



DEPARTMENT OF  
**PLANNING AND  
DEVELOPMENT  
REVIEW**

**Commission of Architectural Review  
Certificate of Appropriateness Application**  
900 E. Broad Street, Room 510  
Richmond, VA 23219  
804-646-6569

**Property** (location of work)

Property Address: 17 N. Arthur Ashe Boulevard

Current Zoning: R-48

Historic District: Boulevard

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

Enclose the second floor rear porch and unearth existing concrete stairs leading to the basement

**Applicant/Contact Person:** Brian Spencer

Company: Stonewall Construction LLC

Mailing Address: 2513 W. Main St.

City: Richmond State: VA Zip Code: 23220

Telephone: (804) 314.7440

Email: brianwspencer@gmail.com

Billing Contact? No      Applicant Type (owner, architect, etc.): Contractor

**Property Owner:** 17 N Boulevard LLC

If Business Entity, name and title of authorized signee: Eliot Clark, Manager

Mailing Address: 2513 W. Main St.

City: Richmond State: VA Zip Code: 23220

Telephone: (804) 869.6600

Email: stonewallconstruction@gmail.com

Billing Contact? Yes

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:

Date: 9.26.2025

## HISTORIC PRESERVATION CERTIFICATION APPLICATION

### PART 2 – DESCRIPTION OF REHABILITATION



**Instructions:** This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

**1. Historic Property Name** 17 North Boulevard  
 Street 17 North Arthur Ashe Boulevard  
 City Richmond County  State VA Zip 23220-4321  
 Name of Historic District or National Register property Boulevard Historic District  
 Listed individually in the National Register of Historic Places; date of listing \_\_\_\_\_  
 Located in a Registered Historic District; name of district The Boulevard Historic District  
 Part 1 – Evaluation of Significance submitted? Date submitted 09-18-25 Date of certification pending

**2. Project Data** (for phased projects, data entered in this section must be totals for entire project)  
 Date of building Ca. 1910 Estimated total rehabilitation costs (QRE) \$800,000  
 Number of buildings in project 1 Floor area before / after rehabilitation \_\_\_\_\_ / \_\_\_\_\_ sq ft  
 Start date (estimated) 05/01/2025 Use(s) before / after rehabilitation \_\_\_\_\_ / \_\_\_\_\_  
 Completion date (estimated) 06/01/2026 Number of housing units before / after rehabilitation 4 / 3  
 Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 0 / 0  
 Intend to apply the IRS 60-month measuring period for the purposes of substantial rehabilitation

**3. Project Contact** (if different from applicant)  
 Name Bryan Townes Company Claremont Preservation Consulting  
 Street 1223 Claremont City Richmond State VA  
 Zip 23227 Telephone (804) 814-8368 Email Address townesbryan@gmail.com

**4. Applicant**  
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:  
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or  
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).  
 For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Elliot Clark Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Applicant Entity 17 N Boulevard LLC SSN \_\_\_\_\_ or TIN \_\_\_\_\_  
 Street 2513 West Main Street City Richmond State VA  
 Zip 23220 Telephone (804) 869-6600 Email Address stonewallconstruction@gmail.com  
 Applicant, SSN, or TIN has changed since previously submitted application.

#### NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
- the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
- the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date

National Park Service Authorized Signature

NPS conditions or comments attached

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

**5. Detailed Description of Rehabilitation Work.** Use this page to describe all work or create a comparable format with this information.

Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

<b>Number</b> 1	<b>Feature</b> <u>Roof and Chimneys</u>	<b>Date of Feature</b> <u>Ca. 1910 and later</u>
-----------------	---	--

**Describe existing feature and its condition**

The main portion of the building is covered by a low-pitched shed roof, which is accented at the front (west) elevation by a slate clad false mansard roof. A series of three identical dormer windows are placed along the slope of the mansard; the dormers are capped by small gable roofs with front-facing pediments. The profile of the main shed roof results in overhanging eaves on the south and east elevations. The front porch on the east elevation and the rear porch are capped by low-slope roofs. The porch roofs are clad with modern membrane materials. The north and south sides of the building are defined by brick parapet walls, which border the modern membrane-clad shed roof. Three brick chimneys are placed along the brick parapets on the south elevation. The building's shed roof and the low-slope roofs of the porches are not visible from grade on the public rights of way; the chimneys are visible from a distance. It is not apparent if the chimneys are capped.

The slate roof and gabled dormers of the east mansard and the membrane roof of the main portion of the building appear to be in fair condition. The roofing of the front porch is in poor condition. The brick chimneys appear to be in fair condition with evidence of past repointing.

Photo Numbers \_\_\_\_\_ Drawing Numbers 1, 2

**Describe work to feature**

The existing roofing materials and flashing that are present on the building will be maintained and repaired to the extent possible. Any rotted roof decking and structural components that may be discovered during rehabilitation of the building will be removed and replaced with new exterior grade plywood and properly sized framing lumber. The flashing will be repaired as required and will be installed to address any deficiencies that may be found at the parapet walls, at the dormers, and at the chimneys.

The existing membrane cladding material at the front porch roof will be removed and a new roof of flat-lock copper will be installed. New copper flashing will be installed to bridge the connection between the front porch roof and the west wall of the house.

The brick masonry chimneys will be maintained and repaired as directed by the owner/contractor. Any necessary repointing will be accomplished in accordance with the National Park Service's Preservation Brief #2, "Repointing Masonry in Historic Brick Buildings". If the chimneys are not currently capped, new metal caps will be installed in such a way as to be removable in the future if desired.

The impact will be the repair and selected replacement of the existing modern roofing materials, and the repair of the chimneys. The work on the roofs and associated flashing will result in a functional, waterproof roofing system that will help to ensure the long-term preservation of the building.

<b>Number</b> 2	<b>Feature</b> <u>Gutters and Downspouts</u>	<b>Date of Feature</b> <u>Ca. 1910 and later</u>
-----------------	--	--

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

### **Describe existing feature and its condition**

The building's west-facing false-mansard roof is drained by a concealed gutter and a single round metal downspout at the north end. The main low-slope shed roof of the building descends to the east and south and is drained by concealed gutters that are enclosed in the plain box eave along the south edge of the roof. Round metal downspouts drain the concealed gutters at the front porch, the front-facing mansard roof, and at the south elevation. There does not appear to be a gutter at the modern secondary east porch.

The gutters and downspouts at the roofs appear to be in fair condition.

Photo Numbers \_\_\_\_\_ Drawing Numbers 1 \_\_\_\_\_

### **Describe work to feature**

The existing gutter and downspout system will be retained. The existing built-in gutters and downspouts will be repaired as required to provide the necessary water collection and diversion assemblies. New round metal downspouts of the correct diameter will be installed where necessary to replace any units that are damaged and to properly address the volume of water that drains off the roof planes. A new metal ogee-style gutter will be provided at the new enclosed east porch. The new gutter will be drained by new round metal downspouts.

<b>Number</b> <u>3</u>	<b>Feature</b> <u>Foundation</u>	<b>Date of Feature</b> <u>Ca. 1910 and later</u>
------------------------	----------------------------------	--

### **Describe existing feature and its condition**

Brick foundation walls are present under the building's structure. The walls are visible along the grade of the exposed portion of the south elevation and in the building's basement. The brick walls and structural brick piers are generally exposed at the basement and are painted; gypsum board wall cladding and wood stud walls are located at the west end of the basement. The single-bay front porch is supported on remnants of the front porch and terrace's original foundation walls.

The foundation system generally appears to be in good condition. The front porch's north brick foundation has failed, resulting in the porch structure being supported by the concrete step. Otherwise, there is no evidence of deterioration or severe movement.

Photo Numbers \_\_\_\_\_ Drawing Numbers 3, 7 \_\_\_\_\_

### **Describe work to feature**

There will be no major changes to the foundations. Any brick repointing will be accomplished according to the National Park Service's Preservation Brief 2: "Repointing Mortar Joints in Historic Masonry Buildings". Painted brick at the basement will be primed and repainted. All portions of the basement's brick perimeter walls may be concealed due to waterproofing or the need for insulation.

The yellow brick foundation walls of the front porch's missing terrace will be rebuilt. The new brick walls will support the concrete slab and new tile floor of the front porch and the terrace.

The impact will be the preservation of the building's existing foundation structure and components and the introduction of new foundation elements to provide the necessary

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA  
support.

<b>Number</b> 4	<b>Feature</b> Front Porch	<b>Date of Feature</b> Ca. 1910 and later
-----------------	----------------------------	---

**Describe existing feature and its condition**

The building is fronted by single-story single-bay porch that shelters the front door at the west elevation. The porch roof is detailed by a modillion cornice that is supported by wood Tuscan columns. Wood half-columns stand at the transition between the west wall of the building and the front porch. The columns are joined by modern wood railings with plain balusters. Painted beaded board clads the porch ceiling and the floor is composed of modern deckboards. A poured concrete step approaches the porch at the western side.

The front porch is in fair to poor condition. Historic records show that the columns were originally finished with Scamozzi capitals, and that an open terrace extended along the west elevation to the south of the porch. The wood framing of the porch floor is modern, and the concrete step is rough and inconsistent with the quality of the house's design. The ceiling displays some evidence of water infiltration by the presence of gaps between the boards, and the painted finish of the flooring is weathered. The northern portion of the porch foundation has failed and the structure is being supported on the concrete step.

Photo Numbers \_\_\_\_\_ Drawing Numbers 1, 4

**Describe work to feature**

The front porch will be restored to reflect its historic configuration and repaired as necessary. Restoration and repair will involve removing any rotted and deteriorated wood elements; these elements will be replaced with new wood that matches the original details in form and profile. The house stands as a copy of a neighboring house at 11 North Boulevard; this adjacent house retains the historic configuration of a single-story porch and adjacent terrace along the south side of the west elevation. The footprint of this configuration is visible in the historic tax assessment record for 17 North Boulevard. The presence of rough brickwork at the base of the west elevation further supports the presence of a terrace alongside the single-story porch. The restoration of the porch at 17 North Boulevard will follow the design of the existing porch at 11 North Boulevard. The new porch will utilize a yellow brick foundation, terra cotta floor tiles, and brick piers with granite caps at the corners of the terrace. New Scamozzi capitals will be installed on the porch columns and a new wood railing with turned balusters will define the edges of the porch and the terrace. A new granite step will be installed to provide access to the front porch and will reflect the historic use of granite in the curbs edging the planting beds.

The impact will be the restoration of the building's front porch and terrace, reinforcing these important elements of the building's historic character.

<b>Number</b> 5	<b>Feature</b> Secondary Porch	<b>Date of Feature</b> Ca. 1910 and later
-----------------	--------------------------------	---

**Describe existing feature and its condition**

The secondary rear porch is located on the building's east elevation and reflects the size and placement of the original porch as evidenced in ghosting on the brick and in the Sanborn Fire Insurance Maps. The two-bay porch is two stories in height and is framed with modern treated wood. Plain wood posts support the porch at the first and second floors, and are connected by a series of modern wood railings. A narrow exterior

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

staircase connects the first and second levels of the porch. A flight of wood steps provides access from the first floor to grade. The porch floors are composed of modern deckboards and there are no ceilings.

Photo Numbers \_\_\_\_\_ Drawing Numbers 2, 4, 5

**Describe work to feature**

The second floor of the rear porch will be enclosed and will be clad with new board and batten framing. A new skylight will be installed in the shed roof above the second floor level. The first floor of the porch will be retained as an open porch and the existing modern stair between the first and second floors will be removed. A portion of the floor at the first level will be removed to allow for the re-opening of the existing concrete stairs and stairwell to the basement. The new and existing wood components of the rear porch will be primed and painted or stained.

<b>Number</b> 6	<b>Feature</b> Cornice and Eaves	<b>Date of Feature</b> Ca. 1910 and later
-----------------	----------------------------------	---

**Describe existing feature and its condition**

The west elevation is distinguished through the use of a simple cornice with paired brackets. The cornice is further ornamented with decorative end caps at the north and south. Due to the building's roof configuration, overhanging eaves are present on the south elevation only. The eaves are closed and contain a concealed gutter.

The cornice and eaves are in fair condition.

Photo Numbers \_\_\_\_\_ Drawing Numbers 1-2

**Describe work to feature**

The existing cornice and eave assemblies will be maintained and repaired as required. Any rotted wood that is found in the course of the rehabilitation will be removed and replaced with wood that matches the original in profile and detail. The cornice and eave assemblies will be scraped, sanded, primed, and painted in a color of the owner's choice.

The impact will be the repair of the existing cornice and eave assemblies.

<b>Number</b> 7	<b>Feature</b> Exterior Walls	<b>Date of Feature</b> Ca. 1910 and later
-----------------	-------------------------------	---

**Describe existing feature and its condition**

The north, south, east, and west elevations of the building are distinguished through the use of brick wall surfaces. The yellow brick of the west elevation is laid in all-stretcher bond with very narrow joints, and the wall is accented with stone sills and rusticated lintels and keystones at the windows. Brick quoins further detail the west elevation at the northwest and southwest corners of the building. The west wall is painted. The north, south, and east elevations are unpainted and are laid in six course Common Bond, with the seventh course as the header course. The window and door openings in the brick walls of the secondary elevations utilize wood sills and segmental brick arches.

The exterior walls appear to be in good condition.

Photo Numbers \_\_\_\_\_ Drawing Numbers 3-6

**Describe work to feature**

The brick walls will be maintained as existing and repaired as required. The scope of

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard

NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

any repointing done will be determined by the contractor and will be accomplished in accordance with the National Park Service's Preservation Brief #2, "Repointing Mortar Joints in Historic Masonry Buildings". After any repointing, the bricks will be cleaned with brushes and low water pressure. The new walls that will be installed to enclose the second floor of the secondary rear porch will be clad with cementitious board siding or wood panels (Hardiplank/Hardipanel or equivalent), and wood battens will cover the seams. The walls of the enclosed second level of the rear porch will be painted. The painted brick of the west elevation will be primed and repainted.

The impact will be the maintenance and repair of the building's existing exterior walls and the installation of new compatible siding at the second level of the secondary rear porch.

<b>Number</b> 8	<b>Feature</b> Windows	<b>Date of Feature</b> Ca. 1910 and later
-----------------	------------------------	---

**Describe existing feature and its condition**

The building's window units consist of a variety of original units and modern units. The windows at the first and second floors of the primary west elevation are double hung wood sash units. The first floor window is a triple-window configuration with one-over-one sash light designs that are topped by a continuous transom with intersecting tracery designs. The second floor windows at the west elevation are similarly composed of double hung wood sash. The second floor windows utilize a design of intersection tracery in the upper sash and a single-light in the lower sash; however, the center window has lost the decorative upper sash. The three dormer windows at the attic level are ornamented by window sash with decorative tracery designs. The windows at the north, south, and east elevations are generally characterized by original double hung wood sash units with one-over-one and two-over-two sash light designs. Several windows on the secondary elevations have been replaced with new vinyl window units.

The windows in general are in fair condition. The windows appear to be uniformly protected by modern storm window units.

Photo Numbers \_\_\_\_\_

Drawing Numbers 3-7

**Describe work to feature**

The existing wood windows and modern replacement windows will be retained and repaired as required. The double hung windows will be repaired as needed, but any broken sash cords and pulleys are not anticipated to be replaced as part of this work scope. Broken glass panes will be removed and new glass installed where necessary. Deteriorated glazing will be removed, and new glazing will be installed as required. The existing wood sash, trim, and frames that defines the building's wood window units will be scraped, primed, and painted in a color of the owner's choice. The missing sash with the decorative intersecting tracery on the west elevation will be replicated and installed.

A new window will be installed at the basement level on the south elevation. The new window will be a larger unit that allows for the window to act as an egress point for the basement apartment. A new window well will accompany the window on the south side of the house. The new window will be a double hung one-over-one metal-clad window unit.

New storm windows will be installed if required and as directed by the owner. Any new storm windows will reflect the sash configurations of the windows and will be as low-

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA  
profile as possible.

The impact will be the repair of the existing historic wood windows.

Number	9	Feature	Front Door	Date of Feature	Ca. 1910 and later
--------	---	---------	------------	-----------------	--------------------

**Describe existing feature and its condition**

The main entrance door stands at the first floor of the west elevation and is sheltered by the house's single-bay front porch. The front door assembly consists of the door, sidelights, and a wide transom. The door is a single-leaf, wood and glass door with a large glazed panel. The door is flanked by sidelights, where glass and wood panels with intersecting traceries stand on paneled bases, and is capped by a transom with similar intersecting wood dividers. The exterior trim, sidelights, transom sash, and the door is painted. The door is secured by a variety of hardware elements.

The front door and entrance assembly appear to be in fair condition, with some damage due to age and heavy use.

Photo Numbers \_\_\_\_\_ Drawing Numbers 4 \_\_\_\_\_

**Describe work to feature**

The existing front door assembly will be maintained and repaired. The sidelights and transom sash at the door will be repaired and reglazed as necessary. Wood components of the door, door frame, sidelight and transom frames, and trim will be repaired and cleaned. Painted elements will be primed and repainted.

New operating and locking hardware will be installed on the door as required to provide a secure door assembly. The new hardware will be compatible with the historic character of the building.

The impact will be the maintenance and repair of the existing door and door assembly.

Number	10	Feature	Secondary Doors	Date of Feature	Ca. 1910 and later
--------	----	---------	-----------------	-----------------	--------------------

**Describe existing feature and its condition**

There is one secondary door on the south elevation, and four secondary door openings on the building's east elevation. The south secondary door is placed at the below-grade basement level and provides access to the basement unit. The south basement door consists of a single leaf wood slab door unit. The four east elevation doors are single-leaf wood units and provide access from the interior apartment units to the secondary rear porch. An original basement door at the east elevation has been infilled with modern concrete block and is no longer usable. The various secondary doors are fitted with different types of hardware. The doors are uniformly painted and several are accompanied by modern storm door units.

The secondary doors are in fair condition.

Photo Numbers \_\_\_\_\_ Drawing Numbers 3-6 \_\_\_\_\_

**Describe work to feature**

The existing secondary doors will be retained and repaired. All interior and exterior trim will be cleaned and scraped to remove any loose and flaking paint. Deteriorated

**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name 17 North Boulevard

NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

glazing will be removed and replaced. The painted wood elements of the door assemblies will be primed and painted in colors of the owner's choice. A new door will be installed at the east elevation's sealed basement entrance, which will be opened and repaired. The existing stairs and below-grade stairwell will be restored and returned to functionality. The new east basement door will be a metal door with six panels due to its location in a vulnerable position. New locking hardware will be installed as required on the secondary doors to provide secure door assemblies. The new hardware will be compatible with the historic character of the house. The existing modern storm doors will be removed.

The impact will be the repair of the existing secondary doors and the compatible installation of a new east basement door.

Number	11	Feature	Plan	Date of Feature	Ca. 1910 and later
--------	----	---------	------	-----------------	--------------------

**Describe existing feature and its condition**

The building holds four residential units and is two stories in height over a full basement; there is currently no finished attic space. Constructed as a single-family residence in 1910, the building has undergone some changes to accommodate multi-family usage. A common vestibule is located at the front door to provide access to the first and second floor units. The stairhall on the second floor is also common space and accesses the two second floor apartments. The plan of the building consists of:

**First Floor:**

Unit 1: Hall, East Room, East Center Room, West Center Room, Kitchen, West Room, Bathroom, Closets

**Second Floor:**

Unit 2: East Room, East Center Room, Bathroom, Closets

Unit 3: West Center Room, Kitchen, Northeast Room, Southeast Room, Bathroom

**Basement:**

Unit 4: Basement Stairs and Laundry Room, East Room, West Room, Southwest Room, Bathroom

**First Floor Notes:**

The two apartments are entered at the first floor by way of a small vestibule that holds the entrance door to the first floor apartment. The stair to the second floor rises from the vestibule at the north side of the first floor. The rooms of the first floor apartment are arranged in linear fashion in the east-west direction. The existing bathroom is located near the east end and is situated between the east center room and the east room. A large opening with pocket doors connects the west room with the west center room. Fireplaces are located on the south wall of the west room, west center room, and the east center room. The doors to the secondary rear porch are located in the kitchen and in the east room.

**Second Floor Notes:**

The two apartments at the second floor of the building are entered from the second floor stairhall. The western unit encompasses two rooms and a bathroom; the kitchen is a galley kitchen that is placed on the north wall of the east room. The rooms of the eastern second floor apartment are arranged in linear fashion in the east-west direction.

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard

NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

The bathroom is located near the east end and is situated between the east center room and the east room. The galley kitchen is located to the north of the bathroom.

Fireplaces are located on the south wall of the west room, west center room, and the east center room. The doors to the rear porch are located in the northeast room and in the southeast room.

### Basement:

The full basement is entered through a door at the south elevation and also by way of a stair from the first floor apartment. The existing open-riser wood staircase descends to the basement under the location of the house's original back stairs. The eastern end of the basement is not finished and is utilitarian in nature with exposed joists, exposed painted brick walls, and a concrete slab floor. The basement's apartment unit is located at the western end and encompasses a living space, bedroom, galley kitchen, and a bathroom.

Photo Numbers \_\_\_\_\_

Drawing Numbers 3-6

### Describe work to feature

The proposed rehabilitation of the building will respect the historic room layout and configuration while encompassing compatible adjustments to make the apartments function more efficiently. The building will be maintained as a multi-family residential structure and the rehabilitation will allow the original configuration of the main staircase and its relationship to the first floor rooms to be restored. The building's original back staircase will be replicated in order to allow the apartment units to function as two-story units at the east and west ends of the building.

### First Floor:

The west apartment unit will include the house's primary staircase, which will be re-opened and repaired as needed. The lower portion of the stair will be restored to match the configuration of the stair at 11 North Boulevard. The stair landing at the foot of the staircase will be approached from the south and a new balustrade will be installed along the west side of the landing. A new wall will be introduced under the stair in order to create a furnace closet – this will allow the first floor to be conditioned without the use of soffits and the placement of the new wall occurs in a space that has already been modified. The west apartment will utilize the hall, west room, the west center room, and the east center room on the first floor. A new kitchen will be placed at the north end of the east center room and a new powder room will be installed in the existing hall closet. The existing modern closet in the northwest corner of the west center room will be removed. The east unit at the first floor will be entered from the secondary east porch. The east unit will encompass the existing first floor kitchen, the east room, and the bathroom. The new back stairs will be reconstructed in the east room as evidenced in the surviving back stairs in the house's twin at 11 North Boulevard. The walls between the existing kitchen and the east room will be removed; a header soffit and wing walls at the ends will remain to indicate the placement of the wall. The kitchen layouts on the first floor of the east and west apartments will be planned to be as efficient as possible. The existing character of the first floor rooms will be preserved.

### Second Floor:

The room layout plan for the second floor portions of the east and west apartments will

## **HISTORIC PRESERVATION CERTIFICATION APPLICATION**

### **PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name 17 North Boulevard

NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

utilize much of what is existing, although with several modifications. The kitchen fixtures will be removed from the east room, and new stairs to the attic will be constructed in the modern hall closet adjacent to the stairwell; the construction of a code-compliant stairway will require the closet to be enlarged to the east slightly. The existing original arch at the eastern end of the second floor hall will be restored. The galley kitchen in the existing east apartment will be replaced with bathrooms, and the back stairs will access the second floor in the existing closet at the west end of the southeast room. The second floor of the secondary rear porch will be enclosed to house a new bathroom and a closet. The existing bathroom at the east end of the second floor will be truncated to allow for a new hall to connect the east center room with the remainder of the east apartment. The north end of the east center room will be enclosed, and the door to the room from the hall will be used to access a new closet for the west apartment. The existing character of the second floor rooms will be preserved.

#### **Basement:**

The basement will be rehabilitated to house a single three bedroom apartment. New bathrooms will be installed, and a galley kitchen will be placed along the north wall of the apartment at the western end. The line of brick piers along the center of the basement will be retained and will be visible. One steel pipe column supporting the center steel beam will be removed.

#### **Attic:**

The attic will be finished to serve as additional living space for the west apartment. The room will be accessed from a new stairway built in the expanded hall closet on the second floor. A new full bathroom and closet will be built at the south side of the new attic room.

The impact will be the maintenance and preservation of the building's historic floor plan with compatible modifications and the restoration of the missing back stair. The building will be rehabilitated to function efficiently for modern multi-family residential use while preserving the character of the structure.

<b>Number</b> 12	<b>Feature</b> Interior Woodwork	<b>Date of Feature</b> Ca. 1910 and later
------------------	----------------------------------	---

#### **Describe existing feature and its condition**

The building's existing woodwork assemblies include doors, door trim, window trim, baseboards, fireplace mantles/surrounds, and the staircase. Interior doors throughout the units are wood units with six horizontal panels. A set of pocket doors is situated between the east room and the east center room. The original window and door trim consists of a single uniform pattern throughout the house and consists of moulded pilaster trim with entablatures and cornice moulding. The door trim is situated on plain plinth blocks, and the baseboards are tall wood units with moulded caps. Wood fireplace mantles are located in the east rooms, west center rooms, and east center rooms. All of the interior doors, door trim, window trim, columns, and fireplace mantles are painted.

The primary staircase is set at the north side of the building and provides access to the second level apartments. The stair is fully enclosed by a modern wall at the south side until it reaches the stairwell at the second floor. The stairwell opening is bordered by a wood handrail with turned balusters. Many of the balusters have been replaced and do not match the original units. The square newel posts at the foot of the staircase and at

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA  
the second floor stairwell are capped with turned round finials. The stair's newel posts and handrails are stained and varnished.

The surviving interior woodwork is in fair condition with cosmetic damage due to age.

Photo Numbers \_\_\_\_\_ Drawing Numbers 3-6

**Describe work to feature**

The building's existing woodwork will be retained and repaired as required. New trim will be installed at new door and new window openings where necessary. Modern trim at the basement will be replaced with new plain trim that is more compatible with the character of the building. The new trim will be differentiated yet compatible with the existing trim. The existing woodwork throughout the building will be cleaned, sanded to remove loose and flaking paint, primed, and repainted. Existing doors will be retained; if doors are missing or damaged, new all-wood doors to match the existing six-panel designs will be installed. New doors will be installed where necessary and will be wood two-panel units. New custom wood cabinets will be fabricated and installed in the kitchens, and new custom wood vanities may be installed in the bathrooms as needed. The new cabinetry will be simple in style, expressing the modern date of installation while standing as compatible additions to the existing character and fabric of the building.

The main stair will be repaired and restored. Modern balusters will be removed and will be replaced with balusters that match the original units. The lower landing of the stair, which was removed when the enclosing south wall was installed, will be restored and will create the stair's original turn to the south. New newel posts and balustrades at the restored lower landing will be fabricated to match the existing stair components. The newel posts and handrails will be stained and varnished. The missing back stair will be re-introduced. The stair will be configured to reflect its original circulation path and will be plainly detailed.

The impact will be the maintenance and repair of the existing interior woodwork throughout the building, and the installation of compatible new trim, doors, cabinetry elements, and stair components that will recapture the building's historic character.

<b>Number</b> 13	<b>Feature</b> Wall/Ceiling/Floor Finishes	<b>Date of Feature</b> Ca. 1910 and later
------------------	--	---

**Describe existing feature and its condition**

The first floor and second floor are generally finished with wood floors. Modern vinyl is present in the kitchens, and modern ceramic tile is used in the bathrooms. Interior wall and ceiling finishes consist of plaster and gypsum board surfaces. The brick walls of the basement are painted where visible, and are concealed by framing and gypsum board in the apartment portion of the space. The basement is finished with a poured concrete floor at the eastern end, and a modern subfloor on sleepers in the western portion. The attic is unfinished.

The interior finishes throughout the building are generally in fair condition, with areas of deterioration due to age and use.

Photo Numbers \_\_\_\_\_ Drawing Numbers 3-6

**Describe work to feature**

The plaster finishes throughout the building will be repaired to the extent possible.

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

New gypsum board surfaces will be installed where necessary; the gypsum board will match the smooth plaster finishes that is characteristic of the original plaster surfaces. The wall and ceiling surfaces will be primed and painted. The wood floors will be retained and repaired; the floors will be sanded to remove the existing modern paint and finishes as well as surface damage but will not be finished to reflect an "as new" appearance. New ceramic tile will be installed in the new and existing bathrooms. The tile will be simple in character and the design will be compatible with the character of the building. The new bathroom that is proposed at the enclosed second floor of the secondary rear porch will utilize a new tile floor; the remainder of the enclosed rear porch will be finished with a wood floor. The original brick exterior walls of the new rooms at the rear porch will remain visible. The basement apartment will retain its finished condition of gypsum board walls and ceilings. The broken and cracked concrete floor will be removed and replaced with a new poured concrete slab. The concrete floor in the basement will be stained and sealed. The painted brick walls (where visible) and columns in the basement will be primed and repainted.

The attic will be finished to serve as additional living space for the west apartment. The room will be finished with gypsum board cladding on the ceiling and on the new knee walls, and a new wood floor and subfloor will be installed. The exposed brick walls at the north and south sides of the space will be maintained.

The impact will be preservation of historic room proportions and historic finishes with the installation of new finishes where necessary. The new materials will be compatible with the character of the building and will be appropriate for the modern-day uses of the spaces.

**Number** 14

**Feature** Electrical

**Date of Feature** Modern

**Describe existing feature and its condition**

The building's electrical system is modern and has been updated in a piecemeal fashion over the years. The full functionality of the electrical system has not been determined.

Photo Numbers No Photo

Drawing Numbers NA

**Describe work to feature**

A new code-compliant electrical system will be installed throughout the building's first and second floor dwelling units and in the basement. New lighting fixtures will be provided for the rooms; the new fixtures will be simple, unobtrusive designs that will be compatible with the character of the structure. A select number of recessed fixtures will be used in kitchens, bathrooms, halls, and throughout the basement to provide adequate sources of lighting illumination.

The impact will be complete compliance with current building codes that will allow the building to be used safely for modern-day living.

**Number** 15

**Feature** Plumbing

**Date of Feature** Modern

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

**Describe existing feature and its condition**

The building's existing plumbing system includes sinks, toilets, and bathtubs. The plumbing fixtures appear to be in fair condition.

Photo Numbers \_\_\_\_\_ Drawing Numbers 3-6

**Describe work to feature**

New plumbing lines and fixtures will be installed throughout the building as necessary, in the kitchens and in the existing and new bathrooms. Plumbing lines at the first and second floors of the building will be concealed by room surface finishes. New sinks and dishwasher hookups will be provided in the kitchens, and new washer connections will be provided in each apartment.

The impact will be the installation of a new plumbing system and fixtures which will allow the building to function efficiently and safely for modern-day living. The new plumbing fixtures will be compatible with the historic character of the structure.

Number <u>16</u>	Feature <u>HVAC</u>	Date of Feature <u>Modern</u>
------------------	---------------------	-------------------------------

**Describe existing feature and its condition**

The building is conditioned by modern central heating and cooling systems.

The HVAC system appears to be functional.

Photo Numbers \_\_\_\_\_ Drawing Numbers 4

**Describe work to feature**

New HVAC systems will be installed to serve the east and west residential units as well as the unit in the basement. New HVAC exterior compressor units will be located on grade at the east elevation or on the roof of the building. Any units that may be installed on the roof of the building will not be visible from the adjacent public rights of way. The ductwork will be housed in the basement and in the attic to the extent possible. A new HVAC closet is proposed for installation under the slope of the main staircase. The new closet will allow the system to be installed without a soffit in the first floor west center room. Some ductwork may be contained within bulkheads over new kitchen cabinets. Any dropped ceilings that may be required will be confined to bathrooms and closet spaces.

The impact will be the installation of new central heating and air-conditioning systems. The new systems will ensure a stable interior climate (in terms of temperature and humidity) that will in turn aid in the long-term preservation of the structure.

Number <u>17</u>	Feature <u>Hardware</u>	Date of Feature <u>Ca. 1910 and later</u>
------------------	-------------------------	---

**Describe existing feature and its condition**

The hardware in the building consists of a mix of historic and modern assemblies on the

**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

interior doors. The door hardware includes metal hinges, metal knobs and escutcheons, metal knobs, and glass knobs. Window hardware is composed of metal sash locks at the meeting rails. A variety of knobs and deadbolt hardware is present at the exterior front door and the various secondary door units.

The hardware is in fair condition.

Photo Numbers \_\_\_\_\_ Drawing Numbers NA \_\_\_\_\_

**Describe work to feature**

New hardware will be installed on the doors and windows where existing hardware is missing or is damaged. The design of the new hardware will be compatible with the character of the structure.

There will be no significant impact to the structure with the addition of new hardware.

<b>Number</b> <u>18</u>	<b>Feature</b> <u>Insulation</u>	<b>Date of Feature</b> <u>NA</u>
-------------------------	----------------------------------	----------------------------------

**Describe existing feature and its condition**

The building does not appear to incorporate any insulation.

Photo Numbers No Photo Drawing Numbers NA \_\_\_\_\_

**Describe work to feature**

New fiberglass-bat insulation with a vapor barrier will be installed where possible and where necessary.

Installing insulation will have no impact on the integrity of the structure.

<b>Number</b> <u>19</u>	<b>Feature</b> <u>Site</u>	<b>Date of Feature</b> <u>Ca. 1910 and later</u>
-------------------------	----------------------------	--

**Describe existing feature and its condition**

The front yard of the building consists of small planting beds bordered by low poured concrete retaining walls that extend along the street frontage of North Arthur Ashe Boulevard. The rear yard is level and is landscaped with planting beds and concrete pavers. A modern vertical board privacy fence borders the rear yard and separates the yard from a graveled parking area off the city alley.

There is no garage, shed, outbuilding, or accessory structure associated with the property.

Photo Numbers \_\_\_\_\_ Drawing Numbers NA \_\_\_\_\_

**Describe work to feature**

The site will remain in its existing condition, and will be cleaned and repaired; the

**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name 17 North Boulevard NPS Project Number \_\_\_\_\_

Property Address 17 North Arthur Ashe Boulevard, Richmond, VA

front planting bed and the rear yards will be landscaped as directed by the owner. Any new plantings will highlight the historic character of the site, the building, and the neighborhood. The privacy fence and gate at the rear yard will be replaced with new components. The new fence and gate will be painted or stained with an opaque stain.

The impact of these improvements to the site will enhance the character of the building and will allow the site to function safely and efficiently for modern-day use.

## **HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION**

### **NOTICES**

#### **Privacy Act Statement**

**Authority:** 26 U.S. Code § 47 - Rehabilitation credit; 26 U.S. Code § 170 - Charitable, etc., contributions and gifts.

**Purpose:** To enable the Secretary of the Interior to evaluate the historic significance of structures and whether the rehabilitation of such structures preserves their historic character. The primary use of this information by the Secretary of the Interior will be to certify to the Secretary of the Treasury that the applicant is eligible for Federal tax incentives for historic preservation. This application is used by the Internal Revenue Service to confirm that applicants for the tax incentives have obtained the certification concerning historic structures and historic rehabilitations that are required by law.

**Routine uses:** The information will be used by the National Park Service and the State Historic Preservation Offices and disclosed to the Internal Revenue Service to determine if the applicant is eligible for Federal tax incentives.

**Disclosure:** Voluntary, however, failure to provide the requested information may prevent or impede you from receiving consideration for the requested benefit.

**Information Regarding Disclosure of Your Social Security Number Under Public Law 93-579 Section 7(b):**  
Your Social Security Number (SSN) is needed to identify records unique to you. Applicants are required to provide their social security or taxpayer identification number for activities subject to collection of fees and charges by the National Park Service. Failure to disclose your SSN may prevent or delay the processing of your application. The authority for soliciting your SSN is 31 U.S.C. 7701. The information gathered through the use of the SSN will be used only as necessary for processing this application and collecting and reporting any delinquent financial obligations. Use of the SSN will be carried out in accordance with established regulations and published notices of system of records.

#### **Paperwork Reduction Act Statement**

We are collecting this information subject to the Paperwork Reduction Act (44 U.S.C. 3501) through the State Historic Preservation Officer in order to enable the Secretary of the Interior to gain the benefit of the State review of applications for Federal tax incentives for historic preservation by owners of historic properties. Information collected on this form, including names and all written comments, is subject to disclosure. All applicable parts of the form must be completed in order to receive consideration for the requested benefit. A Federal agency may not conduct or sponsor, and a person is not required to respond a collection of information unless it displays a currently valid OMB control number. OMB has approved this collection and assigned it control number 1024-0009.

#### **Estimated Burden Statement**

Public reporting burden for this form is estimated to average 51 hours per response including the time it takes to read, gather and maintain data, review instructions and complete the form. Direct comments regarding these burden estimates, or any aspects of this form, to the Information Collection Clearance Officer, National Park Service, 12201 Sunrise Valley Drive, Mail Stop 242, Reston, VA 20192. Please do not send your form to this address.

#### **Records Retention Statement**

Permanent. Transfer all permanent records to NARA 15 years after closure. (NPS Records Schedule, Resource Management and Lands (Item 1.A.2) (N1-79-08-1))

---

**FOR APPLICANT RECORDS ONLY – THIS PAGE DOES NOT NEED TO BE PRINTED FOR APPLICATION**

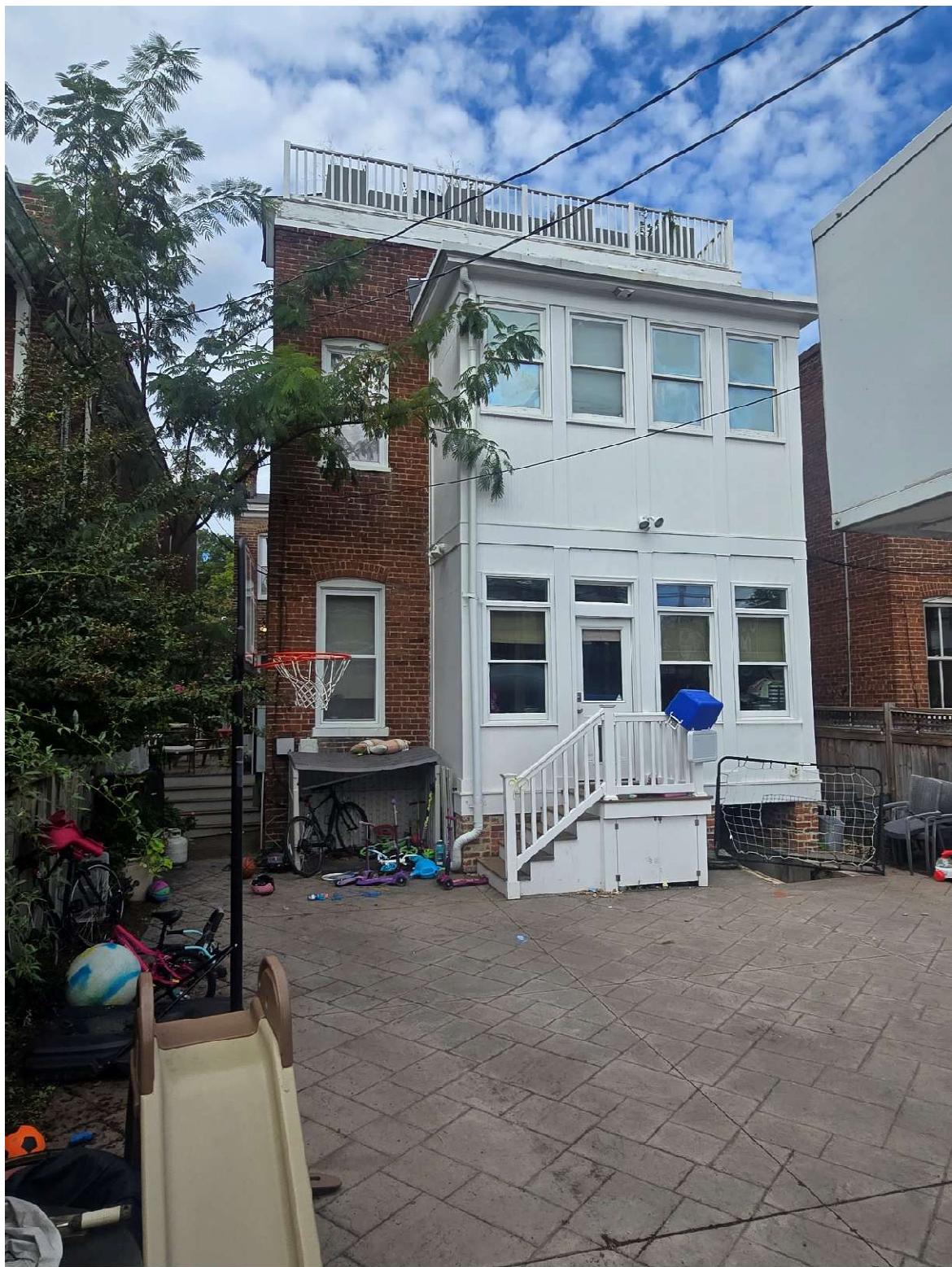
## 17 N. Arthur Ashe Boulevard Rear Porch Enclosure and Unearth Existing Basement Stairs

We would like to enclose the second-floor rear porch to add a bathroom and closet. This enclosure will take place under the existing roof line. It will be clad in bard and batten, and a skylight will be added. Both 15 and 19 N. Arthur Ashe Boulevard have had the first and second floor rear porches enclosed.

A basement door was infilled with CMU and the concrete set of stairs leading to grade were filled-in between 2010 and 2011. We would like to reinstall a basement door and unearth the stairs. Repairs or replacement is probable. If replacement is required, the new set will match in material and dimensions.



Rear of 17 N. AA Boulevard



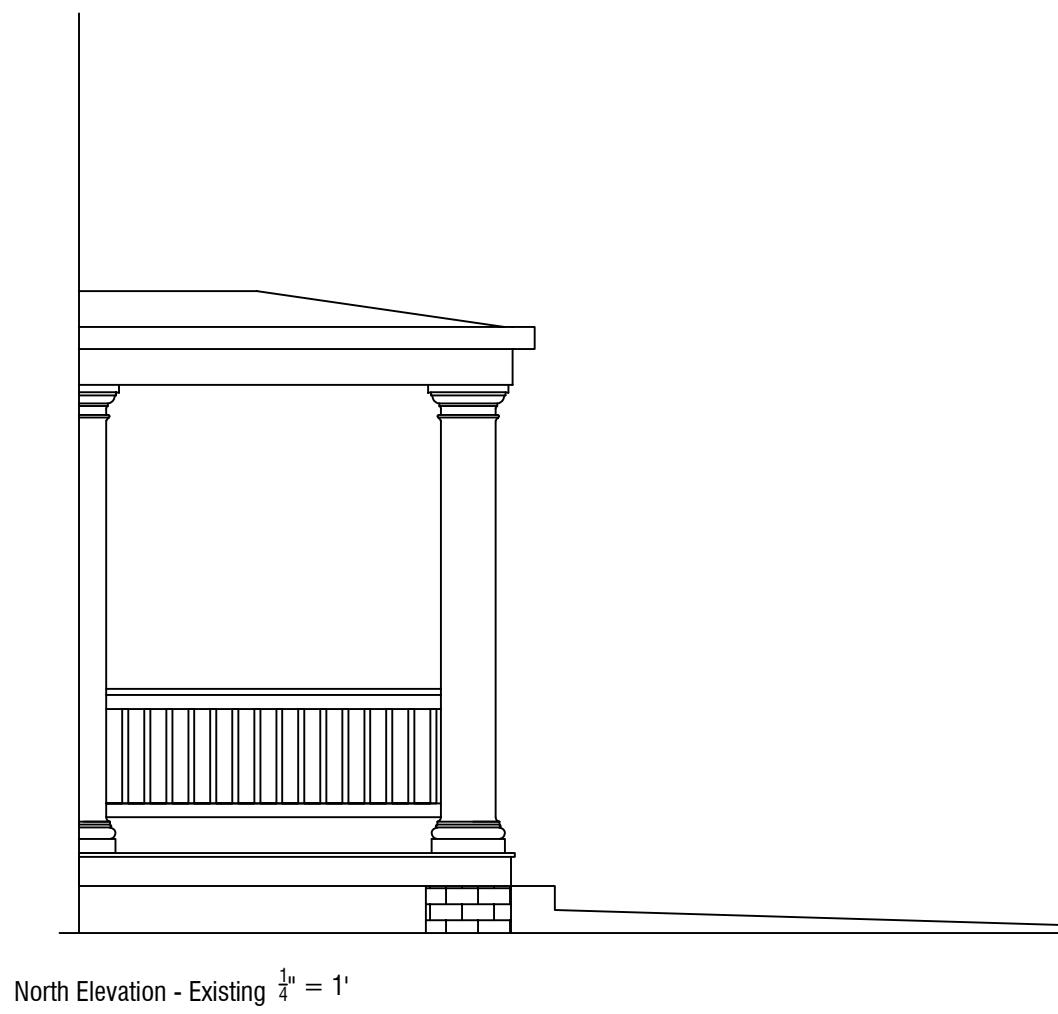
Rear of 15 N. AA Boulevard



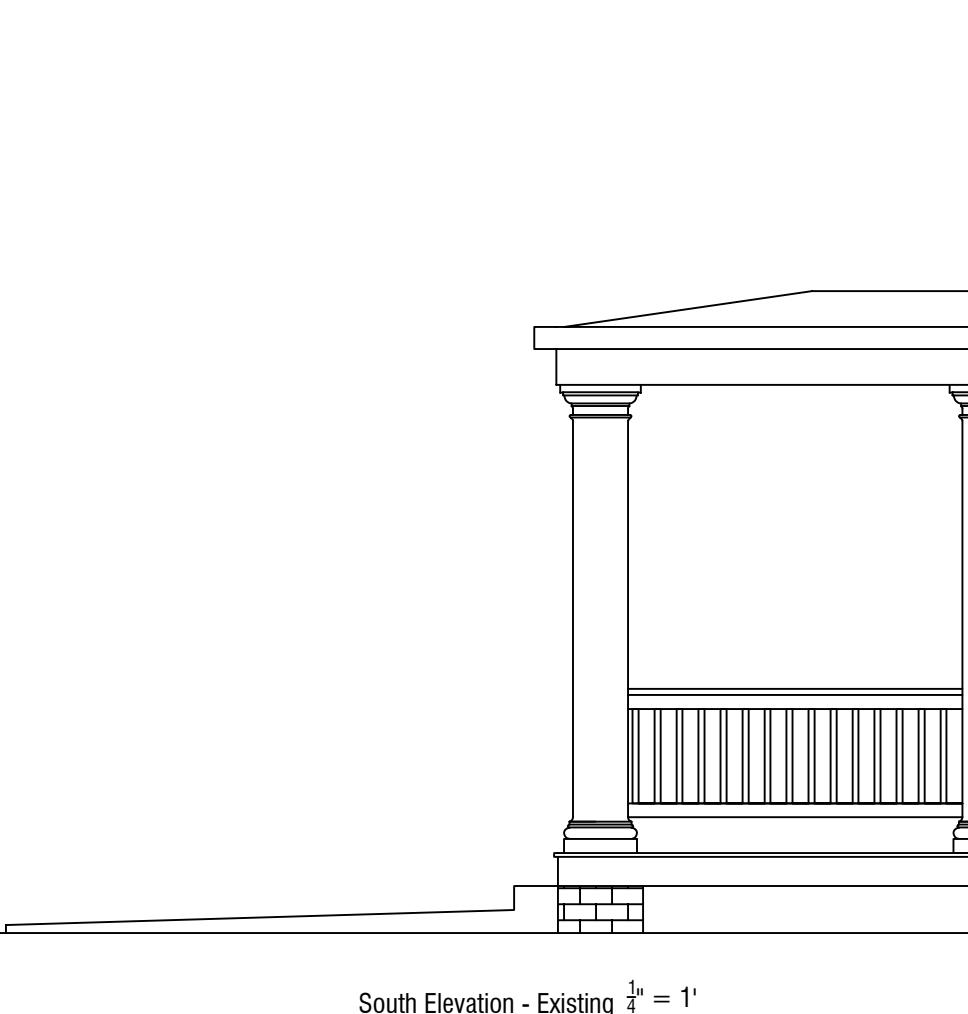
Rear of 19 N. AA Boulevard



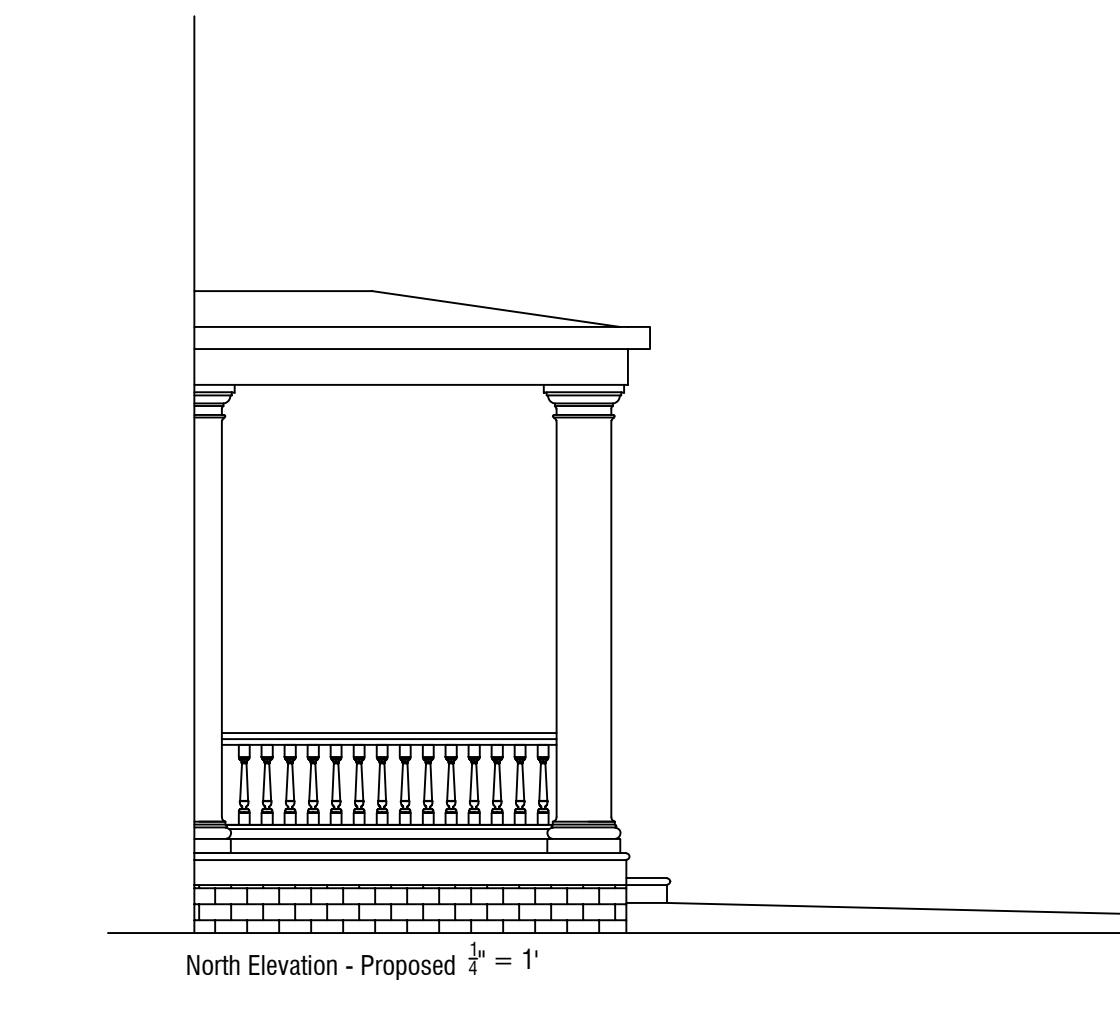
## Infilled masonry basement door opening and side walls of steps



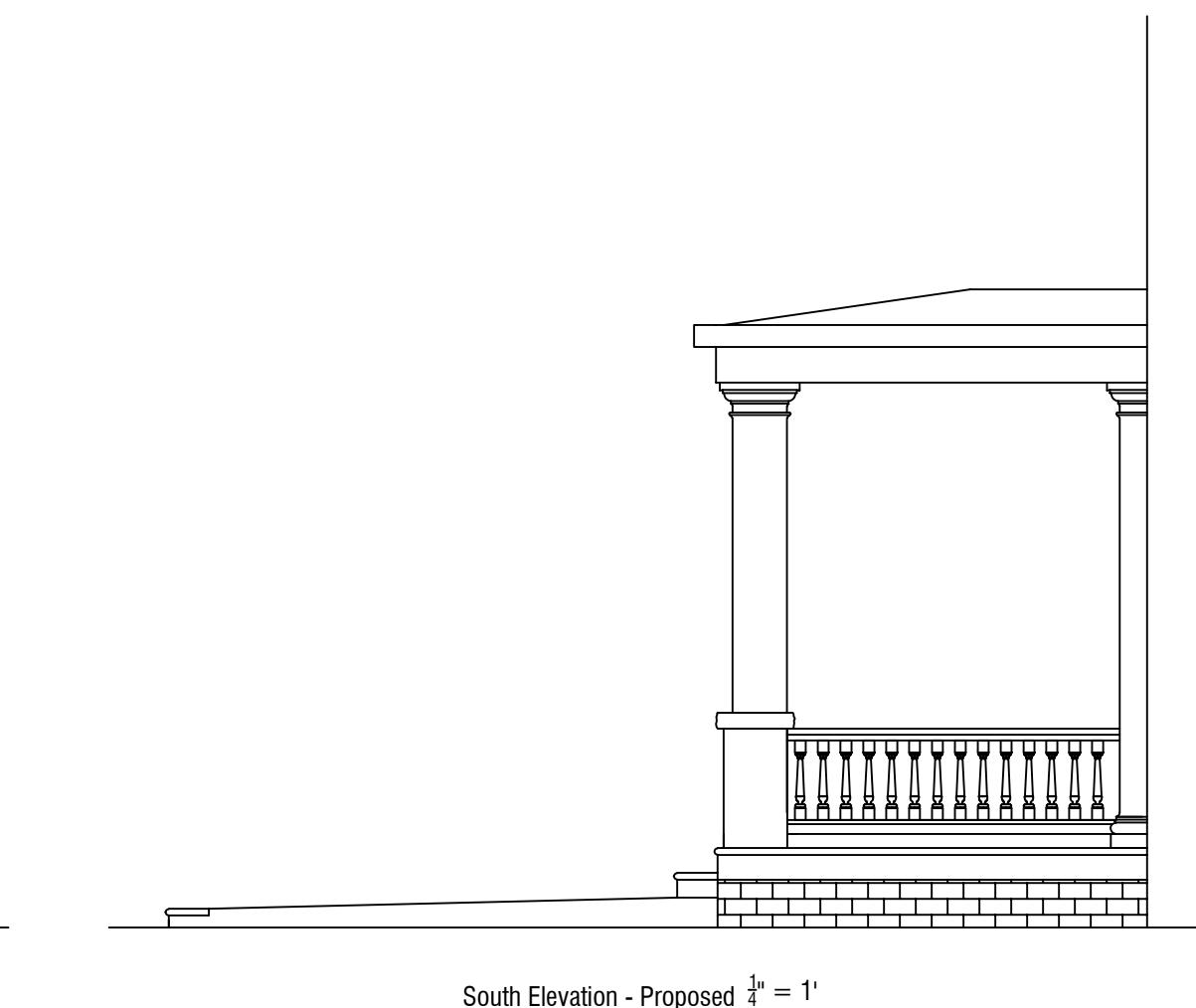
North Elevation - Existing  $\frac{1}{4}'' = 1'$



South Elevation - Existing  $\frac{1}{4}'' = 1'$



North Elevation - Proposed  $\frac{1}{4}'' = 1'$



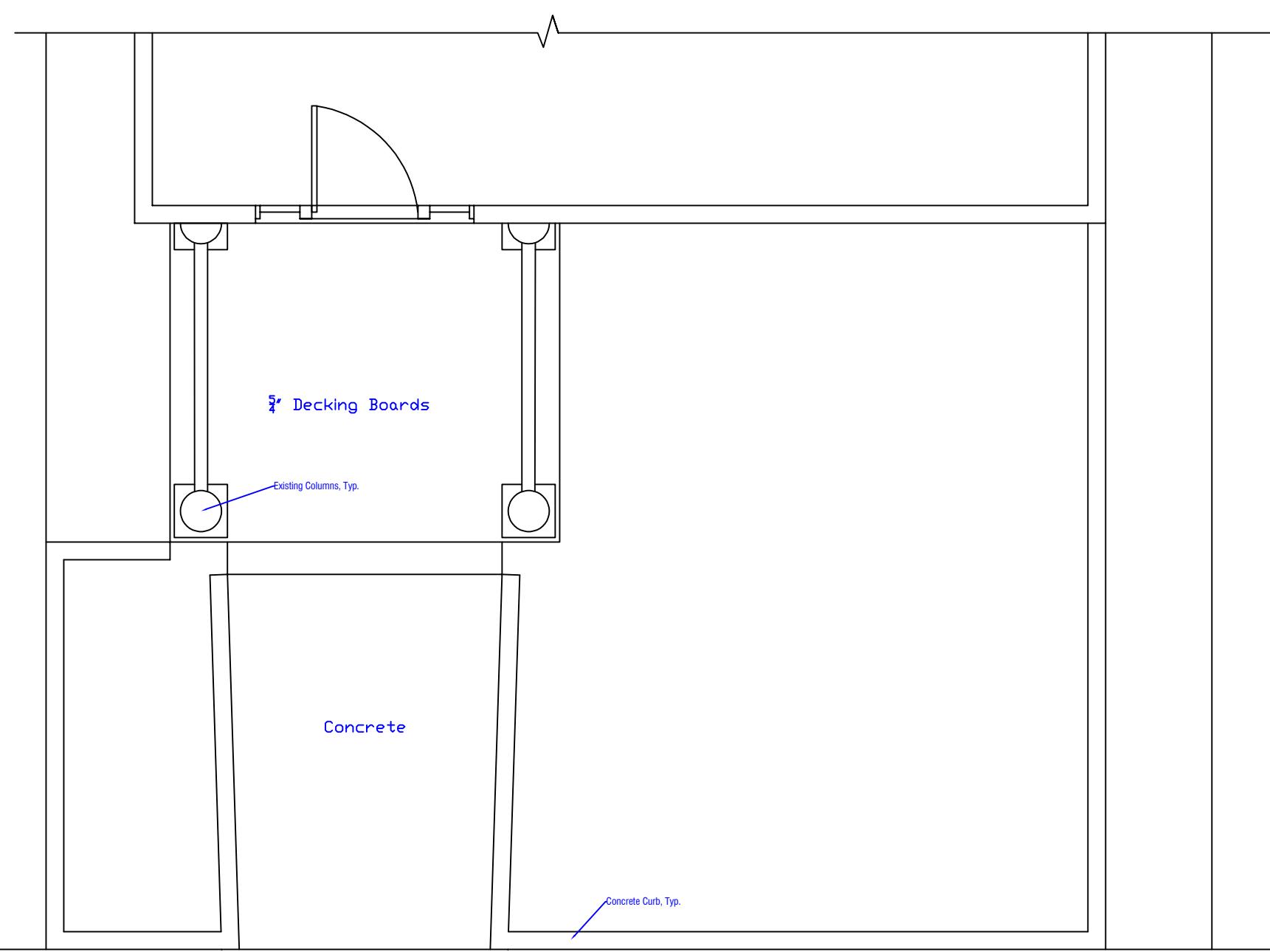
South Elevation - Proposed  $\frac{1}{4}'' = 1'$



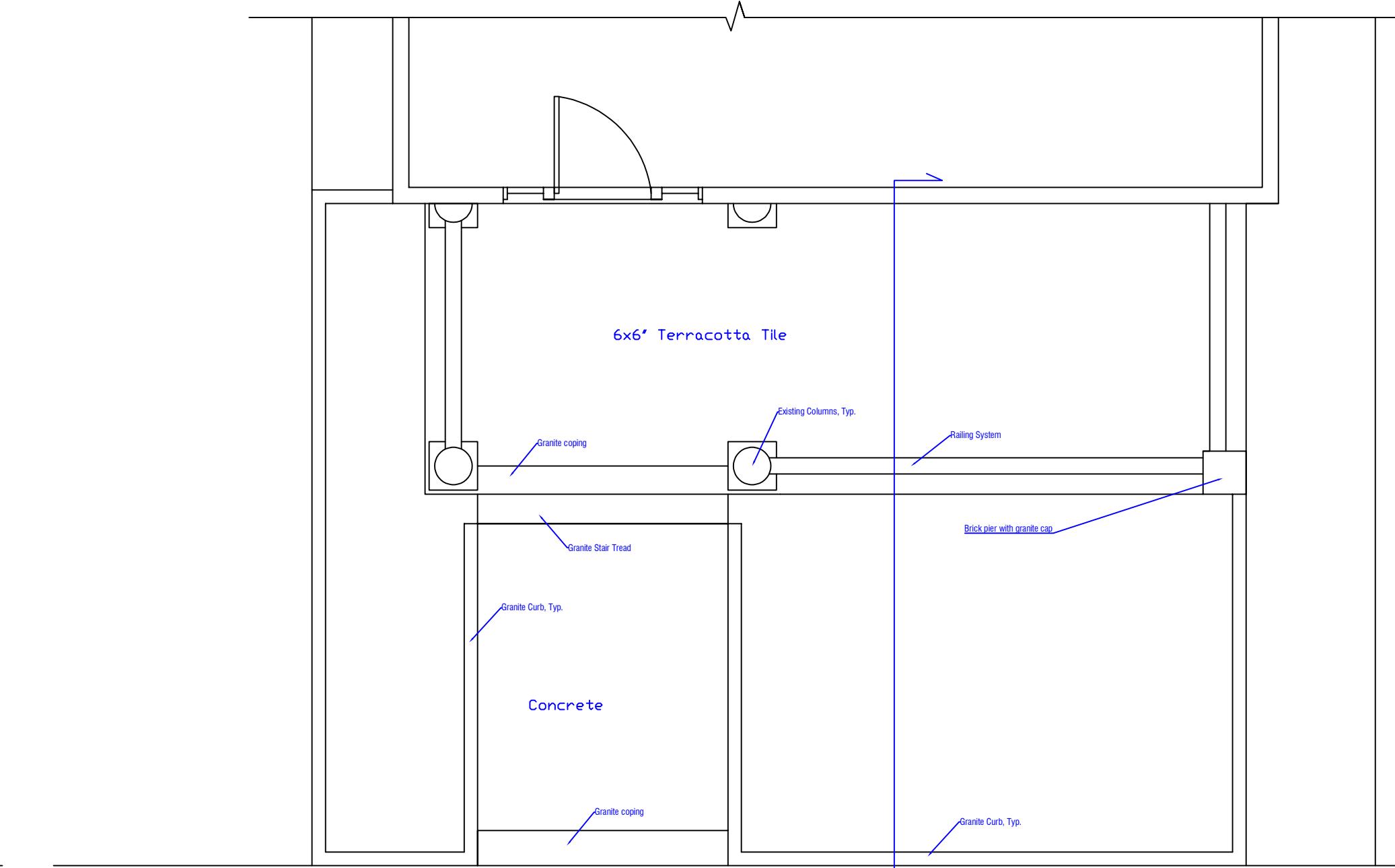
West Elevation - Existing  $\frac{1}{4}'' = 1'$



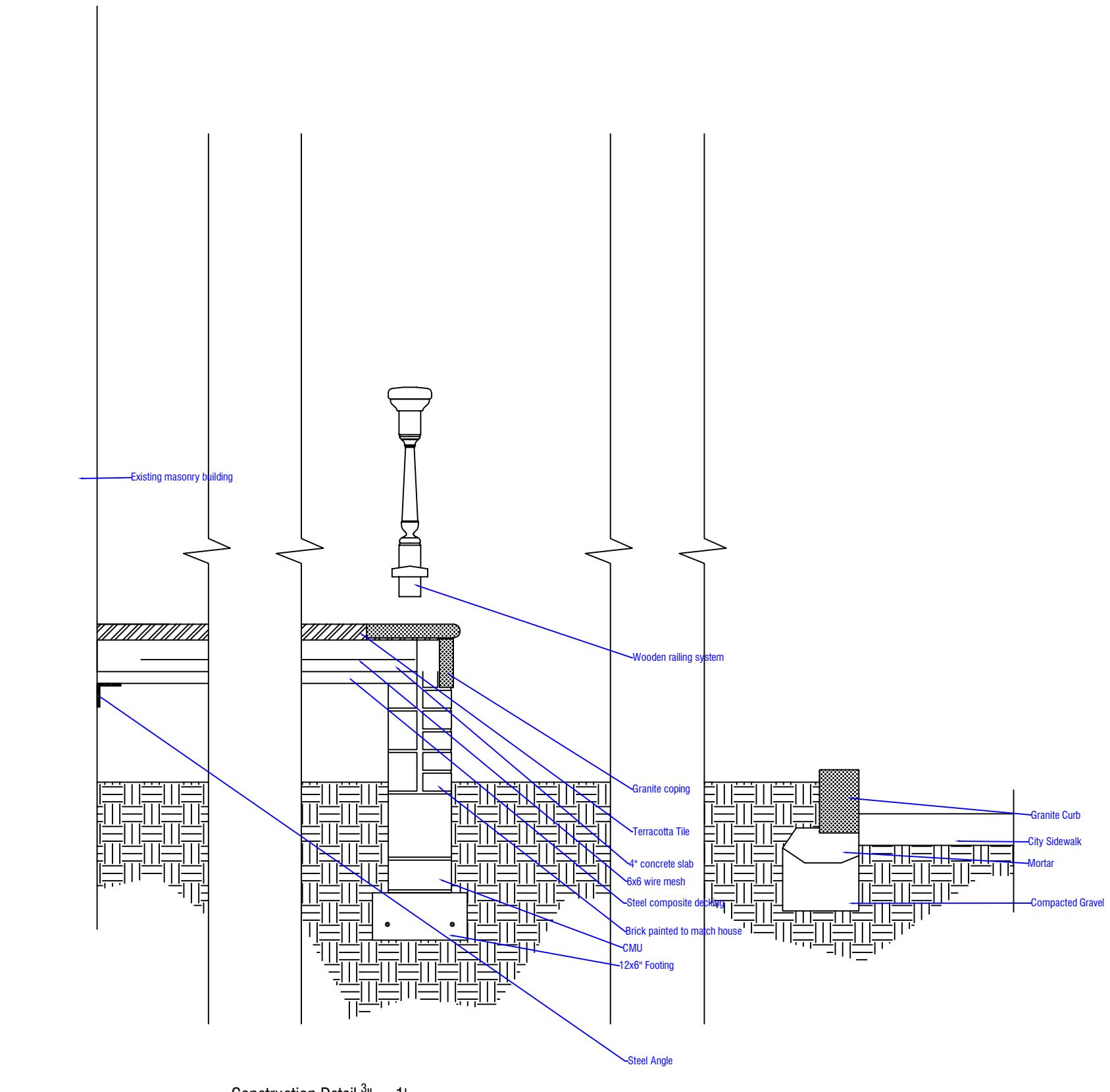
West Elevation - Proposed  $\frac{1}{4}'' = 1'$



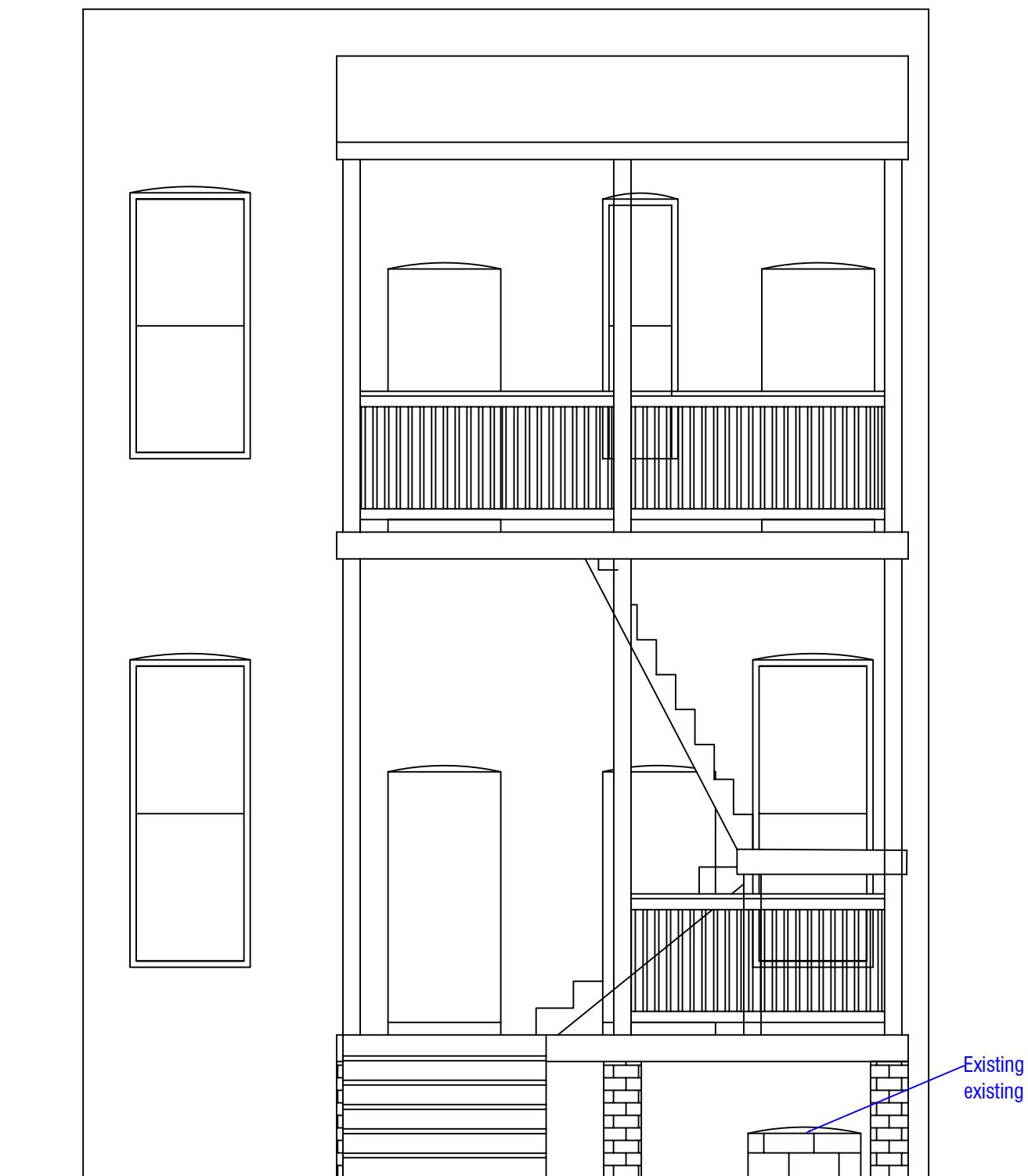
Plan - Existing  $\frac{1}{4}'' = 1'$



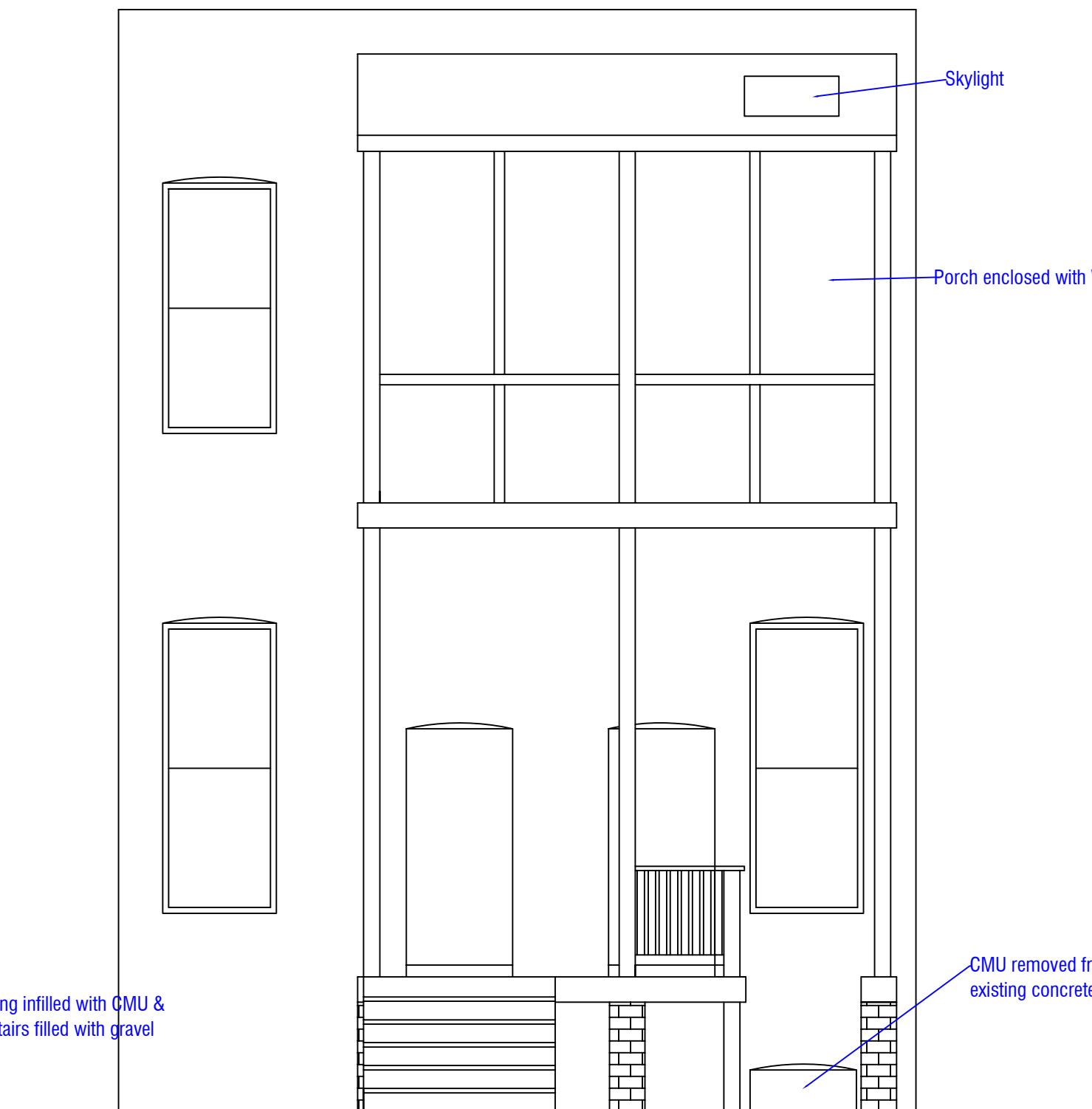
Plan - Proposed  $\frac{1}{4}'' = 1'$



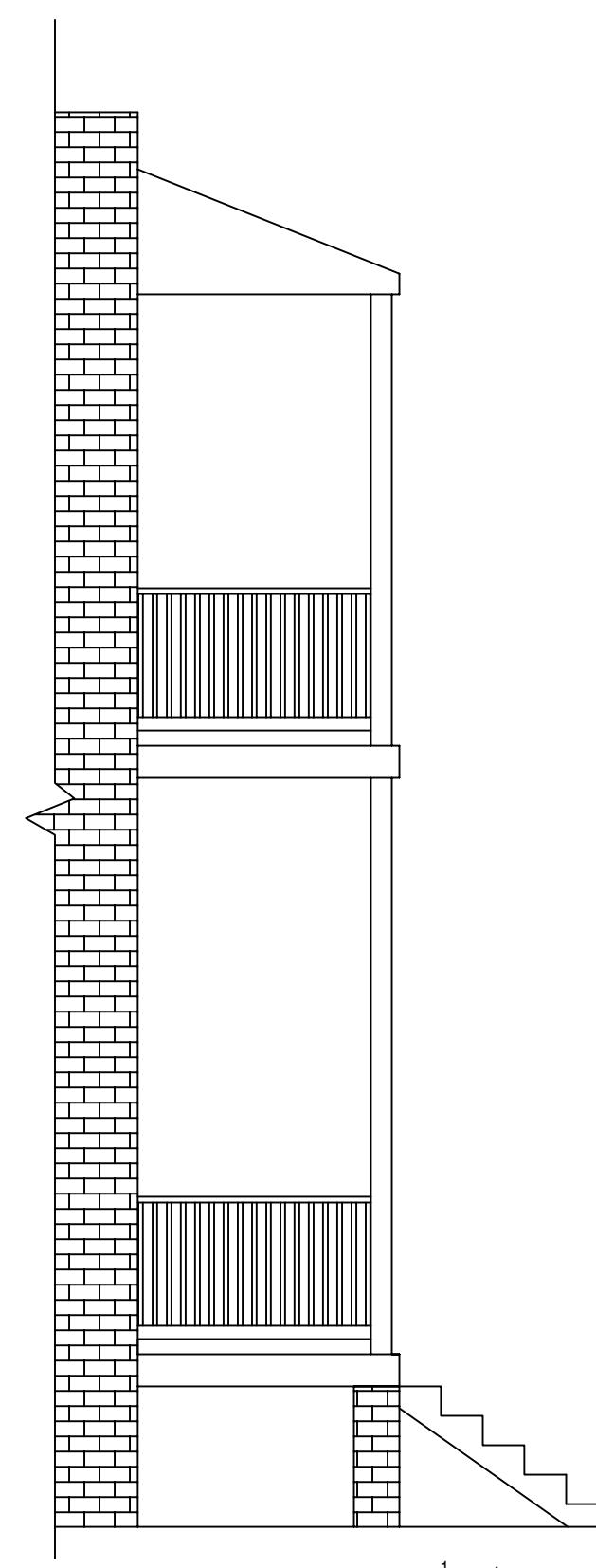
Construction Detail  $\frac{1}{4}'' = 1'$



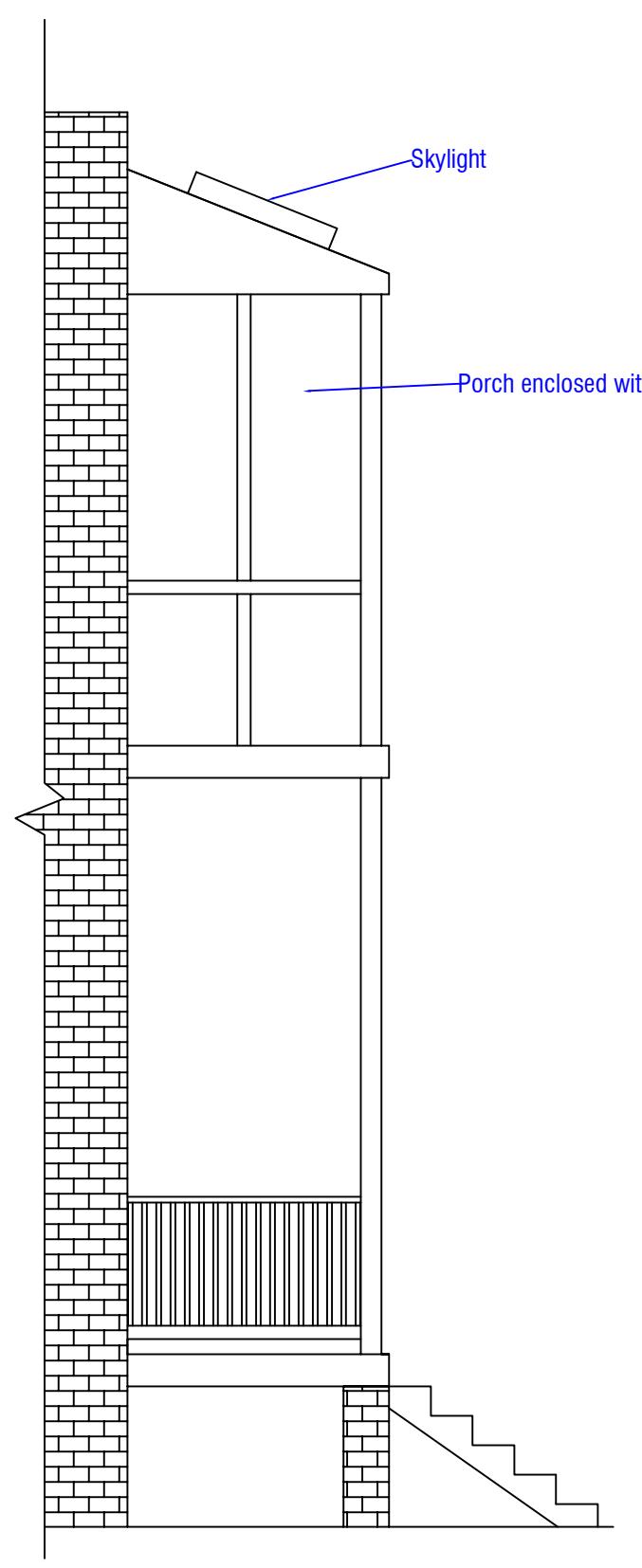
East Elevation - Existing  $\frac{1}{4}'' = 1'$



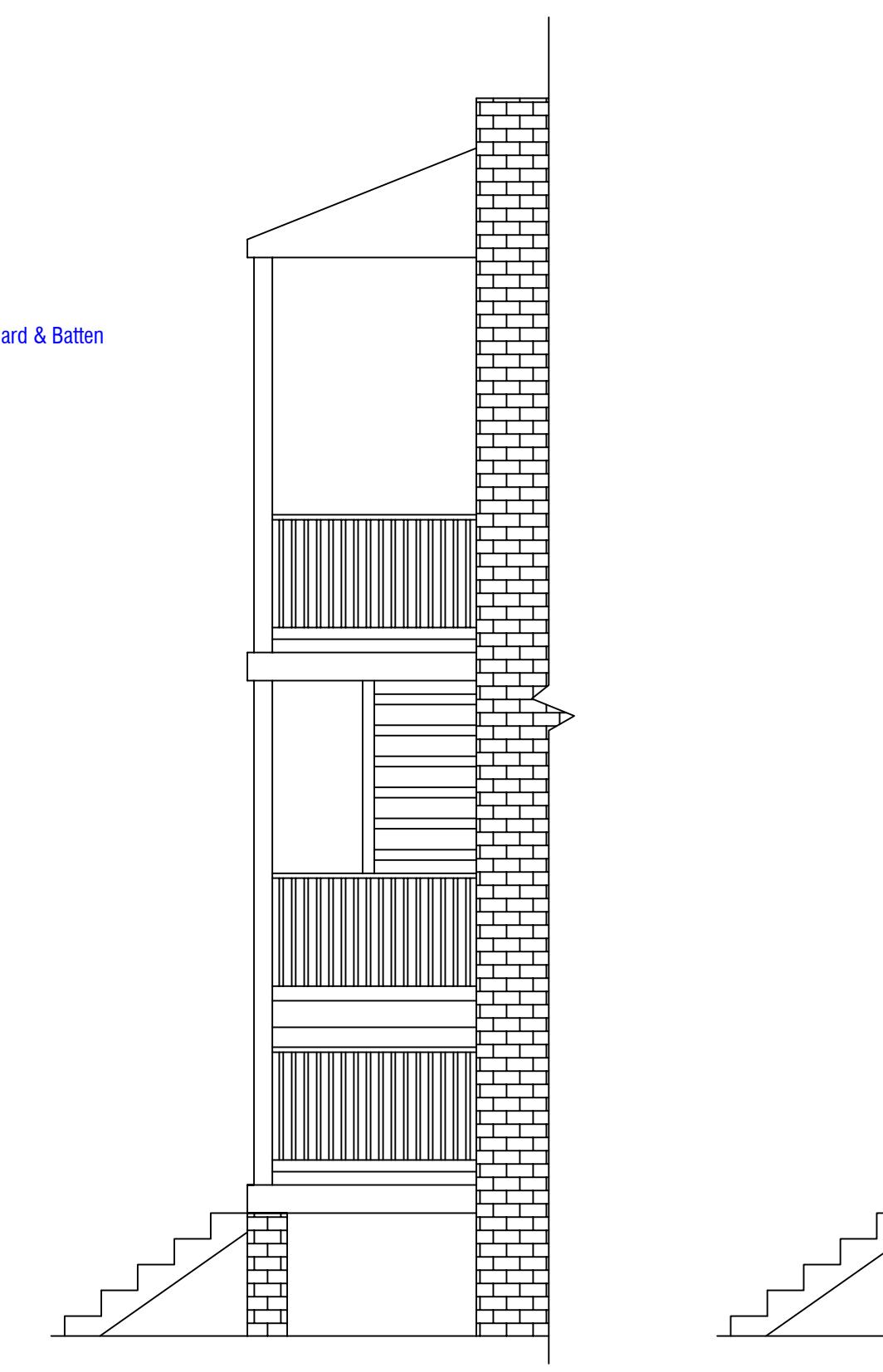
East Elevation - Proposed  $\frac{1}{4}'' = 1'$



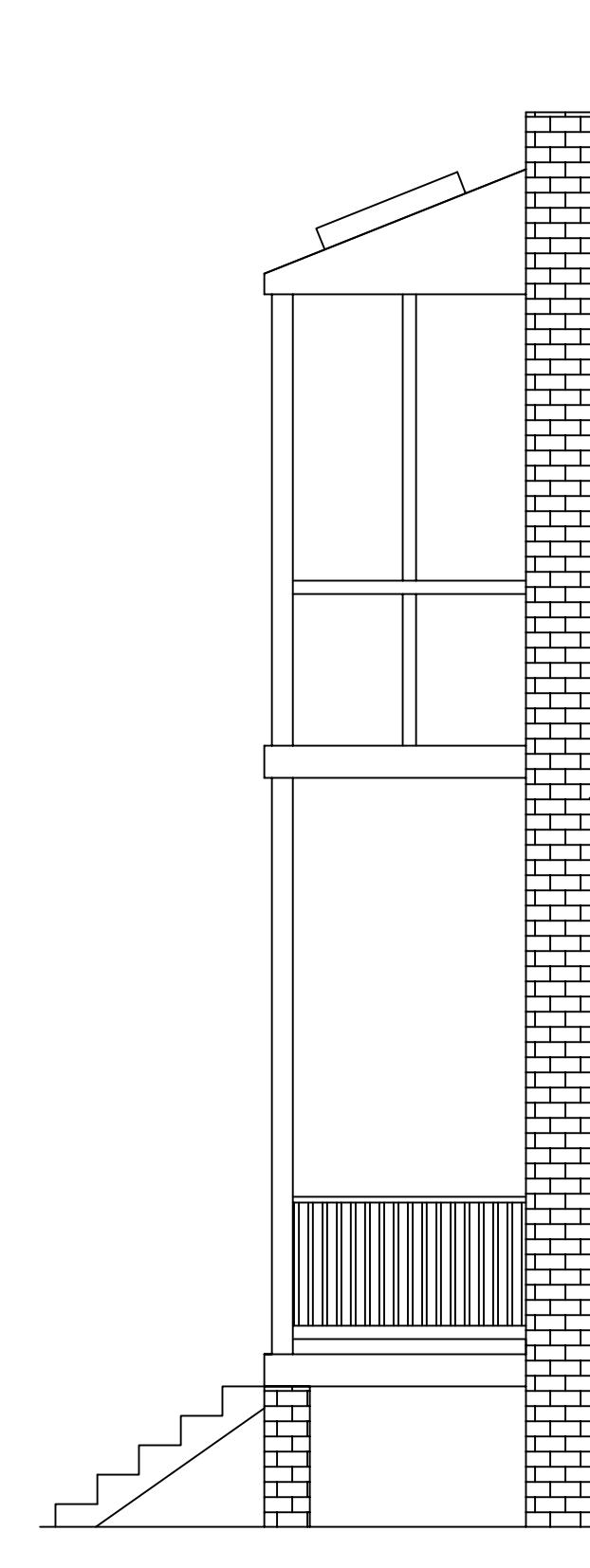
South Elevation - Existing  $\frac{1}{4}'' = 1'$



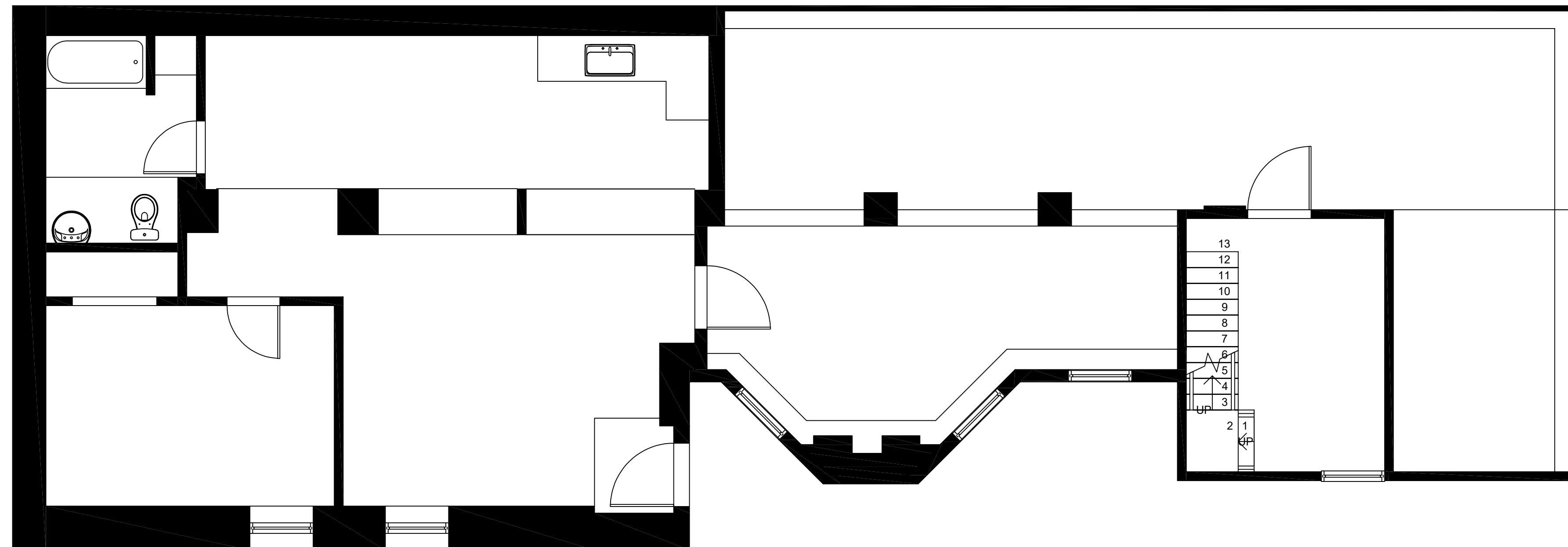
South Elevation - Proposed  $\frac{1}{4}'' = 1'$



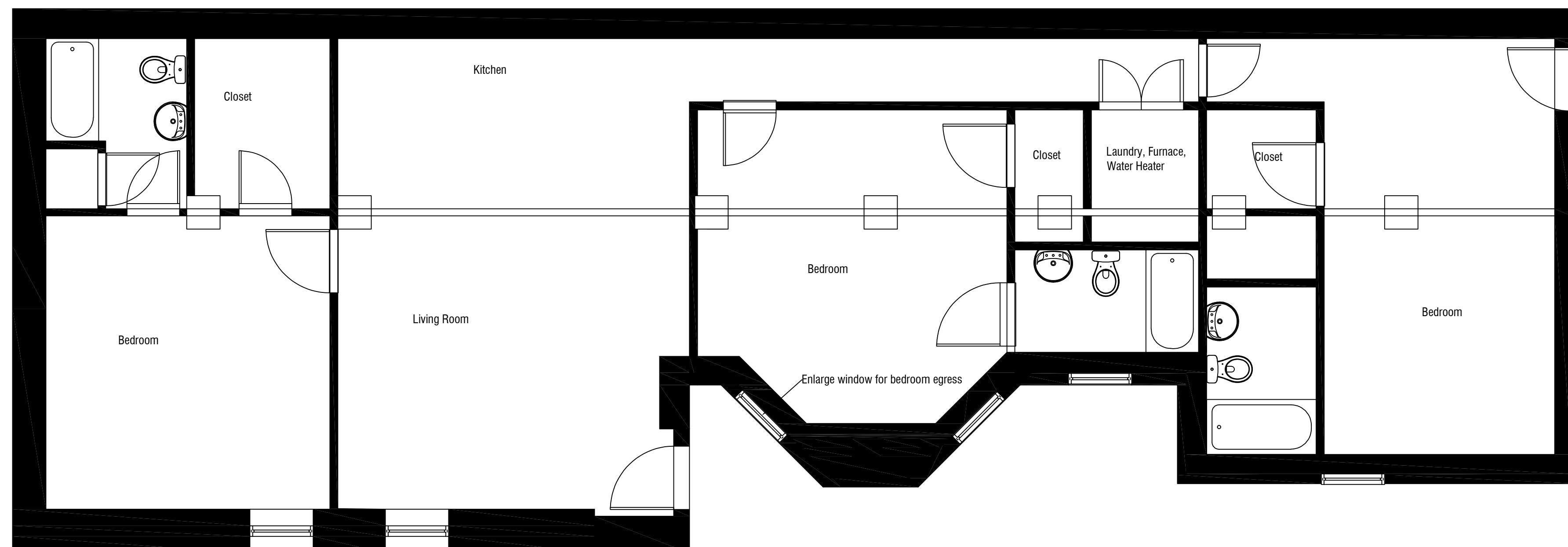
North Elevation - Existing  $\frac{1}{4}'' = 1'$



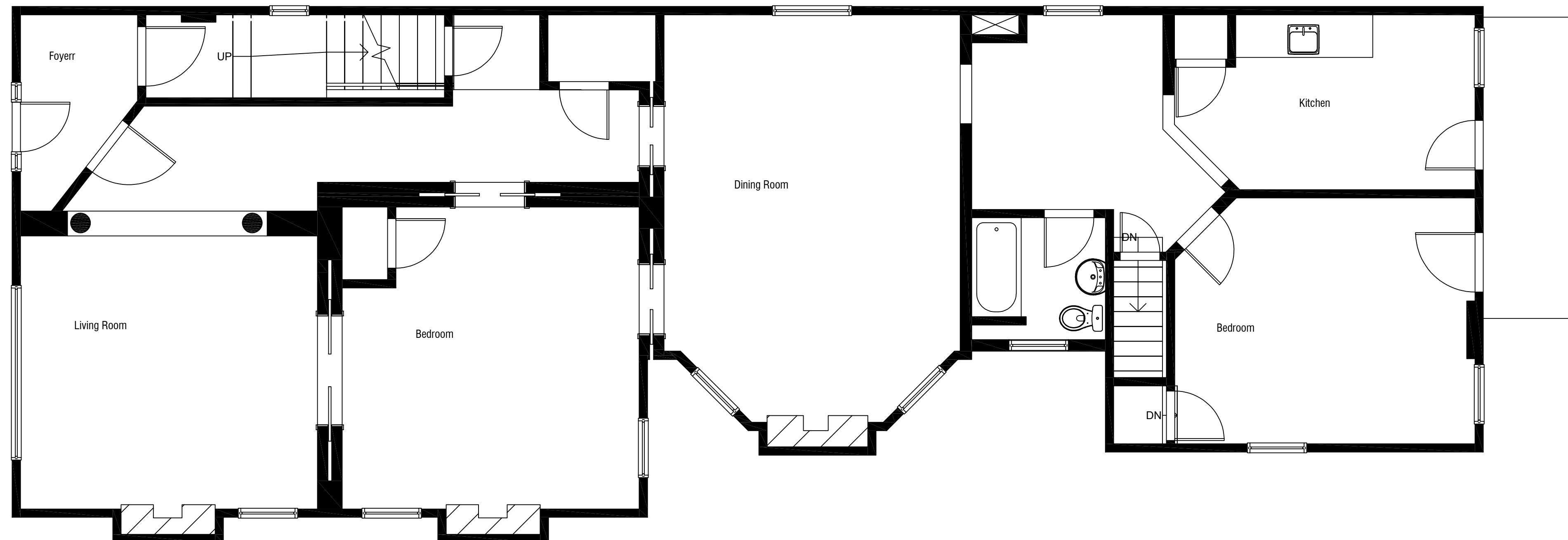
North Elevation - Proposed  $\frac{1}{4}'' = 1'$



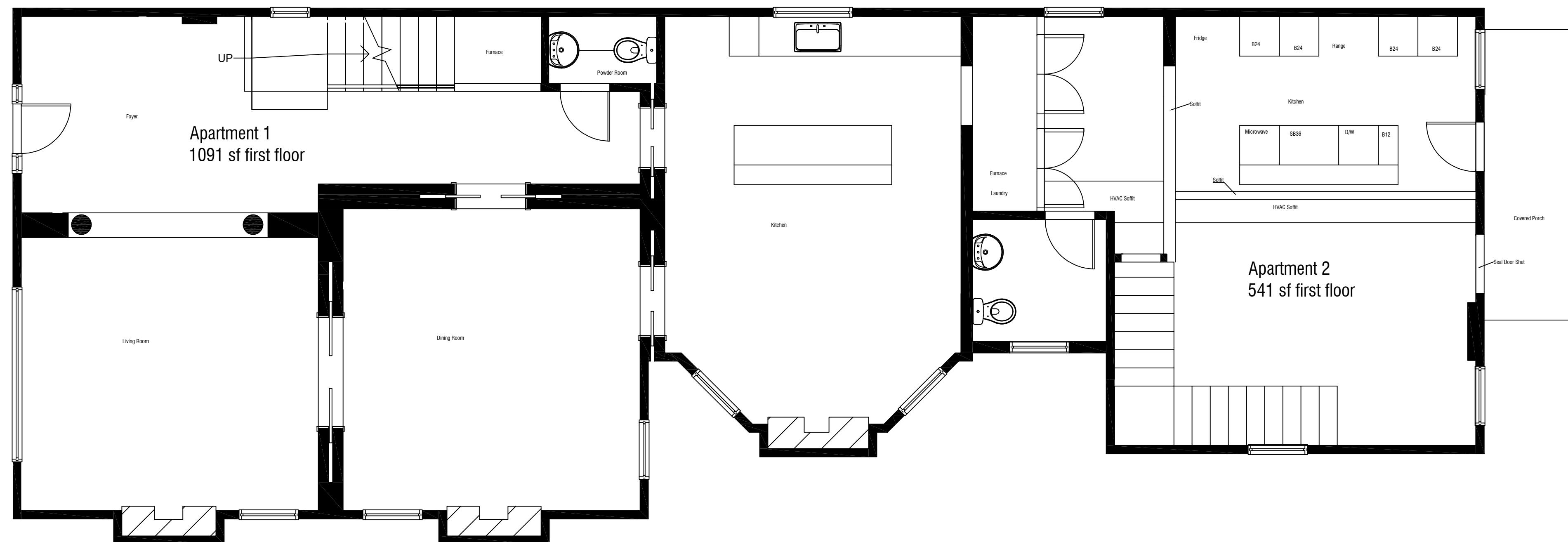
Basement Existing  $\frac{1}{4}'' = 1'$



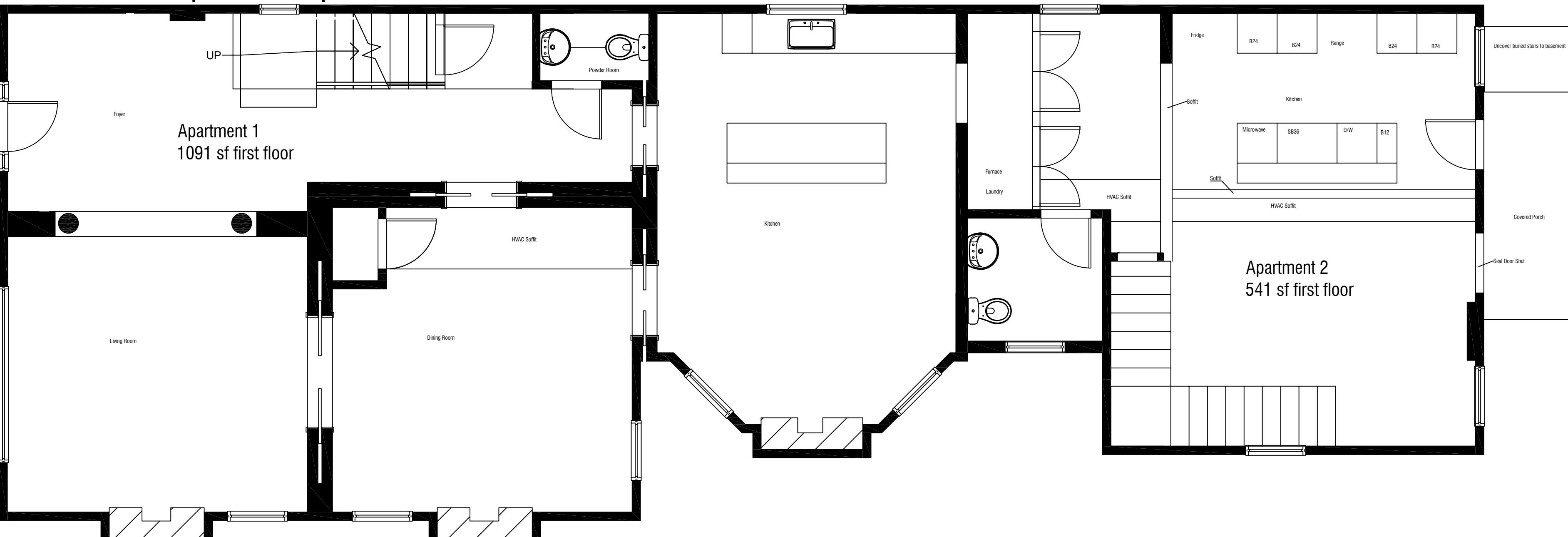
Basement Proposed  $\frac{1}{4}'' = 1'$



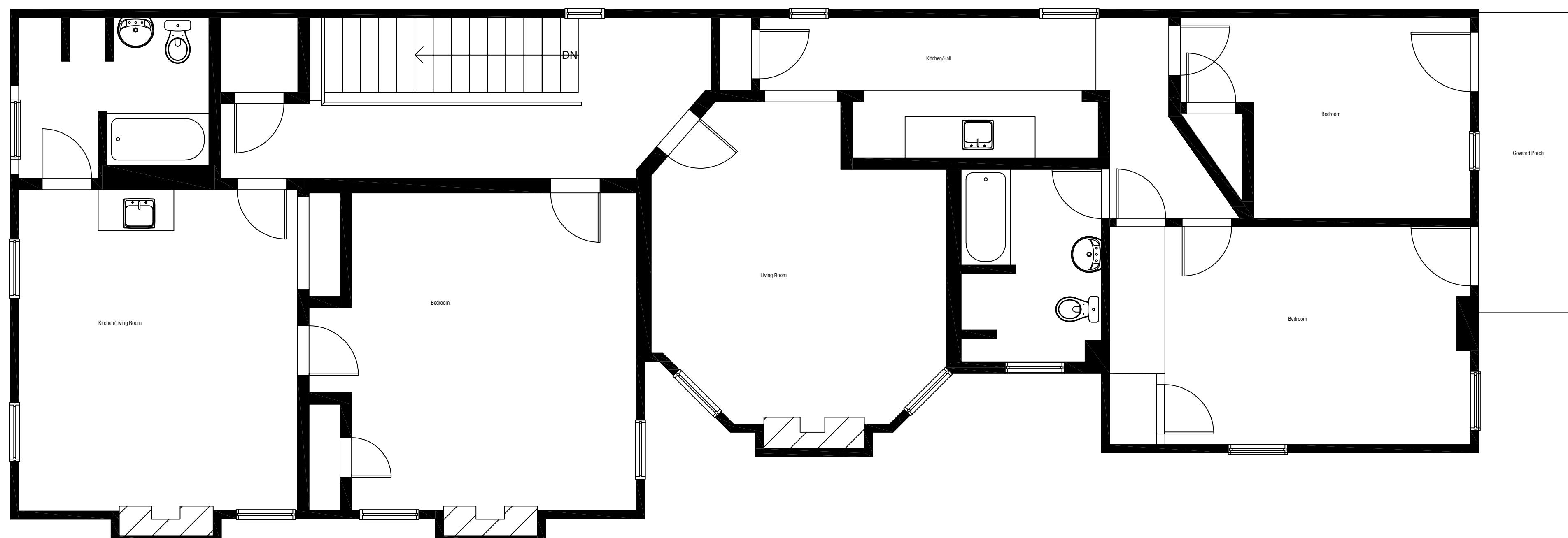
First Floor Existing  $\frac{1}{4}$ " = 1'



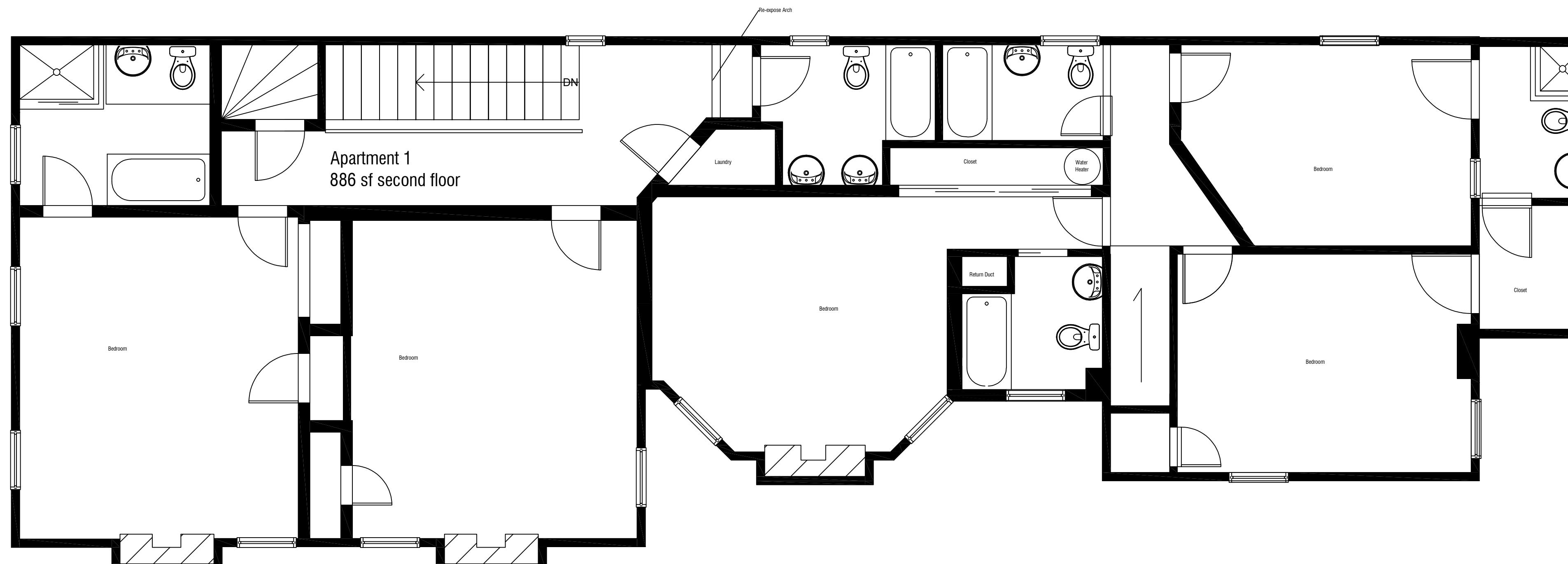
First Floor Proposed - Option A  $\frac{1}{4}$ " = 1'



First Floor Proposed - Option B  $\frac{1}{4}$ " = 1'



Second Floor Existing  $\frac{1}{4}'' = 1'$



Second Floor Proposed  $\frac{1}{4}'' = 1'$

