



PROJECT CONTACTS:

DEVELOPER:
NEST BUILDERS
AMANDA SEIBERT
804-698-9142

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

NEW 2-STORY, SINGLE-FAMILY DETACHED HOUSE
IN RICHMOND'S FAIRMOUNT NEIGHBORHOOD

1308 N. 23RD ST. HOUSE

1308 NORTH 23RD STREET
RICHMOND, VIRGINIA 23223

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A2.2	REAR & SIDE EXTERIOR ELEVATIONS



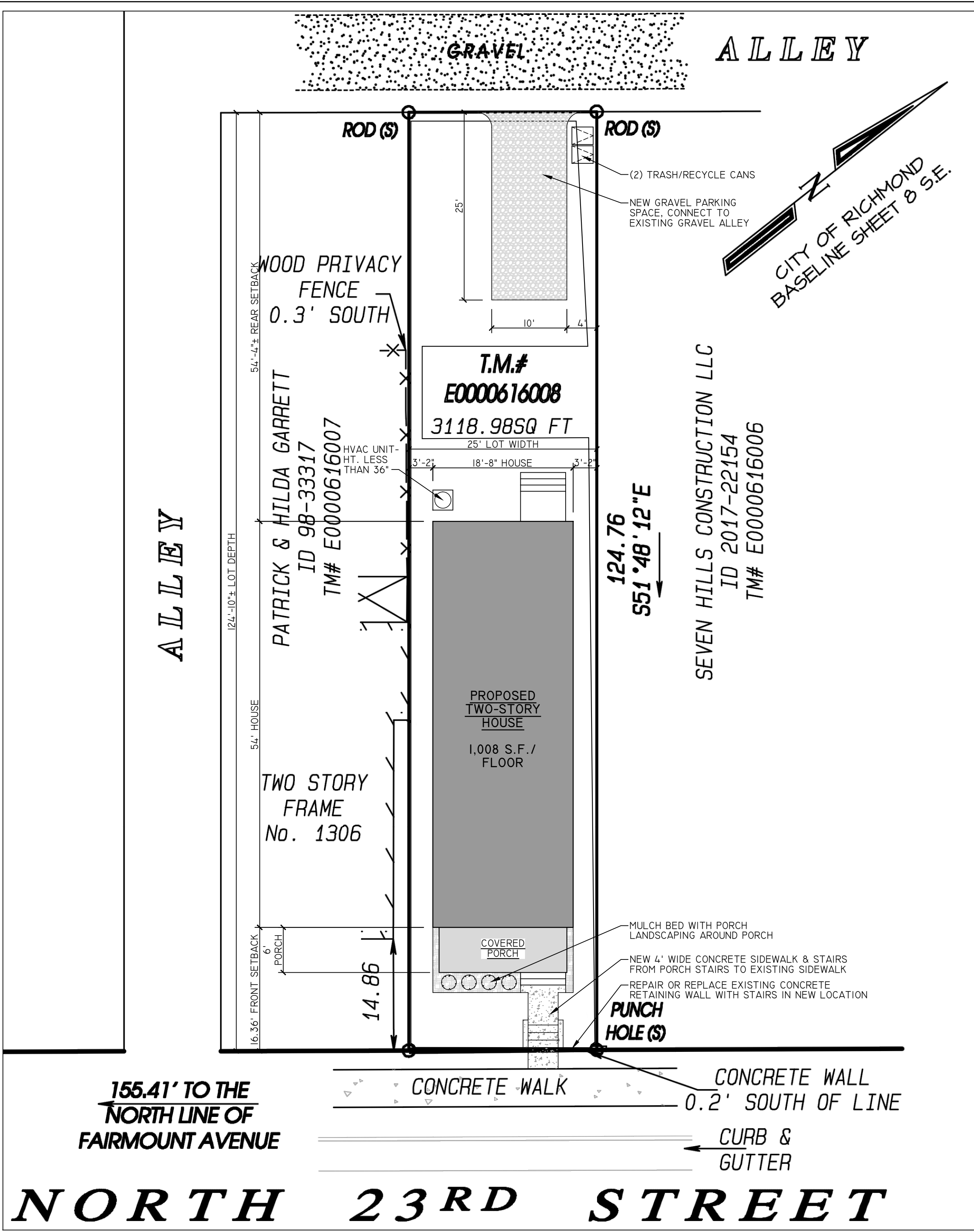
SET/REVISION:
B.Z.A. - EXTERIOR FINISH
SCHEDULE REVISIONS

DATE/MARK:
02.09.2021

COVER SHEET

CS

ZONING INFORMATION (PROPOSED):	
LOT ZONED R-6	
SETBACKS/YARDS:	
NEIGHBORING FRONT YARDS:	1306: 14.86', 1310: 17.85'
PROPOSED FRONT YARD (AVE.):	
AVERAGE OF NEIGHBORS:	16.36'
LEFT SIDE YARD:	3'-2"
RIGHT SIDE YARD:	3'-2"
REAR YARD:	54.4'±
HEIGHT:	2 STORIES / 27'-9"±
LOT SIZE & COVERAGE:	
LOT WIDTH:	25'
LOT AREA:	3,119 S.F.
LOT COVERAGE:	1,008 S.F.
COVERAGE PERCENTAGE:	32.3%



01 ARCHITECTURAL SITE PLAN
 1" = 10'
 PROPOSED CONSTRUCTION OVERLAID ON PLAT BY OTHERS

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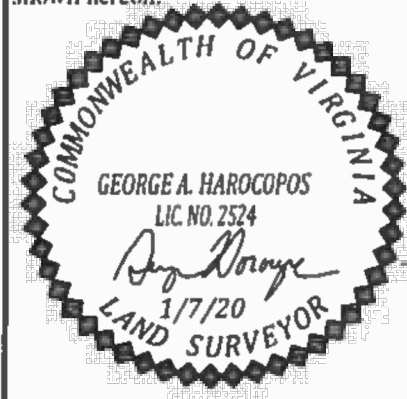
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ARCHITECTURAL
 SITE PLAN
CI.I

This is to certify that on 1/7/2020
I made an accurate field survey of the known premises shown hereon; that all improvements known or visible are shown hereon; that there are no encroachments by improvements either from adjoining premises, or from subject premises upon adjoining premises, other than shown hereon.

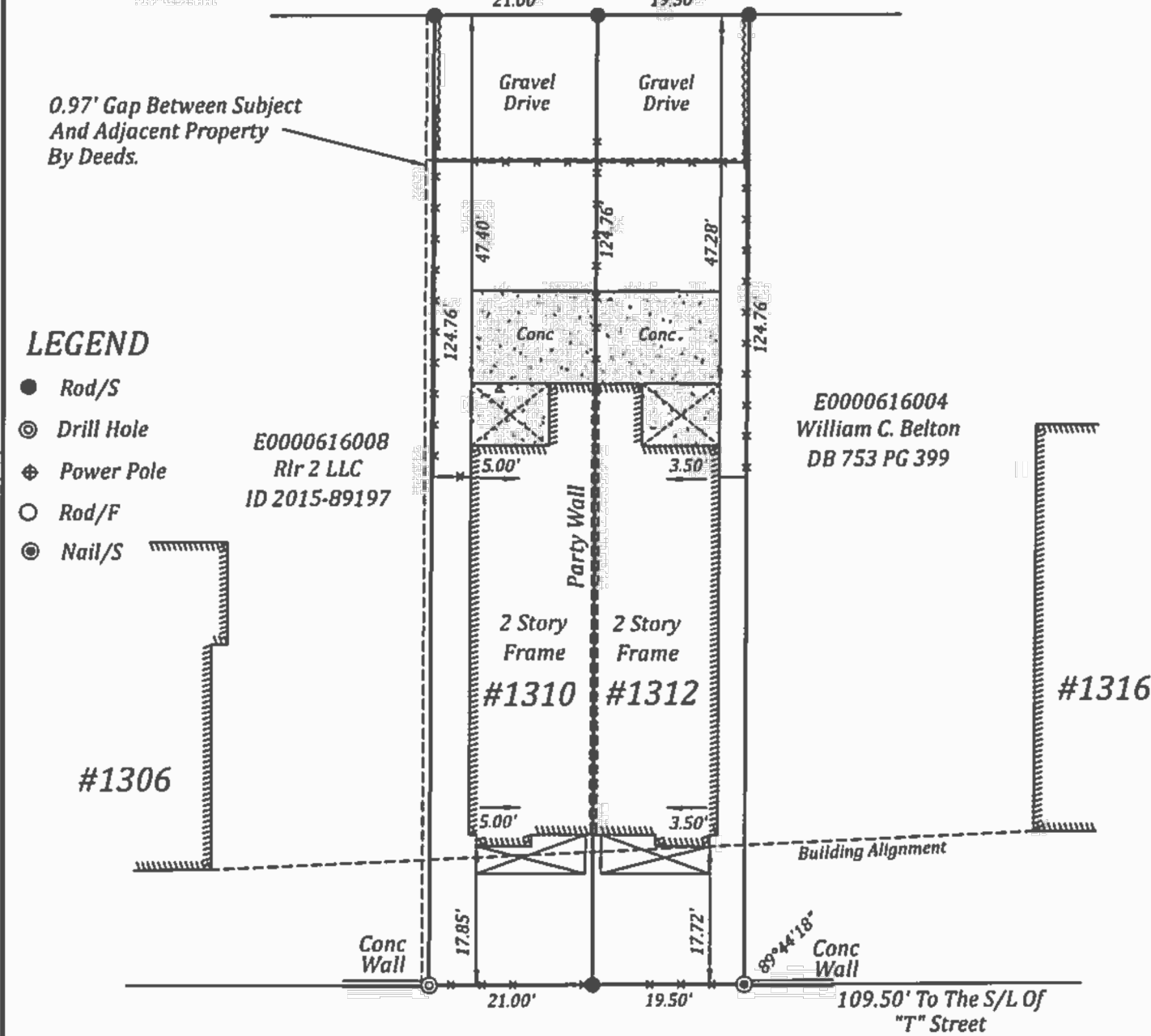
NOTE: THIS LOT APPEARS TO BE IN FEMA FLOOD ZONE X AS SHOWN ON HUD COMMUNITY PANEL NUMBERS 5101290041E

NOTE: This survey has been prepared without the benefit of a title report and does not therefore necessarily indicate all encumbrances on the property.



Subject Property Info

#1310	#1312
E0000616006	E0000616005
2619.93 Sq. Feet	2432.79 Sq. Feet
0.0601 Acres	0.0558 Acres



LEGEND

- Rod/S
- ⊙ Drill Hole
- ⊕ Power Pole
- Rod/F
- ⊙ Nail/S

E0000616008
Rlr 2 LLC
ID 2015-89197

E0000616004
William C. Belton
DB 753 PG 399

N 23rd STREET

SURVEY OF
LOT AND IMPROVEMENTS THEREON LOCATED AT
#1310 & #1312 N. 23rd STREET
RICHMOND, VIRGINIA

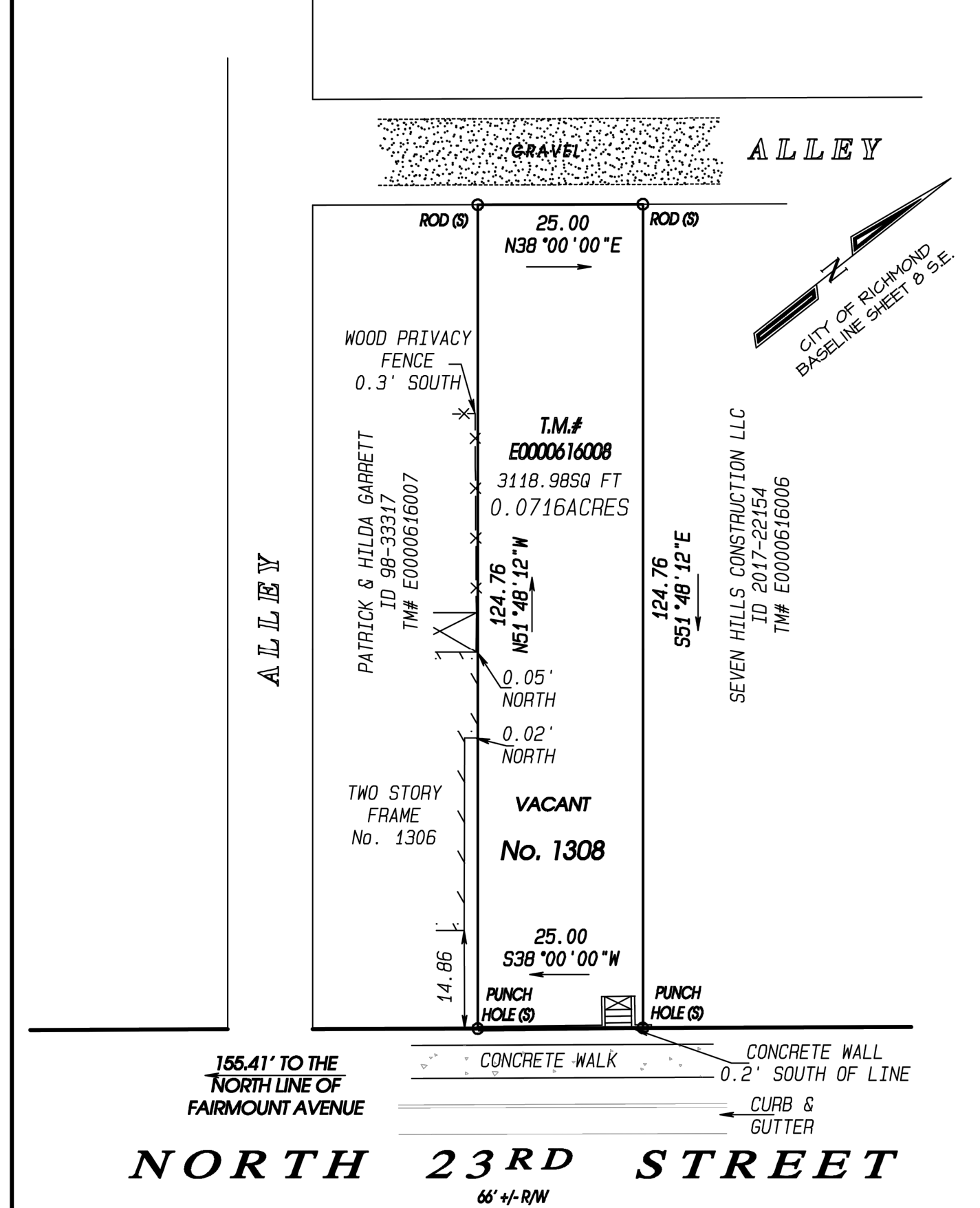
IN 48216

A. G. HAROCOPOS & ASSOCIATES, P.C.
CERTIFIED LAND SURVEYOR AND CONSULTANT
4920 E. MILLRIDGE PKWY, SUITE 200 MIDLOTHIAN VA, 23112
Office 804 744 2630 FAX 804 744 2632
E-MAIL AGHAROCOPOS72@GMAIL.COM
Scale 1"=20' Date 1/7/2020 Drawn by GAH

NOTE: PLAT PREPARED FOR THE EXCLUSIVE USE OF SEVEN HILLS CONSTRUCTION

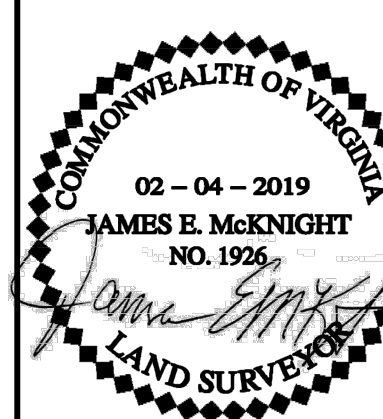
02 | PLAT BY OTHERS
FOR REFERENCE

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
CURRENT OWNER: RLR 2 LLC ID 2015-8197



NORTH 23RD STREET
66' +/- R/W

PLAT SHOWING IMPROVEMENTS ON No. 1308 NORTH 23RD STREET,
IN THE CITY OF RICHMOND, VIRGINIA.



THIS IS TO CERTIFY THAT ON FEBRUARY 04, 2019, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS.

SCALE: 1" = 20'

McKNIGHT & ASSOCIATES, P.C.
LAND SURVEYORS PLANNERS

201 TWIN RIDGE LANE
RICHMOND, VIRGINIA 23235
TELEPHONE (804) 320-2646

JOB NUMBER: 89104408

01 | PLAT BY OTHERS
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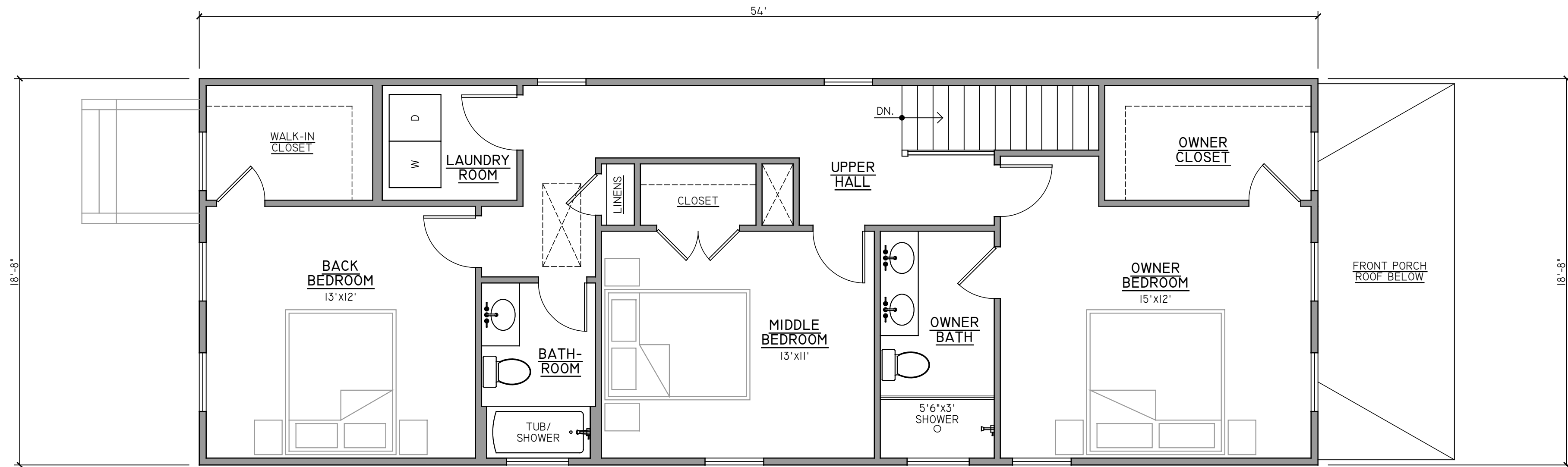
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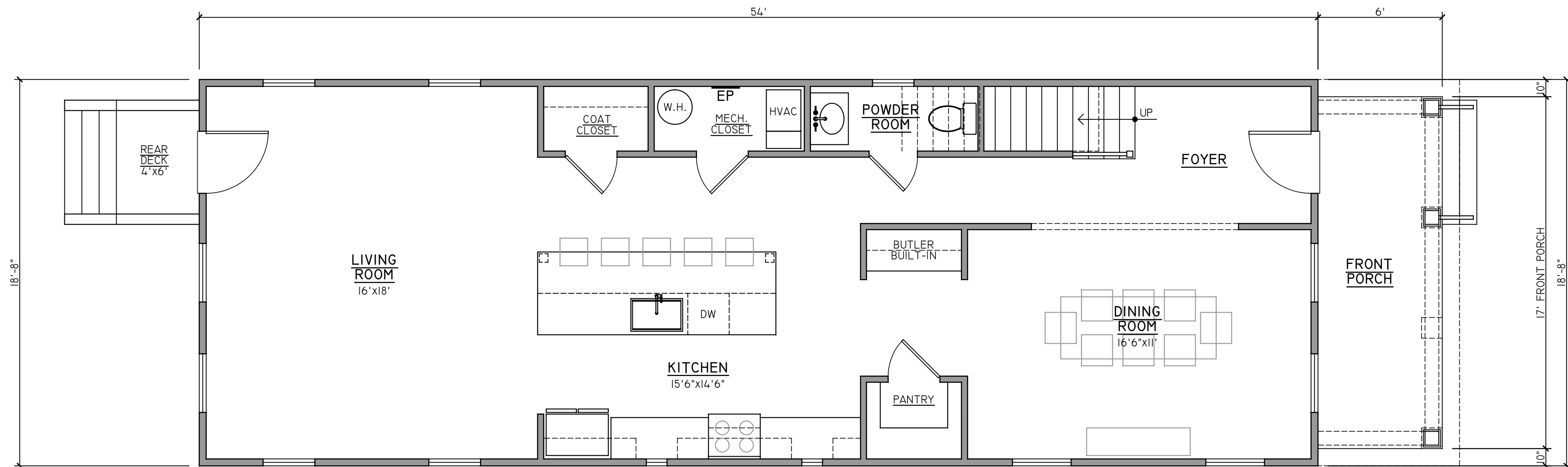


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PLATS BY OTHERS
CI.2



02 | 2ND FLOOR PLAN
1/4" = 1'



01 | 1ST FLOOR PLAN
1/4" = 1'

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FIRST & SECOND
FLOOR PLANS

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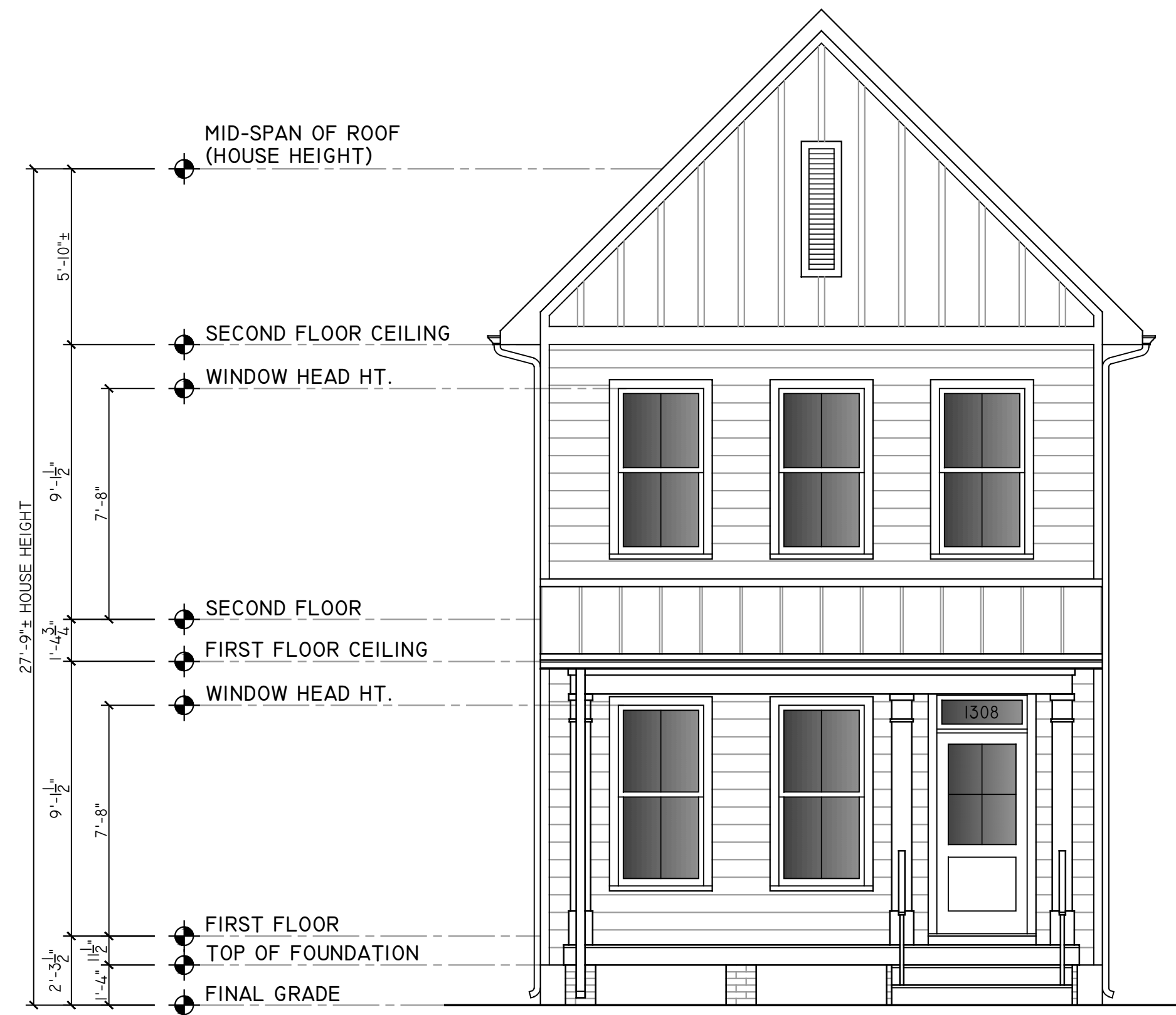
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EXTERIOR FINISH SCHEDULE		
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	BRICK PIERS	T.B.D.
02	PARGED FOUNDATION	THRU-COLOR
03	FIBER-CEMENT LAP SIDING (HARDIE OR EQUAL)	PAINTED
04	FIBER-CEMENT BOARD & BATTEN GABLES	PAINTED
05	COMPOSITE TRIM- SEE WALL SECTION	PAINTED
06	VINYL SOFFITS	FACTORY FINISH
07	VINYL BEADBOARD PORCH CEILING	NON-VENTED, FACTORY FINISH
08	ENTRY DOOR	PAINTED, COLOR T.B.D.
09	5/4x4 COMPOSITE DOOR/WINDOW TRIM	PAINTED
10	VINYL WINDOWS - SEE FLOOR PLANS FOR SIZES	PREFINISHED
11	8" SQUARE DECORATIVE PORCH COLUMN	PAINTED
12	COMPOSITE STAIRS/TRIM WITH P.T. WOOD DECKING	PAINTED FRAME
13	STEEL FRONT PORCH RAILING/ HANDRAIL	PAINTED
14	TREATED WOOD REAR DECK/STAIRS/RAILING	NATURAL TREATED WOOD
15	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED
16	ASPHALT SHINGLE MAIN ROOF	T.B.D.
17	STANDING SEAM METAL PORCH ROOF	T.B.D.
18	ATTIC VENT	PAINTED
19	COMPOSITE FRIEZE TRIM- SEE WALL SECTION	PAINTED

- EXTERIOR FINISH NOTES:
 1. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS U.N.O.
 2. GRADES SHOWN APPROXIMATE. V.I.F.
 3. SEE ADDITIONAL SPECIFICATIONS BY DEVELOPER
 4. G.C. VERIFY ALL MATERIAL & COLOR SELECTIONS WITH DEVELOPER PRIOR TO CONSTRUCTION



01 FRONT ELEVATION

1/4" = 1'

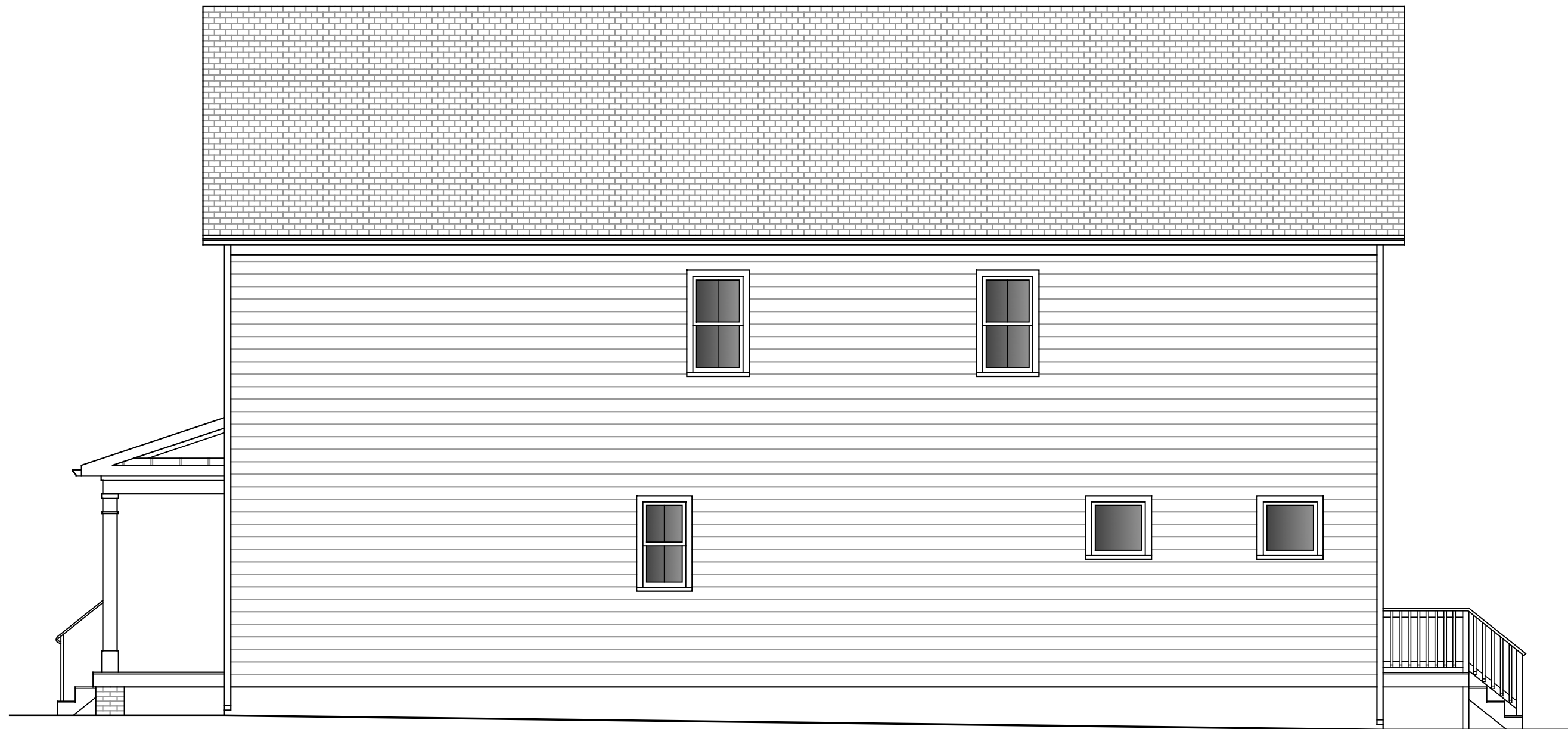
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FRONT EXTERIOR
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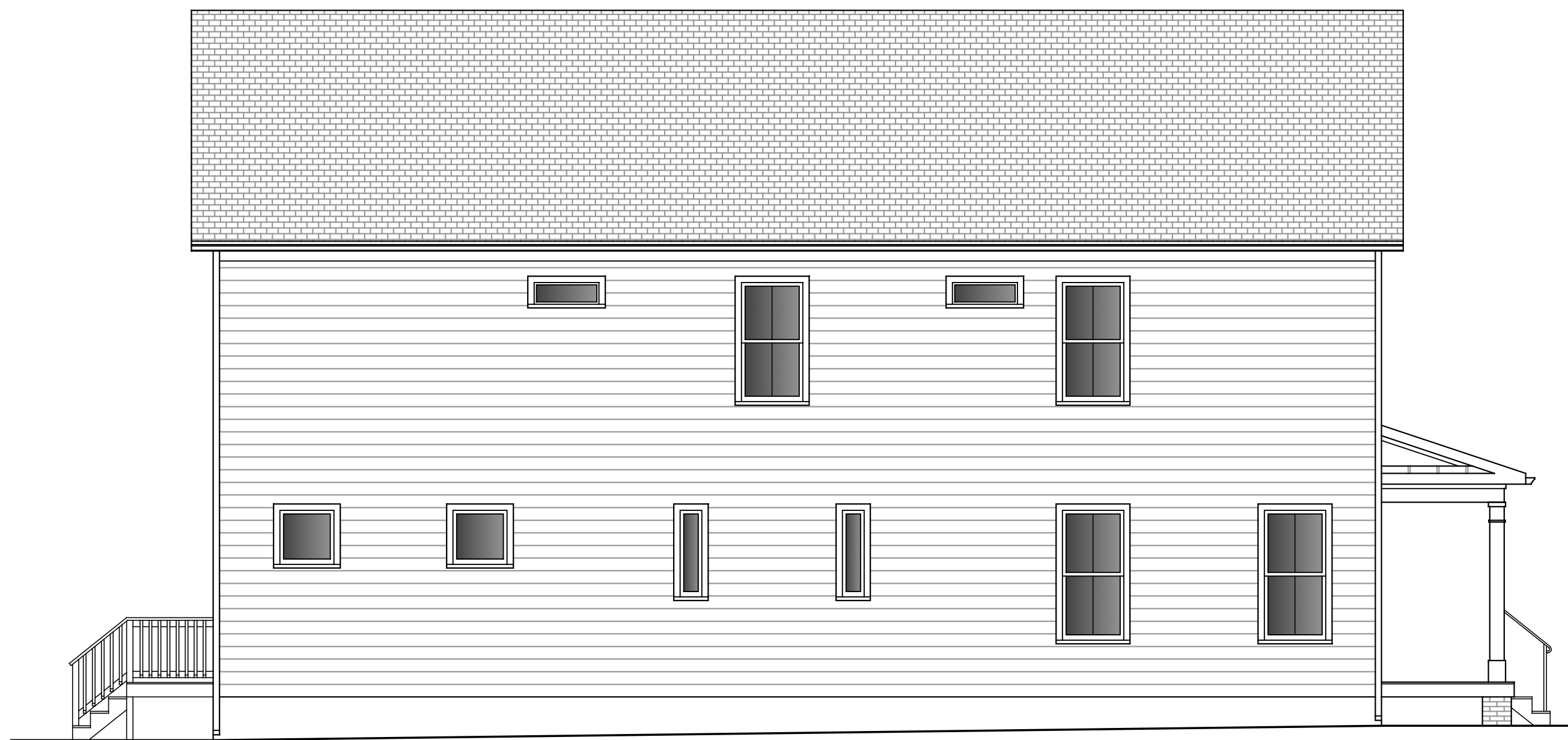
A2.1



03 | RIGHT SIDE ELEVATION
3/16" = 1'



01 | REAR ELEVATION
3/16" = 1'



02 | LEFT SIDE ELEVATION
3/16" = 1'

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REAR & SIDE
EXTERIOR ELEVATIONS

A2.2