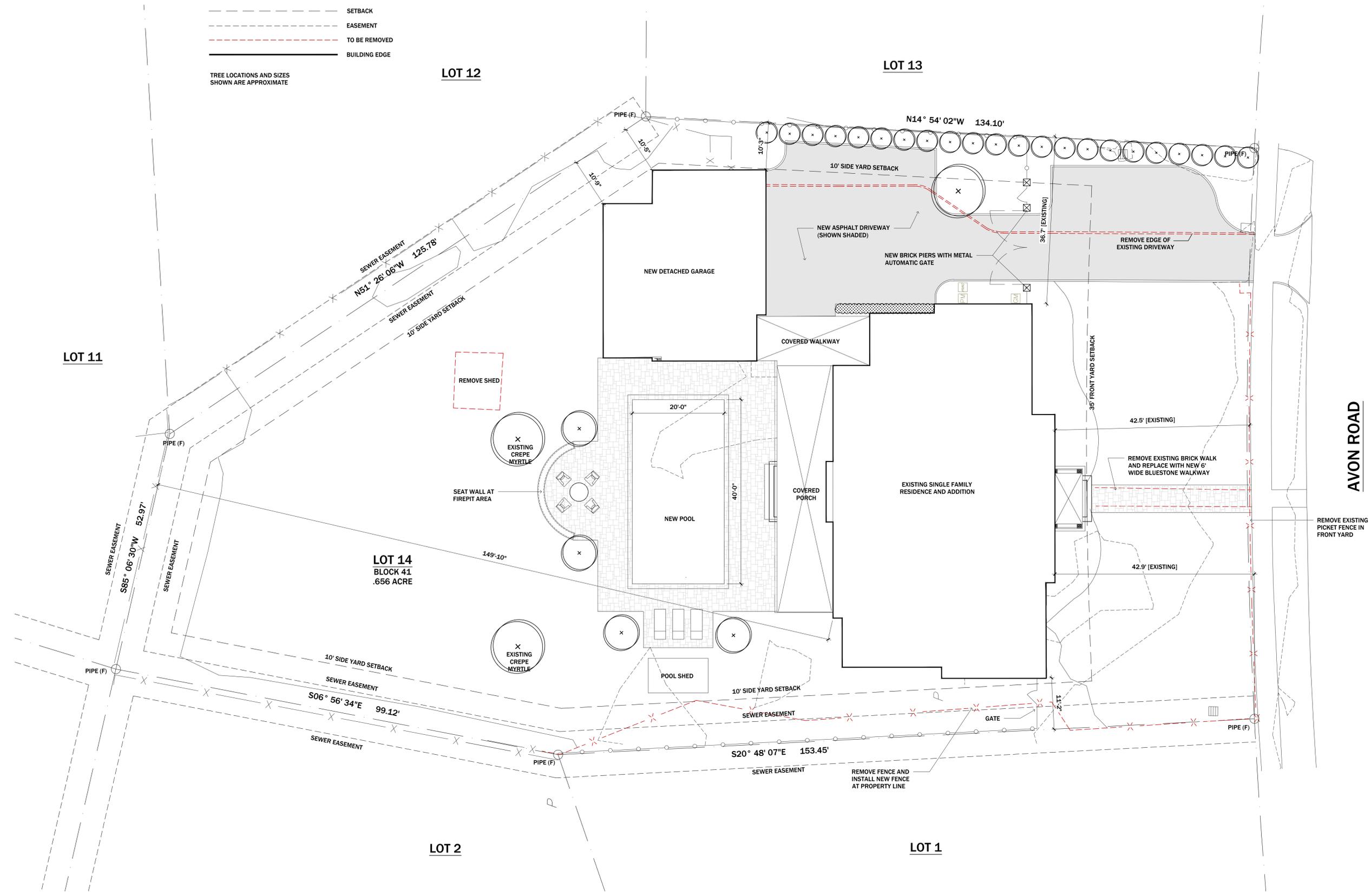
REVISION	DATE
1	
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3	

NOTES:
 1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
 2. HOUSE DATUM: X.X' = 0'-0"

LEGEND

- PROPERTY LINE
- - - SETBACK
- - - EASEMENT
- - - TO BE REMOVED
- BUILDING EDGE

TREE LOCATIONS AND SIZES SHOWN ARE APPROXIMATE



AVON ROAD

REMOVE EXISTING PICKET FENCE IN FRONT YARD

LEGEND

-  EXISTING WALL TO REMAIN
-  NEW WALL
-  CMU
-  BRICK VENEER

GENERAL CONSTRUCTION NOTES

1. DIMENSIONS WHERE SHOWN ARE TO FACE OF CONCRETE, MASONRY OR STUD UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS OF EXISTING WALLS. NOTIFY ARCHITECT OF DISCREPANCIES, MAINTAIN ALL CLEAR DIMENSIONS.
2. ALL MATERIALS AND PRODUCTS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
3. ALL WORK SHALL BE IN ACCORDANCE WITH ANY APPLICABLE BUILDING CODES

KEY NOTES

- ① TBD

GARAGE LINTEL SCHEDULE

- GL1 (3) 2X6 VERTICAL W/ (1) JS, (2) KS
- GL2 (3) 2X8 VERTICAL W/ (1) JS, (3) KS
- GL3 (3) 1 3/4" X 11 1/4" LVL WITH (3) JS, (4) KS
- GL4 (3) 2X6 WITH (1) JS, (1) KS
- GL5 (3) 1 3/4" X 7 1/4" LVL (3) JS, (1) KS

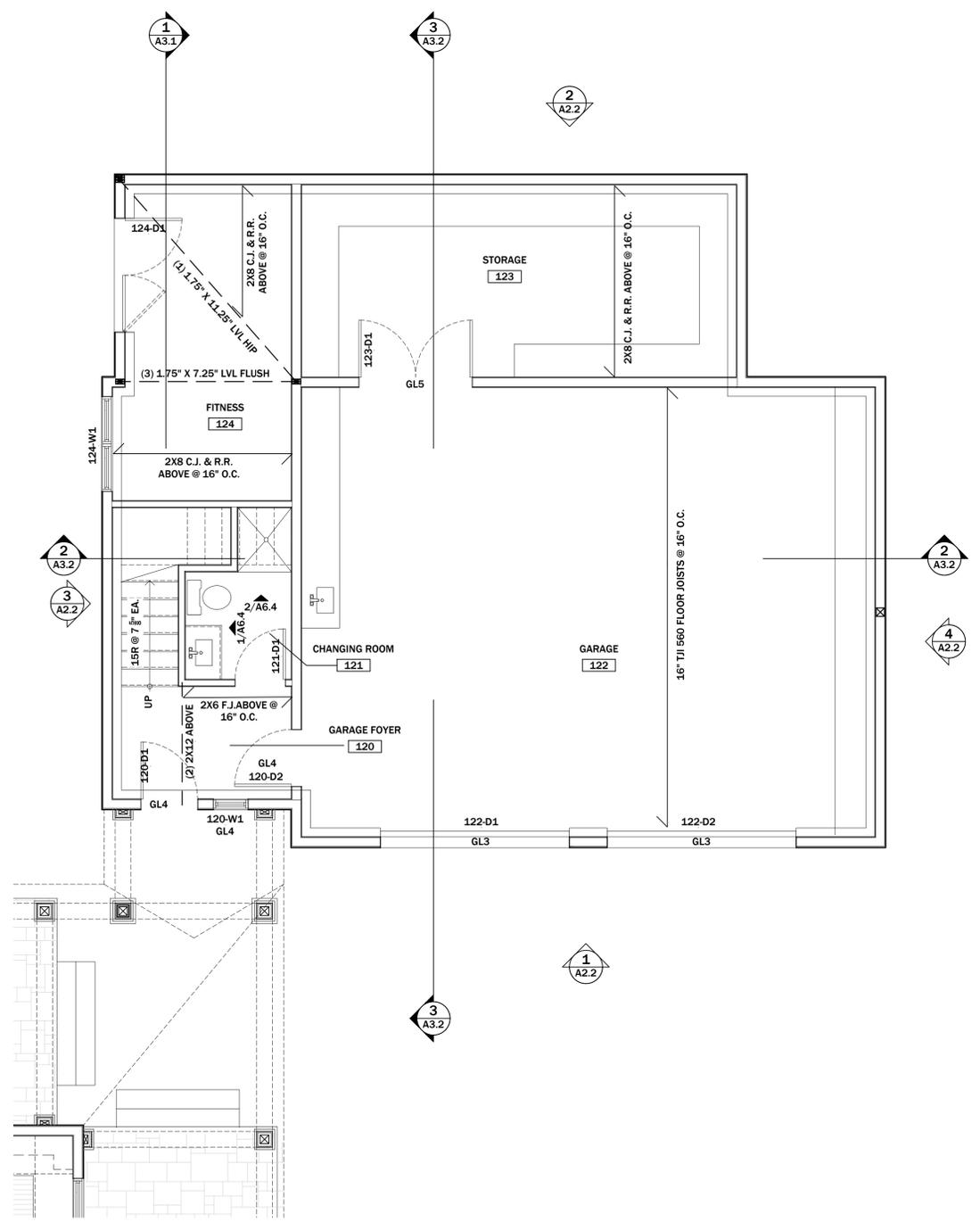
PROJECT
HOWREN RESIDENCE

207 AVON ROAD
RICHMOND, VA 23221

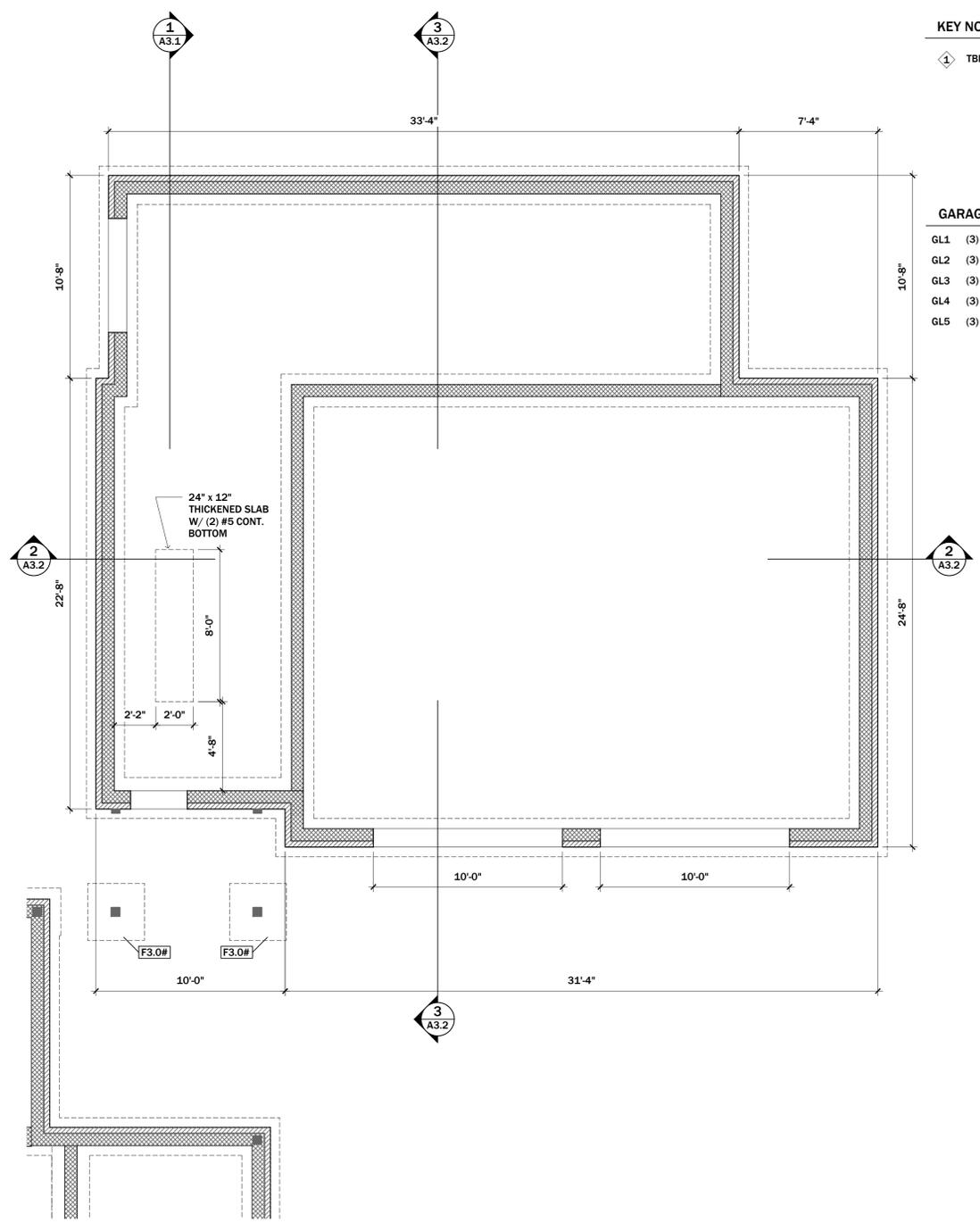
PERMIT SET
DECEMBER 06 2021

REVISION	DATE
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NOTES:
 1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
 2. HOUSE DATUM: X.X' = 0'-0"



GARAGE FIRST FLOOR ②
1/4" = 1'-0"



GARAGE FOUNDATION PLAN ①
1/4" = 1'-0"

GARAGE FOUNDATION AND FIRST FLOOR PLAN

LEGEND

-  EXISTING WALL TO REMAIN
-  NEW WALL

GENERAL CONSTRUCTION NOTES

1. DIMENSIONS WHERE SHOWN ARE TO FACE OF CONCRETE, MASONRY OR STUD UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS OF EXISTING WALLS. NOTIFY ARCHITECT OF DISCREPANCIES, MAINTAIN ALL CLEAR DIMENSIONS.
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GARAGE LINTEL SCHEDULE

- GL1 (3) 2X6 VERTICAL W/ (1) JS, (2) KS
- GL2 (3) 2X8 VERTICAL W/ (1) JS, (3) KS
- GL3 (3) 1 3/4" X 11 1/4" LVL WITH (3) JS, (4) KS
- GL4 (3) 2X6 WITH (1) JS, (1) KS
- GL5 (3) 1 3/4" X 7 1/4" LVL (3) JS, (1) KS

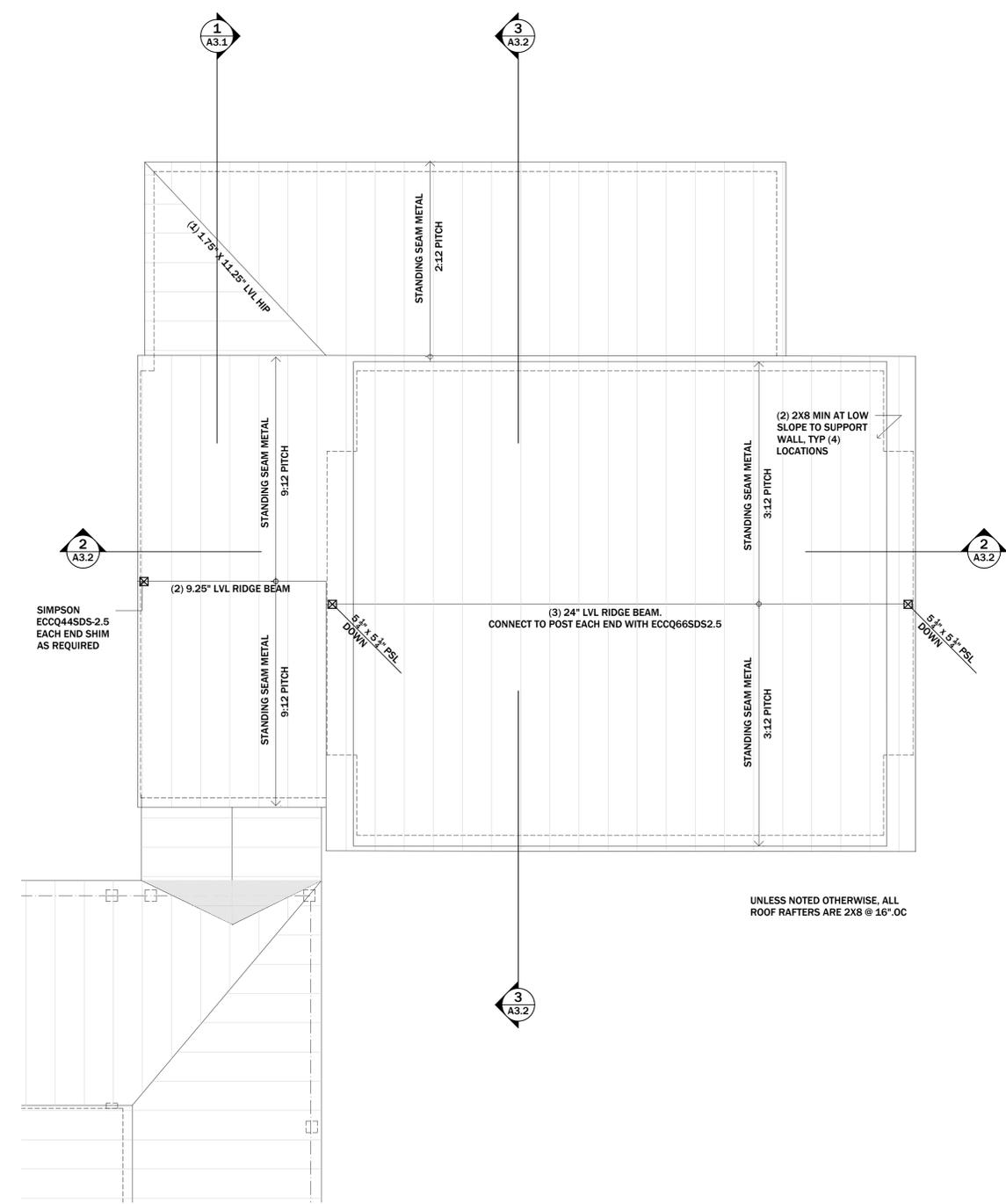
PROJECT
HOWREN RESIDENCE

207 AVON ROAD
RICHMOND, VA 23221

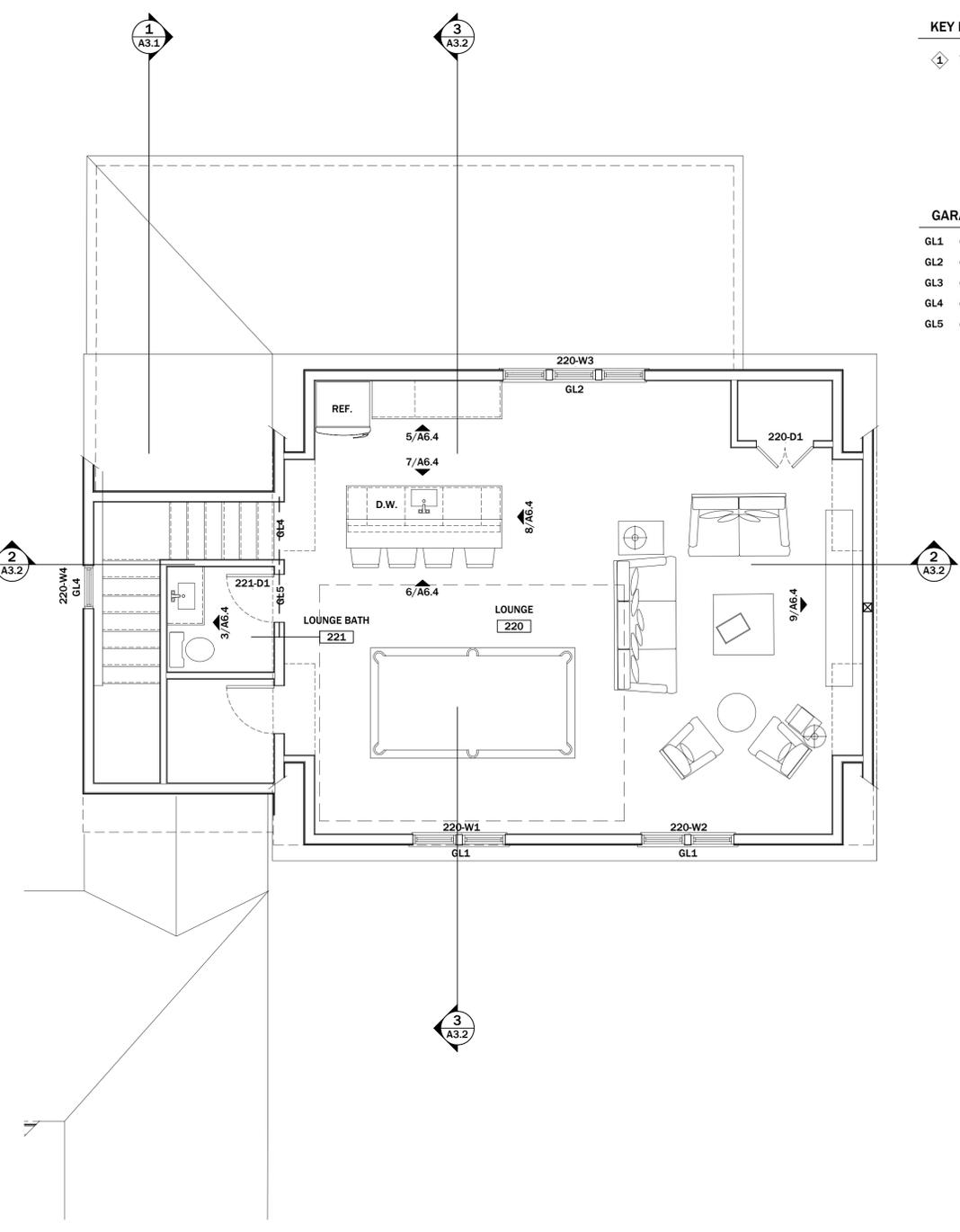
PERMIT SET
DECEMBER 06 2021

REVISION	DATE
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NOTES:
 1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
 2. HOUSE DATUM: X.X' = 0'-0"



GARAGE ROOF PLAN ②
1/4" = 1'-0"



GARAGE SECOND FLOOR PLAN ①
1/4" = 1'-0"

GARAGE SECOND FLOOR AND ROOF PLAN

EXTERIOR MATERIAL KEY

- 01 HARDIE SHINGLE (JAMES HARDIE)
- 02 HARDIE PLAN (JAMES HARDIE)
- 03 COMPOSITE SKIRT BOARD, PAINTED
- 04 BRICK (NEW TO MATCH EXISTING)
- 05 STANDING SEAM METAL ROOF (COLOR TBD)
- 06 SLATE ROOF (TO MATCH EXISTING)
- 07 COMPOSITE TRIM (PAINTED)
- 08 COMPOSITE COLUMN WRAP (PAINTED)
- 09 COPPER GUTTER / DOWNSPOUT
- 10 EXISTING BRICK
- 11 STONE FLOORING
- 12 WOOD BRACKET

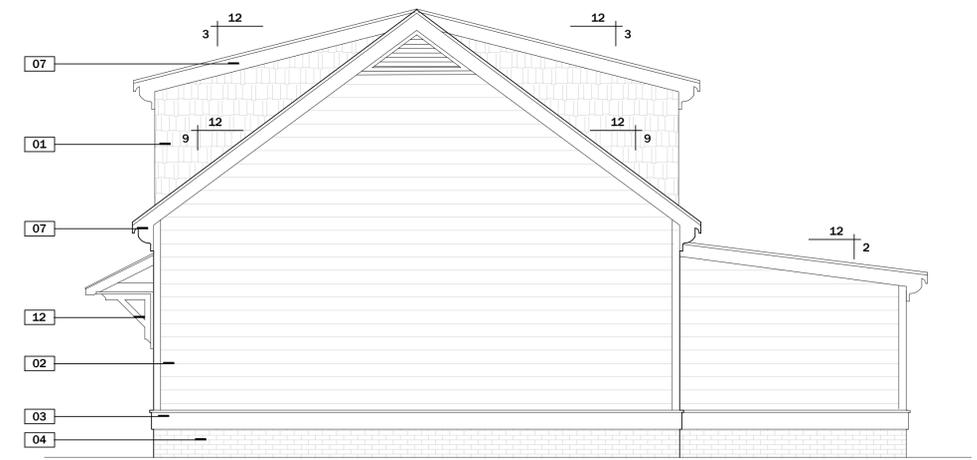
PROJECT
HOWREN RESIDENCE

207 AVON ROAD
RICHMOND, VA 23221

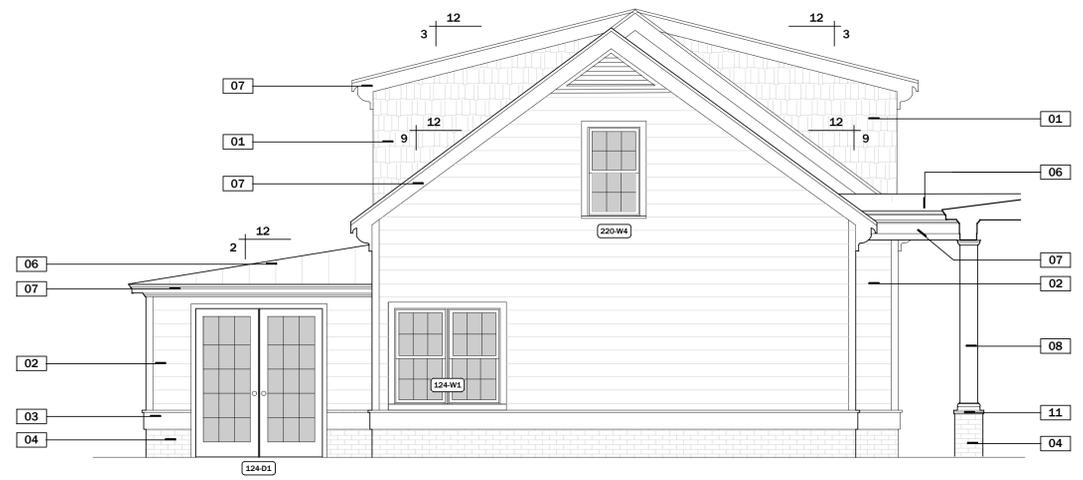
PERMIT SET
DECEMBER 06 2021

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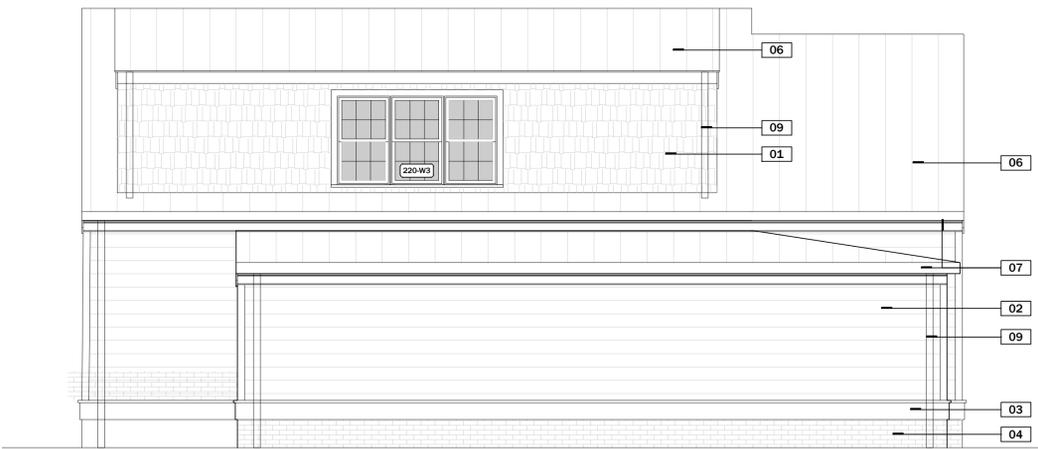
NOTES:
 1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
 2. HOUSE DATUM: X.X' = 0'-0"



SOUTHWEST [SIDE] ELEVATION 4
1/4" = 1'-0"



NORTHEAST [SIDE] ELEVATION 3
1/4" = 1'-0"



SOUTHEAST [REAR] ELEVATION 2
1/4" = 1'-0"



NORTHWEST [FRONT] ELEVATION 1
1/4" = 1'-0"



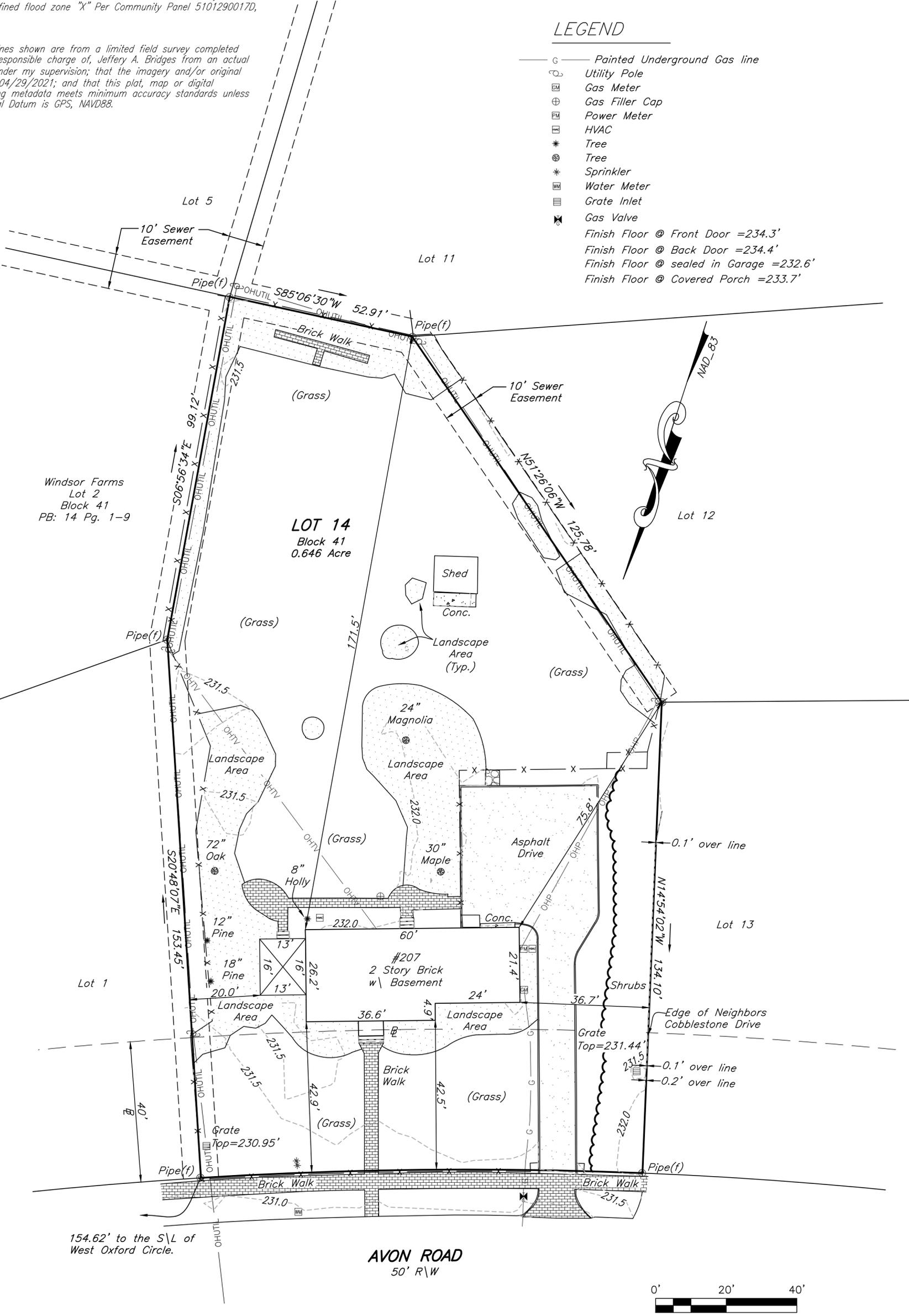
EXTERIOR ELEVATIONS - GARAGE

This is to certify that this plat or map was prepared under my direction from an actual field survey without the benefit of a title report. Unless otherwise noted, to the best of my knowledge and belief all visible evidence of improvements, easements and apparent encroachments are shown hereon. Not all easements may be shown. Property is in FEMA Defined flood zone "X" Per Community Panel 5101290017D, dated April 02, 2009.

The existing contours lines shown are from a limited field survey completed under the direct and responsible charge of, Jeffery A. Bridges from an actual Ground Survey made under my supervision; that the imagery and/or original data was obtained on 04/29/2021; and that this plat, map or digital geospatial data including metadata meets minimum accuracy standards unless otherwise noted. Vertical Datum is GPS, NAVD88.

LEGEND

- Painted Underground Gas line
 - Utility Pole
 - Gas Meter
 - Gas Filler Cap
 - Power Meter
 - HVAC
 - Tree
 - Tree
 - Sprinkler
 - Water Meter
 - Grate Inlet
 - Gas Valve
- Finish Floor @ Front Door =234.3'
 Finish Floor @ Back Door =234.4'
 Finish Floor @ sealed in Garage =232.6'
 Finish Floor @ Covered Porch =233.7'



CURRENT OWNER:
 ANDREW F & CHERYL D. WALKER
 PARCEL ID: W022-0264-014
 INST: ID2004-25501
 #207 AVON ROAD



TOPOGRAPHIC AND IMPROVEMENTS SURVEY ON
 LOT 14, BLOCK 41,
 WINDSOR FARMS
 CITY OF RICHMOND, VIRGINIA

PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
 ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
 15871 City View Drive, Suite 200 / Midlothian, Virginia 23113 / Phone (804) 794-0571 / www.balzer.cc



RE: Jay & Jenny Howren
 DATE: 04/29/2021
 SCALE: 1"=20'
 JOB NO.: 55210154.MS
 DRAWN BY: DAD
 CHECKED BY: JAB