



DEPARTMENT OF  
**PLANNING AND  
DEVELOPMENT  
REVIEW**

**BOARD OF  
ZONING APPEALS**

April 9, 2026

Noah & Casey Freeman  
1603 Oakwood Avenue  
Richmond, VA 23223

To Whom It May Concern:

**RE: BZA 12-2026**

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, May 6, 2026 at 1:00 PM** in the 5<sup>th</sup> Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a certificate of zoning compliance to construct a one-story detached structure accessory to an existing single-family (detached) dwelling at 1603 OAKWOOD AVENUE (Tax Parcel Number E000-1542/009), located in an R-5 (Single-Family Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **335 778 747#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2026 drop-down, click meeting details for May 6, 2026 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at [Chuck.Davidson@rva.gov](mailto:Chuck.Davidson@rva.gov) for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 12-2026  
Page 2  
April 9, 2026

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in cursive script that reads "Roy W. Benbow".

Roy W. Benbow, Secretary  
Phone: (804) 240-2124  
E-mail: [Roy.Benbow@rva.gov](mailto:Roy.Benbow@rva.gov)

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

1518 N 35th St Llc  
5713 10th Rd N Apt 105  
Arlington, VA 22205

1609 Oakwood Llc  
111 N 28th St  
Richmond, VA 23233

Allison Cynether E  
1525 Oakwood Avenue  
Richmond, VA 23223

Arrived Genesis Properties Llc  
1 West Mountain St #109  
Fayetteville, AR 72701

Brehon Kimberly J  
4413 Burgess House Ln  
Richmond, VA 23236

Cherry Debinese Emonee  
1514 1/2 N 35th St  
Richmond, VA 23223

Claiborne Mary Alexander  
1533 Oakwood Ave  
Richmond, VA 23223

Claiborne Mary Liza & Major Jr & Johnny J  
& Major Iii  
1504 N 35th St  
Richmond, VA 23223

Cohen Gillian R  
1510 N 35th St  
Richmond, VA 23223

Cox Michael W And Lakesa  
7420 Wellington Woods Rd  
Richmond, VA 23231

Daniels Spence B  
1514 N 35th St  
Richmond, VA 23223

El-amin Gilbert S  
1536 Oakwood Ave  
Richmond, VA 23223

Fair Dominique M  
1506 N 35th St  
Richmond, VA 23223

Haver Douglas E  
111 N 28th St  
Richmond, VA 23223

Hennessee Zachary And Herlihy Sheila  
1605 Oakwood Ave  
Richmond, VA 23228

Highsmith Najjee K  
1527 Oakwood Ave  
Richmond, VA 23223

Mcclan Mary C/o Leroy A Mcclan Jr Poa  
2724 George Dr  
Chesapeake, VA 23323

Metzinger Cory Thomas And Foss  
Michael J  
1532 Oakwood Ave  
Richmond, VA 23223

Mitchell Shannon C  
1512 N 35th St  
Richmond, VA 23223

Oakwood Hebrew Cemetery Assoc  
9206 Lyndonway Dr  
Richmond, VA 23229

Oakwood Monument Co  
1613 Oakwood Ave  
Richmond, VA 23223

Ogando Maureen Georgina  
1508 N 35th St  
Richmond, VA 23223

Olson Gregory Joseph And Kelli Lyn  
1522 N 35th St  
Richmond, VA 23223

Poteat Joshua  
1601 Oakwood Ave  
Richmond, VA 23223

Proserpio John Robert  
1516 N 35th St  
Richmond, VA 23223

Smith Dylan And Amber  
318 N 32nd St Apt A  
Richmond, VA 23223

Smith Lonnie L Jr & Ray N Sr&donald C  
&lola Corbin& Jacqueline Winfrey  
1530 Oakwood Ave  
Richmond, VA 23223

Williams Earl P Iii  
1531 Oakwood Ave  
Richmond, VA 23223

Wright Frederica Penny  
1529 Oakwood Ave  
Richmond, VA 23223

### City of Richmond, VA Report

Property Owner	
<b>Name:</b>	FREEMAN NOAH A & CASEY HANNAH E
<b>Mailing Address:</b>	1603 Oakwood Ave Richmond, VA 23223
<b>Parcel Use:</b>	R Two Story
<b>Neighborhood:</b>	342

Property Information	
<b>Property Address:</b>	1603 Oakwood Ave
<b>PIN</b>	E0001542009
<b>Size:</b>	0.063 Acres, 2739.000 Square Feet
<b>Property Description:</b>	0022.00X0124.50 0000.000

Current Assessment			
Year	Land	Improvements	Total
2026	\$55,000	\$346,000	\$401,000

Deed Transfers					
Recordation Date	Book	Page	Deed Type	Consideration	Grantee
4/18/2025	ID2025	6024	BS	\$450,000	FREEMAN NOAH A &
2/28/2024	ID2024	2919	BS	\$207,500	JENNINGS FAMILY INVESTMENTS LLC
1/23/2024	IW2024	45	LH	\$0	HASKINS PATRICIA &
4/2/1991	00263	0789	N/A	\$36,000	FOX WADDELL M & NANNIE J
2/25/1985	000032	00001	N/A	\$21,500	Not Available
6/4/1984	000007	00582	N/A	\$0	Not Available
11/23/1965	000000	00000	N/A	\$9,000	Not Available
1/1/1900	000000	00000	N/A	\$9,000	Not Available

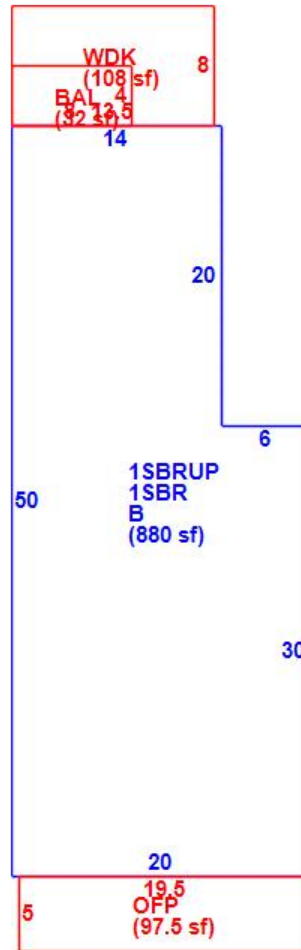
Residential Card 1 Details			
Story	Style	Total Liv	Year Built
2.0	2sty Oldest	1,760	1925

<b>Model:</b>	RESIDENTIAL	<b>Rooms:</b>	<b>Beds:</b> 3
<b>Interior Wall:</b>	Plaster	<b>Bathrooms:</b>	<b>Full:</b> 2 <b>Half:</b> 1
<b>Interior Wall 2:</b>		<b>Central AC:</b>	Central air
<b>Exterior Wall:</b>	Common Brick	<b>Heat/Cool:</b>	Heat Pump
<b>Exterior Wall 2:</b>	Masonry	<b>Floor Cover:</b>	Hardwood
<b>Roof Type:</b>	Flat or Shed	<b>Floor Cover 2:</b>	Tile, ceramic or quarry
<b>Roof Cover:</b>	Single-ply reinforced sheet	<b>Floor Cover 3:</b>	N/A

**Residential Card 1 Photo**



**Residential Card 1 Sketch**



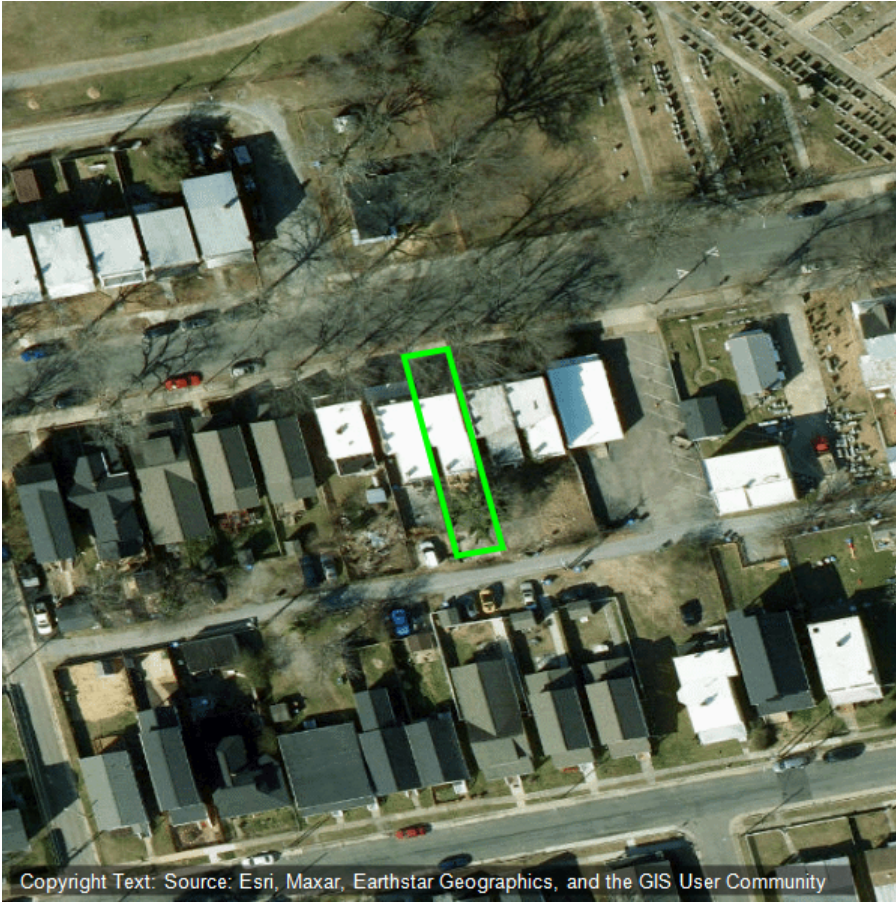
## Building Sub-Areas (sq ft)

Code	Description	Gross Area	Living Area
1SBR	1 Story Brick - Fin	880	880
1SBRUP	1 Story Brick - Upper - Fin	880	880
B	Bsmt	880	0
BAL	Balcony	32	0
OPF	Porch - Open - Frame	98	0
WDK	Deck - Wood	108	0
<b>Totals</b>	<b>2,878</b>	<b>1,760</b>	

## Assessment History

Year	Land	Improvements	Total
2025	\$55,000	\$323,000	\$378,000
2024	\$55,000	\$178,000	\$233,000
2023	\$55,000	\$171,000	\$226,000
2022	\$45,000	\$165,000	\$210,000
2021	\$30,000	\$143,000	\$173,000
2020	\$30,000	\$141,000	\$171,000
2019	\$25,000	\$125,000	\$150,000
2018	\$20,000	\$120,000	\$140,000
2017	\$20,000	\$118,000	\$138,000
2016	\$20,000	\$76,000	\$96,000
2015	\$20,000	\$78,000	\$98,000
2014	\$20,000	\$78,000	\$98,000
2013	\$20,000	\$78,000	\$98,000
2012	\$20,000	\$85,000	\$105,000
2011	\$20,000	\$94,000	\$114,000
2010	\$20,000	\$94,000	\$114,000
2009	\$20,000	\$94,000	\$114,000
2008	\$20,000	\$94,000	\$114,000
2007	\$18,000	\$95,900	\$113,900
2006	\$8,000	\$105,900	\$113,900
2005	\$5,000	\$47,500	\$52,500

## Map



**Not a Legal Document**

Subject to terms and conditions  
[www.actDataScout.com](http://www.actDataScout.com)

**RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM**



**THE RICHMOND ZONING ADMINISTRATION OFFICE  
ROOM 110, CITY HALL, 900 EAST BROAD STREET  
RICHMOND, VIRGINIA 23219  
(804) 646-6340**

**TO BE COMPLETED BY THE APPLICANT**

PROPERTY 1603 Oakwood Avenue PHONE: (Home) \_\_\_ (Mobile) 860-604-9804  
 OWNER: Noah A & Casey Hannah E Freeman FAX: (Home) \_\_\_\_\_  
 (Name/Address) 1603 Oakwood Avenue E-mail : \_\_\_\_\_  
Richmond, VA 23233  
 OWNER'S Same PHONE: (Home) \_\_ (Mobile) \_\_\_\_\_  
 REPRESENTATIVE \_\_\_\_\_ FAX: \_\_\_\_\_ (Home) ( ) \_\_\_\_\_ (Mobile)  
 (Name/Address) \_\_\_\_\_ E-mail: \_\_\_\_\_

**TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE**

PROPERTY ADDRESS (ES): 1603 Oakwood Avenue  
 TYPE OF APPLICATION:  VARIANCE  SPECIAL EXCEPTION  OTHER \_\_\_\_\_  
 ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-410.6  
 APPLICATION REQUIRED FOR: A zoning permit to construct a one-story detached structure (shed) accessory to a single-family detached dwelling  
 TAX PARCEL NUMBER(S): E000-1542/009 ZONING DISTRICT: R-5 (Single Family Residential)  
 REQUEST DISAPPROVED FOR THE REASON THAT: The lot coverage requirement is not met. For zoning purposes, lot coverage of 35% or less is required; 40% (+/-) lot coverage proposed per submitted plans.  
 DATE REQUEST DISAPPROVED: 2/18/2026 FEE WAIVER:  YES  NO  
 DATE FILED: 2/23/2025 TIME FILED: 9:24 am PREPARED BY: Delva Daley RECEIPT NO. BZAR-182812-2026  
 AS CERTIFIED BY: [Signature] (ZONING ADMINSTRATOR)

I BASE MY APPLICATION ON:  
 SECTION 17.20 PARAGRAPH(S) \_\_\_\_\_ OF THE CHARTER OF THE CITY OF RICHMOND  
 SECTION 15.2 -2309.2  OF THE CODE OF VIRGINIA [OR]  
 SECTION 1040.3 PARAGRAPH(S) (1) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

**TO BE COMPLETED BY APPLICANT**

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*   
 I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.  
 SIGNATURE OF OWNER OR AUTHORIZED AGENT: Noah Freeman DATE: 04/01/2026

**\*\*\* TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS \*\*\***

CASE NUMBER: BZA 12-2026 HEARING DATE: May 6, 2026 AT 1:00 P.M.

BOARD OF ZONING APPEALS CASE BZA 12-2026  
150' Buffer

APPLICANT(S): Noah & Casey Freeman

PREMISES: 1603 Oakwood Avenue  
(Tax Parcel Number E000-1542/009)

SUBJECT: A certificate of zoning compliance to construct a one-story detached structure accessory to an existing single-family (detached) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-410.6 of the Zoning Ordinance for the reason that:  
The lot coverage requirement is not met.





## BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at [PDRZoningAdministration@Richmondgov.com](mailto:PDRZoningAdministration@Richmondgov.com). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. [The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.](#)
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

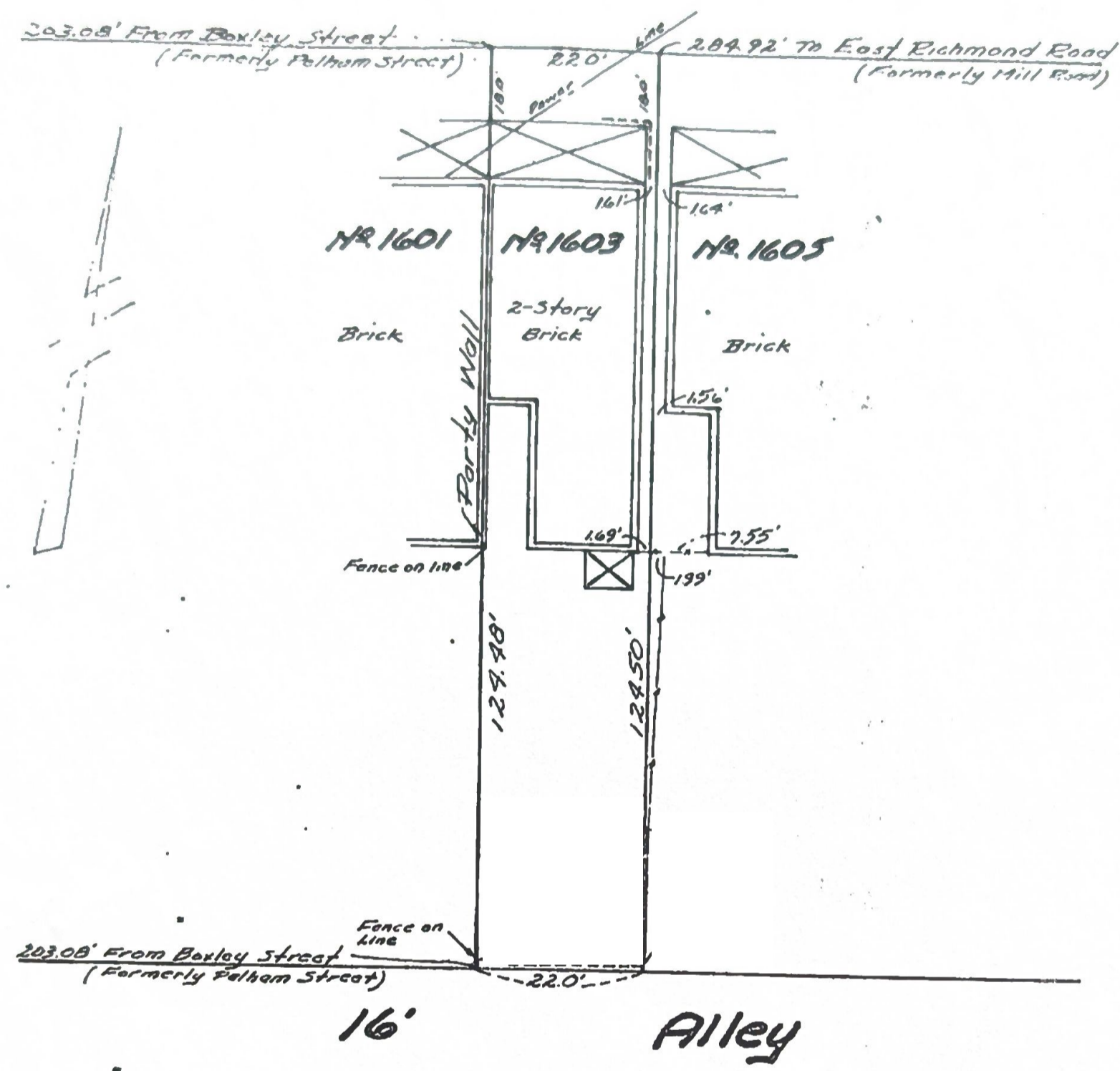
**Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).**

4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing.** The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent:

*Noah Freeman*

# OAKWOOD AVENUE



Plat of Property  
Situated on the Southern  
Line of Oakwood Avenue  
and West of East Richmond  
Road.

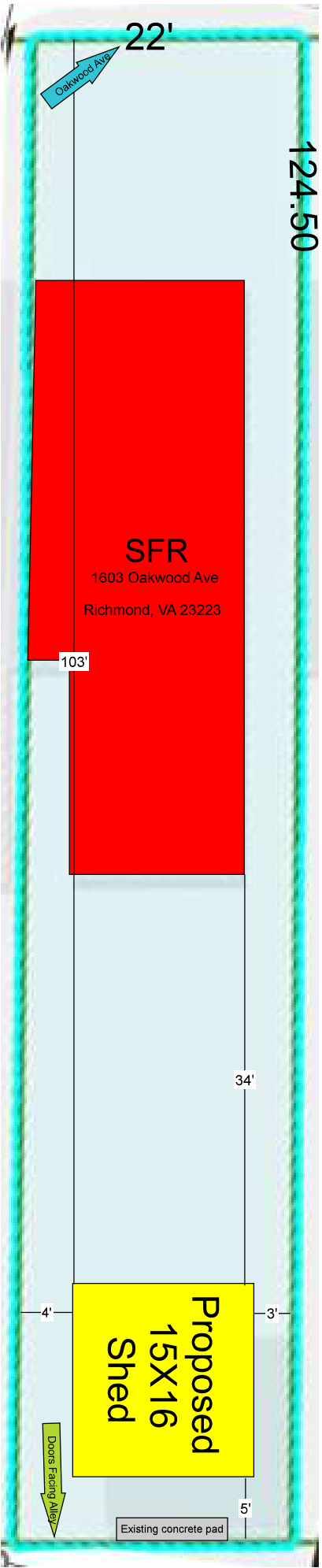
Richmond, Va.

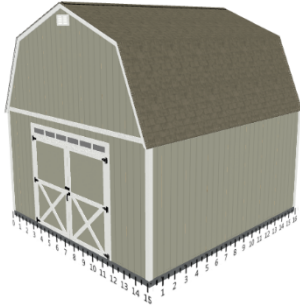
Sept 4, 1956.

Scale 1"=20'

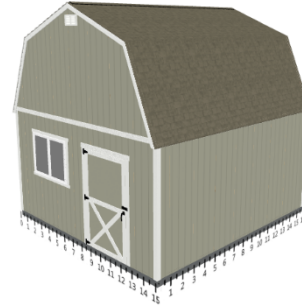
Chas. H. Fleet & Assocs.

Civil Engr. & Surveyors.



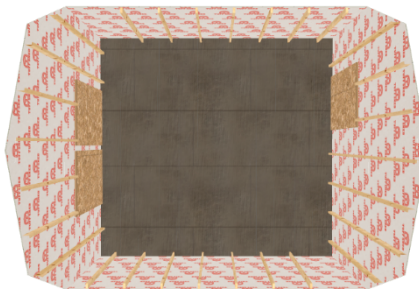


Wall A



Wall C

Wall D



Wall B

### Base Details/Permit Details

#### **Building Size & Style**

TB-800 - 15' wide by 16' long

#### **Door**

4' x 6'7" Single Shed Door, Left Hinge Placement, LowerX, Decorative Door Hardware, Security Package

#### **Paint Selection**

Base: Smoky Slate, Trim: Delicate White  
 Customer to apply 2nd coat

#### **Roof Selection**

Weathered Wood Natural Shadow Shingle

#### **Drip Edge**

White

#### **Is a permit required for this job?**

Yes

#### **Who is pulling the permit?**

Tuff Shed

### Optional Details

#### **Doors**

4' x 6'7" Double Shed Door (8'), LowerX, Decorative Door Hardware, Security Package

#### **Windows**

4'x3' Insulated Horizontal Sliding Window

#### **Transoms**

6 Ea Transom Window - White (16"x8")

#### **Walls**

643 Sq Ft House Wrap

#### **Roof**

380 Sq Ft Radiant Barrier Roof Decking  
 16 Lin Ft Ridge Vent

#### **Floor and Foundation**

240 Sq Ft 3/4" Treated Floor Decking Upgrade  
 240 Sq Ft 16" OC Joist Spacing  
 8 Ea Shed Anchor to Concrete - A24 & Wedge Anchor

#### **Interior**

120 Sq Ft Overhead Loft

#### **Vents**

2 Ea 16"x8" Wall Vent - White  
 16 Ea Floor Track Vent Screen

### Jobsite/Installer Details

**Do you plan to insulate this building after Tuff Shed installs it?**

Yes

**Is there a power outlet within 100 feet of installation location?**

Yes

**The building location must be level to properly install the building. How level is the install location?**

Within 4" of level

**Will there be 24" of unobstructed workspace around the perimeter of all four walls?**

Yes

**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**

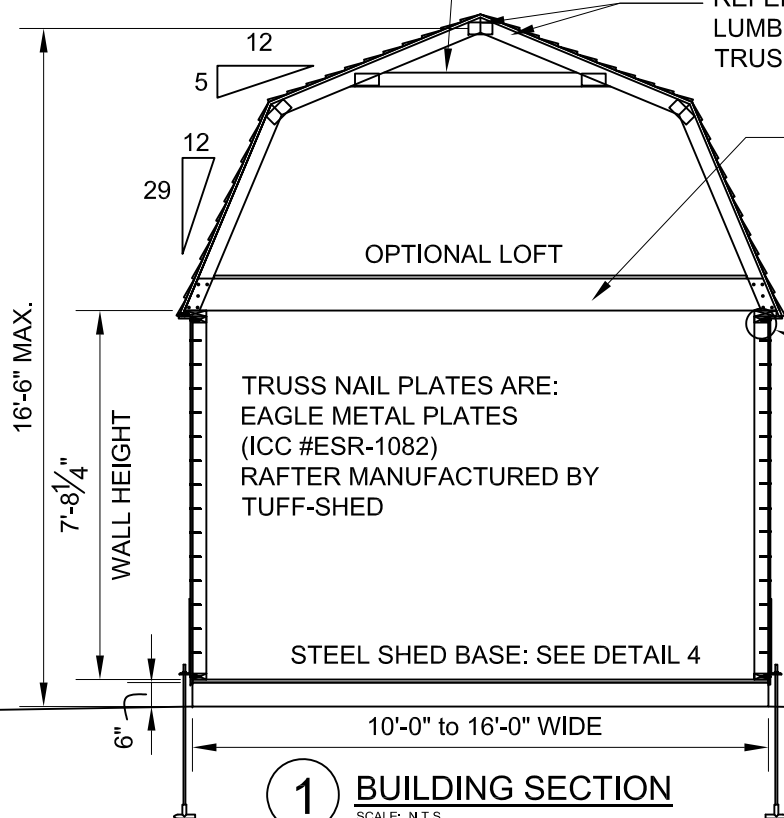
Yes

**Substrate Shed will be installed on?**

Anchored to Concrete with Shed Floor

# TB-800 SHED UP TO 10' to 16' WIDE x UP TO 24' LONG SUNDANCE SERIES

COLLAR TIE REQUIRED ONLY AT 12' & 16' WIDE AND ONLY IF NO LOFT JOIST IS PROVIDED.



REFER TO THE TRUSS DESIGN FOR LUMBER SIZE, PLATE SIZE, AND TRUSS SPACING

JOIST FOR OPTIONAL LOFT  
- 12' WIDE = 2x10 HF #2 OR 2" x 6" 16 GA STEEL JOISTS @ 24" O.C.  
- 16' WIDE = 2x12 HF#2 OR 2" x 8" 16 GA STEEL JOISTS @ 24" O.C.

DOUBLE TOP PLATES

WALL FRAMING TO BE 2x4 HF STUD GRADE OR BETTER @ 16" O.C.

EARTH ANCHORS FOR THIS BUILDING ARE OPTIONAL. IF REQUIRED BY YOUR LOCAL MUNICIPALITY, ANCHORS ARE AVAILABLE AT TUFF SHED. SEE SALESPERSON FOR PRICING.

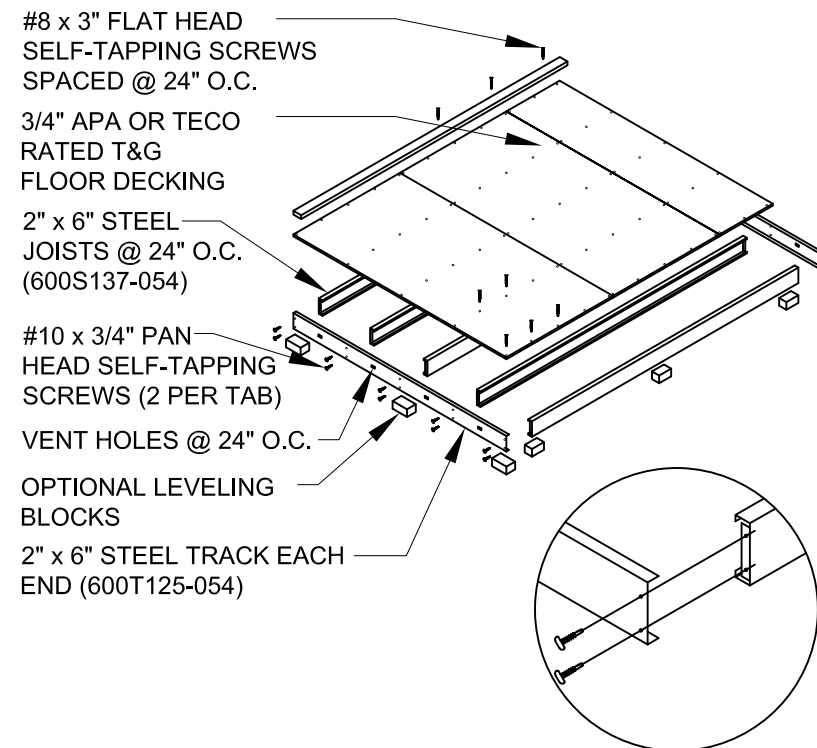
**1** BUILDING SECTION  
SCALE: N.T.S.

**NOTES:**

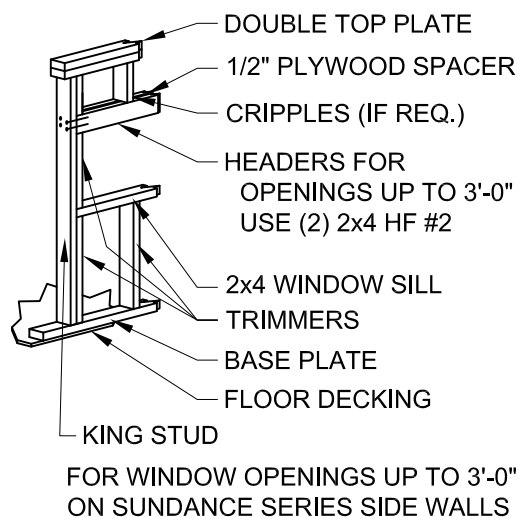
- BUILDING CODE:** 2018 IBC AND 2018 IRC
- DESIGN LOADING:**  
WIND SPEED & EXPOSURE: 115C  
ROOF LIVE LOAD: 40 PSF  
ROOF DEAD LOAD: 10 PSF
- FOR SHEDS WHICH OTHERWISE MEET THE PRESCRIPTIVE REQUIREMENTS OF THE 2018 IBC AND 2018 IRC ALL SHEDS CONSTRUCTED ACCORDING TO STANDARD CONVENTIONAL CONSTRUCTION METHODS.

**NAILING:**

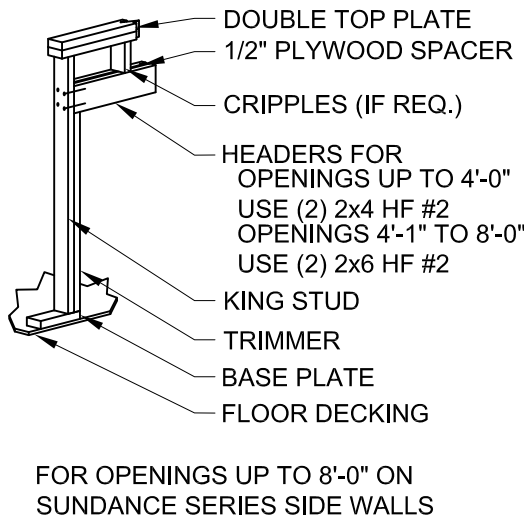
- ROOF:**  
ATTACH 7/16" OSB SHEATHING TO TRUSSES WITH:  
8d NAILS @ 6" O.C. AT EDGES  
8d NAILS @ 12" O.C. IN FIELD
- WALLS:**  
ATTACH 3/8" SMARTSIDE TO WALL FRAMING WITH:  
8d NAILS @ 6" O.C. AT EDGES.  
8d NAILS @ 12" O.C. IN FIELD
- HEADER:**  
ATTACH HEADER TO STUD WITH:  
4-8d TOENAIL OR 4-16d END NAIL DOUBLED HEADER-16d @ 16" STAGGERED FACE NAIL



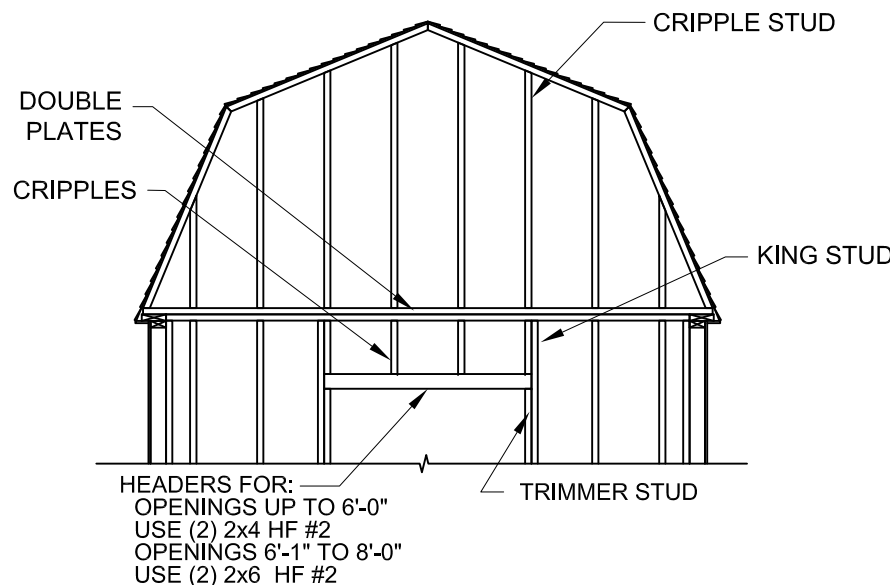
- STEEL SHED FOUNDATION:**  
2" x 6"-16 GAUGE STEEL TRACKS G140 ZINC COATED  
2" x 6"-16 GAUGE STEEL JOISTS G140 ZINC COATED @ 24" O.C. (SUPPLIER: ALLIED STUDCO (JOIST: 600S137-054 / TRACK: 600T125-054) ICC ER-4943P.
- 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
- FASTEN FLOOR DECKING TO JOIST & TRACKS USING #8 x 1-5/8" MINIMUM LONG SELF-DRILLING SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
- FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #8 x 3" GALVANIZED SELF-DRILLING SCREWS @ 24" O.C.
- ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED. 50 PSF FOR JOISTS ON BLOCKS AS SHOWN.
- USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING:  
SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16".  
BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM.  
BLOCKS UNDER TRACK SPACED @ 4'-0" O.C. MAXIMUM.



**2A** WINDOW HEADER DETAIL FOR LOAD BEARING WALLS  
SCALE: N.T.S.

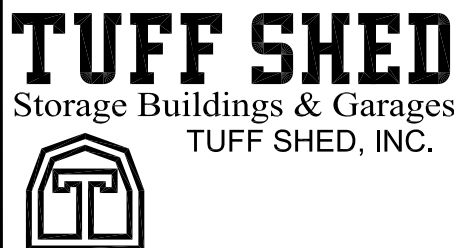


**2B** DOOR HEADER DETAIL FOR LOAD BEARING WALLS  
SCALE: N.T.S.



**3** HEADER DETAIL FOR NON-LOAD BEARING WALLS  
SCALE: N.T.S.

**4** SHED BASE DETAIL  
SCALE: N.T.S.



Order # \_\_\_\_\_  
Customer: \_\_\_\_\_  
Site Address: \_\_\_\_\_  
Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA \_\_\_\_\_

P.O. # \_\_\_\_\_  
Drawn By: SJ  
Date: 2/28/19  
Checked By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Scale: N.T.S.

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC & THE ENGINEER OF RECORD.

DRAWINGS BY:  
**TUFF SHED, INC.**  
  
IN HOUSE DRAFTING DEPARTMENT  
1777 S. HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-TUFF  
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TITLE  
BUILDING SECTIONS  
SHED BASE DETAILS  
HEADER FRAMING DETAILS  
NOTES - 2018 IBC & IRC - 115C

DRAWING NO.  
TB800-01  
REV. LEVEL 01  
SHEET **1**  
PAGE 1 OF 1

**From:** Noah Freeman  
**Sent:** Monday, February 23, 2026 9:24 AM  
**To:** Daley, Delva - PDR; slane@tuffshed.com  
**Subject:** 1603 Oakwood Ave BZA Option  
**Attachments:** Screenshot 2026-02-23 085650.png; Screenshot 2026-02-23 085536.png

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Hello,

Thank you very much for your thorough response to our permit request for the backyard shed on 1603 Oakwood ave.

Based on the information you provided, I would like to move forward with an appeal to receive the necessary waiver for the shed. It will be used purely for storage purposes, but we would like to maintain the size, as the home does not have a basement or storage space in the attic, and we would like to keep our camping gear, bikes, and tools indoors and secure.

I've also spoken with several of the neighbors, who all state the previous owner had a larger red shed, which is where the existing concrete foundation is located. We are already working to repair the damaged slab that was left on the property, and ideally would love to be able to utilize that existing foundation.

Please send me any necessary paperwork for the appeal and waiver, and I will ensure it is completed in a timely manner.

Thank you,  
Noah

**From:** Noah Freeman  
**Sent:** Wednesday, March 11, 2026 9:27 AM  
**To:** Daley, Delva - PDR  
**Subject:** Re: 1603 Oakwood Ave BZA Option

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Hello,

Thank you for following up, I'll make sure to pay the invoice as soon as I receive it.

The metal building is no longer there, but that area is now a large concrete pad.

As far as I have been able to determine the timeline from records, google earth, and conversations with neighbors it appears the metal structure was knocked down in late 2024 or early 2025 during the renovations, but the large concrete pad was left in the yard.

We purchased the house in summer 2025, with the large concrete pad / foundation from the metal structure left in the yard.

While we are attempting to build a smaller shed than the previous structure, we would like to utilize the existing concrete foundation to avoid the financial burden of removing it and creating another foundation somewhere else, and would like to avoid covering any of the grass space we have in the yard since the concrete pad is not suitable for growing grass.

Please let me know if there are any further clarifications or information I can provide.

Thank you,  
Noah

On Tue, Mar 10, 2026 at 5:55 PM Daley, Delva - PDR

wrote:

Hi Noah,

We typically invoice the submissions after our in-office staff meeting, which will be held later this month. Payment should be submitted prior to the May hearing, however.