

INTRODUCED: May 8, 2023

AN ORDINANCE No. 2023-157

As Amended

To authorize the special use of the property known as 301 West 6<sup>th</sup> Street for the purpose of a multifamily dwelling containing up to 553 dwelling units, with off-street parking, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Stoney (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: JUN 12 2023 AT 6 P.M.

WHEREAS, the owner of the property known as 301 West 6<sup>th</sup> Street, which is situated in a RF-2 Riverfront District and B-7 Mixed-Use Business District, desires to use such property for the purpose of a multifamily dwelling containing up to 553 dwelling units, with off-street parking, which use, among other things, is not currently allowed by sections 30-447.12(2), concerning side and rear yards, 30-447.14, concerning building dimensions and space between buildings, 30-447.15, concerning the usable open space ratio, and 30-447.18, concerning height, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions

AYES: 7 NOES: 0 ABSTAIN: \_\_\_\_\_

ADOPTED: JUN 26 2023 REJECTED: \_\_\_\_\_ STRICKEN: \_\_\_\_\_

set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

**§ 2. Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 301 West 6<sup>th</sup> Street and identified as Tax Parcel No. S000-0014/001 in the 2023 records of the City Assessor, being more particularly shown on a survey entitled “ALTA/NSPS Survey for 301 West 6<sup>th</sup> Street, Parcel S000001400 [sic], City of Richmond, VA,” prepared by Nyfeler Associates, and dated September 29, 2022, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a multifamily dwelling containing up to 553 dwelling units, with off-street parking, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “301 W 6<sup>th</sup> Street, Richmond, VA 23224,” prepared by Walter Parks, Architects, and dated January 27, 2023, “301 W 6<sup>th</sup> Street, 301 W 6<sup>th</sup> Street, Richmond, VA,” prepared by Walter Parks, Architects, and dated October 21, 2022, and the plans entitled “301 W. 6<sup>th</sup> Street, City of Richmond, Virginia,” prepared by Timmons Group, dated January 19, 2023, and last revised February 28, 2023, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a multifamily dwelling containing up to 553 dwelling units, with off-street parking. Amenity spaces, including a ground-level outdoor amenity space labeled “Amenity Outdoor Space,” substantially as shown on the Plans, shall be provided. Non-residential uses permitted in the RF-2 Riverfront District, pursuant to section 30-447.11 of the Code of the City of Richmond (2020), as amended, shall also be permitted.

(b) In the event that the adjacent property known as 405 West 6<sup>th</sup> Street and identified as Tax Parcel No. S000-0023/001 in the 2023 records of the City Assessor is dedicated for public use, the Owner shall allow public access to and from the property known as 405 West 6<sup>th</sup> Street and identified as Tax Parcel No. S000-0023/001 in the 2023 records of the City Assessor over the private access road located on the Property and labeled as “Private Drive” on the Plans.

(c) No fewer than 553 off-street parking spaces shall be provided for the Special Use, substantially as shown on the Plans.

(d) The height of the Special Use shall not exceed 18 stories, substantially as shown on the Plans.

(e) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(f) All mechanical equipment, including heating, ventilation, and air conditioning units, serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(g) Storage for no fewer than 141 long-term, on-site bicycle parking spaces and 22 short-term, [~~off-site~~] on-site bicycle spaces shall be provided on the Property, substantially as shown on the Plans.

(h) Facilities for the relief of dogs shall be constructed on the portion of the Property shown and labeled as “amenity outdoor space” on the Layout Plan, which is sheet C4 of the Plans.

(i) Prior to the issuance of a building permit, the Owner shall dedicate a pedestrian access easement to the public for the portion of the Property (i) shown and labeled as “amenity outdoor space” on the Layout Plan, which is sheet C4 of the Plans, and (ii) over a portion of the pedestrian improvements connecting the amenity outdoor space and the public right-of-way at Perry Street.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the public right-of-way, including the extension of a new sidewalk and the installation of a new entrance along Perry Street, which improvements may be completed in one or more phases approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

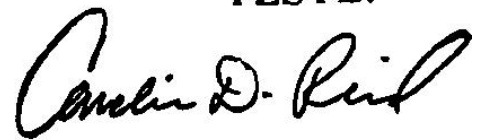
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:  
TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reed". The signature is written in a cursive style with a large initial 'C'.

**City Clerk**





# City of Richmond

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.rva.gov

## Item Request

File Number: PRE.2022.1256

### O & R Request

**DATE:** March 28, 2023

**EDITION:** 1

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Levar M. Stoney, Mayor (Mayor, by Request)  
(This is no way reflects a recommendation on behalf of the Mayor.)

**THROUGH:** J.E. Lincoln Saunders, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, Deputy Chief Administrative Officer for Economic  
Development and Planning

**FROM:** Kevin J. Vonck, Director, Department of Planning and Development Review

**RE:** To authorize the special use of the property known as 301 West 6th Street for the purpose of a multi-family building, with off-street parking, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_\_

**PURPOSE:** To authorize the special use of the property known as 301 West 6th Street for the purpose of a multi-family building, with off-street parking, upon certain terms and conditions.

**REASON:** The applicant is requesting a Special Use Permit which would allow for a multi-family building, with off street parking, located within RF-2 Riverfront and B-7 Mixed-Use Business Districts, which use, among other things, is not currently allowed by sections 30-447.12(2)a, 30-447.15, 30-447.18(1), and 30-447.14(a)(b) regarding side and rear yards, usable open space, height, and building dimensions and space between buildings, respectively, of the Code of the City of Richmond (2020), as amended. A Special Use Permit is therefore required.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council.

**BACKGROUND:** The property is located in the Old Town Manchester neighborhood on West 6th Street, between Perry and McDonough Streets. The property is currently a 125,888 sq. ft. (2.9 acre) unimproved parcel of land. The application is for a new, 17 story multi-family building with off street parking.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Destination Mixed Use. This designation is defined key gateways "...featuring prominent destinations, such as retail, sports venues, and large employers, as well as housing and open space. Located at the convergence of several modes of transportation, including Pulse BRT or other planned transit improvements."

Intensity: Buildings typically a minimum height of five stories.

Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space.

Secondary Uses: Institutional and government. (p. 64)

The current zoning for this property is RF-2 Riverfront District, with a portion of the lot comprised of the former West 6th Street right of way being in the B-7 Mixed-Use Business District. The surrounding land uses include primarily residential and commercial uses. The density is 553 units upon 2.9 acres or 190 units per acre.

**FISCAL IMPACT / COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**FISCAL IMPLICATIONS:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**BUDGET AMENDMENT NECESSARY:** No

**REVENUE TO CITY:** \$2,400 application fee

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** April 24, 2023

**CITY COUNCIL PUBLIC HEARING DATE:** May 22, 2023

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES:** City Planning Commission  
May 15, 2023

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**REQUIRED CHANGES TO WORK PROGRAM(S):** None

**ATTACHMENTS:** Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

**STAFF:** Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

**Project Name/Location**

Property Address: 301 W. 6th Street Date: 10/24/2022  
Tax Map #: S000-0014/001 Fee: \$2,400  
Total area of affected site in acres: 2.89 ac.

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

**Zoning**

Current Zoning: RF-2

Existing Use: Vacant, former industrial

**Proposed Use**

(Please include a detailed description of the proposed use in the required applicant's report)

Multifamily residential dwellings and RF-2 uses as described in Applicant's Report  
Existing Use: \_\_\_\_\_

Is this property subject to any previous land use cases?

Yes  No  If Yes, please list the Ordinance Number: SUP authorized by Ord. 2020-122 (expired June 2022)

**Applicant/Contact Person:** T. Preston Lloyd, Jr., Esq.

Company: Williams Mullen  
Mailing Address: 200 S. 10th Street Suite 1600  
City: Richmond State: VA Zip Code: 23219  
Telephone: (804) 420-6615 Fax: ( )  
Email: plloyd@williamsmullen.com

**Property Owner:** 301 W 6th Street LLC

If Business Entity, name and title of authorized signee: T. Preston Lloyd, Jr., by Special Land Use Power of Attorney

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 51 East 12th Street  
City: New York State: NY Zip Code: 10003  
Telephone: ( ) Fax: ( )  
Email: \_\_\_\_\_

**Property Owner Signature:** T. Preston Lloyd, Jr.  
T. Preston Lloyd, Jr., acting under special land use power of attorney

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

**NOTE:** Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Direct Dial: 804.420.6615  
plloyd@williamsmullen.com

October 24, 2022  
*As amended February 3, 2023*

VIA E-MAIL

City of Richmond Department of Planning and Development Review  
Land Use Administration Division  
Attn. Alyson Oliver, Acting Secretary, Planning Commission

**Re. Special Use Permit Application | 301 W. 6<sup>th</sup> Street**

Ladies and Gentlemen:

This firm is counsel to 301 West 6th Street LLC (the “Applicant”), on whose behalf we submit the enclosed materials referenced on Exhibit A (collectively, the “Application”) to request approval of the special use of certain property pursuant to Section 30-1050.1 *et seq.* of the Code of the City (the “Code”). This letter will serve as the Applicant’s Report.

**Property**

The subject property, owned by the Applicant, is 2.89 acres, more or less, located south of the James River flood wall and Norfolk Southern Railway yard, along the former right-of-way line of W. 6<sup>th</sup> Street (since vacated and presently comprising a portion of the property) and west of Perry Street in Historic Manchester, is designated as Parcel No. S000-0014/001 on the Tax Map of the City (the “Property”).



### **Current Use & Zoning District Regulation**

The Property is currently vacant, formerly comprising a portion of the Reynolds South Plant, an industrial facility that sprawled the Manchester riverfront. No improvements remain. The Property is split-zoned, with the majority being designated as RF-2 Riverfront District, pursuant to City Council approval in 2010 of the City-initiated rezoning of Historic Manchester from formerly industrial to mixed-use zoning districts pursuant to Ord. 2010-4858, and the former 6<sup>th</sup> Street right-of-way being B-7 Mixed-Use Business District. Surrounding properties are designated as B-7 and RF-2, as shown on the Zoning Map excerpted above. A prior special use permit authorizing improvements comprising up to 350 multifamily dwelling units was approved in 2020 and has expired by its terms.

### **Proposed Special Use**

The Applicant proposes the redevelopment of the Property as a primarily multifamily residential project, comprised of up to 565 553 dwelling units with amenities, structured parking (*not less than 1 space per dwelling unit*), and with the option to include additional non-residential uses permitted in the RF-2 Riverfront District (the “Project”). The Project is proposed to be developed in substantial conformance with the enclosed SUP Plans.

While the present RF-2 Zoning allows comparable height and uses to those of the proposed Project, the Applicant requests certain exceptions from the zoning regulations applicable to the Property in order to achieve the design and development configuration shown on the enclosed SUP Plans. These exemptions include the following:

1. Building height. Allow a building height of up to 17 stories.
2. Side Yard Setback. Allow encroachments into the required 25-foot side yard along the northwest corner of the Property, as more particularly shown on the SUP Conceptual Layout.
3. Building Dimensions at Ground Level. Allow parking deck to exceed three hundred feet (300’) in length along a lot line without an intervening break of fifty feet (50’), as more particularly shown on the SUP Plans.
4. Building Dimensions at Over Four Stories In Height. Allow tower to exceed three hundred feet (300’) in length along a lot line without an intervening break of one hundred feet (100’), as more particularly shown on the SUP Plans.
- ~~5. Future Non-Residential Uses. The Applicant requests the future option to construct certain improvements (not specifically shown on the SUP Plans) within the open space area located west of the building, subject to the following conditions: (a) improvements shall be neither greater than one story nor exceed 5,000 square feet in enclosed floor area, (b) uses shall be limited to commercial uses permitted in RF-2 district, and (c) such improvements shall not be subject to any side or rear yard setback.~~

**Conformance with Richmond 300 Master Plan**

The Property is located within the Priority Growth Node for Manchester, as referenced in the Richmond 300 Master Plan, adopted by City Council on December 14, 2020 (the “Master Plan”). The Master Plan’s vision for the Manchester neighborhood includes the following observation: “Manchester continues to increase in population and economic activity to support a thriving business corridor along Hull Street. The formerly industrial part of Manchester provides jobs as well as housing.” The proposed Project continues to align with this vision.

The Property is designated as “Destination Mixed-Use” on the Future Land Use Map of the Master Plan. This designation contemplates both a development style and intensity consistent with that of the proposed Project, as enumerated in the following (emphasis added):

<b>Master Plan Features</b>	<b>Elements of Project</b>
<p><b>Development Style:</b> Higher density, transit-oriented development encouraged on vacant or underutilized sites. <i>New development should be urban in form, may be of larger scale than existing context</i>, and, where relevant, should pay special attention to the historic character of the existing context. Development should enhance the public realm and create a sense of place. Many buildings are vertically mixed use.</p>	<p>The height, building dimension, and spacing requirements within the RF-2 regulations promote light and air. These regulations are grounded in an effort both to avoid blocking sightlines to the river from existing public rights of way, and to avoid a narrow canyon of space between tall structures. However, in this location, the Property is surrounded on two sides by the 3-4 story flood wall and railroad right-of-way, which substantially obscure views from lower heights. Furthermore, the property located across Perry Street has recently been redeveloped as multifamily buildings at a lower height. These factors substantially mitigate the impact of the requested relief from the height, building dimension, and spacing requirements to promote light/air for the surrounding properties. The proposed design features two towers over a single podium of parking, breaking the massing over 4-stories, as contemplated by the RF-2 regulations. Quality architectural design and features will complement existing buildings and add to the sense of place as a standout of the Manchester riverfront skyline.</p>
<p><b>Mobility:</b> Pedestrian, bicycle, and transit access are prioritized and accommodated. Bike parking is provided. Driveway entrances are required to be off alleys whenever possible; new driveways are prohibited on priority and principal street frontages. Surface parking is prohibited as a principal use; when surface parking is provided as an accessory use, it should be located to the rear of buildings and screened. Parking requirements are</p>	<p>Primary vehicular ingress and egress to the structured parking podium will be from a private access drive along the formerly public 6<sup>th</sup> Street right-of-way, which will preserve ingress and egress to the Norfolk Southern Railway yard located to the west. This private drive will foster use of ride-sharing and ensuring a safe location for dropoff/pickup. Bicycle parking and storage is proposed.</p>

reduced to allow more market-based parking strategies, including shared parking	
<b>Intensity:</b> Buildings typically a <i>minimum</i> height of five stories	By maximizing height, this project will provide greater housing supply for the City’s growing residential population.
<b>Primary Uses:</b> Retail/office/personal service, <i>multi-family residential</i> , cultural, and open space	The Project offers consistency with these primary uses.

In outlining its priorities for the Manchester Priority Growth Node, the Master Plan alludes to the prior recommendations of the Riverfront Plan, adopted by City Council in November of 2012, which “redefines the City-River relationship, dramatically expanding both visual and direct physical access to the James River.” The Riverfront Plan includes an exhibit, excerpted below, which overlays a designation for “development” that includes the Property.



The Riverfront Plan offers the following guidance for areas designated for development (emphasis added): “The Plan anticipates incremental redevelopment of under-utilized parcels and languishing former industrial sites. Development strategies should favor mixed use, with an emphasis on street level retail where appropriate. The fundamental emphasis of redevelopment along the

Riverfront is to intensify pedestrian activity at street level ***through infill development with sufficient density to be an attractor and destination of activity. Greater density reinforces urban character, provides for an increase in pedestrian activity, resulting a safer and more vibrant city.*** This project supports the vision of the Riverfront Plan and can serve as a catalyst for the Manchester Canal Trail and other planned improvements for this area.

### **Charter Requirements**

Based on the foregoing, the proposed use on the Property meets the criteria set forth in Section 17.11(b) of the Charter of the City that the Application (i) is not detrimental to the safety, health, morals and general welfare of the community involved; (ii) does not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved; (iii) does not create hazards from fire, panic or other dangers; (iv) does not tend to cause overcrowding of land and an undue concentration of population; (v) does not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) does not interfere with adequate light and air.

### **Conclusion**

The proposed special use permit authorizes a project that will further catalyze the significant growth and revitalization of Historic Manchester, which is presently undergoing significant reinvestment and development after decades of decline. The proposed exceptions to the zoning ordinance will allow consistent density residential uses with the current RF-2 zoning in a quality design befitting this prominent site location, consistent with the land use policy priorities of City Council evidenced in the Richmond 300 Master Plan and Riverfront Plan. The proposed Project is consistent with the character of the surrounding properties and meets each of the criteria set forth in Section 17.11(b) of the Charter of the City of the Charter of the City.

Thank you for your consideration of this matter. Please confirm your determination that the Application has been received and deemed complete by your office, and kindly contact us should you have any questions or require additional materials.

Very truly yours,

/s/

T. Preston Lloyd, Jr.

cc. The Hon. Ellen Robertson, Councilperson for 6<sup>th</sup> District (via email)  
Kevin J. Vonck, Ph.D., Director, Department of Planning and Development Review (via email)  
Manchester Alliance Board of Directors (via email)

Enclosures



## EXHIBIT A

### APPLICATION MATERIALS

In connection with the proposed Special Use Permit Application for 301 W. 6<sup>th</sup> Street (Tax Parcel No. S000-0014/001), the following materials are enclosed:

1. Special Use Permit Application form;
2. Survey of present conditions, entitled “ALTA/ACSM SURVEY FOR 301 WEST 6<sup>TH</sup> STREET PARCEL S0000014001 CITY OF RICHMOND, VA”, prepared by Nyefler Associates Land Surveying & Mapping, dated September 29, 2022;
3. Land Use Special Power of Attorney from 301 West 6th Street LLC; and
4. Special Use Permit Plan Set entitled “301 W 6<sup>TH</sup> STREET SPECIAL USE PERMIT SUBMISSION” prepared by Walter Parks Architects, dated October 21, 2022, comprised of the following (collectively, the “SUP Plans”):
  - a. Sheets C-1 and C-2, entitled “Site Plan” dated October 18, 2022, prepared by VNB (the “Conceptual Site Plan”);
  - b. Sheets G001, A001, A002, and A003 (the “Illustrative Renderings”);
  - c. Sheets A100, A101, A102, A103, A104, A105, A106, A107 and A108 (the “Conceptual Floor Plans”); and
  - d. Sheets A201, A202 and A203 (the “Conceptual Elevations”).



























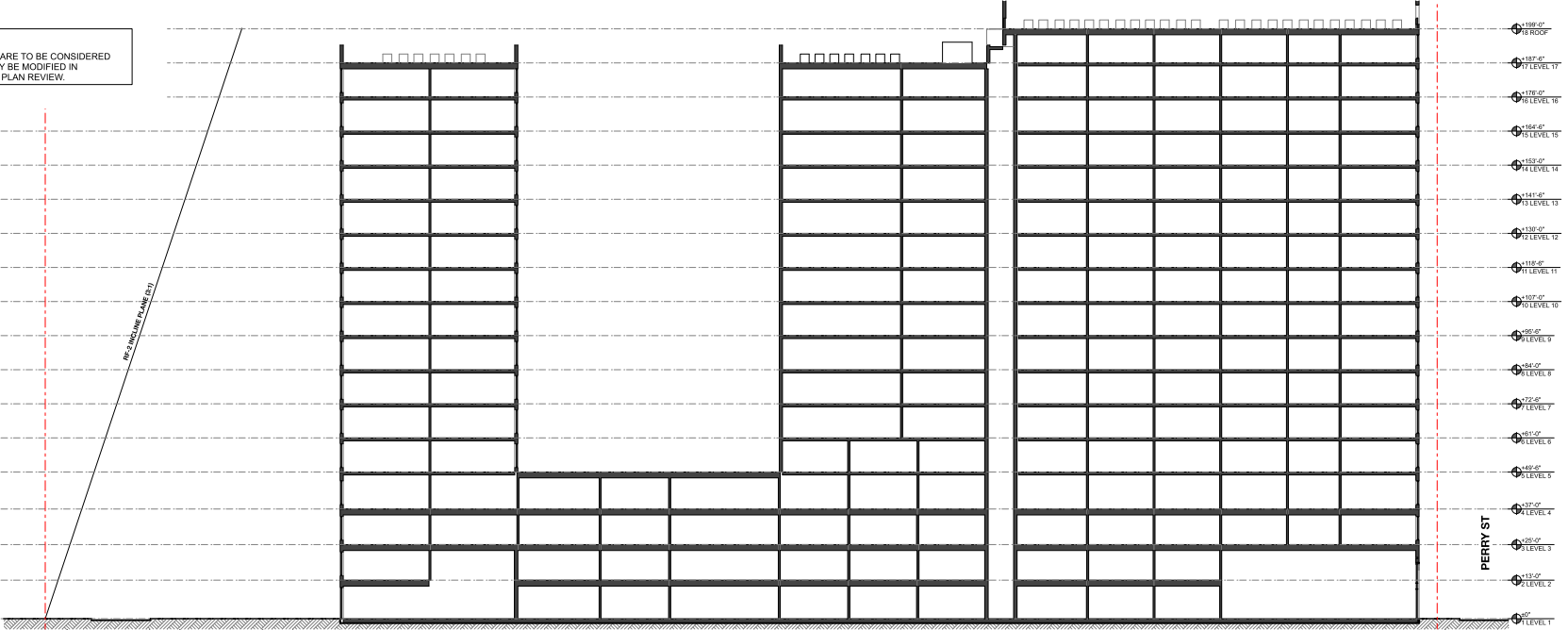




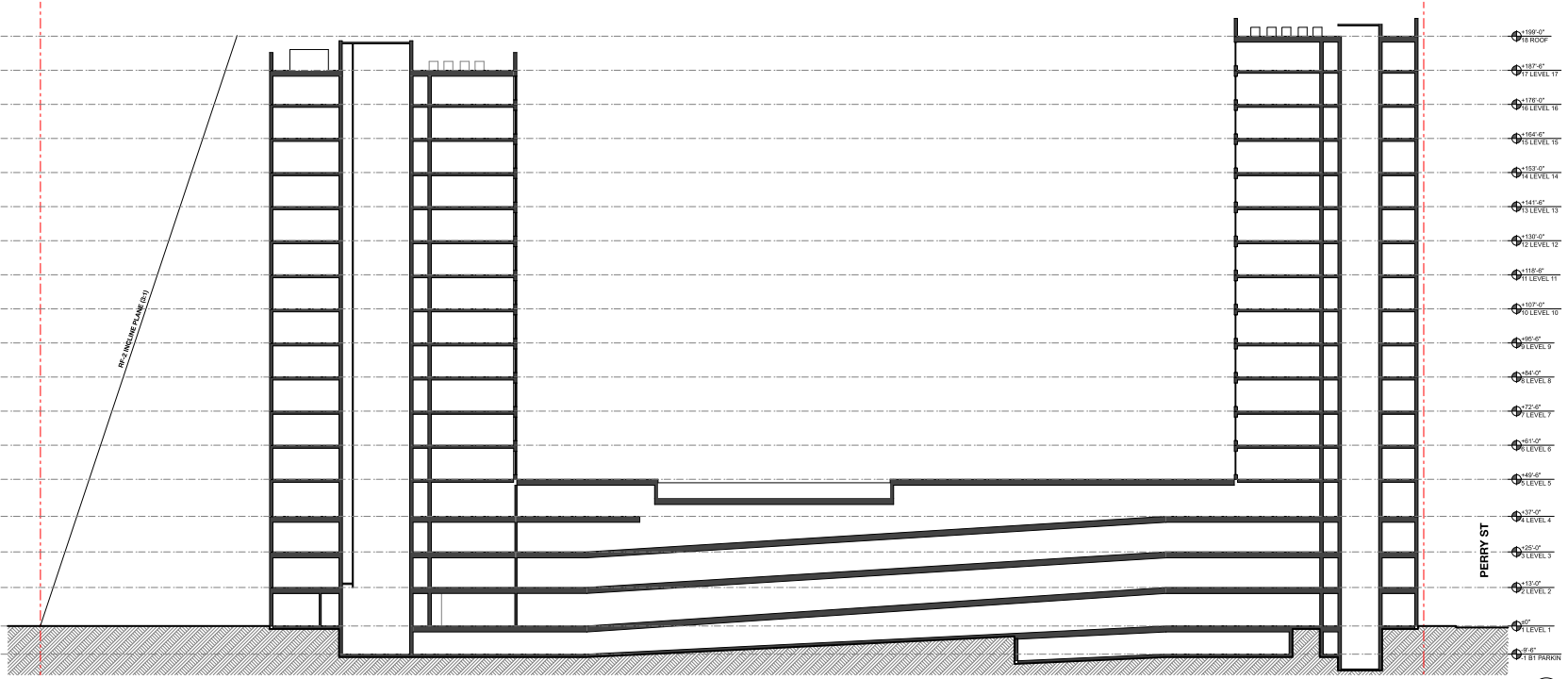




NOTE:  
 - BUILDING HEIGHTS ARE TO BE CONSIDERED  
 INDICATIVE AND MAY BE MODIFIED IN  
 CONNECTION WITH PLAN REVIEW.



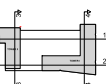
W.E. SECTION 1  
 SCALE: 1/16" = 1'-0"  
 A301



W.E. SECTION 2  
 SCALE: 1/16" = 1'-0"  
 A301



301 W 6TH STREET  
 301 W 6TH STREET  
 Richmond, VA



SECTION KEY

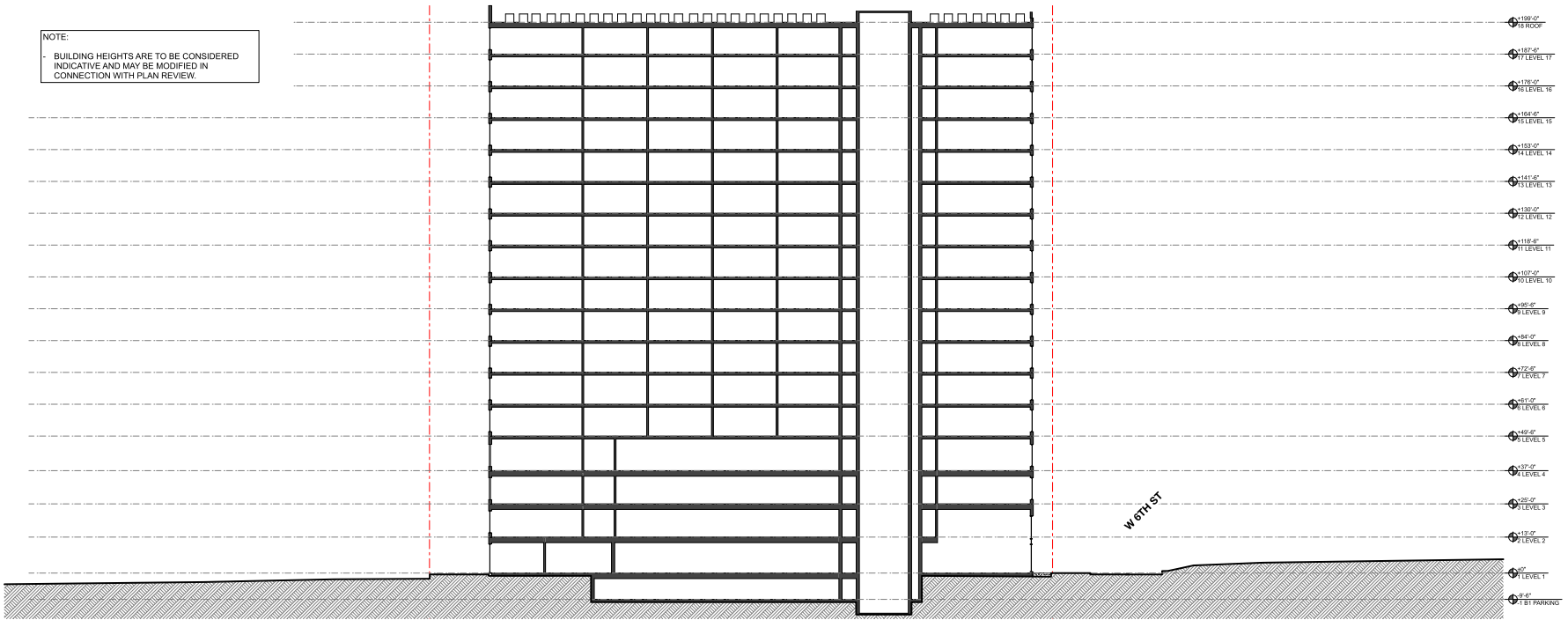
REVISIONS	TAG	DATE

walter PARKS  
 ARCHITECTS  
 313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 (804) 476-1718 / (804) 476-1713

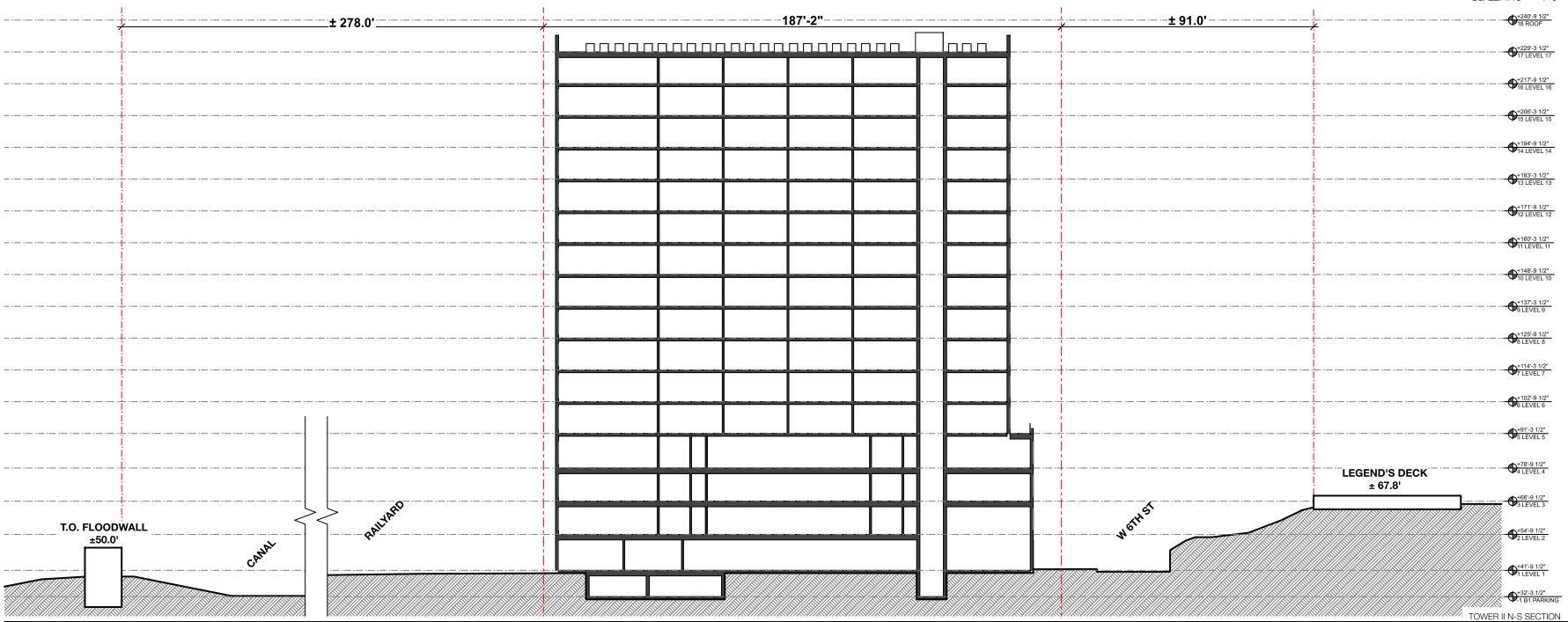
PROJECT # 22.12  
 ISSUE SUP  
 ISSUE DATE: 10/21/22

BUILDING  
 SECTIONS  
**A301**

NOTE:  
BUILDING HEIGHTS ARE TO BE CONSIDERED  
INDICATIVE AND MAY BE MODIFIED IN  
CONNECTION WITH PLAN REVIEW.



TOWER I N-S SECTION  
SCALE: 1/16" = 1'-0" (A302-4)



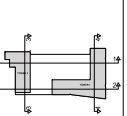
TOWER II N-S SECTION  
SCALE: 1/16" = 1'-0" (A302-3)



# 301 W 6TH STREET

## 301 W 6TH STREET

Richmond, VA



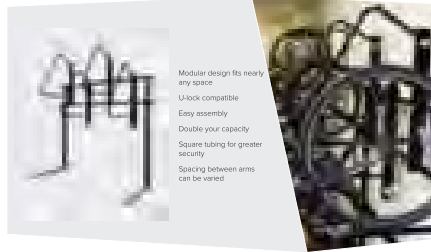
REVISIONS	
TAG	DATE

walter PARKS  
ARCHITECTS  
313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
T: 844.4761 / F: 844.4763

PROJECT # 22-12  
ISSUE DATE: SUP 10/21/22

BUILDING SECTIONS  
A302

# Ultra Space Saver Squared



- Modular design fits nearly any space
- U-lock compatible
- Easy assembly
- Double your capacity
- Square tubing for greater security
- Spacing between arms can be varied

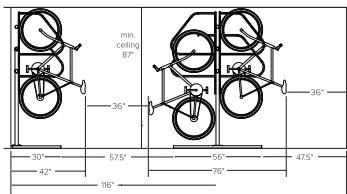
## FINISH OPTIONS

- Galvanized**
- White
  - Black
  - Light Gray
  - Dark Gray
  - Blue
  - Green
  - Red
  - Yellow
  - Orange
  - Light Green
  - Dark Green
  - Pink
  - Light Blue
  - Dark Blue
  - Light Gray
  - Dark Gray
  - White
- Powder Coat**
- White
  - Black
  - Light Gray
  - Dark Gray
  - Blue
  - Green
  - Red
  - Yellow
  - Orange
  - Light Green
  - Dark Green
  - Pink
  - Light Blue
  - Dark Blue
  - Light Gray
  - Dark Gray
  - White

## MOUNT OPTIONS



BIKE RACK PRODUCT BROCHURE



BIKE RACK CLEARANCE REQUIREMENTS



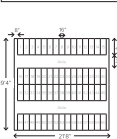
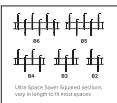
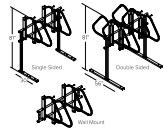
# Ultra Space Saver Squared

Check Ultra Space Saver Squared often. ingenuity, vertical bike parking. Adjustable sliding arms make it easy for customers to best utilize their space. It also creates flexibility to make sure their spacing follows city requirements as they evolve. These custom resistant squared steel tubing makes the Ultra Space Saver Squared more secure than the original Ultra Space Saver.

Power CYTSA Inc.

Circle 1 shown above is a standard length. Any way below on your space.

BIKE RACK PRODUCT BROCHURE



As a general guideline, the above shown set up approximates 60 bikes per rack. The Ultra Space Saver Squared panels are bike every 36" with a typical bike wheeling out 42" from the wall.

## CAPACITY

- Module construction
- Three per arm

## MATERIALS

- Hinges: 1" square tube with three slot need with temporary loading bars.
- Support: 2" square tube.
- Panel: 48" x 60" galvanized steel channel.
- Construction: 2" square galvanized pipe.

## FINISHES

- Black Powder Coat (Interior Use): Our channel construction offers superior a high level of durability and capability for interior use by following these steps: 1. Sandblast 2. Prime with TSC polyester powder coat

## MOUNT OPTIONS

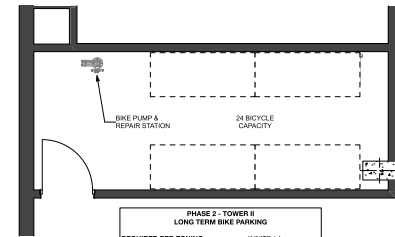
- Floor mount: Ultra Space Saver Squared has a 100" channel foot (80" for single slot and 90" for double slot) onto which must be anchored to the floor.

## WHEEL STOPS

- Include wheel stops: Optional wheel stops are available for an additional cost.

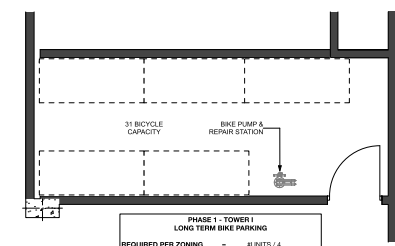


BIKE RACK SUBMITTAL SHEET



PHASE 2 - TOWER II LONG TERM BIKE PARKING		
REQUIRED PER ZONING	=	4 UNITS / 4
	=	187.4 = 46.75
	=	47 SPACES REQUIRED
SPACES PROVIDED	=	48 (24 PER FLOOR)

TOWER II - BIKE ROOM ON LEVEL 2 & 3  
SCALE: 1/4" = 1'-0"  
2/AS21



PHASE 1 - TOWER I LONG TERM BIKE PARKING		
REQUIRED PER ZONING	=	4 UNITS / 4
	=	388.4 = 97.1
	=	92 SPACES REQUIRED
SPACES PROVIDED	=	93 (31 PER FLOOR)

TOWER I - BIKE ROOM ON LEVEL 2, 3, & 4  
SCALE: 1/4" = 1'-0"  
1/AS21



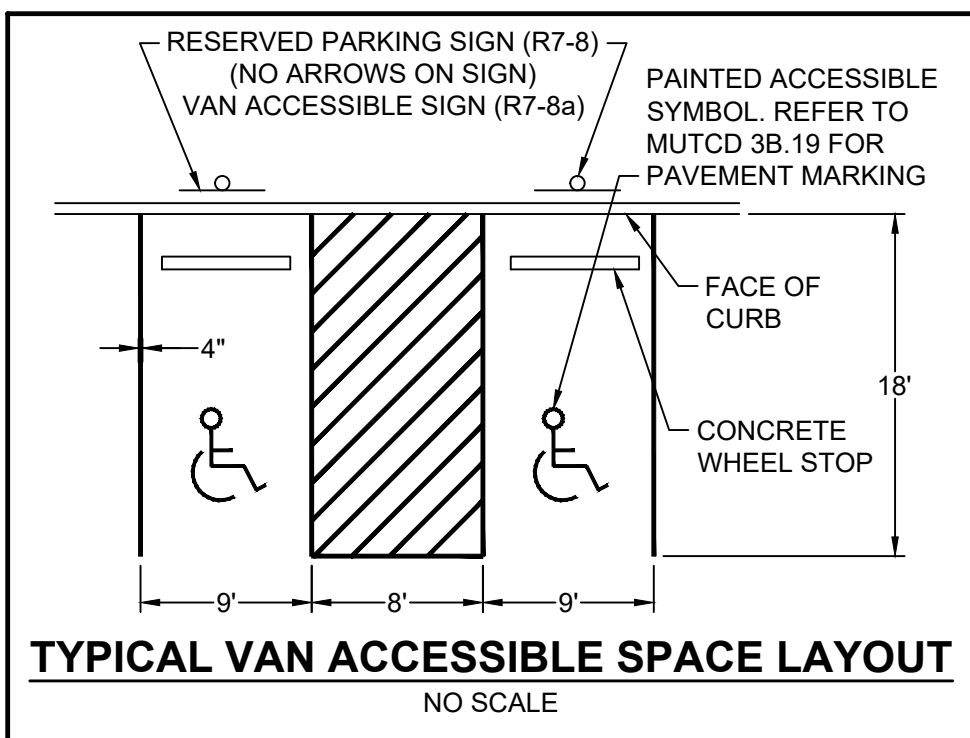
301 W 6TH STREET  
301 W 6TH STREET  
Richmond, VA

REVISIONS	
TAG	DATE

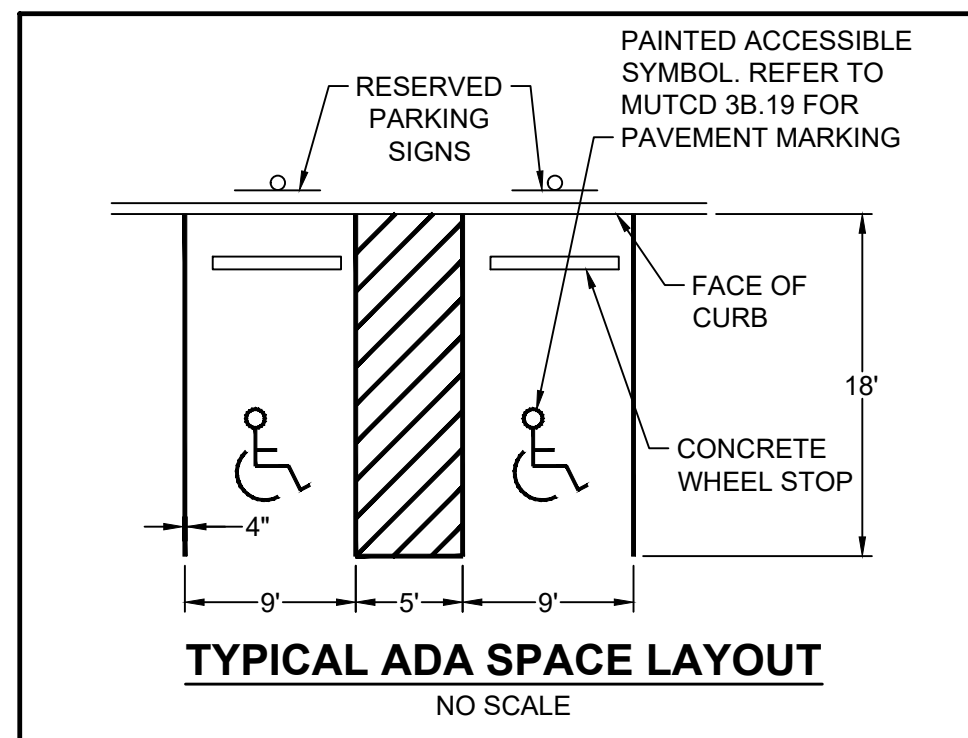


**PET WASTE RECEPTACLE BASIS OF DESIGN**  
NO SCALE

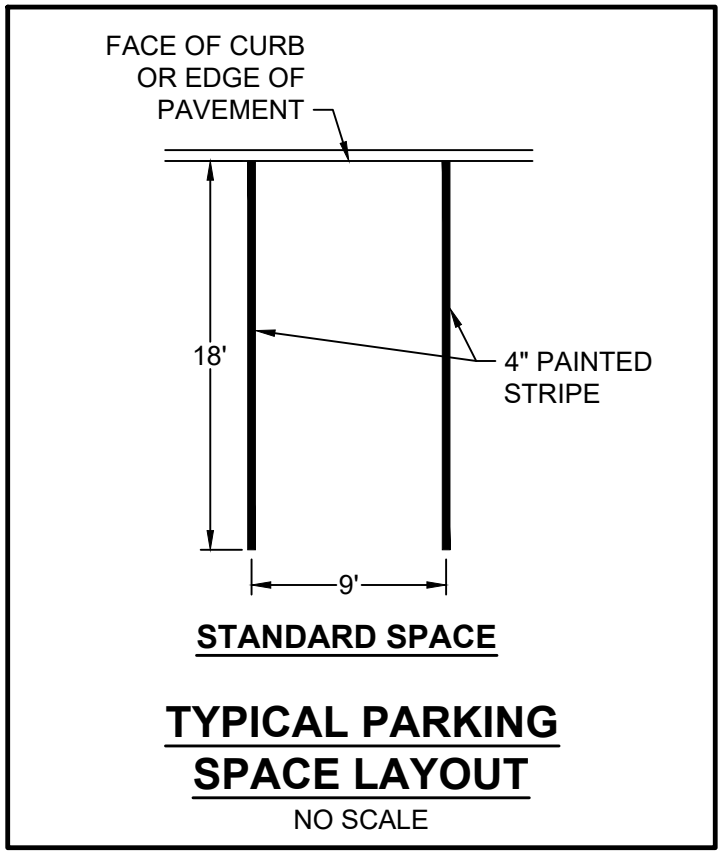
**NOTE:**  
• CONTRACTOR TO PROVIDE SUBMITTAL FOR APPROVAL.



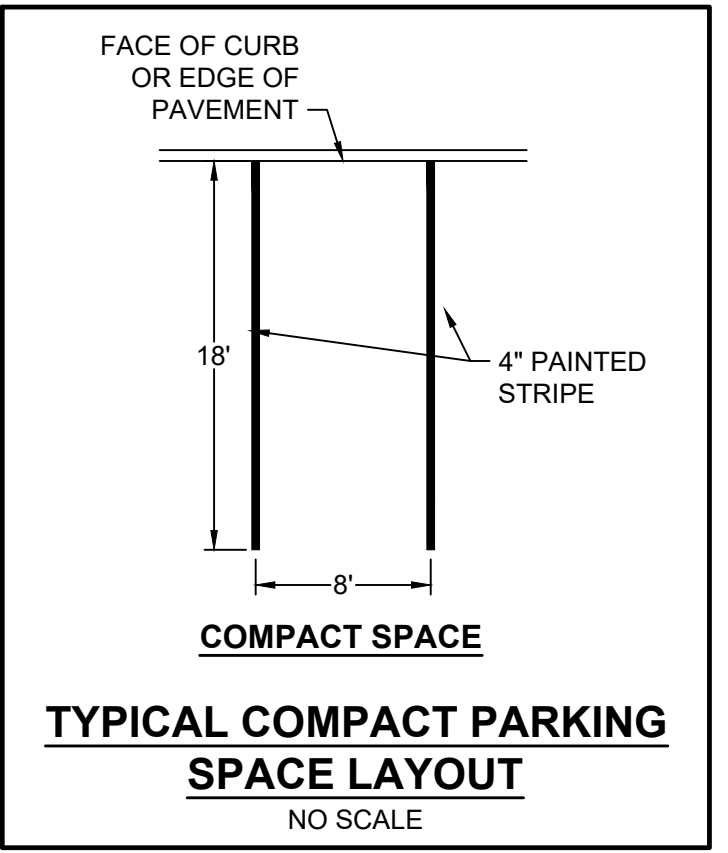
**TYPICAL VAN ACCESSIBLE SPACE LAYOUT**  
NO SCALE



**TYPICAL ADA SPACE LAYOUT**  
NO SCALE



**TYPICAL PARKING SPACE LAYOUT**  
NO SCALE



**TYPICAL COMPACT PARKING SPACE LAYOUT**  
NO SCALE

**SIGNAGE NOTES:**

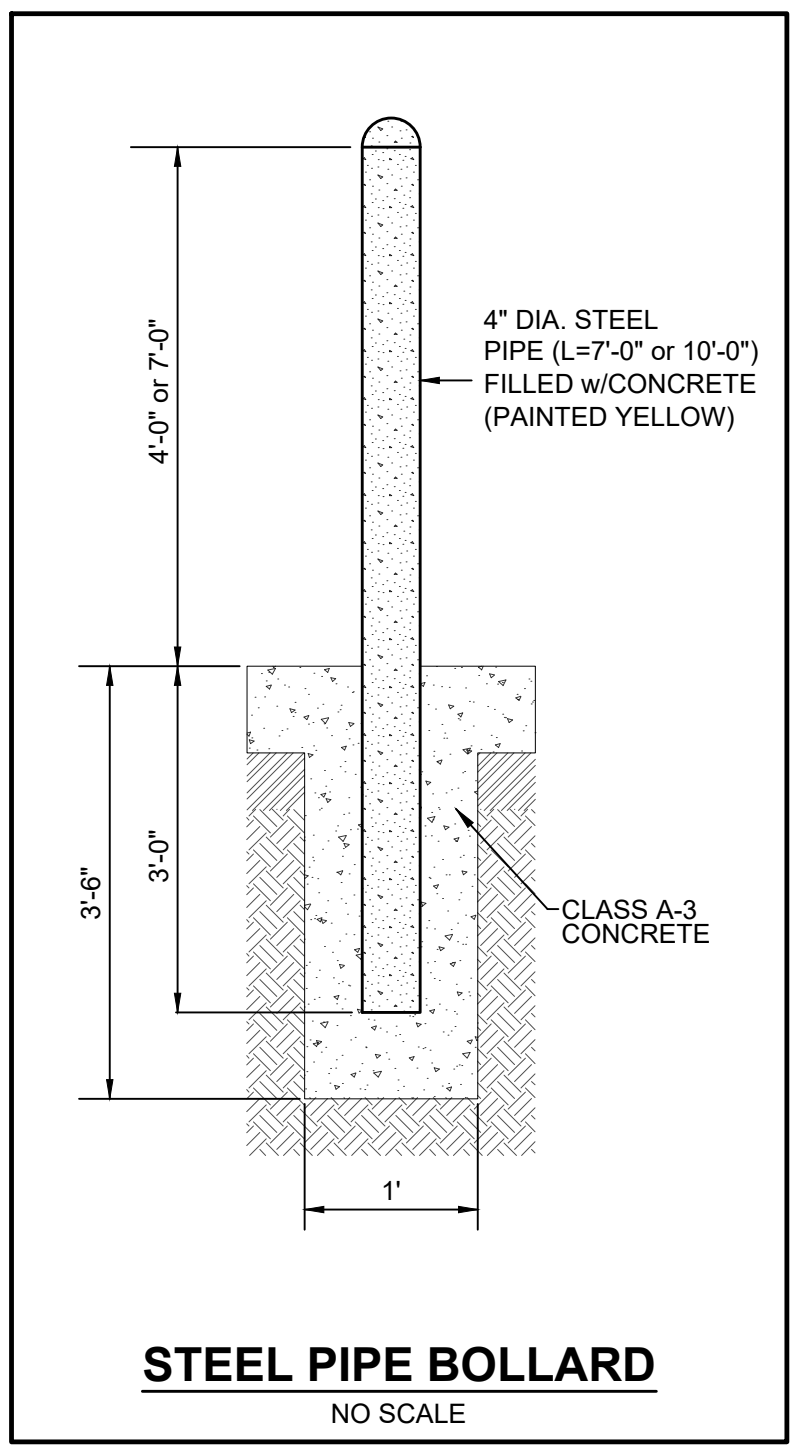
- ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISION THERETO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD),
  - THE VIRGINIA SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES,
  - THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS,
  - THE INTERNATIONAL FIRE CODE.
- PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS, AND TO COMPLY WITH STANDARDS REFERENCED IN NOTE 1 ABOVE.
- ALL SIGNS AND PAVEMENT MARKINGS ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL SIGNS OUTSIDE OF VDOT ROW SHALL BE INSTALLED ON STEEL POST 1.5" DIA. GALVANIZED SET IN MIN. 2' OF CONCRETE DEPTH AND 1' DIA. OF CONCRETE.



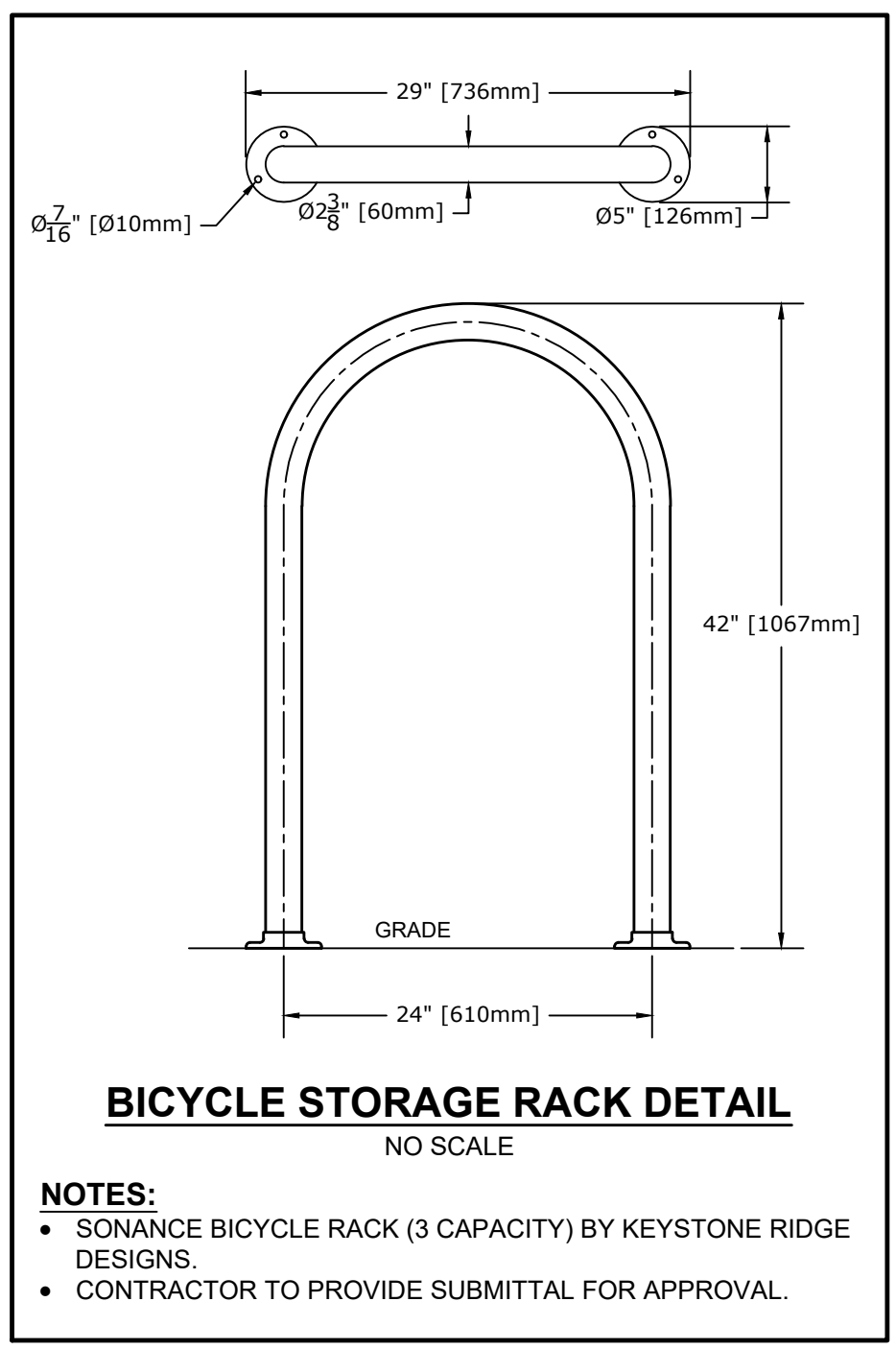
**STRIPING & SIGNAGE NOTES & DETAILS**  
NO SCALE

**PARKING SIGN FOR THE DISABLED**  
NO SCALE

**ADA NOTES:** ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS AS RESERVED FOR PHYSICALLY DISABLED PERSONS. PROVIDE ONE (1) R-7-8 SIGN AT EACH ACCESSIBLE PARKING SPACE INDICATED ON SITE PLAN. THE SIGN WILL BE ALUMINUM (PAINTED WHITE) WITH GREEN LETTERS AND THE INTERNATIONAL WHEELCHAIR SYMBOL. THE SIGN WILL INCLUDE THE LANGUAGE "PENALTY, \$100-\$500 FINE, TOW-AWAY ZONE". THE CENTER OF SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GRADE, BUT NO HIGHER THAN SEVEN (7) FEET ABOVE GRADE. THE SIGN SHALL BE PLACED ON A 1-1/2" DIAMETER STEEL POST, PAINTED BLACK, AND SET IN 12" OF CONCRETE. TYPICAL ACCESSIBLE SIGNS SHALL CONFORM TO ADA REQUIREMENTS.



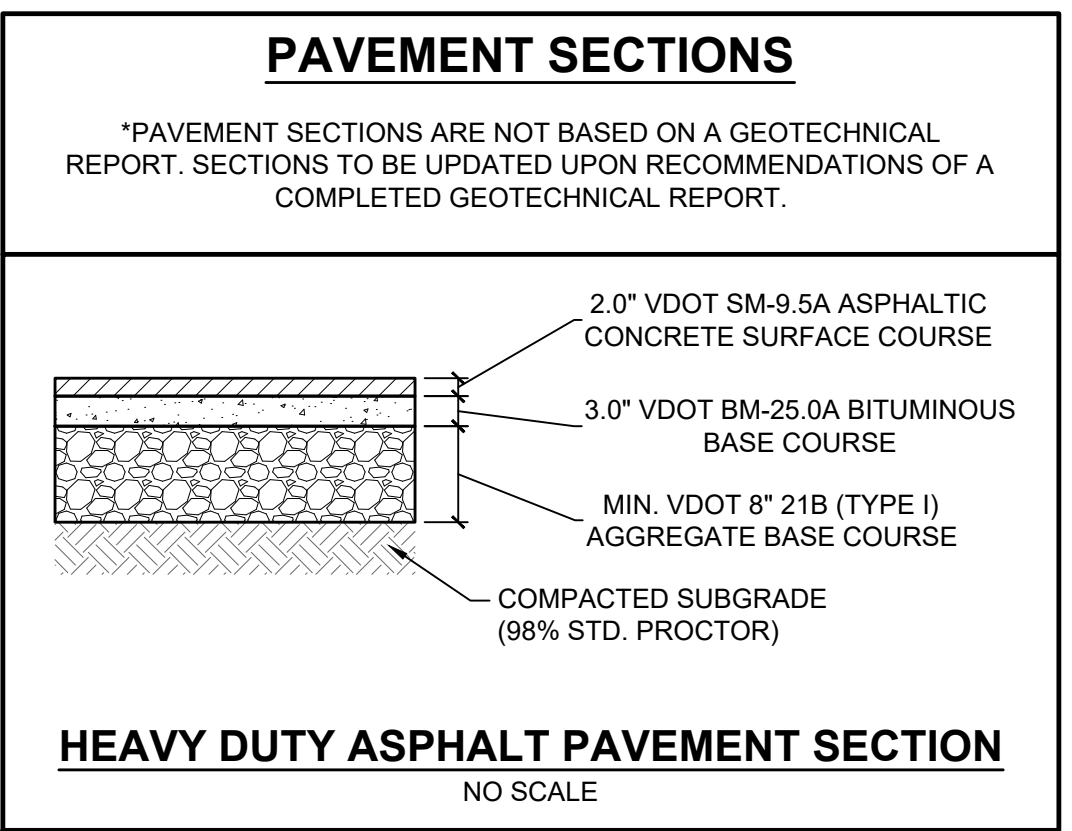
**STEEL PIPE BOLLARD**  
NO SCALE



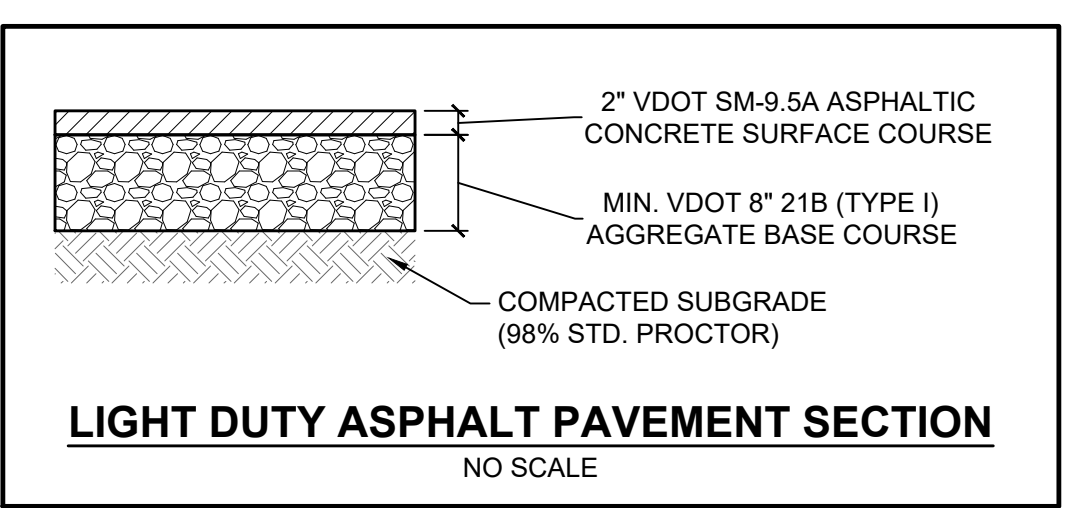
**BICYCLE STORAGE RACK DETAIL**  
NO SCALE

**NOTES:**

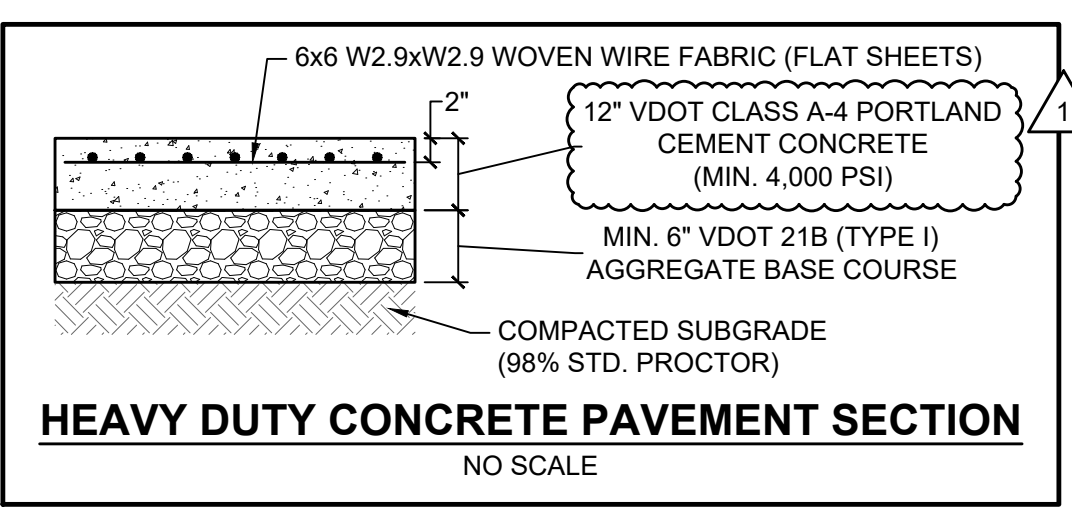
- SONANCE BICYCLE RACK (3 CAPACITY) BY KEYSTONE RIDGE DESIGNS.
- CONTRACTOR TO PROVIDE SUBMITTAL FOR APPROVAL.



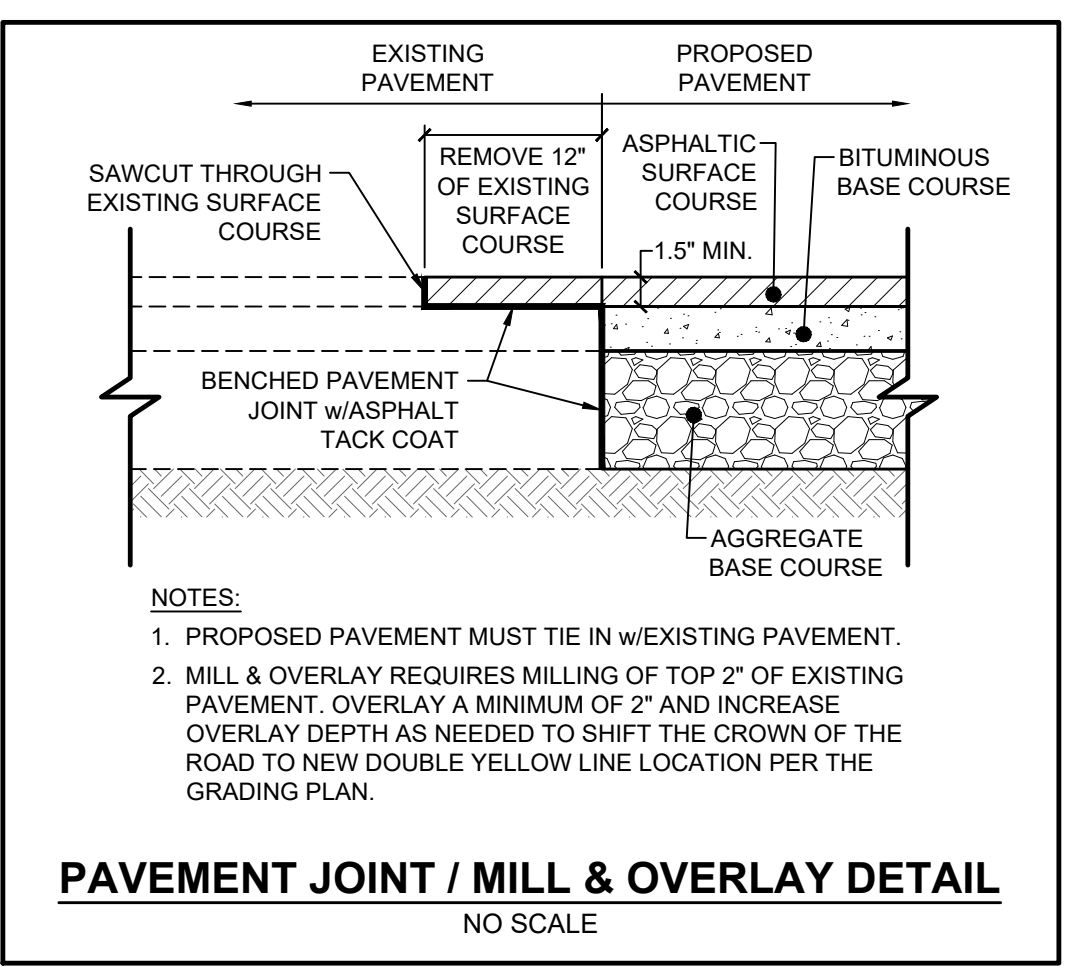
**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
NO SCALE



**LIGHT DUTY ASPHALT PAVEMENT SECTION**  
NO SCALE



**HEAVY DUTY CONCRETE PAVEMENT SECTION**  
NO SCALE



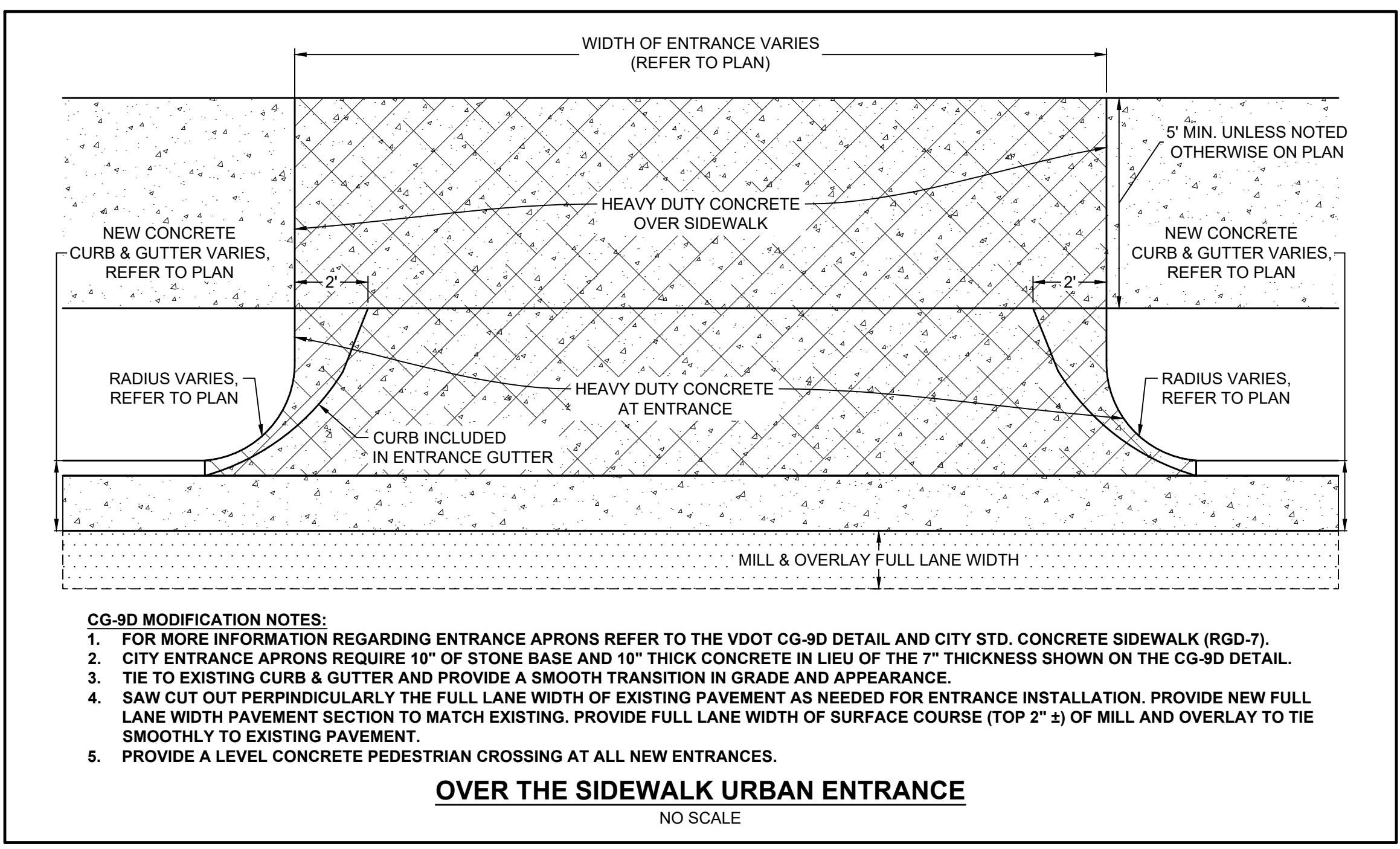
**PAVEMENT JOINT / MILL & OVERLAY DETAIL**  
NO SCALE

**NOTES:**

- PROPOSED PAVEMENT MUST TIE IN w/EXISTING PAVEMENT.
- MILL & OVERLAY REQUIRES MILLING OF TOP 2" OF EXISTING PAVEMENT. OVERLAY A MINIMUM OF 2" AND INCREASE OVERLAY DEPTH AS NEEDED TO SHIFT THE CROWN OF THE ROAD TO NEW DOUBLE YELLOW LINE LOCATION PER THE GRADING PLAN.

**TRAFFIC MAINTENANCE NOTES**

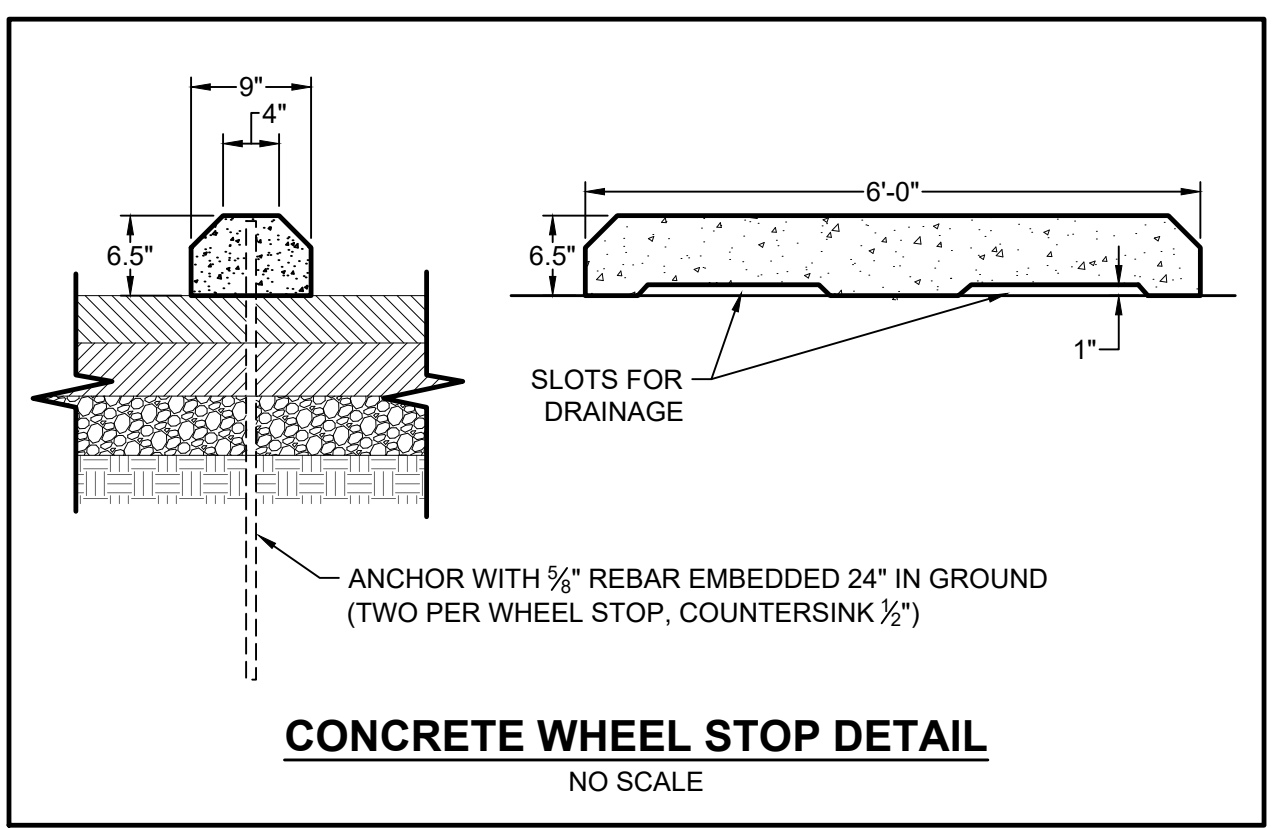
- THE NOTES AND DETAILS PROVIDED IN THE V.D.O.T. "VIRGINIA WORK AREA PROTECTION MANUAL STANDARDS AND GUIDELINES" SHALL BE IMPLEMENTED DURING EACH PHASE OF CONSTRUCTION. SAFE VEHICULAR AND PEDESTRIAN ACCESS FOR RESIDENTS ALONG EACH ROAD SHALL BE MAINTAINED AT ALL TIMES.
- STOCKPILES OF MATERIALS WILL NOT BE PERMITTED IN THE RIGHT-OF-WAY.
- EXCAVATIONS WHICH ARE PROPOSED TO BE OPEN PAST NORMAL WORK HOURS MUST BE APPROVED BY THE TRAFFIC ENGINEER. THE COST OF SIGNING AND BARRICADING REQUIRED BY THE TRAFFIC ENGINEER TO DELINEATE THESE EXCAVATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR MAINTENANCE OF TRAFFIC.
- A SMOOTH PAVEMENT RAMP OR PAVEMENT TRANSITION MUST BE PROVIDED AND MAINTAINED WHEN TRAFFIC IS TRAVELING BETWEEN PAVEMENT SECTION WHERE DIFFERENT PAVEMENT ELEVATION EXIST.
- THE COST OF ALL CONSTRUCTION SIGN, SIGN POSTS, BARRICADES, DELINEATORS, CONCRETE CONSTRUCTION BARRIERS, FLASHING AND STEADY BURN LIGHTS, AND OTHER TRAFFIC CONTROL DEVICES WHICH ARE REQUIRED AS A RESULT OF ANY CHANGE IN THE CONSTRUCTION STAGING, AND/OR EXTENSIONS OF TIME WHICH ARE REQUESTED BY THE CONTRACTOR AND APPROVED BY THE TRAFFIC ENGINEER AND CONSTRUCTION ENGINEER, SHALL BE BORNE BY THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR MAINTENANCE OF TRAFFIC.
- ALL AREAS EXCAVATED BELOW EXISTING PAVEMENT SURFACES AT THE CONCLUSION OF EACH WORKDAY SHALL BE BACK FILLED TO FORM AN APPROXIMATE 6:1 WEDGE AGAINST THE EXISTING PAVEMENT SURFACE FOR THE SAFETY AND PROTECTION OF VEHICULAR TRAFFIC. ALL COST FOR PLACING, MAINTAINING AND REMOVING 6:1 WEDGE SHALL BE INCLUDED IN THE PRICE BID FOR OTHER ITEMS IN THE CONTRACT, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE TRAFFIC ENGINEER FOR HENRICO COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAIN A SAFE MEANS OF ACCESS INTO ALL COMMERCIAL AND PRIVATE ENTRANCE DURING ALL STAGES OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A CURRENT COPY OF THE VDOT "VIRGINIA WORK AREA PROTECTION MANUAL - STANDARDS AND GUIDELINES" ON SITE DURING ALL WORK PERIODS.
- THE CONTRACTOR MUST REINSTALL ANY SIGN REMOVED DURING CONSTRUCTION BY THE END OF THE DAY IN WHICH IT WAS REMOVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO COUNTY SIGNS.
- PLASTIC BARRELS (GROUP 2 CHANNELIZING DEVICES) SHOULD BE PLACED ALONG THE EDGE OF PAVEMENT TO DELINEATE THE WORK AREAS UNTIL COMPLETE.
- ORANGE CONSTRUCTION FENCING SHOULD BE PLACED ALONG TEMPORARY CONSTRUCTION EASEMENTS FOR SAFETY AND TO DELINEATE WORK AREAS UNTIL COMPLETE.



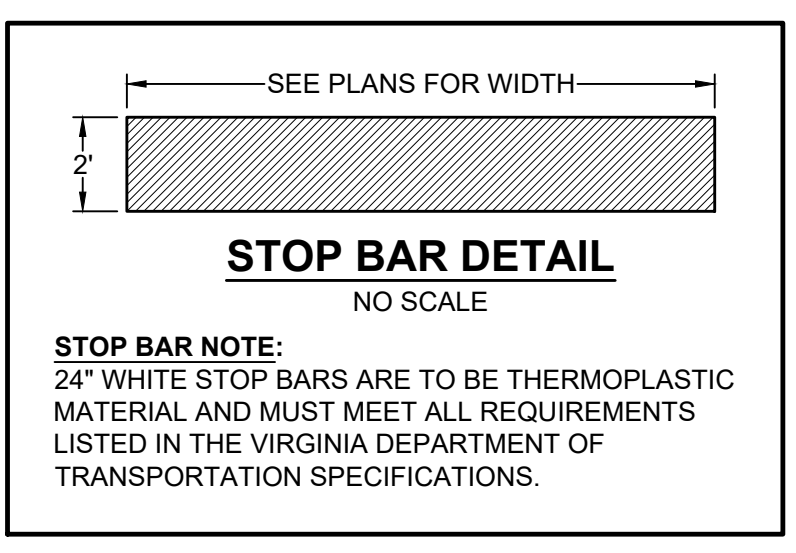
**OVER THE SIDEWALK URBAN ENTRANCE**  
NO SCALE

**CG-9D MODIFICATION NOTES:**

- FOR MORE INFORMATION REGARDING ENTRANCE APRONS REFER TO THE VDOT CG-9D DETAIL AND CITY STD. CONCRETE SIDEWALK (RGD-7).
- CITY ENTRANCE APRONS REQUIRE 10" OF STONE BASE AND 10" THICK CONCRETE IN LIEU OF THE 7" THICKNESS SHOWN ON THE CG-9D DETAIL.
- TIE TO EXISTING CURB & GUTTER AND PROVIDE A SMOOTH TRANSITION IN GRADE AND APPEARANCE.
- SAW CUT OUT PERPENDICULARLY THE FULL LANE WIDTH OF EXISTING PAVEMENT AS NEEDED FOR ENTRANCE INSTALLATION. PROVIDE NEW FULL LANE WIDTH PAVEMENT SECTION TO MATCH EXISTING. PROVIDE FULL LANE WIDTH OF SURFACE COURSE (TOP 2" ±) OF MILL AND OVERLAY TO THE SMOOTHLY TO EXISTING PAVEMENT.
- PROVIDE A LEVEL CONCRETE PEDESTRIAN CROSSING AT ALL NEW ENTRANCES.



**CONCRETE WHEEL STOP DETAIL**  
NO SCALE



**STOP BAR DETAIL**  
NO SCALE

**STOP BAR NOTE:**  
24" WHITE STOP BARS ARE TO BE THERMOPLASTIC MATERIAL AND MUST MEET ALL REQUIREMENTS LISTED IN THE VIRGINIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

**SPECIAL USE PERMIT**

THIS DRAWING PREPARED AT THE  
**CORPORATE OFFICE**  
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225  
TEL 804.200.0500 FAX 804.560.1016 www.timmons.com

DATE	REVISION DESCRIPTION (LETTER #)
02/28/2023 <td></td>	

YOUR VISION ACHIEVED THROUGH OURS.

DATE	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
01/19/2023	B. MEYER	B. MEYER	A. WEHUNT	AS NOTED

**TIMMONS GROUP**

301 W. 6TH STREET  
CITY OF RICHMOND, VIRGINIA

**GENERAL NOTES AND DETAILS**

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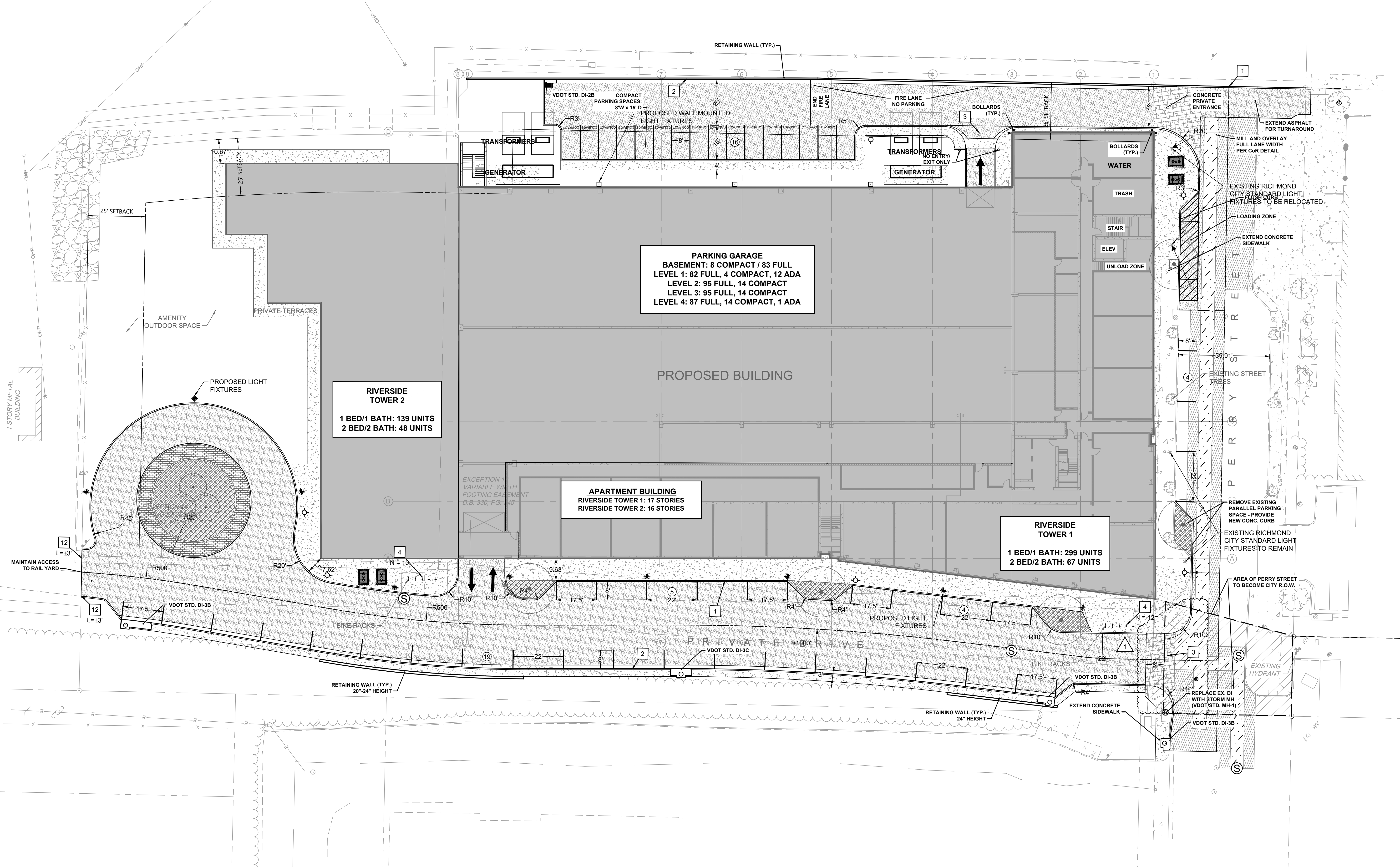
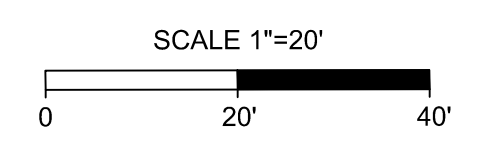
JOB NO.	SHEET NO.
56907	CO.10

**SITE LAYOUT NOTES:**  
 1. ALL DIMENSIONS ARE FROM THE FACE OF CURB, UNLESS NOTED OTHERWISE.  
**ARCHITECTURAL BUILDING BACKGROUND DATE:** 12/15/2022

**PAVEMENT MARKING NOTES:**  
 1. ALL PERMANENT MARKINGS SHALL BE TYPE B, CLASS I UNLESS OTHERWISE DIRECTED BY VDOT TRAFFIC ENGINEERING.  
 2. ALL PAVEMENT MARKINGS MUST HAVE A PERSON VIA PAVEMENT MARKING CERTIFICATION, ISSUED BY THE VDOT MATERIALS DIVISION, ON SITE DURING PAVEMENT MARKING OPERATIONS. A COMPLETED CERTIFIED DELIVERY TICKET & A C-85 MUST BE SUBMITTED TO THE VDOT RESIDENCY PERMIT INSPECTOR.

SITE LAYOUT NOTE KEY	
1	6" CURB (CITY OF RICHMOND STD. RDG-2)
2	6" CURB & CUTTER (CITY OF RICHMOND STD. RDG-2)
3	OVER-THE-SIDEWALK URBAN STYLE ENTRANCE APRON (VDOT MOD. CG-80)
4	BIKE RACK FOR SHORT TERM BICYCLE STORAGE (N = # OF SPACES)
5	24" STOP BAR (MUTCD STD. R1-1)
6	STOP SIGN (MUTCD STD. R1-1)
7	RETAINING WALL, 12" WIDTH, TOPPED WITH DECORATIVE RAILING / SAFETY BARRIER (MUTCD STD. R1-1)
8	ADA ACCESS RAMP WITH TRUNCATED DOME WARNING SURFACE (VDOT MOD. CG-12, TYPE "A")
9	ADA ACCESS RAMP WITH TRUNCATED DOME WARNING SURFACE (VDOT MOD. CG-12, TYPE "B")
10	PET WASTE STATION
11	CoR CONCRETE SIDEWALK (CoR STD. RGM-CD-04)
12	CURB WIPE-DOWN

LAYOUT HATCH LEGEND	
[Hatch Pattern]	EXTENTS OF BUILDING AT GRADE (REFER TO ARCH. PLANS)
[Hatch Pattern]	EXTENTS OF BUILDING OVERHEAD (REFER TO ARCH. PLANS)
[Hatch Pattern]	HEAVY DUTY ASPHALT PAVEMENT SECTION
[Hatch Pattern]	CONCRETE SIDEWALK PAVEMENT SECTION
[Hatch Pattern]	HEAVY DUTY CONCRETE PAVEMENT SECTION
[Hatch Pattern]	MILL & OVERLAY PAVEMENT SECTION
[Hatch Pattern]	TRENCH CUT RESTORATION FOR GENERAL UTILITY STREET WORK SECTION



**PARKING GARAGE**  
 BASEMENT: 8 COMPACT / 83 FULL  
 LEVEL 1: 82 FULL, 4 COMPACT, 12 ADA  
 LEVEL 2: 95 FULL, 14 COMPACT  
 LEVEL 3: 95 FULL, 14 COMPACT  
 LEVEL 4: 87 FULL, 14 COMPACT, 1 ADA

**RIVERSIDE TOWER 2**  
 1 BED/1 BATH: 139 UNITS  
 2 BED/2 BATH: 48 UNITS

**APARTMENT BUILDING**  
 RIVERSIDE TOWER 1: 17 STORIES  
 RIVERSIDE TOWER 2: 16 STORIES

**RIVERSIDE TOWER 1**  
 1 BED/1 BATH: 299 UNITS  
 2 BED/2 BATH: 67 UNITS

SPECIAL USE PERMIT

THIS DRAWING PREPARED AT THE  
**CORPORATE OFFICE**  
 1001 Boulder Parkway, Suite 300 | Richmond, VA 23225  
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YOUR VISION ACHIEVED THROUGH OURS.

DESIGNED BY  
**B. MEYER**

CHECKED BY  
**A. WEHUNT**

DATE  
 02/28/2023

DATE  
 01/19/2023

DRAWN BY  
**B. MEYER**

SCALE  
 1"=20'

**TIMMONS GROUP**

301 W. 6TH STREET  
 CITY OF RICHMOND, VIRGINIA

LAYOUT PLAN

JOB NO.  
**56907**

SHEET NO.  
**C4.00**

S:\04\056907-301\_W\_6th\_Street\DWG\Sheet\C4.00\LAYOUT.dwg | Plotted on 2/28/2023 2:26 PM | by Becki Meyer

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**GENERAL UTILITY NOTES:**

- ALL WORK IN THE RIGHT-OF-WAY IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT CITY OF RICHMOND STANDARDS FOR EXCAVATION AND RESTORATION.
- CONTRACTOR SHALL NOTIFY THE DPU INSPECTOR A MINIMUM OF 48 HOURS PRIOR TO THE START OF WORK.
- ALL UTILITY INSTALLATIONS IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE TO THE MOST RECENT CITY OF RICHMOND WATER DISTRIBUTION SYSTEM AND SANITARY SEWER SYSTEM DESIGN GUIDELINES AND DETAILS.
- ALL UTILITY INSTALLATION ON PRIVATE PROPERTY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE.
- CONTRACTOR MUST MAINTAIN GOOD EROSION CONTROL AND FLUSHING PROCEDURES.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGES TO ANY EXISTING UTILITIES THAT ARE TO REMAIN.
- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF THERE IS A CONFLICT.
- CONTACT "MISS UTILITY" OF CENTRAL VIRGINIA PRIOR TO THE START OF ANY EXCAVATION TO LOCATE EXISTING UTILITIES. 1-800-552-3120.
- WATER SERVICE INSTALLATIONS MUST ADHERE TO THE CITY OF RICHMOND CROSS CONNECTION CONTROL AND BACKFLOW PREVENTION PROGRAM.
- A BACKWATER VALVE SHALL BE INSTALLED ON FIXTURES LOCATED ON A FLOOR LEVEL BELOW THE TOP OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER. IF A FLOOR LEVEL IS ABOVE THE TOP OF THE NEXT UPSTREAM MANHOLE, A BACKWATER VALVE IS NOT REQUIRED. A BACKWATER VALVE SHALL NOT BE INSTALLED ON THE LATERAL UNLESS ALL FLOORS IN THE BUILDING ARE BELOW THE TOP OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER.
- BACKFLOW PREVENTION ADEQUATE TO PROTECT THE PROPOSED IMPROVEMENTS SHALL BE PROVIDED ON ALL CONNECTIONS TO THE EXISTING PUBLIC SEWER SYSTEMS.
- EXISTING WATER MAIN MUST REMAIN IN SERVICE TO SERVE ALL EXISTING CITY WATER CUSTOMERS.
- IF EXISTING WATER OR SEWER LATERALS ARE DISCOVERED DURING CONSTRUCTION THEY MUST BE REMOVED.
- WATER TAP, SERVICE LATERAL, METER AND VAULT TO BE INSTALLED BY CITY DPU.
- MAINTAIN A MINIMUM OF 3.5' COVER ON ALL WATER SERVICE AND 5.5' MINIMUM ON SANITARY SERVICE LATERALS IN THE RIGHT OF WAY.
- EXISTING SEWER MAIN MUST BE FREE OF CRACKS, MAJOR DEFECTS, CLOGS OR SEDIMENT BUILDUP AND BE FREE FLOWING PRIOR TO LATERAL TAPS. VERIFY PRIOR TO CONSTRUCTION.

**PROPOSED UTILITY NOTES:**

- ALL SANITARY SEWER LATERALS ARE TO BE INSTALLED AT 2.08% MINIMUM, UNLESS OTHERWISE NOTED.
- ALL BUILDING FIRE CONNECTIONS SHALL BE DUCTILE IRON PIPE.
- ALL BUILDING DOMESTIC WATER CONNECTIONS SHALL BE PVC PIPE ASTM D2241/SDR-21 PRESSURE RATED OR APPROVED LISTED IN THE INTERNATIONAL PLUMBING CODE (IPC 2015) TABLE 605.3.
- ALL DOMESTIC WATER SERVICE LINES SHALL BE PVC PIPE ASTM D2241/SDR-21 PRESSURE RATED OR APPROVED LISTED IN THE INTERNATIONAL PLUMBING CODE (IPC 2015) TABLE 605.3.
- ALL PROPOSED HYDRANTS SHALL BE A MINIMUM OF 18" ABOVE EXISTING AND PROPOSED CURBING.

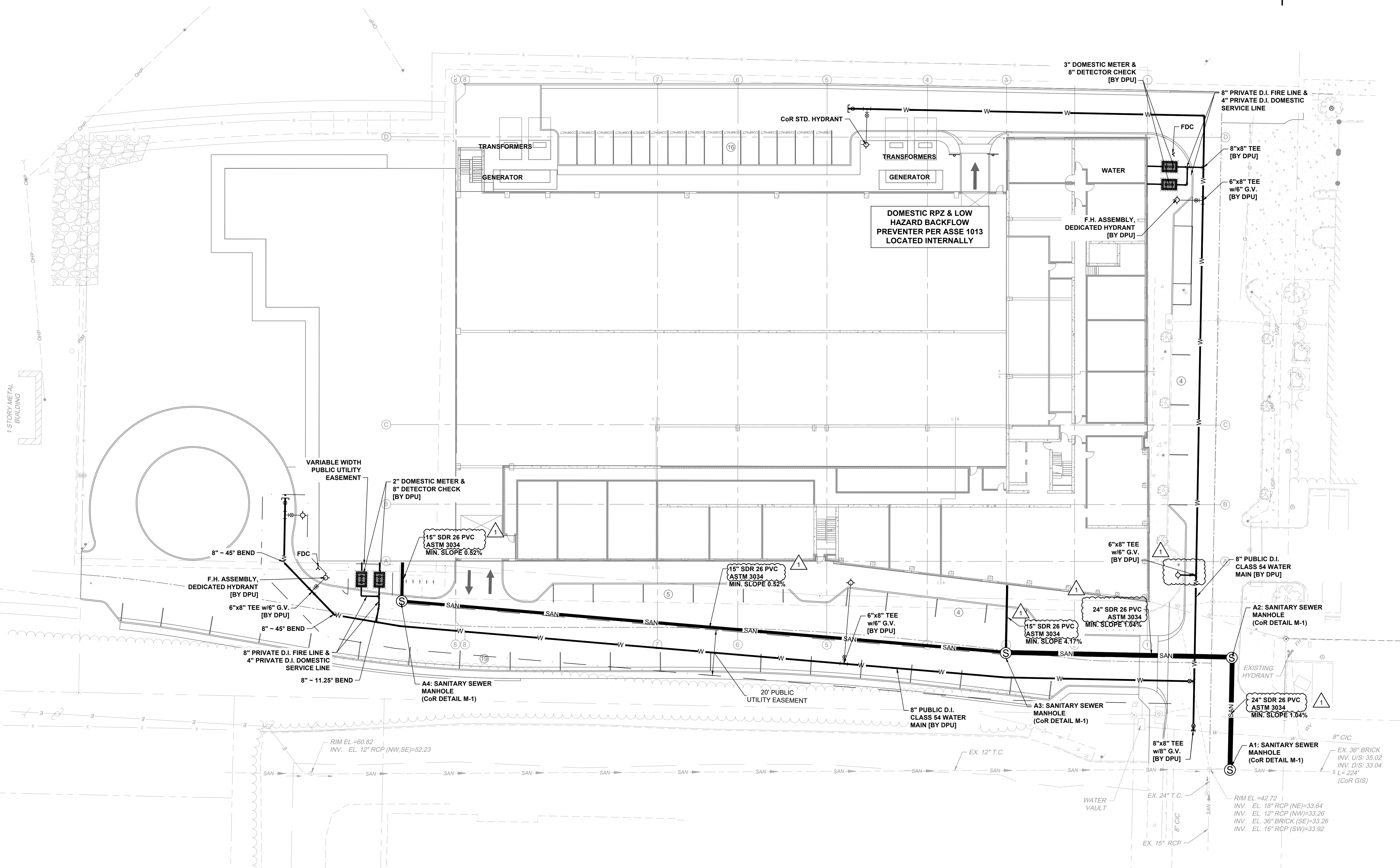
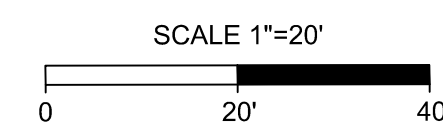
**SANITARY SEWER SYSTEM  
FIXTURE UNIT COUNT  
2015 IPC DESIGN FOR ON-SITE SEWER**

MH	MH	PIPE SIZE - MIN. SLOPE	DFU
BLDG 2 - SMH A4	15" PRIVATE PVC @ 0.52%	5,476	
SMH A4 - SMH A3	15" PRIVATE PVC @ 0.52%	5,476	
BLDG 1 - SMH A3	15" PRIVATE PVC @ 4.17%	10,630	
SMH A3 - SMH A2	24" PRIVATE PVC @ 1.04%	16,106	
SMH A2 - SMH A1	24" PRIVATE PVC @ 1.04%	16,106	

**CoR SAN SEWER DESIGN GUIDELINES FOR  
PUBLIC CONNECTION**

SMH A1 - EX SMH 1	36" PUBLIC BRICK @ 0.88%
-------------------	--------------------------

MANHOLE	INVERT	OUTLET	LENGTH	DIAMETER	DEPTH	TYPE
A1	33.26	33.26	0.00	24"	3.00	BRICK
A2	33.26	33.26	0.00	24"	3.00	BRICK
A3	33.26	33.26	0.00	24"	3.00	BRICK
A4	52.23	52.23	0.00	24"	3.00	BRICK



**SPECIAL USE PERMIT**

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**CORPORATE OFFICE**  
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225  
TEL: 804.200.0300 FAX: 804.560.1016 www.timmons.com

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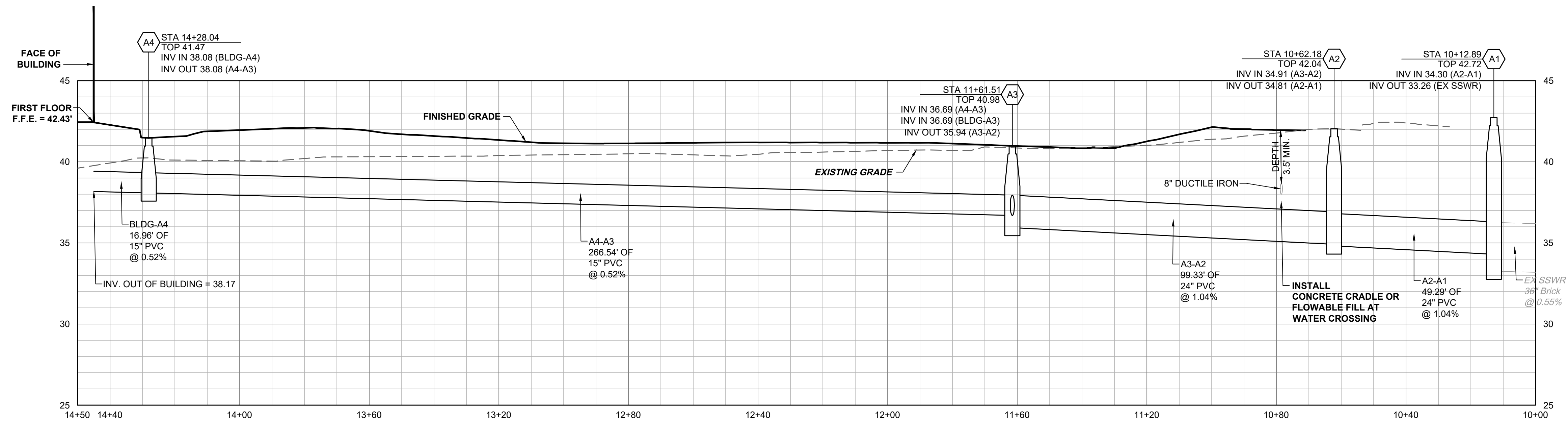
DATE: 07/28/2023  
DATE: 01/19/2023  
DRAWN BY: B. MEYER  
DESIGNED BY: B. MEYER  
CHECKED BY: A. WEHUNT  
SCALE: 1"=20'

**TIMMONS GROUP**

301 W. 6TH STREET  
CITY OF RICHMOND, VIRGINIA  
UTILITY PLAN

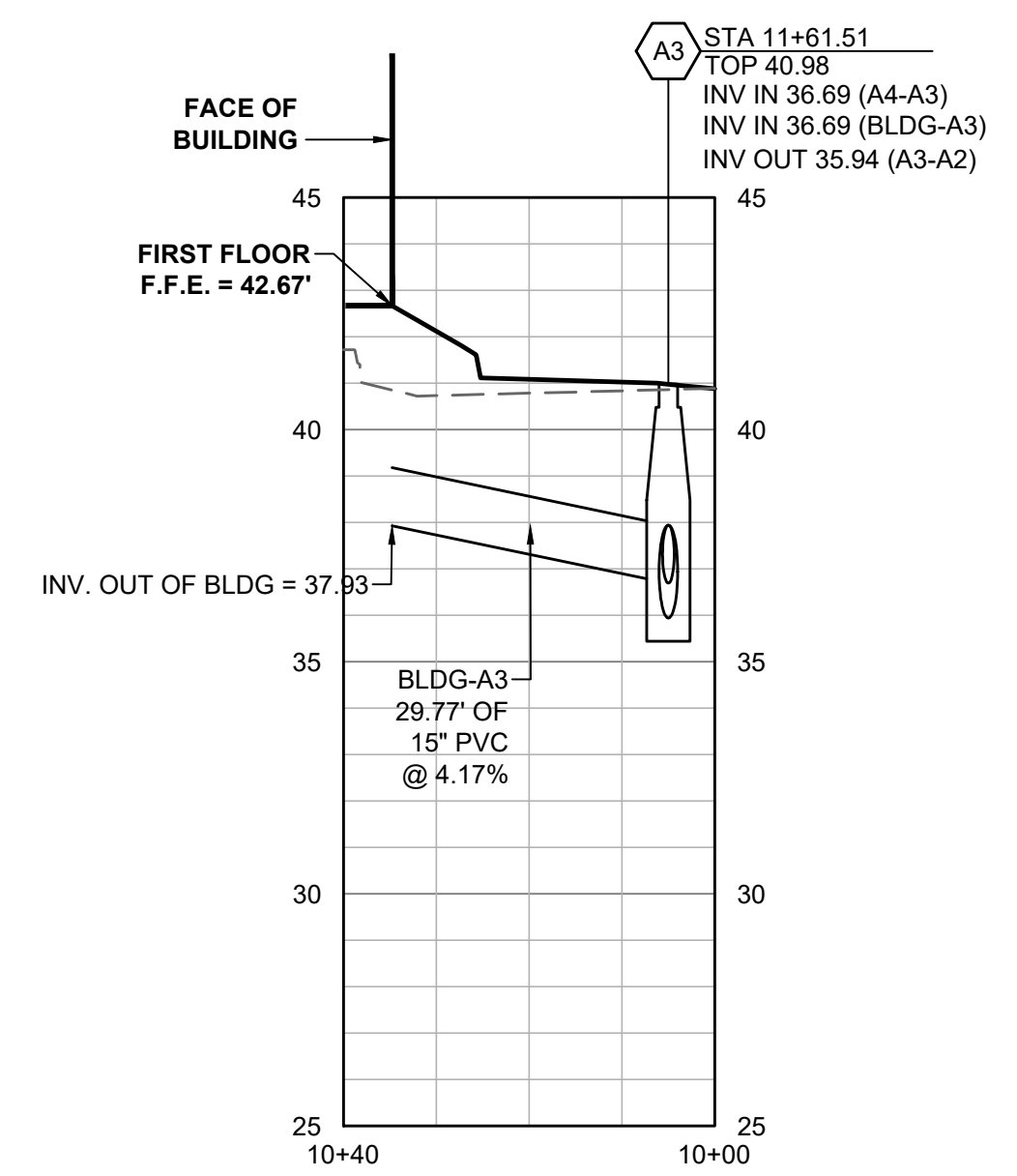
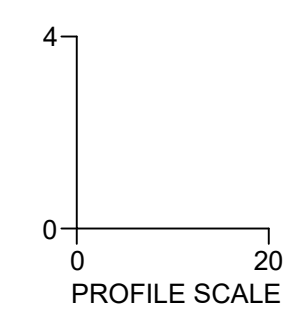
JOB NO. 56907  
SHEET NO. C6.00

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**PROFILE: PROPOSED SANITARY SEWER**

VERT.: 1" = 4'  
HORIZ.: 1" = 20'



**PROFILE: SANITARY LATERAL**

VERT.: 1" = 4'  
HORIZ.: 1" = 20'

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REVISION DESCRIPTION	DATE	CITY REVIEW COMMENTS (LETTER #2)

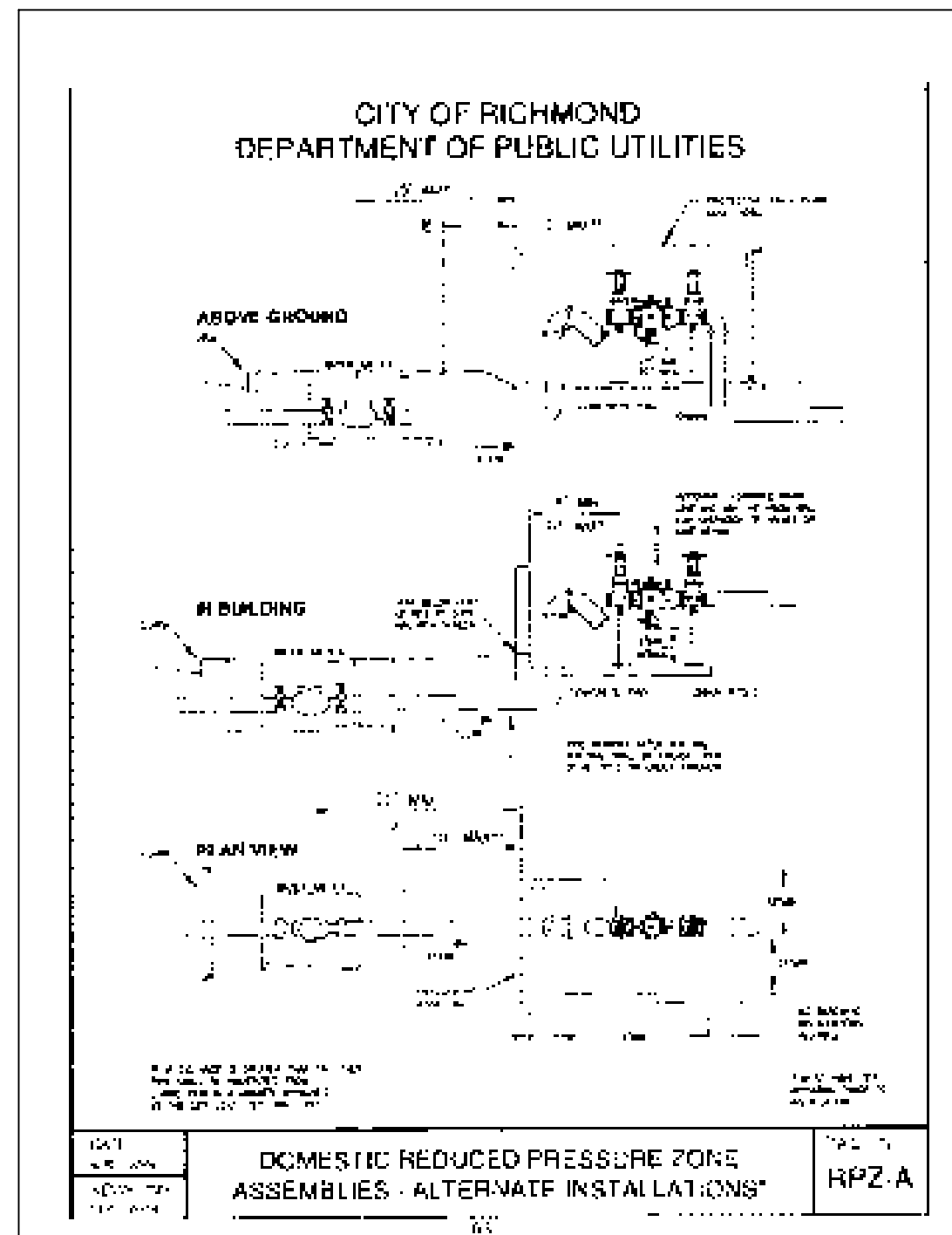
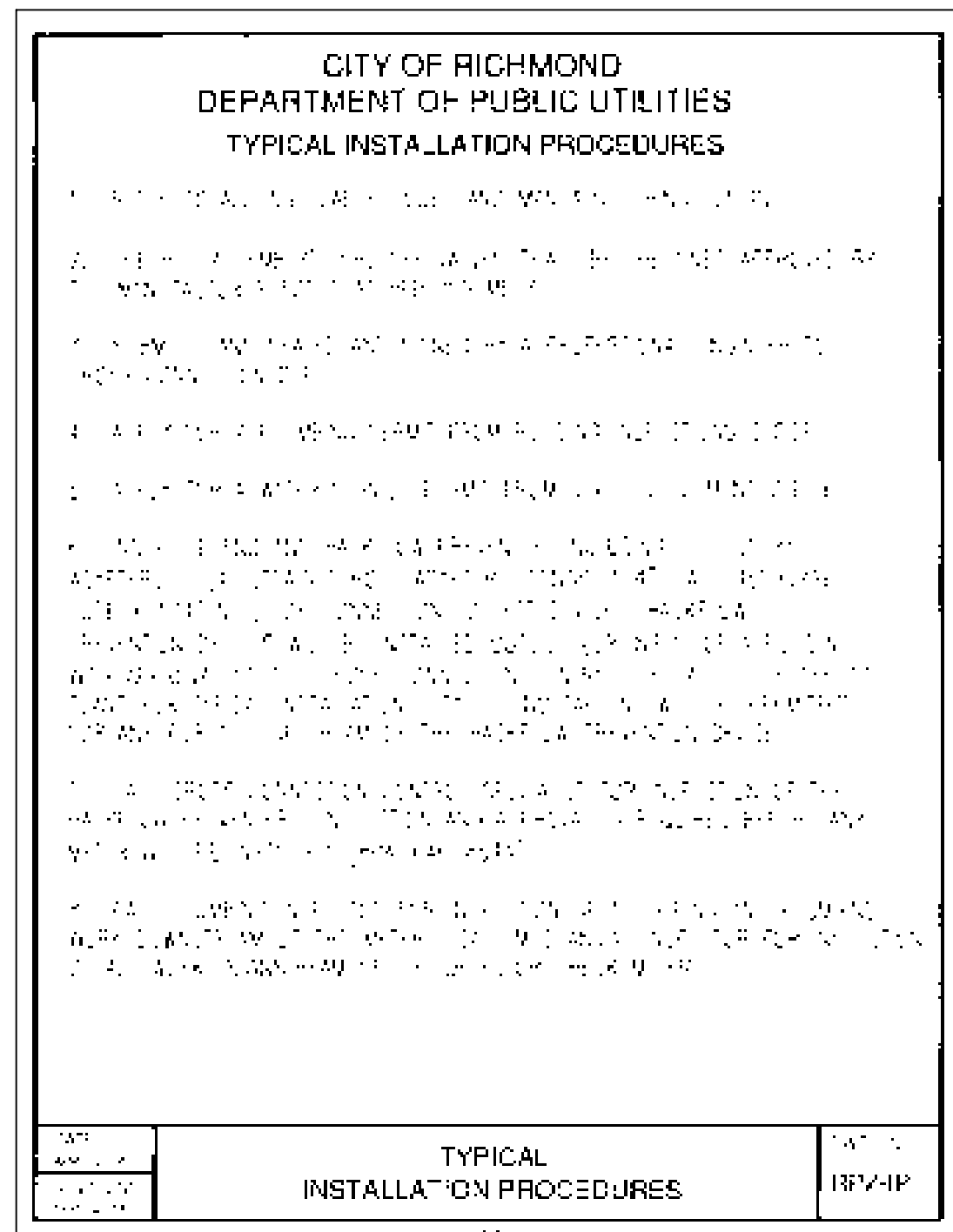
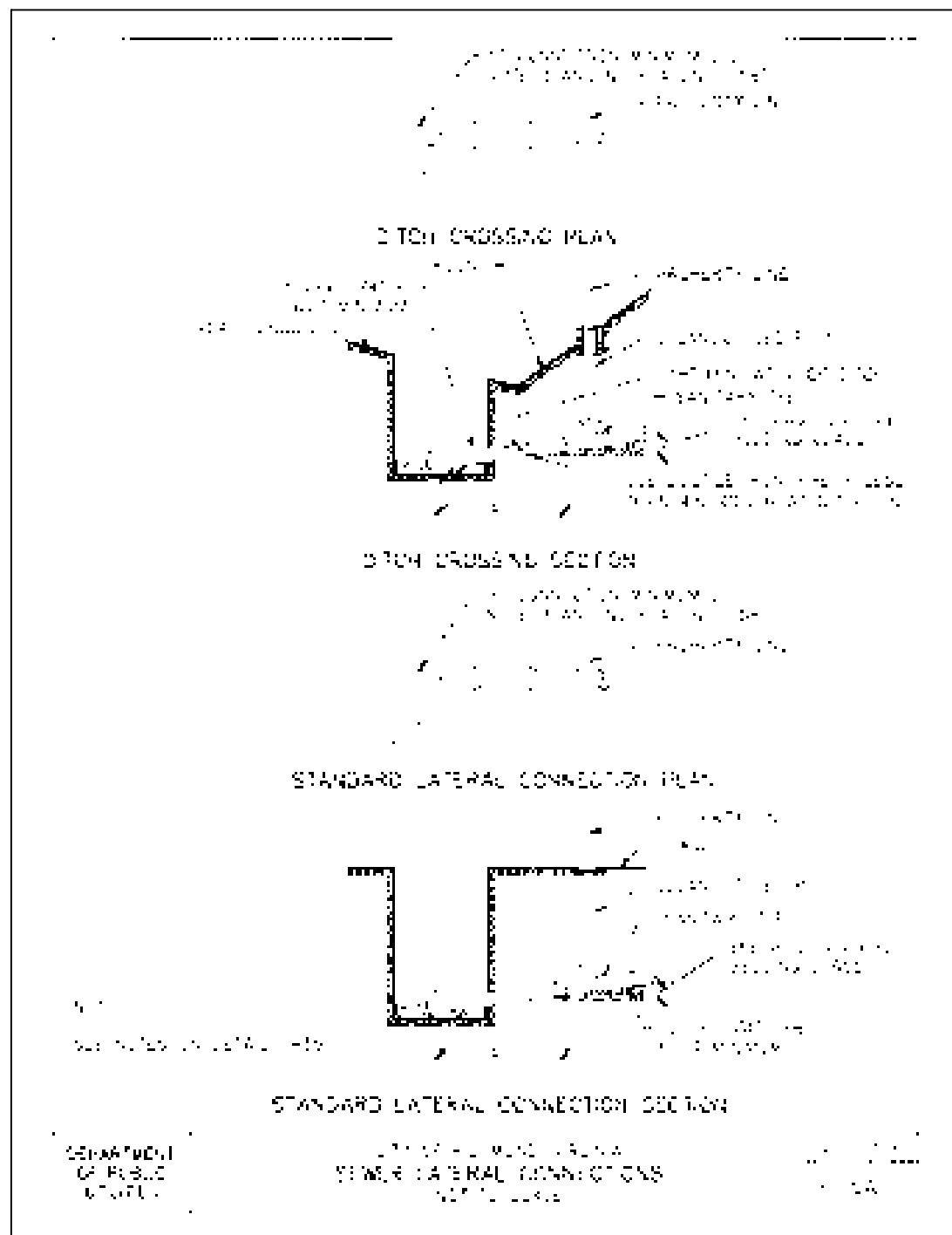
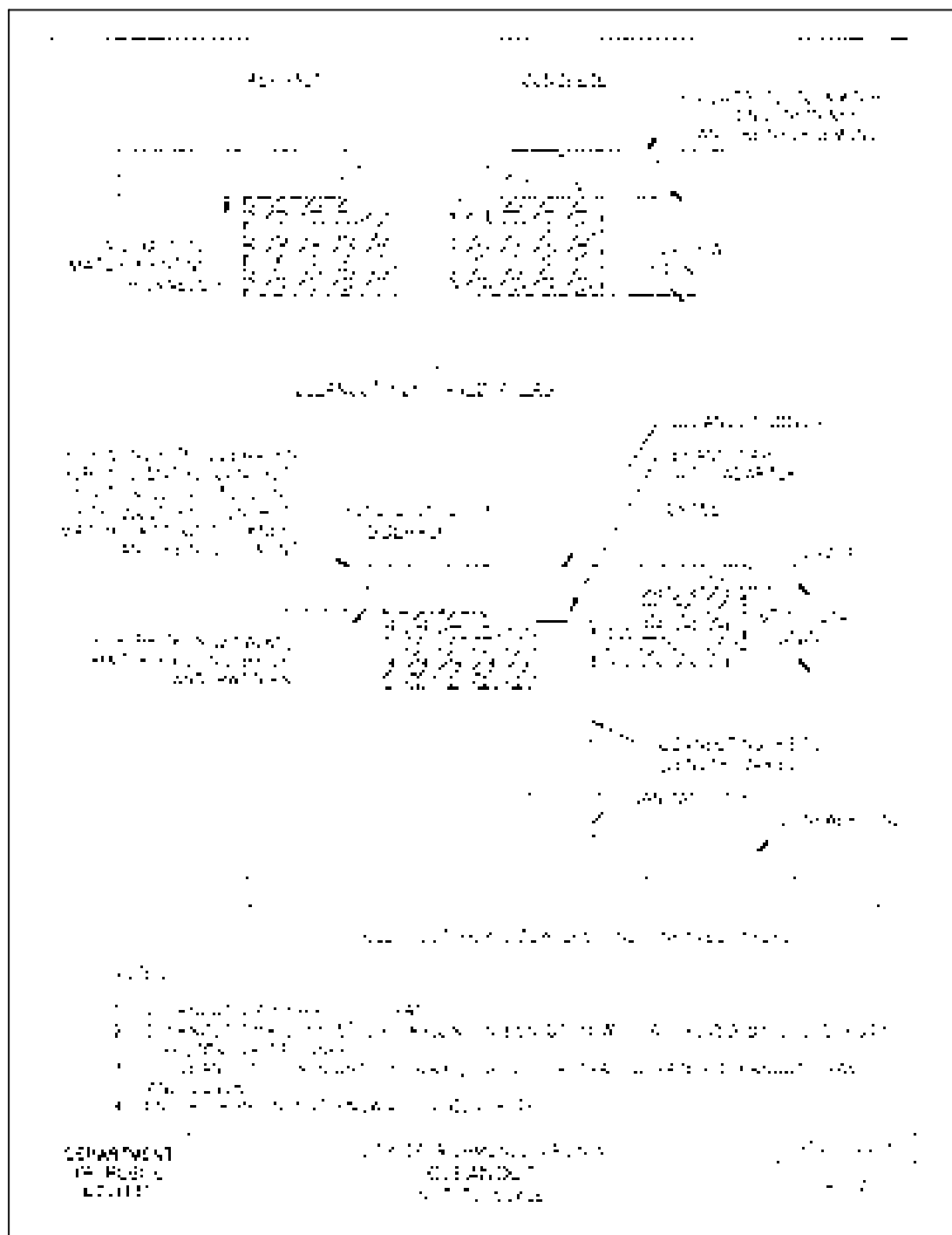
DATE	DATE
02/28/2023	01/19/2023

DRAWN BY	B. MEYER
DESIGNED BY	B. MEYER
CHECKED BY	A. WEHUNT
SCALE	1" = 20'

**TIMMONS GROUP**

**301 W. 6TH STREET**  
CITY OF RICHMOND, VIRGINIA  
**UTILITY PROFILES**

JOB NO.	56907
SHEET NO.	C6.01



**City of Richmond DPU Fixture Values Meter Sizing**

Project: 301 W. 6th Street

Fixture	Fixture Value @ 35 psi	No. of Fixtures (set to zero if none)	Fixture Value	COMMENTS
Bathtub	8	x	671	5368
Whirlpool	8	x		0
Shower Head (shower only)	4	x		0
Toilet-Flush Valve	35	x		0
Toilet-Tank Type	3	x	681	2043
Wash Sink (ea. set of faucets)	4	x		0
Kitchen Sink- 1/2" Connection	3	x	553	1659
Kitchen Sink- 3/4" Connection	7	x		0
Dishwasher- 1/2" Connection	5	x	553	2765
Dishwasher- 3/4" Connection	10	x		0
Washing Machine- 1/2" Conn	5	x	551	2755
Washing Machine- 3/4" Conn	12	x		0
Washing Machine- 1" Conn	25	x		0
Hose Bib- 1/2" Conn	6	x		0
Hose Bib- 5/8" Conn	9	x		0
Hose Bib- 3/4" Conn	12	x		0
Lawn Sprinkler (per head)	1	x		0
Bedpan Washers	10	x		0
Combination Sink & Tray	3	x		0
Dental Unit (cuspidor)	1	x		0
Dental Lavatory (sink)	2	x		0
Lavatory- 3/8" Connection	2	x	758	1516
Lavatory- 1/2" Connection	4	x		0
Laundry Tray- 1/2" Connection	3	x		0
Laundry Tray- 3/4" Connection	7	x		0
Service Sink- 1/2" Connection	3	x		0
Service Sink- 3/4" Connection	7	x		0
Urinal- Pedestal Flush Valve	35	x		0
Urinal- Wall Flush Valve	12	x		0
Drinking Fountains	2	x		0

Fixture Value Total (FVT) = 16106

Tower I: 10,630 = 125 gpm  
Tower II: 5,476 = 90 gpm

Meter Size based on FVT = 3" Tower I, 2" Tower II

NOTE: Other factors, such as distance/length of service or elevation, may make it necessary to utilize a larger meter than that which is indicated by this calculation.

**Proposed Sanitary Demand Summary**

Discharge Facility	Number	Flow Factor	Extended	Unit
Apartment Units (1 BR)	432	200	86,400	GPD
Apartment Units (2 BR)	121	300	36,300	GPD
<b>Total</b>			<b>122,700</b>	<b>GPD</b>

Ave. GPM = 50  
Peak Factor = 2.5  
Peak GPM = 130

**TIMMONS GROUP**

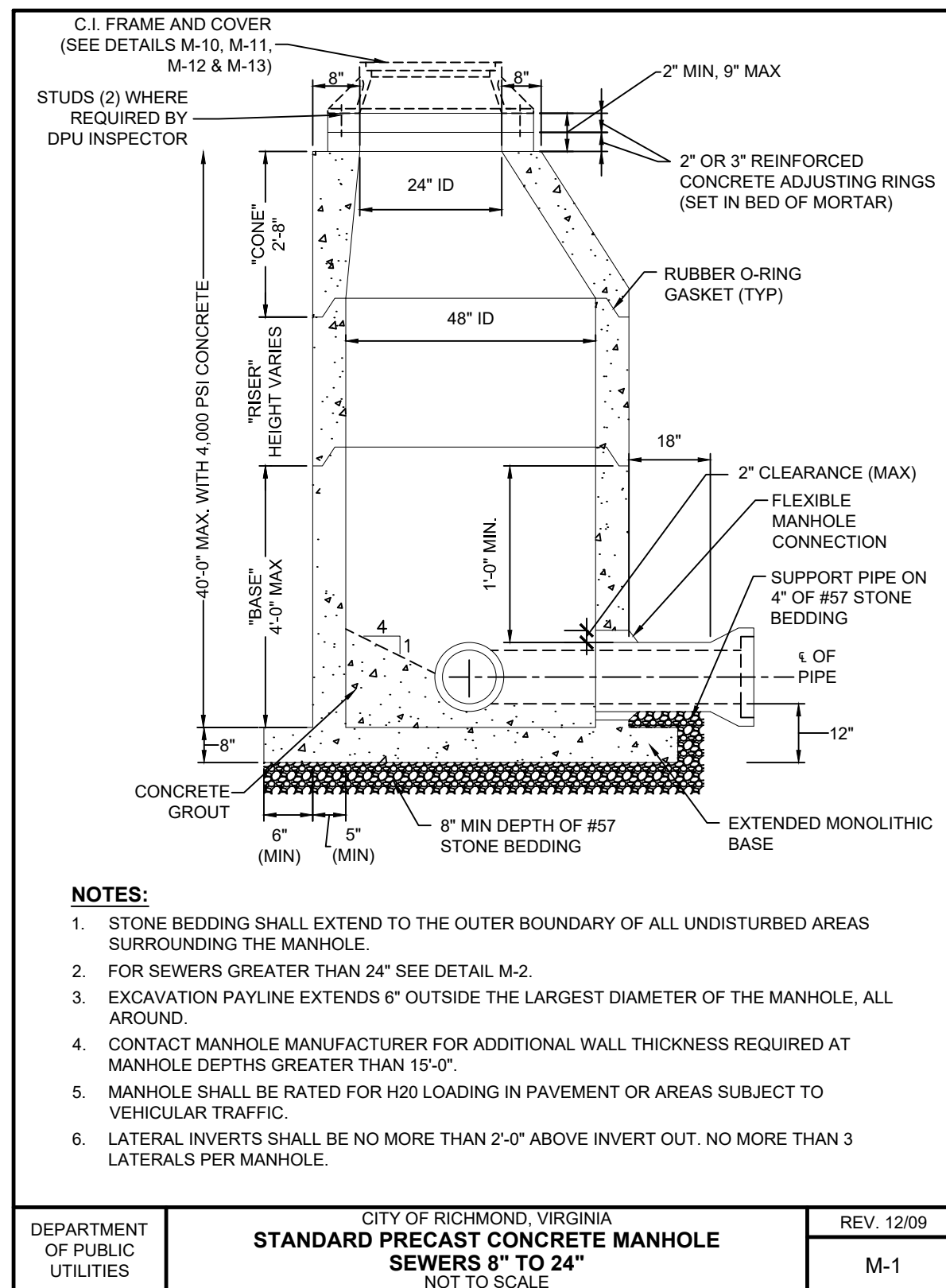
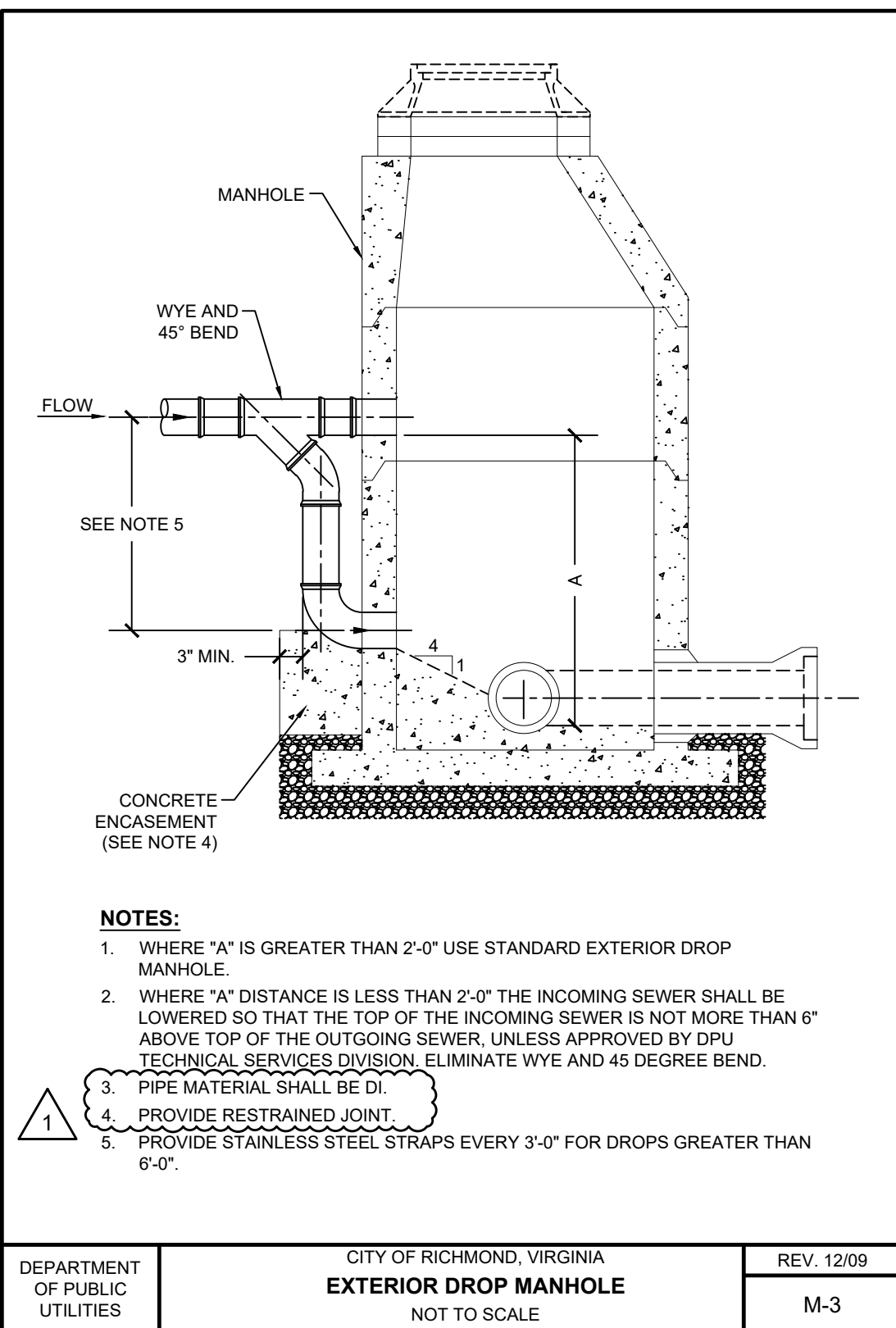
ISO (Insurance Service Office) Method of Calculating NF (Required Fire Flow)

Project Name: 301 W. 6th Street

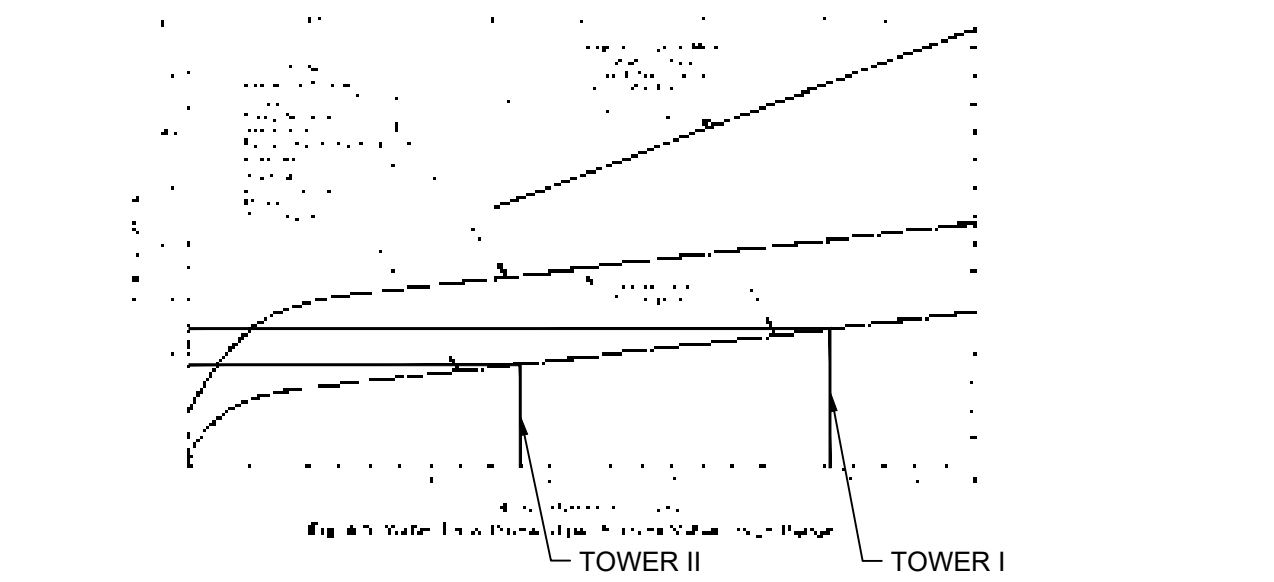
From Based on: 1000 sq ft per 1000 sq ft

Level 1: 1000 sq ft @ 1000 sq ft = 1000 sq ft  
Level 2: 1000 sq ft @ 1000 sq ft = 1000 sq ft  
Level 3: 1000 sq ft @ 1000 sq ft = 1000 sq ft  
Level 4: 1000 sq ft @ 1000 sq ft = 1000 sq ft  
Level 5: 1000 sq ft @ 1000 sq ft = 1000 sq ft  
Level 6: 1000 sq ft @ 1000 sq ft = 1000 sq ft  
Level 7: 1000 sq ft @ 1000 sq ft = 1000 sq ft  
Level 8: 1000 sq ft @ 1000 sq ft = 1000 sq ft

Required Fire Flow: 130 GPM



NOTE: ALL PRECAST SANITARY MANHOLES SHALL HAVE CONSHIELD ADDITIVE INCLUDED WITH CONCRETE MIX DESIGN OF MANHOLE.



**TIMMONS GROUP**

301 W. 6TH STREET  
CITY OF RICHMOND, VIRGINIA  
UTILITY NOTES AND DETAILS

THIS DRAWING PREPARED AT THE CORPORATE OFFICE  
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TEL: 804.200.0500 FAX: 804.560.1016 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 02/28/2023

DATE: 01/19/2023

DRAWN BY: B. MEYER

DESIGNED BY: B. MEYER

CHECKED BY: A. WEHNT

SCALE: AS NOTED

JOB NO.: 56907

SHEET NO.: C6.11



ALTA CERTIFICATION

To Fidelity National Title Insurance Company; 301 West 6th Street LLC, a Delaware limited liability company and GLP 2204 LLC, a Delaware limited liability company, and its successors and/or assigns:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on 4/12/2022.

Date of Plat or Map: 9/29/2022.



First American Title Insurance Company Commitment No. 5113118-D-VA-CP-EBS Commitment date: September 14, 2022 Schedule B, Part II Exceptions		
#12	D.B. 330, PG 345	Footing Easement shown.
#16	INST. #180013569	Matters shown.
#17	INST. #200022259	Matters shown.
#19	INST. #210011009	Easement shown.
#20	INST. #200022260	Easement shown.

TITLE COMMITMENT LEGAL DESCRIPTION

ALL that certain lot, piece or parcel of land, lying and being situate in the City of Richmond, Virginia, and more particularly described in that certain Quitclaim Deed (Boundary Line Adjustment) from Norfolk Southern Railway Company to River South Tower 2, LLC as to an undivided 75% tenant in common interest and 1982 Exchange LLC as to an undivided 25% tenant in common interest from Norfolk Southern Railway Company, dated September 24, 2020 and recorded September 24, 2020 as Instrument No. [200022259] and shown on plat attached thereto and recorded in Plat Book 20, Page 27.

TOGETHER WITH those certain easements set forth in Deed by and between Southern Railway Corporation and Reynolds Metals Company, dated August 26, 1969 and recorded in Deed [Book 351, Page 61] and shown on plat attached on page 66 and shown on the Survey.

TOGETHER WITH that certain emergency access easement as set forth in Deed of Easement recorded September 24, 2020 as Instrument No. 200022260.

SURVEYOR'S LEGAL DESCRIPTION

A parcel of land located in the city of Richmond, Virginia and shown on plat entitled "ALTA/NSPS SURVEY FOR 301 WEST 6TH STREET, PARCEL S0000014001, CITY OF RICHMOND, VA" by Nyfeler Associates, LLC dated 9/29/2022 and more particularly described as follows:

Beginning at a nail, said nail being on the south intersection of Perry Street and closed W. Sixth Street (N/F Aragon Group), said nail also being Point of Beginning ;

Thence North 39°12'42" West, along said southwestern line of closed W. Sixth Street (N/F Legend Brewing Company), a distance of 530.17 feet to an iron rod;

Thence North 50°43'31" East, a distance of 58.89 feet to a nail;

Thence North 50°39'24" East, a distance of 176.82 feet to an iron rod;

Thence along the arc of a non-tangent curve to the right a distance of 140.47 feet, said arc having a chord bearing of South 43°23'03" East and a chord length of 140.35 feet to an iron rod;

Thence South 39°20'36" East, a distance of 20.00 feet to an iron rod;

Thence North 50°39'24" East, a distance of 28.48 feet to an iron rod;

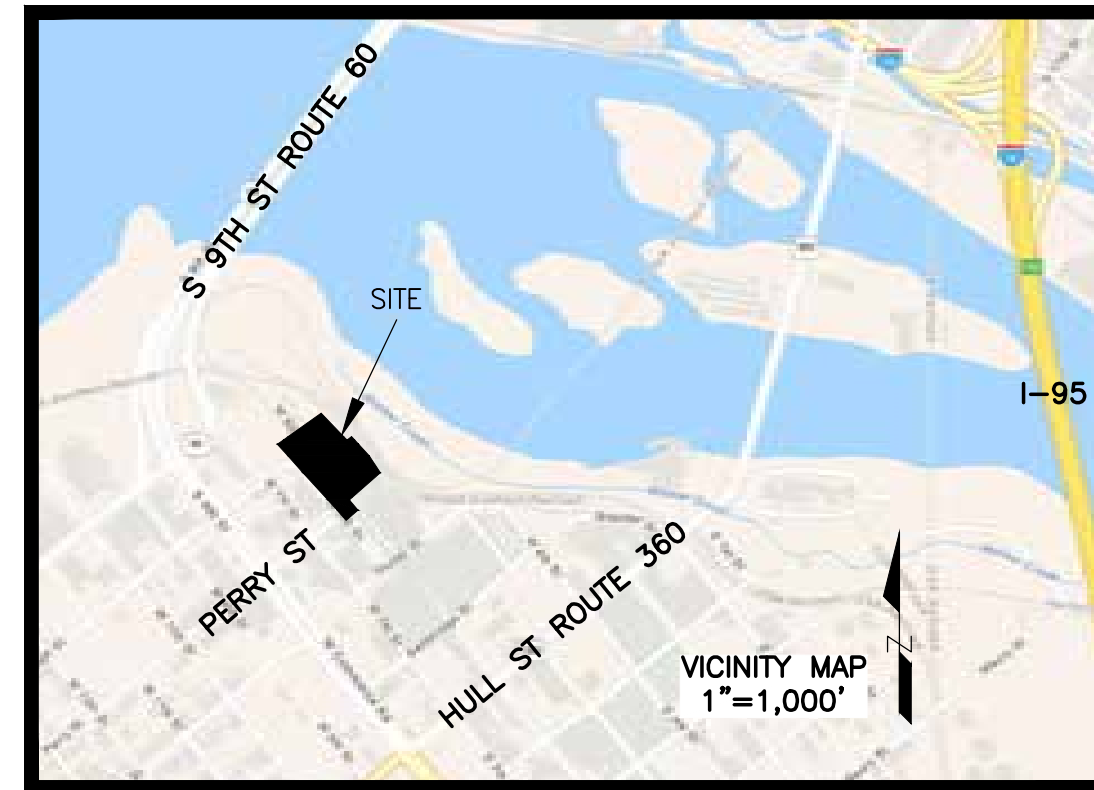
Thence South 39°15'59" East, a distance of 304.63 feet to an iron rod on the northeastern line of Perry street;

Thence South 49°17'20" West along said northwestern line of Perry Street, a distance of 224.84 feet to a nail on the eastern line of Perry street;

Thence South 25°04'13" East along said eastern line of Perry Street, a distance of 62.04 feet to a point;

Thence South 39°15'51" East along said eastern line of Perry Street, a distance of 0.10 feet to an iron rod;

Thence South 50°51'52" West leaving said eastern line of Perry Street, a distance of 34.81 feet to the Point of Beginning and containing +/- 2.891 acres.



LEGEND

- ⊙ IRF IRON ROD FOUND
- ⊙ NF NAIL FOUND
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⚡ WATER VALVE
- WM WATER METER
- ⚡ FIRE HYDRANT
- ⊙ ELECTRIC MANHOLE
- \* LIGHT/UTILITY POLE
- └ GUY WIRE
- ◆ SIGN
- x — FENCE
- ▭ CONCRETE
- ▭ ASPHALT
- ⊗ GV GAS VALVE
- ☑ MAILBOX

SHEET NO.: 1 OF 2

DATE: 9/29/2022

JOB NUMBER: 22051

DRAWN BY: JRW

APPROVED BY: GLN

**NYFELER ASSOCIATES**  
 LAND SURVEYING & MAPPING  
 619 W CARY ST. RICHMOND, VA 23220  
 804-277-4231 www.nyfelerassociates.com

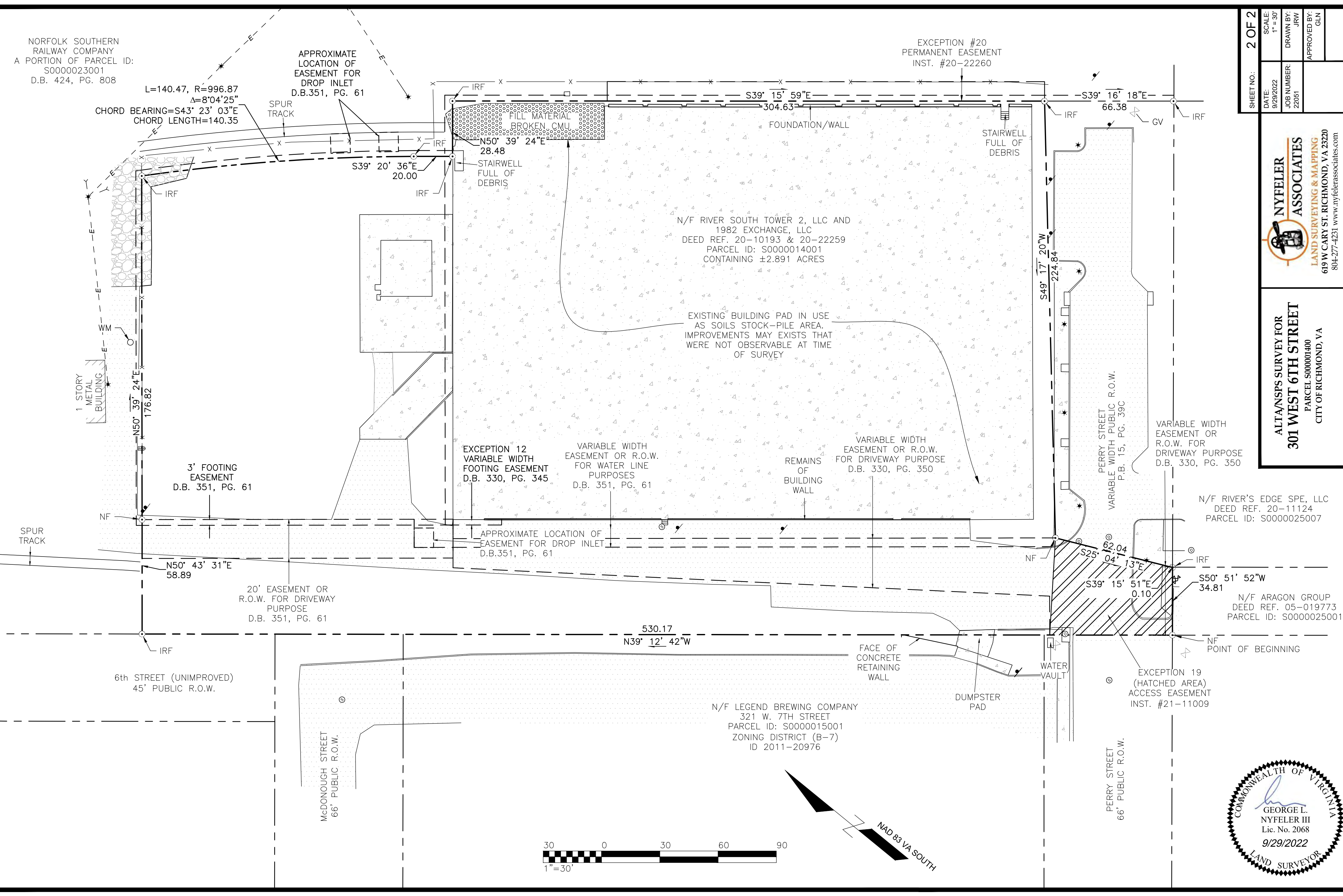
ALTA/NSPS SURVEY FOR  
**301 WEST 6TH STREET**  
 PARCEL S0000014001  
 CITY OF RICHMOND, VA

NORFOLK SOUTHERN RAILWAY COMPANY  
 A PORTION OF PARCEL ID: S0000023001  
 D.B. 424, PG. 808

APPROXIMATE LOCATION OF EASEMENT FOR DROP INLET  
 D.B.351, PG. 61

EXCEPTION #20  
 PERMANENT EASEMENT  
 INST. #20-22260

$L=140.47, R=996.87$   
 $\Delta=8^{\circ}04'25''$   
 CHORD BEARING= $S43^{\circ}23'03''E$   
 CHORD LENGTH= $140.35$



SHEET NO.:	2 OF 2
DATE:	9/29/2022
JOB NUMBER:	22051
DRAWN BY:	JRW
APPROVED BY:	GLN

**NYFELER ASSOCIATES**  
 LAND SURVEYING & MAPPING  
 619 W CARY ST. RICHMOND, VA 23220  
 804-277-4231 www.nyfelerassociates.com

ALTA/NSPS SURVEY FOR  
**301 WEST 6TH STREET**  
 PARCEL S000001400  
 CITY OF RICHMOND, VA

