



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

May 11, 2026

Church Schools in the Diocese of Virginia Inc
8727 River Road
Richmond, VA 23229
Attn: Kristin Wold, COO Saint Catherine's School

Charles Tilley, Principal
1840 West Broad Street, Suite 400
Richmond, VA 23221

To Whom It May Concern:

RE: BZA 19-2026

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, June 3, 2026 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to construct an addition to an existing school building at 6001 GROVE AVENUE (Tax Parcel Number W021-0381/007), located in an I-C (Institutional Conditional) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **869 533 289#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2026 drop-down, click meeting details for June 3, 2026 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 19-2026
Page 2
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association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,



Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

5900 Grove Avenue Llc
25 Clarke Rd
Richmond, VA 23226

Beggerow Kathryn P And W Chason
5900 Three Chopt Rd
Richmond, VA 23226

Carter Agnes S
5908 Grove Ave
Richmond, VA 23226

Coyne Jerry Peter & Kerry Ohanlon
5906 Three Chopt Road
Richmond, VA 23226

Cullinan Sean K And Jennifer W
105 Maple Ave
Richmond, VA 23226

Dalton Patrick Liam And Elizibith York
101 Maple Ave
Richmond, VA 23226

Faus Michael E And Daryl Ann
5805 Grove Ave Unit 2b
Richmond, VA 23226

Ferrell Leavenworth M And Courtney P
7 Maple Ave
Richmond, VA 23226

Gambill Mark M And Mary Louise
5805 Grove Ave Ste 3a
Richmond, VA 23226

Garcia James Conrad And Malek Deana A
5800 Three Chopt Rd
Richmond, VA 23226

Guarino Matthew Allen And Broen Ellen
Elizabeth
5904 Three Chopt Rd
Richmond, VA 23226

Hayes William B And Kelly H
5908 Three Chopt Rd
Richmond, VA 23226

Hunter Wayne L & Debbie D
5806 Three Chopt Rd
Richmond, VA 23226

Lacy Michael And Kimberly
5914 Grove Ave
Richmond, VA 23226

Manning Anthony P
97 Maple Ave
Richmond, VA 23226

Michael Mary M
95 Maple Ave
Richmond, VA 23226

Murphy Amanda J Abata & Richard
99 Maple Ave
Richmond, VA 23226

O & B Inc C/o George Oley
9030 Three Chop Rd Suite A
Richmond, VA 23229

Oken Donald E & Mary L Co Trustees The
Oken Trust
91 Maple Ave
Richmond, VA 23226

Paul Ray M Jr And Tyler B
5805 Grove Ave Unit 301
Richmond, VA 23226

Pullen John N & Roberts-pullen Kathryn P
5910 Grove Ave
Richmond,, VA 23226

Saint Stephens Protestant Episcopal
Church Tr
6004 Three Chopt Rd
Richmond, VA 23226

Sassafras Properties Llc
4198 Cox Rd #200
Glen Allen, VA 23060

The Chadwick Condominium Unit
Owners Association
1210 E Cary St #300
Richmond, VA 23219

Thompson Benjamin A & Emily B
P.o. Box 29682
Richmond, VA 23242

Traywick Chris N & Joyce E
5906 Grove Ave
Richmond, VA 23226

Tripp Helen H
5810 Three Chopt Road
Richmond, VA 23226

Ward Kathleen M
5904 Grove Ave
Richmond, VA 23226

White Gail S
93 Maple Ave
Richmond, VA 23226

Williams Elizabeth H
5805 Grove Ave Unit 2a
Richmond, VA 23226

City of Richmond, VA Report

Property Owner	
Name:	CHURCH SCHOOLS IN THE DIOCESE OF VIRGINIA INC
Mailing Address:	8727 RIVER ROAD RICHMOND, VA 23229
Parcel Use:	B Educational
Neighborhood:	450

Property Information	
Property Address:	6001 Grove Ave
PIN	W0210381007
Size:	13.343 Acres, 581229.470 Square Feet
Property Description:	0625.00X0530.00 IRG0000.000

Additional Information	
Exempt Code	Academic

Current Assessment			
Year	Land	Improvements	Total
2026	\$11,664,000	\$23,760,000	\$35,424,000

Deed Transfers					
Recordation Date	Book	Page	Deed Type	Consideration	Grantee
1/1/1776	0	0	N/A	\$0	CHURCH SCHOOLS IN THE

Details for Commercial Building 1

Year Built:	Finished Area:
1984	7,794



science bldg

1SMSUP
1SMS
(3,897 sf)

Assessment History			
Year	Land	Improvements	Total
2025	\$11,664,000	\$20,540,000	\$32,204,000
2024	\$8,974,000	\$20,540,000	\$29,514,000
2023	\$7,138,000	\$20,540,000	\$27,678,000
2022	\$7,138,000	\$16,387,000	\$23,525,000
2021	\$3,487,000	\$15,974,000	\$19,461,000
2020	\$3,487,000	\$15,974,000	\$19,461,000
2019	\$3,487,000	\$15,361,000	\$18,848,000
2018	\$3,487,000	\$15,091,000	\$18,578,000
2017	\$3,487,000	\$15,091,000	\$18,578,000
2016	\$2,400,000	\$6,274,000	\$8,674,000
2015	\$2,400,000	\$5,861,000	\$8,261,000
2014	\$2,400,000	\$5,861,000	\$8,261,000
2013	\$2,400,000	\$5,861,000	\$8,261,000
2012	\$2,906,000	\$5,861,000	\$8,767,000
2011	\$2,906,000	\$5,861,000	\$8,767,000
2010	\$2,906,000	\$5,861,000	\$8,767,000
2009	\$2,906,000	\$3,861,000	\$6,767,000
2008	\$2,906,000	\$3,861,000	\$6,767,000
2007	\$1,370,400	\$3,860,600	\$5,231,000
2006	\$1,245,800	\$3,676,800	\$4,922,600
2005	\$1,186,500	\$3,064,000	\$4,250,500

Map

Not a Legal Document

Subject to terms and conditions
www.actDataScout.com

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



**THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340**

TO BE COMPLETED BY THE APPLICANT

PROPERTY Church Schools in the Diocese of Virginia Inc. PHONE: (Home) () (Mobile) ()

OWNER: 8727 River Road FAX: () (Work) (804) 288-2804

(Name/Address) Richmond, Virginia 23229 E-mail Address: _____

(Kristin Wold, COO Saint Catherine's School)

OWNER'S Quinn Evans (Architect)

REPRESENTATIVE: Charles Tilley, Principal PHONE: (Home) () (Mobile) (804) 533-4738

(Name/Address) 1840 West Broad Street Suite 400 FAX: () (Work) ()

Richmond, Virginia 23221 E-mail Address: _____

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 6001 Grove Avenue

TYPE OF APPLICATION: VARIANCE SPECIAL EXCEPTION OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-432.7(3)b

APPLICATION REQUIRED FOR: A building permit to construct an addition to an existing school building.

TAX PARCEL NUMBER(S): W021-0381/007 ZONING DISTRICT: I-C (Institutional District Conditional)

REQUEST DISAPPROVED FOR THE REASON THAT: When two or more buildings, neither of which contains a dwelling use, are erected on the same lot, the distance between any two such buildings shall be not less than 15 feet. A distance of 10.5'± is proposed.

DATE REQUEST DISAPPROVED: March 20, 2026 FEE WAIVER: YES NO:

DATE FILED: April 17, 2026 TIME FILED: 7:43 p.m. PREPARED BY: Josh Young RECEIPT NO. BZAC-184382-2026

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:
SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2 OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH(S) _____ OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: Kristin Wold DATE: 05.01.26

***** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS *****

CASE NUMBER: BZA 19-2026 HEARING DATE: June 3, 2026 AT 1:00 P.M.

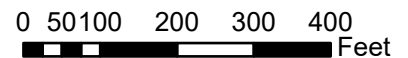
BOARD OF ZONING APPEALS CASE BZA 19-2026
150' Buffer

APPLICANT(S): Church Schools in the Diocese of Virginia Inc

PREMISES: 6001 Grove Avenue
(Tax Parcel Number W021-0381/007)

SUBJECT: A building permit to construct an addition to an existing school building.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-432.7(3)b
of the Zoning Ordinance for the reason that:
Where two or more buildings, neither of which contains a dwelling use, are erected on
the same lot, the distance between any two such buildings shall be not less than 15 feet.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent:

[Handwritten signature]



17 April 2026

Mr. Roy Benbow
Secretary to the Board of Zoning Appeals
Department of Planning and Development Review
City of Richmond
900 East Broad Street, Room 508
Richmond, Virginia 23219

RE: GUIGON HALL, SAINT CATHERINE'S SCHOOL

Subject: BZA Variance Request – 601 Grove Avenue (Tax Parcel No. W021-0381/007; BLDC-180287-2026)

Dear Mr. Benbow:

The property owner requests a variance from the yard requirement of a fifteen-foot (15') separation distance between two buildings located on the same lot, in order to permit an addition to Guigon Hall on the Saint Catherine's School campus. The minimum separation distance of the designed addition is 10'-6" to the closest adjacent building. The property is zoned (I-C) Institutional District (conditional).

Background:

Saint Catherine's School is an all-girls school for grades PK-12 which occupied a single 13.3 acre parcel in the Three Chopt neighborhood. The campus-style school consists of 17 separate buildings. Guigon Hall is one of the original campus buildings built in 1925 and is sited on the edge of a small courtyard between Blair Hall and the Armfield Science Center.

Project Description:

The proposed project at Guigon Hall is the renovation and addition to this small historic building. The purpose of the project is to renovate the music classroom building to serve a new use as a center for the upper school visual arts programs. In order to accommodate the relocated program, an addition is required to provide more usable space. The addition is proposed on the north, courtyard side of Guigon Hall, resulting in a separation distance of 10'-6" to the closest corner of the Armfield Science Center.

The addition complies with the fire separation requirements in the 2021 Virginia Construction Code through Exception 1 of Section 705.3 because the combined areas of both Guigon Hall and the Armfield Science Center are within the area limitations. Both buildings are fully sprinklered. The portion of the addition that is within 15' of the Armfield Science Center is the corner of the mechanical room which is masonry veneer construction with no openings. The adjacent Armfield Science Center is also masonry veneer construction with limited adjacent openings.

The location of the addition was determined by the need to preserve the campus-facing south façade which is the historic entry, avoid the west side of the building which would be within the critical root zone of an extremely large, historic Oak tree (60" dia. trunk), and maintain the patio and entrance to the Armfield Science Center on the east side. To complement the existing building, the addition was designed in the same Georgian Revival style and includes a symmetrical footprint to complement the symmetry of the existing building. The mechanical room is located on the northeast corner to connect most efficiently to the existing campus utility lines and to minimize the total site disturbance area.

17 April 2026

Per Section 15.2-2309 of the Code of Virginia, a variance may be granted “if the evidence shows that the strict application of the terms of the ordinance would unreasonably restrict the utilization of the property or that the granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance...” It is the applicant’s position that in this case, both standards are met. The strict application of the terms of the ordinance would unreasonably restrict the utilization of the property given that the addition meets the required fire separation requirements of the 2021 Virginia Construction Code. In addition, the granting of a variance would alleviate the hardship of relocating a portion of the addition and extending the existing utilities which would result in an increased site disturbance area. Finally, the request meets the following tests:

- **The Property was acquired in good faith and the hardship was not created by the applicant.**
 - The hardship was not created by the applicant. The building is historic and is a contributing building to the St. Catherine’s campus which is listed on the National Register of Historic Places. Self-inflicted hardship must pertain to a violation of the zoning ordinance by the Owner, and no violation has been committed.
- **Granting the variance will not be of substantial detriment to adjacent property and nearby properties in the proximity of the geographical area.**
 - The variance would not be of any detriment to adjacent properties. The corner of the building with the requested separation distance variance is internal to the campus and does not immediately border any neighboring properties. In other regards, other applicable zoning requirements will be met.
- **The condition or situation of the property concerned is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the ordinance.**
 - This issue is unique given that the building meets the fire separation requirements of the Virginia Construction Code which is not generally shared by other properties in the district.
- **Granting of the variance does not result in a use that is not otherwise permitted on such property or a change in the zoning classification of the property.**
 - The use of the building as an ‘E’ Educational use will not change and is permitted by the I-C Institutional zoning classification.
- **The variance is not contrary to the purpose of the ordinance.**
 - The building addition is located within the school campus and not immediately adjacent to any roads or other properties.
 - The variance does not introduce an incompatible use, and it enables the reuse of an existing structure while maintaining public safety and compatibility.

Cordially,

A handwritten signature in blue ink that reads "Charles Tilley".

Charles Tilley, AIA
Principal
Quinn Evans



17 April 2026

Attached Exhibits:

- Exhibit A – Site Plan Diagram with Separation Distances
- Exhibit B – Existing Conditions Site Plan
- Exhibit C – Proposed Site Plan
- Exhibit D – Architectural Plans and Elevations
- Exhibit E – Existing Photographs and Rendering of Proposed Addition

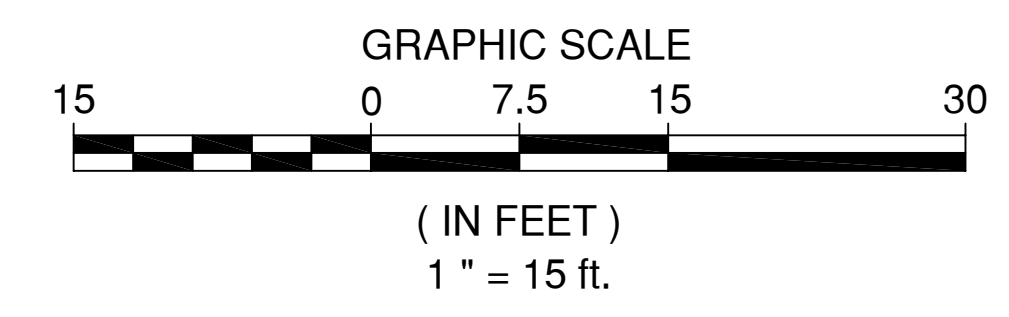
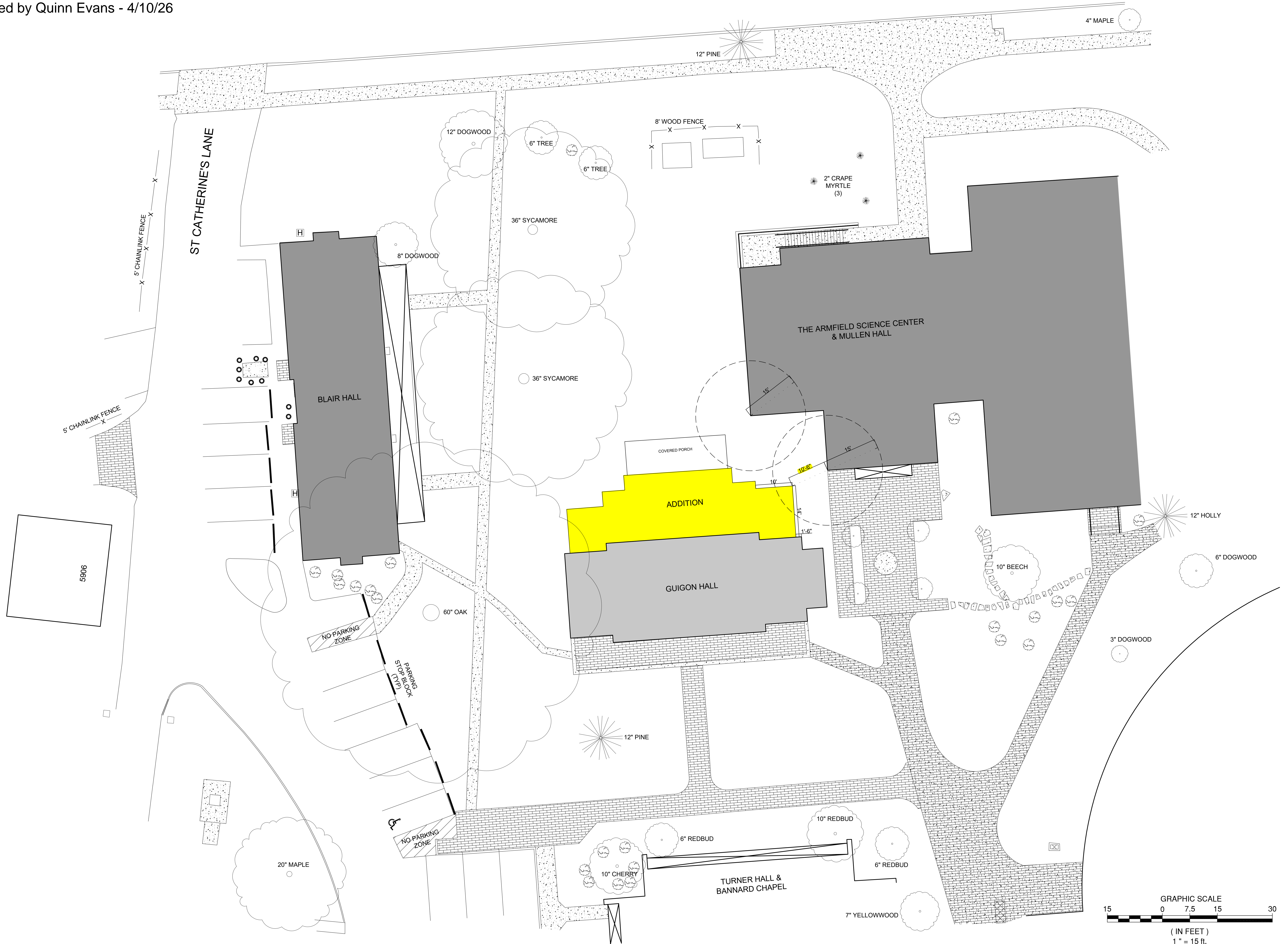
Cc: Kristin Wold, Chief Operating Officer, St. Catherine's School
Katie Chernau, Owner's Representative, St. Catherine's School
Allison Leighton, Senior Associate, Quinn Evans

GUIGON HALL SITE PLAN WITH SEPARATION DISTANCES
6001 Grove Avenue Richmond, VA 23226

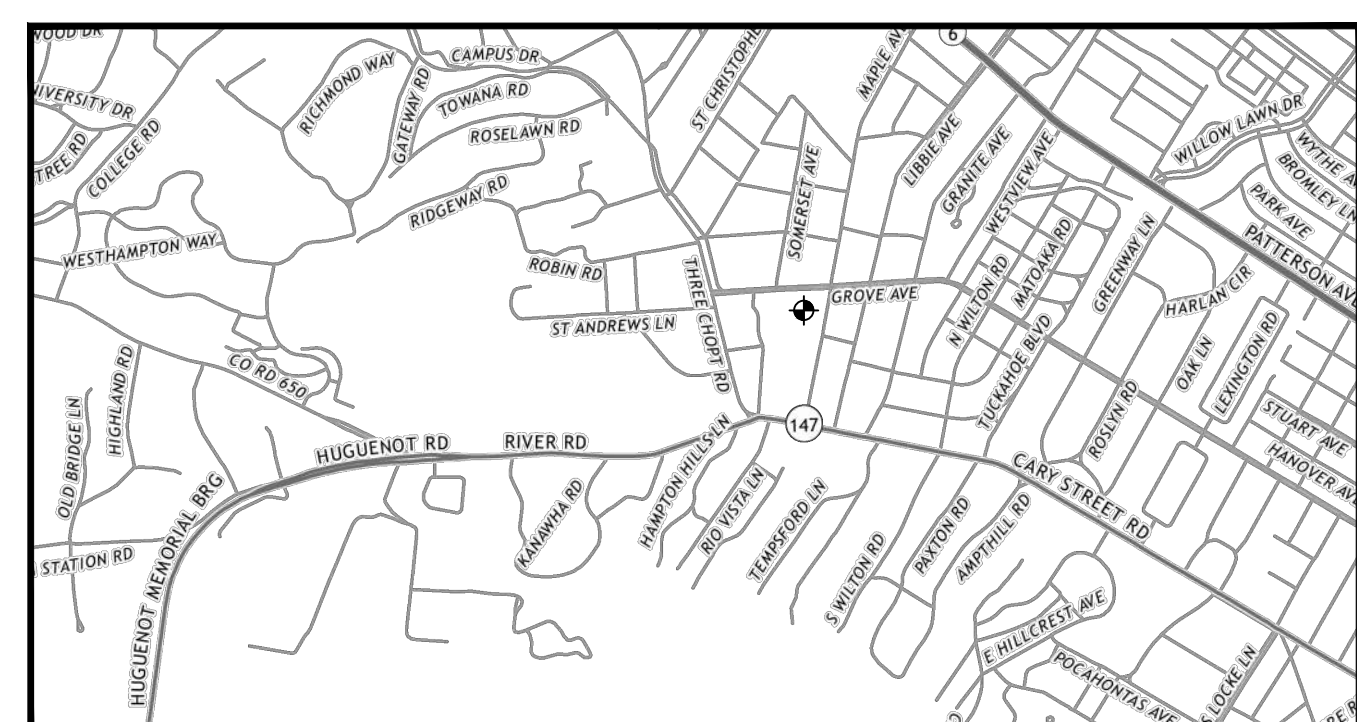
GROVE AVENUE

EXHIBIT A

prepared by Quinn Evans - 4/10/26



SEE NOTE 51



VICINITY MAP
SCALE: 1" = 2000

GENERAL SURVEY NOTES:

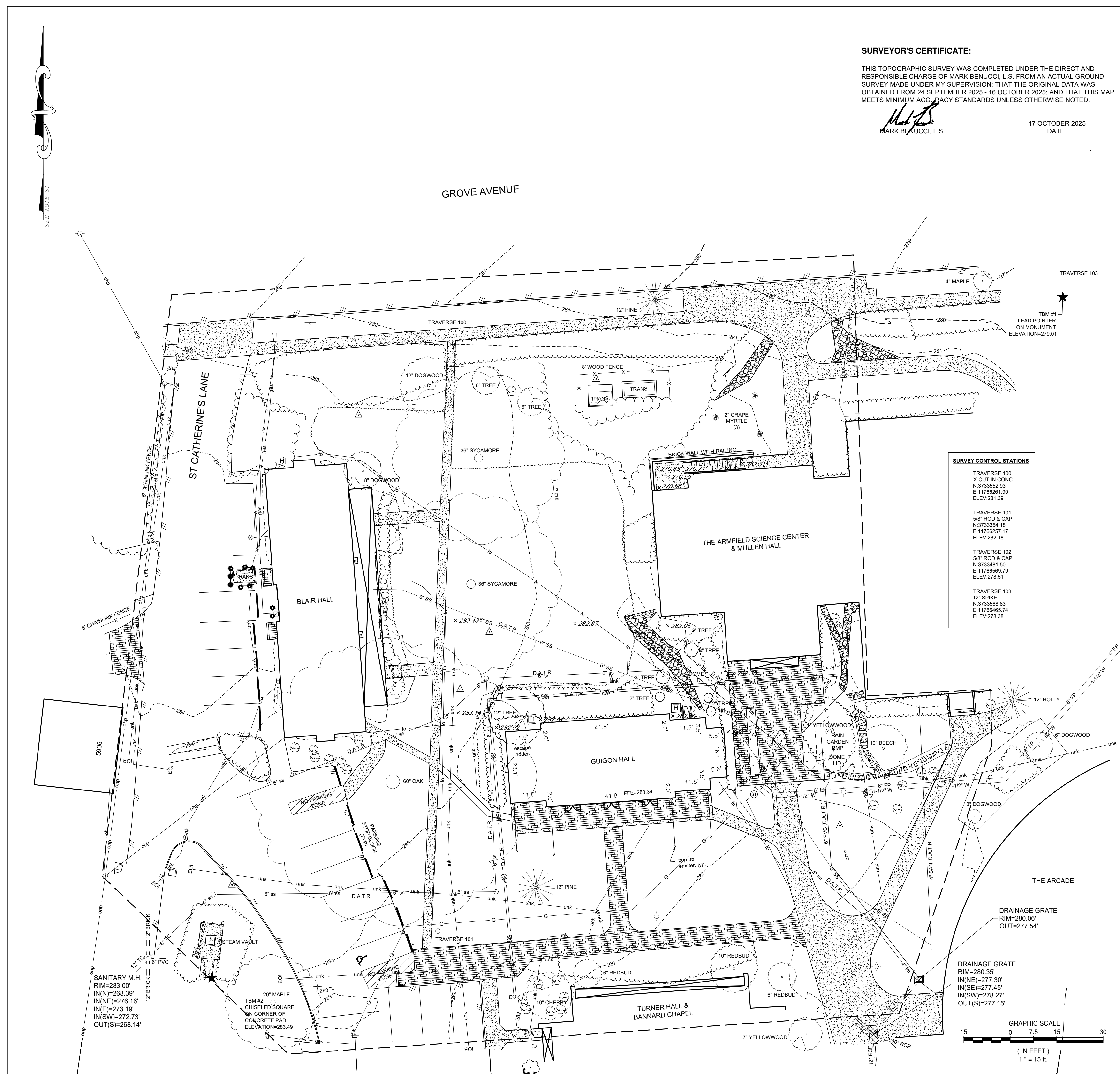
- S1. SOURCE OF MERIDIAN: NAD83 - VIRGINIA NORTH ZONE (US SURVEY FEET) BASED UPON GPS OBSERVATIONS BY TRC ENGINEERS, INC. ON 24 SEPTEMBER 2025.
- S2. VERTICAL DATUM: NAVD88 (GEOID18), BASED UPON GPS OBSERVATIONS BY TRC ENGINEERS, INC. AND EXISTING SITE BENCHMARKS ON 24 SEPTEMBER 2025.
- S3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR TITLE REPORT AND ALL EASEMENTS AND ENCUMBRANCES THAT MIGHT BE DISCLOSED IN A TITLE SEARCH MAY NOT BE SHOWN.
- S4. NO SUE WAS PERFORMED OR REQUESTED FOR THIS SURVEY. UTILITIES SHOWN HEREON ARE BASED ON FIELD OBSERVATION ONLY. DUE TO SEVERAL FACTORS SUCH AS NONCONDUCTIVE MATERIAL, LACK OF TRACE WIRE, DAMAGED OR ABANDONED UTILITIES AND INCONCLUSIVE OR INACCURATE UTILITY RECORDS, SOME UTILITIES SUCH AS STEAM, SANITARY SEWER SERVICES AND NONTRACEABLE FIBER MAY NOT BE SHOWN. ALTHOUGH TRC COMPLETED A THOROUGH QLS SURVEY, WE ARE UNABLE TO GUARANTEE ALL UTILITIES WITHIN THE PROJECT SITE ARE MAPPED. TRC RECOMMENDS A QLA TEST HOLE UTILITY SURVEY TO INVESTIGATE AREAS OF CONCERN OR EXPOSE UTILITIES AT CRITICAL LOCATIONS.
- S5. CONTOUR INTERVAL: 1'.
- S6. THIS SURVEY WAS PREPARED FOR QUINN EVANS ARCHITECTS, INC. TRC ENGINEERS, INC. ASSUMES NO LIABILITY FOR REUSE OR MODIFICATION OF THIS DOCUMENT.
- S7. TRC ENGINEERS, INC. PROVIDES BENCHMARKS FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THESE PLANS. ALL OTHER EXISTING ELEVATIONS ARE FOR REFERENCE TO EXISTING CONDITIONS ONLY. DO NOT USE SPOT ELEVATIONS, FINISH FLOOR ELEVATIONS, ELEVATIONS ON MANHOLES, ELEVATIONS ON SURVEY NAILS, SURVEY HUBS, CONTROL POINTS (HORIZONTAL POINTS PROVIDED) OR ANY OTHER POINTS FOR CONSTRUCTION OTHER THAN THE PROVIDED BENCHMARKS. FAILURE TO UTILIZE AND VERIFY THE PROVIDED BENCHMARKS COULD RESULT IN DAMAGES AND ADDITIONAL COSTS THAT ARE THE CONTRACTOR'S RESPONSIBILITY.
- S8. THE PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X" BASED ON A SCALED LOCATION ON FIRM PANEL #510129009E EFFECTIVE DATE 08 JULY 2025. THIS FLOOD DETERMINATION IS NOT A RECOMMENDATION BY TRC TO NOT PURCHASE OR PURCHASE FLOOD INSURANCE COVERAGE AND DOES NOT IMPLY THAT THE REFERENCED PROPERTY WILL OR WILL NOT BE FREE FROM FLOOD DAMAGE.
- S9. MATTERS PERTAINING TO ARCHEOLOGICAL OR HISTORIC FEATURES, WETLANDS OR FLOOD CONDITIONS, IF ANY, HAVE NOT BEEN ADDRESSED AS PART OF THIS SURVEY.

ABBREVIATIONS

D.A.T.R.	DATA ACCORDING TO RECORD
EOI	END OF INFORMATION (UTILITY)
FFE	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
TC	TERRACOTTA PIPE
TRANS	TRANSFORMER
TYP	TYPICAL

LEGEND

---284---	CONTOUR	⊗	IRRIGATION CONTROL VALVE
—gas—	GAS LINE	☐	TELEPHONE HAND HOLE
—ohp—	OVERHEAD POWER	☐	HVAC
—s—	SANITARY SEWER AND MANHOLE	⊕	UTILITY POLE
—sm—	STORM LINE AND MANHOLE	⊕	GROUND LIGHT
—smi—	STORM LINE AND INLET	⊕	LIGHT POLE
—st—	UNDERGROUND STEAM LINE	⊕	GAS VALVE
—uge—	UNDERGROUND ELECTRIC	⊕	GAS METER
—ugt—	UNDERGROUND TELEPHONE	⊕	SEWER CLEAN OUT
—fo—	UNDERGROUND FIBER OPTIC	⊕	WATER METER
—unk—	UNKNOWN UTILITY	★	BENCHMARK
—w—	WATERLINE	●	BOLLARD
—asp—	ASPHALT	☐	MONUMENT FOUND
—bldg—	BUILDING	—	SIGN (1-POST)
—x—	FENCE (AS NOTED)	× 270.0	SPOT ELEVATION
—tl—	TREELINE	○	DECIDUOUS TREE
—hg—	HEDGEROW	☼	EVERGREEN TREE
—le—	LANDSCAPE EDGE	⊗	SHRUB
—c—	CONCRETE	⊗	STEAM MANHOLE
—br—	BRICK		
—rr—	RIP RAP		



SURVEYOR'S CERTIFICATE:

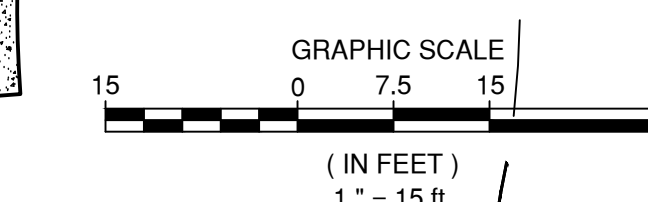
THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF MARK BENUCCI, L.S. FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION. THAT THE ORIGINAL DATA WAS OBTAINED FROM 24 SEPTEMBER 2025 - 16 OCTOBER 2025; AND THAT THIS MAP MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

Mark Benucci
MARK BENUCCI, L.S.

17 OCTOBER 2025
DATE

SURVEY CONTROL STATIONS

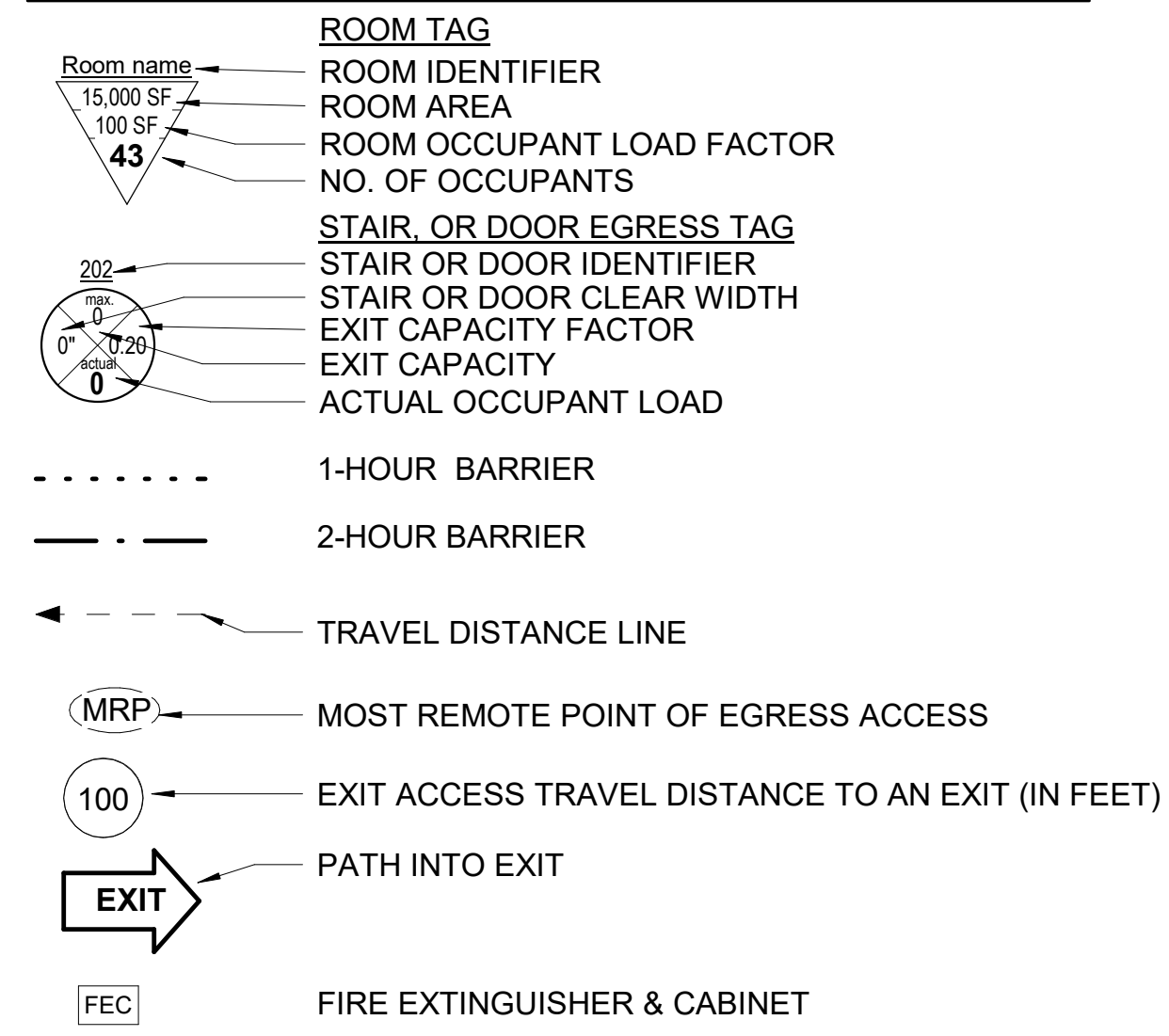
TRAVERSE 100	X-CUT IN CONC.	N:3732592.93
	E:11768261.90	ELEV:281.39
TRAVERSE 101	58" ROD & CAP	N:3733354.18
	E:11768257.17	ELEV:282.18
TRAVERSE 102	58" ROD & CAP	N:3733481.50
	E:11768569.79	ELEV:278.51
TRAVERSE 103	12" SPIKE	N:3733568.83
	E:11768465.74	ELEV:278.38



P:\2025\52409770 - ST CATHERINES GUIGON HALL\03-SD\CAD\687924_DSN\FINAL PACKAGE\687924_EXISTING CONDITIONS.DWG - 2/13/26



LIFE SAFETY PLAN LEGEND



DESIGN OCCUPANT LOAD FACTORS

NOTES (PER TABLE 1004.1.2):

- 1. E = EDUCATIONAL (VOCATIONAL ROOM) = 50 NSF / OCCUPANT
- 2. B = BUSINESS = 150 GSF / OCCUPANT
- 3. S = STORAGE, ACCESSORY = 300 GSF / OCCUPANT MECHANICAL

PLUMBING REQUIREMENTS

FIXTURE GROUP	TOTAL OCCUP.	WATER CLOSET	LAVATORY	DRINKING FOUNTAIN	SERVICE SINK
EDUCATIONAL	55	1 PER 50 M 1 PER 50 W	1 PER 50 M 1 PER 50 W	1 PER 100	1
TOTAL REQUIRED		2	2	1	1
TOTAL PROVIDED		2	2	1	1

GROSS FLOOR AREA - TOTAL BUILDING:
(measured along interior faces of walls with no deduction for intervening walls or partitions)
FLOOR 1: 2,403 SF
FLOOR 2: 1,828 SF
TOTAL BUILDING FLOOR AREA: 4,231 SF

GROSS FLOOR AREA - ADDITION ONLY:
(measured along interior faces of walls with no deduction for intervening walls or partitions)
FLOOR 1: 848 SF
FLOOR 2: 615 SF
TOTAL ADDITION FLOOR AREA: 1,463 SF

CODE ANALYSIS

A AUTHORITIES HAVING JURISDICTION

- 1. CITY OF RICHMOND

B APPLICABLE CODES

- 1. VIRGINIA EXISTING BUILDING CODE (VEBC) 2021
- 2. VIRGINIA CONSTRUCTION CODE (VCC) 2021
- 3. VIRGINIA ACCESSIBILITY CODE 2017
- 4. 2010 ADA STANDARDS

C USE GROUP/ OCCUPANCY AND CONSTRUCTION TYPE

- 1. CONSTRUCTION TYPE: VB
- 2. USE GROUP/ OCCUPANCY:
 - EXISTING TO REMAIN USE GROUP FLOOR 1 E
 - EXISTING TO REMAIN USE GROUP FLOOR 2 E
- 3. BUILDING HEIGHT LIMITATIONS: 2 STORIES, 60'
- 4. ACTUAL HEIGHT: 2 STORIES, 31'
- 5. BUILDING AREA LIMITATION W/ SPRINKLER: 28,000 SF
- 6. ACTUAL BUILDING AREA:
 - FLOOR 1 GSF = 2,670 SF
 - FLOOR 2 GSF = 2,355 SF
 - TOTAL BUILDING GSF = 5,025 SF

THE NEW ADDITION WILL BE LOCATED WITHIN 15' OF AN ADJACENT BUILDING, THE ARMFIELD SCIENCE CENTER AND MULLEN HALL. PER VCC SECTION 705.3 EXCEPTION 1, THE COMBINED AREA OF BOTH BUILDINGS MAY BE USED WHEN CALCULATING THE AREA LIMITATIONS. THE COMBINED AREA OF BOTH BUILDINGS ARE WITHIN THE AREA LIMITATIONS AS SHOWN BELOW.

- GUIGON HALL: 5,025 SF
- ARMFIELD SCIENCE CENTER & MULLEN HALL: 16,160 SF
- TOTAL COMBINED AREA: 21,185 SF

ARMFIELD SCIENCE CENTER & MULLEN HALL IS E-USE GROUP, IIB CONSTRUCTION TYPE, AND FULLY SPRINKLERED. THEREFORE, THE MORE STRINGENT CONSTRUCTION TYPE VB OF GUIGON HALL GOVERNS. THE ALLOWABLE AREA AT 28,000 SF.

D FIRE PROTECTION SYSTEMS

- 1. NEW AUTOMATIC SPRINKLER SYSTEM THROUGHOUT PER NFPA-13 AND VCC 901

E FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS

- 1. IBC TABLE 601: TYPE VB CONSTRUCTION
 - 0 HR STRUCTURAL FRAME
 - 0 HR EXTERIOR BEARING WALLS
 - 0 HR INTERIOR BEARING WALLS
 - 0 HR EXTERIOR NON-BEARING WALLS
 - 0 HR INTERIOR NON-BEARING WALLS
 - 0 HR FLOOR CONSTRUCTION
 - 0 HR ROOF CONSTRUCTION
 - YES AUTOMATIC SPRINKLER SYSTEM

F MEANS OF EGRESS ANALYSIS

- 1. OCCUPANT LOAD CALCULATION:
 - FLOOR 1 ALLOWABLE OCCUPANT LOAD 26
 - FLOOR 2 ALLOWABLE OCCUPANT LOAD 29
 - TOTAL BUILDING OCCUPANT LOAD 55
- 2. PROGRAM OCCUPANT LOAD:
 - FLOOR 1 18
 - FLOOR 2 18
 - TOTAL PROGRAM OCCUPANTS 36
- 3. NUMBER OF EXITS REQUIRED 2
- 4. EXITS PROVIDED:
 - EXITS FROM FLOOR 1 4
 - EXITS FROM FLOOR 2 2
- 5. MAX EXIT CAPACITY FROM FLOOR 2 360
- 6. LENGTH OF TRAVEL MAXIMUM 250'
- 7. MAXIMUM TRAVEL LENGTH PROVIDED 95'

*PER THE VEBC, EXISTING STAIRWAYS ARE NOT REQUIRED TO MEET THE TREAD DEPTH AND RISER HEIGHT REQUIREMENTS PER 705.3.6 OR THE WIDTH REQUIREMENTS PER 906.6 PROVIDED THERE IS SUFFICIENT WIDTH AND HEIGHT FOR A PERSON TO TRAVERSE THE EXIT.

**ENTRY DOORS ARE TO BE REPLACED IN KIND IN EXISTING HISTORIC OPENINGS. EACH OPENING IS A DOUBLE DOOR WITH (2) 29" LEAFS FOR A TOTAL OPENING OF 58". PER THE VEBC SECTION 906.6, EXISTING DOOR OPENINGS WITH WIDTHS LESS THAN THOSE REQUIRED ELSEWHERE IN THE CODE SHALL BE PERMITTED, PROVIDED THERE IS SUFFICIENT WIDTH AND HEIGHT FOR A PERSON TO PASS THROUGH THE OPENING OR TO TRAVERSE THE EXIT AND THAT THE CAPACITY OF THE EXIT SYSTEM IS ADEQUATE FOR THE OCCUPANT LOAD. ALL ENTRY DOORS WILL BE EQUIPPED WITH EXIT DEVICE HARDWARE.

G SPECIAL REQUIREMENTS

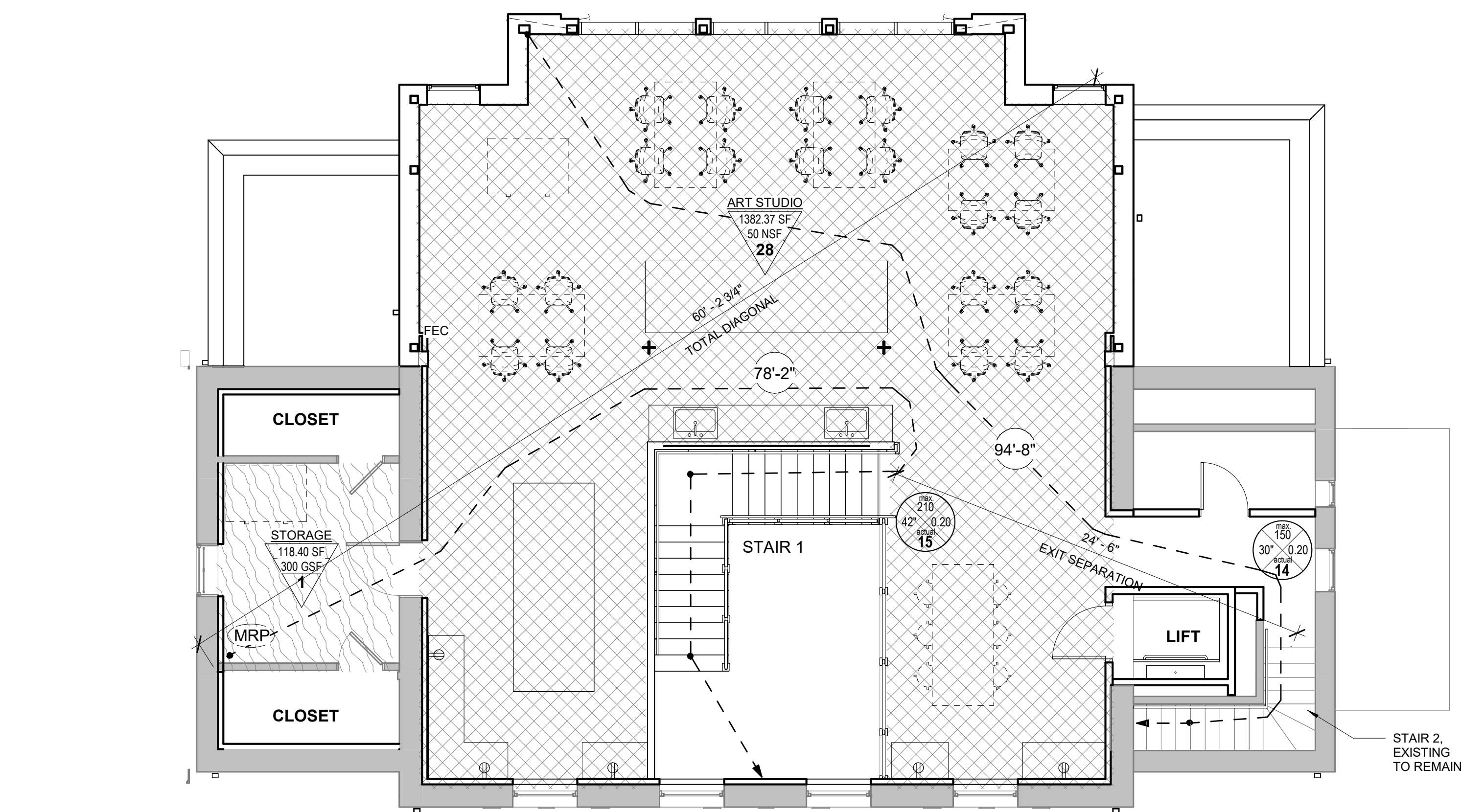
- 1. PER VCC SECTION 1019.3, EXCEPTION 1, EXIT ACCESS STAIRWAYS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY TWO ADJACENT STORIES DO NOT NEED TO BE CONSTRUCTED AS SHAFT ENCLOSURES IF THE INTERCONNECTED STORIES ARE NOT OPEN TO OTHER STORIES. BOTH STAIRWAYS CONNECT ONLY TWO STORIES AND WILL BE CONSTRUCTED AS EXIT ACCESS STAIRS WHICH DO NOT REQUIRE FIRE RESISTANCE RATINGS
- 2. PER THE VCC SECTION 1007.1.1, EXCEPTION 2, WHEN A BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE OF EXIT DOORS SHALL BE NOT LESS THAN ONE-FOURTH THE LENGTH OF THE OVERALL DIAGONAL OF THE AREA SERVED.

H EXISTING BUILDING CODE COMPLIANCE

- 1. PER VEBC 705.3.5 EXCEPTION 5, INTERIOR STAIRWAYS ARE NOT REQUIRED TO BE ENCLOSED WITH FIRE RESISTANCE RATING FOR STAIRWAYS NOT EXCEEDING THREE STORIES WHEN THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC FIRE SPRINKLER

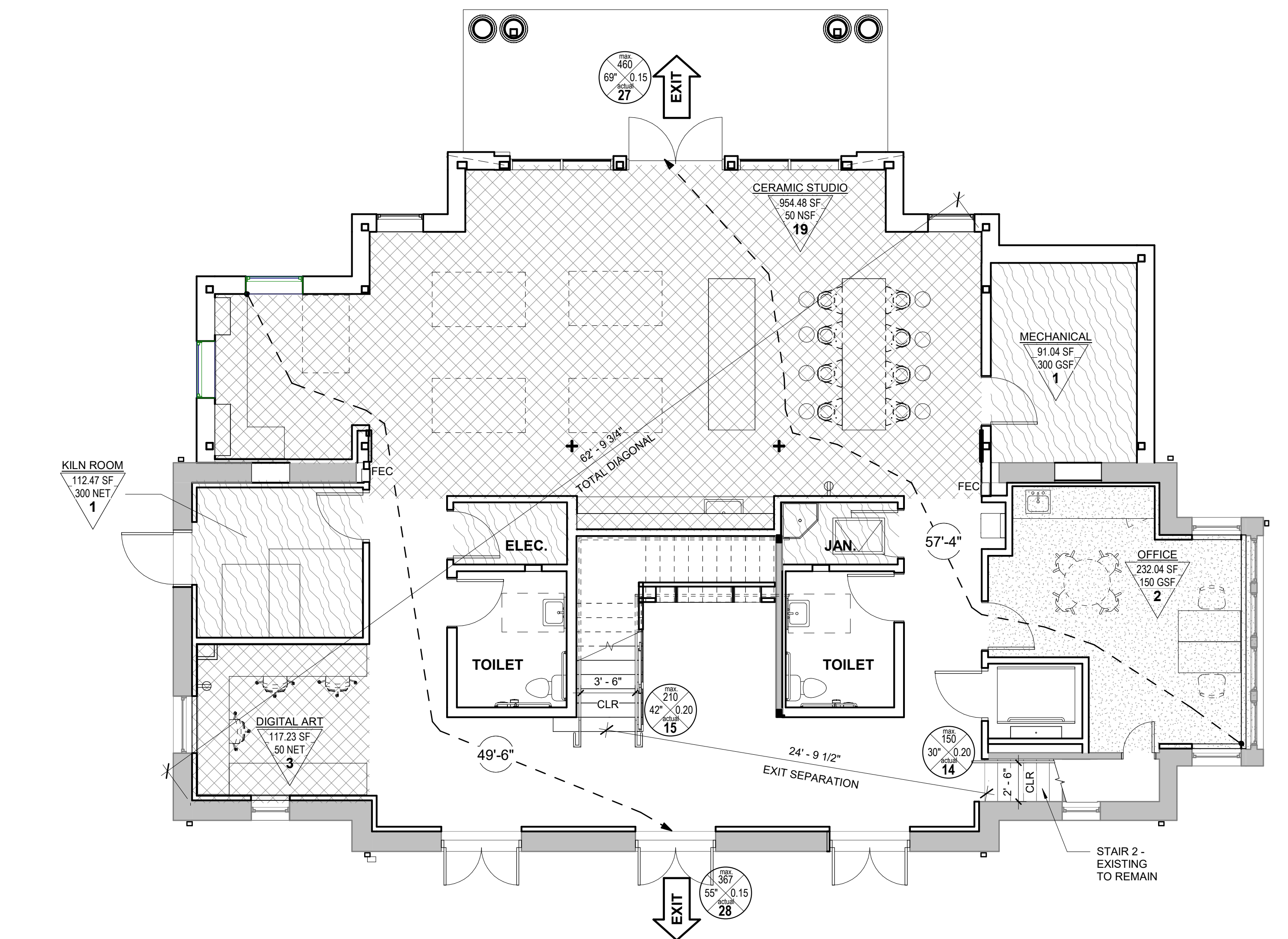
I ACCESSIBILITY

- 1. PER THE VEBC SECTION 404.4.3, PLATFORM LIFTS ARE PERMITTED AS A COMPONENT OF AN ACCESSIBLE ROUTE PER THE 2020 VIRGINIA PLATFORM LIFT AND STAIRWAY CHAIRLIFTS CODE. PLATFORM LIFT IS INSTALLED IN A NON-RATED RUNWAY ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 2.1.1.
- 2. WHERE TOILET FACILITIES SHALL BE PROVIDED IN FACILITIES PERMITTED BY 206.2.3 EXCEPTION 1, TOILET FACILITIES SHALL BE PROVIDED ON A STORY CONNECTED BY AN ACCESSIBLE ROUTE TO AN ACCESSIBLE ENTRANCE (2010 ADA STANDARDS 213.1).



G1 SECOND FLOOR


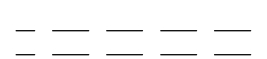

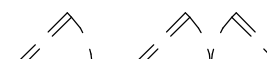


G002 3/16" = 1'-0" REFERRED FROM: A131



A1 FIRST FLOOR

G002 3/16" = 1'-0" REFERRED FROM: A131

DEMO LEGEND

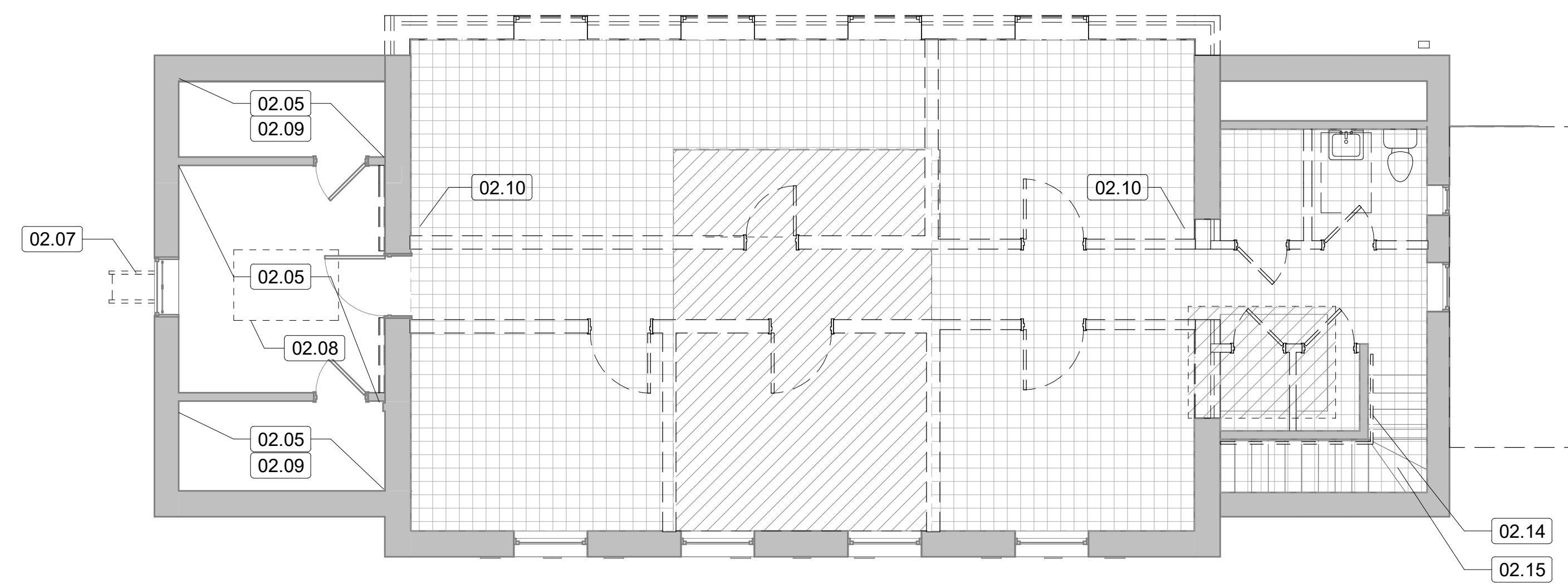
-  EXISTING CONSTRUCTION TO REMAIN
-  ITEM / CONSTRUCTION TO BE REMOVED, SALVAGED OR REINSTALLED
-  EXISTING DOOR REMAIN
-  EXISTING DOOR TO BE REMOVED, SALVAGED, OR REINSTALLED
-  EXTENT OF FLOOR REMOVAL
-  EXTENT OF REMOVAL OF EXISTING FLOOR FINISHES (HARDWOOD, RESILIENT SHEET/TILES), EXISTING SUBFLOOR BELOW TO REMAIN

DEMOLITION KEY NOTES

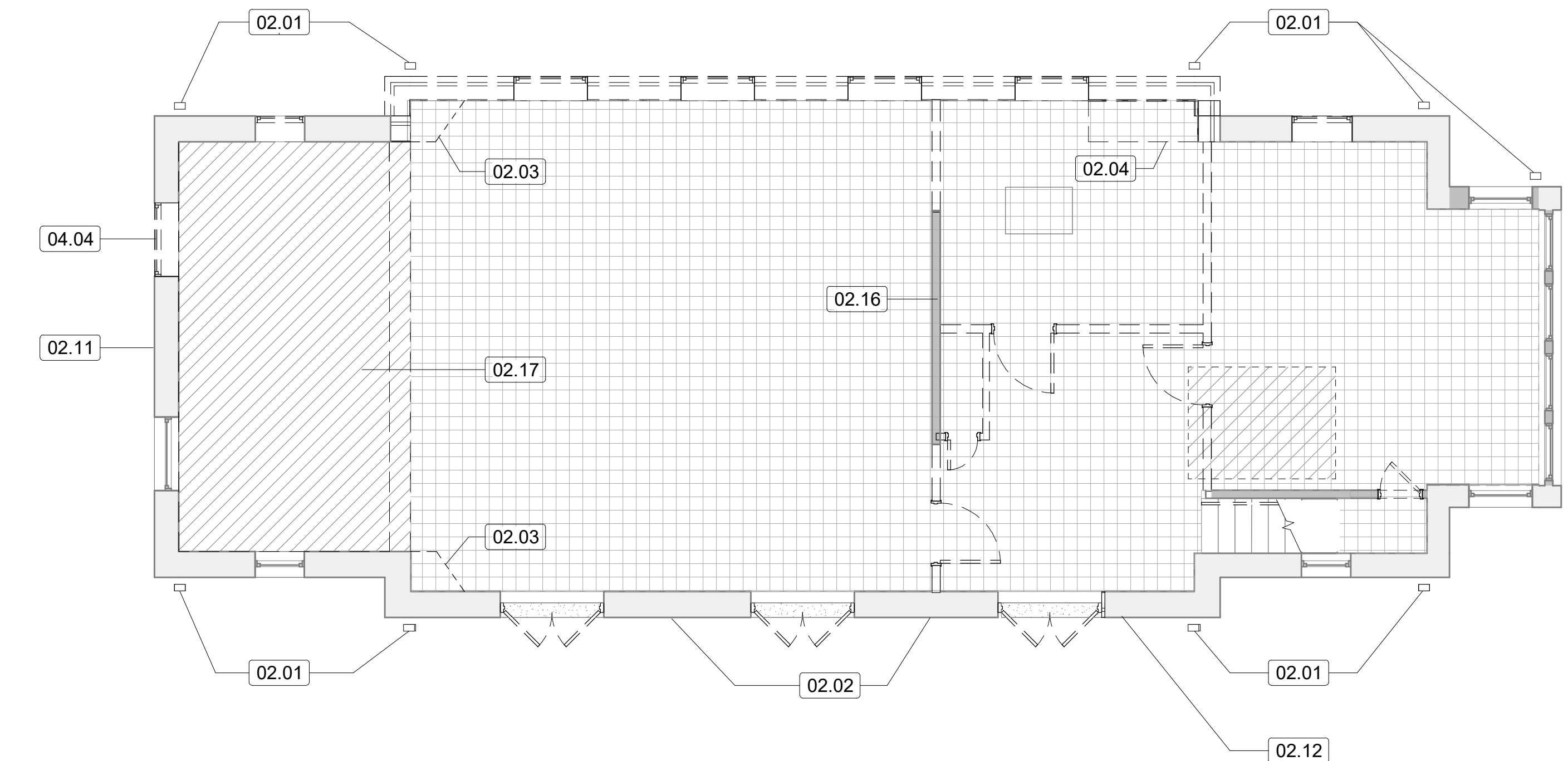
02.01	REMOVE BOOT AND DOWNSPOUT TO BE REPLACED, TYP
02.02	EXISTING LIGHT FIXTURES AND PLAQUE TO REMAIN
02.03	DEMOLISH EXISTING SPEAKER POCKET
02.04	REMOVE EXISTING CASEWORK
02.05	EXISTING FLOORING TO REMAIN
02.07	REMOVE EXTERIOR LADDER AND ALL ASSOCIATED FASTENERS. PATCH BRICK AS REQUIRED
02.08	EXISTING FLOOR OPENING TO REMAIN
02.09	DEMOLISH EXISTING CEILING BOARDS
02.10	DEMOLISH CORNER BULKHEAD ABOVE
02.11	EXISTING CRAWL SPACE VENT TO REMAIN
02.12	REMOVE EXISTING CARD READER, PATCH BRICK TO MATCH EXISTING.
02.14	REMOVE EXISTING HANDRAIL AND BRACKETS. PATCH AND REPAIR WALL
02.15	REMOVE EXISTING RUBBER STAIR TREADS AND WOOD STAIR TREADS. PREPARE FOR NEW TREADS.
02.16	EXISTING WOOD FRAMED WALL TO REMAIN. REMOVE EXISTING PLASTER & LATHE OR DRYWALL AND PREPARE FOR NEW FINISHES.
02.17	REMOVE RAISED WOOD PLATFORM AND SUBFLOORING/ FLOORING JOISTS BELOW.
04.04	INFILL EXISTING OPENING ABOVE NEW DOOR WITH RECESSED STACKED BRICK TO MATCH BRICK PATTERN AT ARCHES ON SOUTH FACADE

GENERAL DEMOLITION NOTES

1. DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE REMOVED U.N.O. REMOVAL OF PARTITIONS INCLUDES REMOVAL OF ALL ITEMS FIXED TO PARTITIONS (DOORS, CASEWORK, ELECTRICAL, PLUMBING, ETC). EXTENT OF SELECTIVE DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK. EXISTING WORK TO REMAIN, IF DAMAGED BY DEMOLITION OPERATIONS, SHALL BE REPAIRED TO MATCH ORIGINAL SURFACE CONDITION OR AS INDICATED IN THE DRAWINGS.
2. PRIOR TO REMOVAL OR MODIFICATION OF WALLS OR OTHER LOAD BEARING ELEMENTS, THE ACTUAL SIZE AND LOCATION OF THE STRUCTURAL COMPONENTS AND LOAD BEARING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR BY MEANS OF SELECTIVE DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UNUSUAL OR HAZARDOUS CONDITION INCLUDING BUT NOT LIMITED TO CRACKS, ABSENCE OF BRACING, OR LOOSE ELEMENTS AND COMPONENTS.
3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO SAFELY SUPPORT ALL LOADS, INCLUDING ROOF LOADS, AND TO MAINTAIN EXISTING FRAMING TO REMAIN IN ITS EXISTING LOCATION WHILE MAKING MODIFICATIONS REQUIRED UNDER THIS CONTRACT.
4. REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REMOVAL OF ALL EQUIPMENT, FIXTURES, WIRING, PIPING, ETC. ABANDONED PIPING AND CONDUIT SHALL BE CAPPED IN CONCEALED LOCATIONS AFTER BEING SECURED IN PLACE.
5. REFERENCE CIVIL DRAWINGS FOR REMOVAL OF ALL SITE ELEMENTS INCLUDING BUT NOT LIMITED TO WALKS, PAVED AREAS, UTILITIES, GRADING, AND LANDSCAPING.
6. A HAZARDOUS MATERIALS REPORT WILL BE PROVIDED BY THE OWNER. CONTRACTOR WILL USE PROVIDED INFORMATION TO CONDUCT RENOVATIONS AND TO DEVELOP BIDDING INFORMATION. OWNER AND ARCHITECT SHALL BE NOTIFIED IF UNEXPECTED HAZARDOUS MATERIALS ARE DISCOVERED DURING RENOVATION. IF DISCOVERED, WORK SHALL BE TEMPORARILY HALTED AND SAMPLES SHALL BE COLLECTED, ANALYZED, AND HANDLED ACCORDING TO DIRECTIONS PROVIDED BY THE OWNER.
7. TYPICAL DEMOLITION, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:
 - A. WALLS/PARTITIONS: REMOVE ENTIRELY WHERE SHOWN DASHED. AT INTERSECTIONS OF ONE OR MORE WALLS TO BE REMOVED OR WHERE NEW DOOR AND WINDOW OPENINGS ARE CUT, REPAIR REMAINING EXPOSED MASONRY SURFACES BY TOOTHING NEW MASONRY INTO EXISTING COURSING AND/OR REPAIR SURFACE OF DRYWALL TO ACHIEVE AN "AS NEW" CONDITION, WHERE FRAMES, LINTELS, AND PORTINGS OF EXISTING MASONRY WALLS ARE TO BE REMOVED, REPAIR WALLS BY TOOTHING IN MASONRY. AT ALL LOCATIONS WHERE THIS EXISTING MASONRY IS BRICK, REPAIRS SHALL BE MADE WITH SALVAGED BRICK OR BRICK TO MATCH EXISTING TOOTHED INTO EXISTING COURSING.
 - B. WALL BASE: REMOVE BASE MATERIAL FROM ALL WALLS/PARTITIONS INCLUDING ALL OF THOSE EXISTING TO REMAIN. PATCH EXISTING SURFACES AS REQUIRED TO RECEIVE NEW BASE MATERIAL.
 - C. FLOORS: EXISTING FLOORS TO RECEIVE NEW FINISHES SHALL BE PREPARED AS REQUIRED (STRIPPING, SANDING, PATCHING, ETC) TO RECEIVE NEW FINISHES. COORDINATE WITH FINISH SCHEDULE. AT LOCATIONS WITH NEW SANITARY LINES, REMOVE EXISTING SUBFLOOR AND FLOOR JOISTS AS REQUIRED. FLOOR REMOVAL AREAS TO BE DETERMINED BY GENERAL CONTRACTOR BASED ON PLUMBING DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR FLOOR REPLACEMENT DETAILS.
 - D. CEILINGS & BULKHEADS: UNLESS NOTED OTHERWISE, REMOVE ALL SUSPENDED ACOUSTIC CEILINGS AND GRID SYSTEM, EXISTING DRYWALL/PLASTER CEILINGS AND SUPPORT ITEMS.
 - E. DOORS: WHERE BOTH DOORS AND FRAMES ARE SCHEDULED TO BE REMOVED, REMOVE DOORS, LINTELS, FRAMES AND RELATED HARDWARE. WHERE DOORS ARE SCHEDULED TO BE REMOVED BUT FRAMES TO REMAIN, REMOVE DOORS AND RELATED HARDWARE. PREPARE EXISTING TO REMAIN FRAMES TO RECEIVE NEW HARDWARE AND PAINT. REFERENCE DEMOLITION PLAN LEGEND AND FRAME SCHEDULE FOR EXISTING FRAMES TO REMAIN.
 - F. WINDOWS: REMOVE ENTIRELY WHERE SHOWN DASHED INCLUDING BUT NOT LIMITED TO WINDOW UNIT, DOORS, CASING/TRIM, BLOCKING, BLINDS, CAULKING, AND ANCHORAGE DEVICES. REMOVE ALL EXISTING WINDOW COVERINGS.
 - G. FURNISHINGS/EQUIPMENT: ANY FURNISHINGS AND BUILT-IN EQUIPMENT LEFT IN PROJECT AREA AT TIME OF TURNOVER TO CONTRACTOR SHALL BE REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CLOCKS, MAPS, PROJECTOR SCREENS, TELEPHONES, AND DISPLAY CASES. INFILL WALLS, ALL CLOCK RECESSES, DEMOLISH ALL MARKER & TACK BOARDS & WOOD COAT RAILS, UNLESS NOTED OTHERWISE.
8. REMOVE ALL EXISTING BUILDING GRAPHICS AND SIGNAGE AND ASSOCIATED HARDWARE AND HARDWARE IN PROJECT AREA.
9. ALL DIMENSIONS SHOWN IN DEMOLITION PLAN ARE TO FINISH FACE OF NEW OPENING U.N.O. CONTRACTOR TO COORDINATE EXTENT OF DEMOLITION NECESSARY WITH NEW WORK.
10. COORDINATE REMOVAL OF EXISTING SUBFLOOR AS REQUIRED FOR INSTALLATION OF NEW PLUMBING, ELECTRICAL, AND STRUCTURAL ELEMENTS. REINSTALL SUBFLOOR OR REPLACE IN KIND WHERE REQUIRED.
11. AT ALL LOCATIONS WHERE THE EXTERIOR ENVELOPE IS BEING DEMOLISHED, CONTRACTOR SHALL PROVIDE SECURITY ENCLOSURE AND WEATHER PROTECTION IN ORDER TO SECURE THE BUILDING AND PROTECT IT AGAINST THE ELEMENTS.
12. AT EXISTING SLATE ROOFS, REMOVE ALL ROOF SLATE, UNDERLAYMENT, AND FASTENERS. EXISTING WOOD ROOF DECKING TO REMAIN, WHERE DETERMINATED, REMOVE AND REPLACE WOOD ROOF DECKING PRIOR TO INSTALLATION OF NEW ROOF ASSEMBLY. PERFORM SELECTIVE CUTTING AT EXISTING ROOF TO ACCOMMODATE NEW PENETRATIONS AND MECHANICAL LOUVERS. REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS.
13. AT EXISTING SIDE PORCH ROOF, REMOVE MEMBRANE ROOFING AND WOOD ROOF DECKING. PREPARE FOR NEW ROOF ASSEMBLY. REFER TO ARCHITECTURAL DRAWINGS.



F1 SECOND FLOOR - DEMOLITION PLAN
AD101 3/16" = 1'-0"

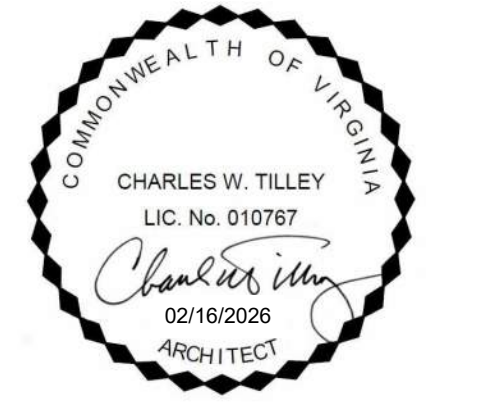


A1 FIRST FLOOR - DEMOLITION PLAN
AD101 3/16" = 1'-0"



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GUIGON HALL RENOVATIONS & ADDITION

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6001 Grove Ave
Richmond, VA 23226

EXHIBIT D

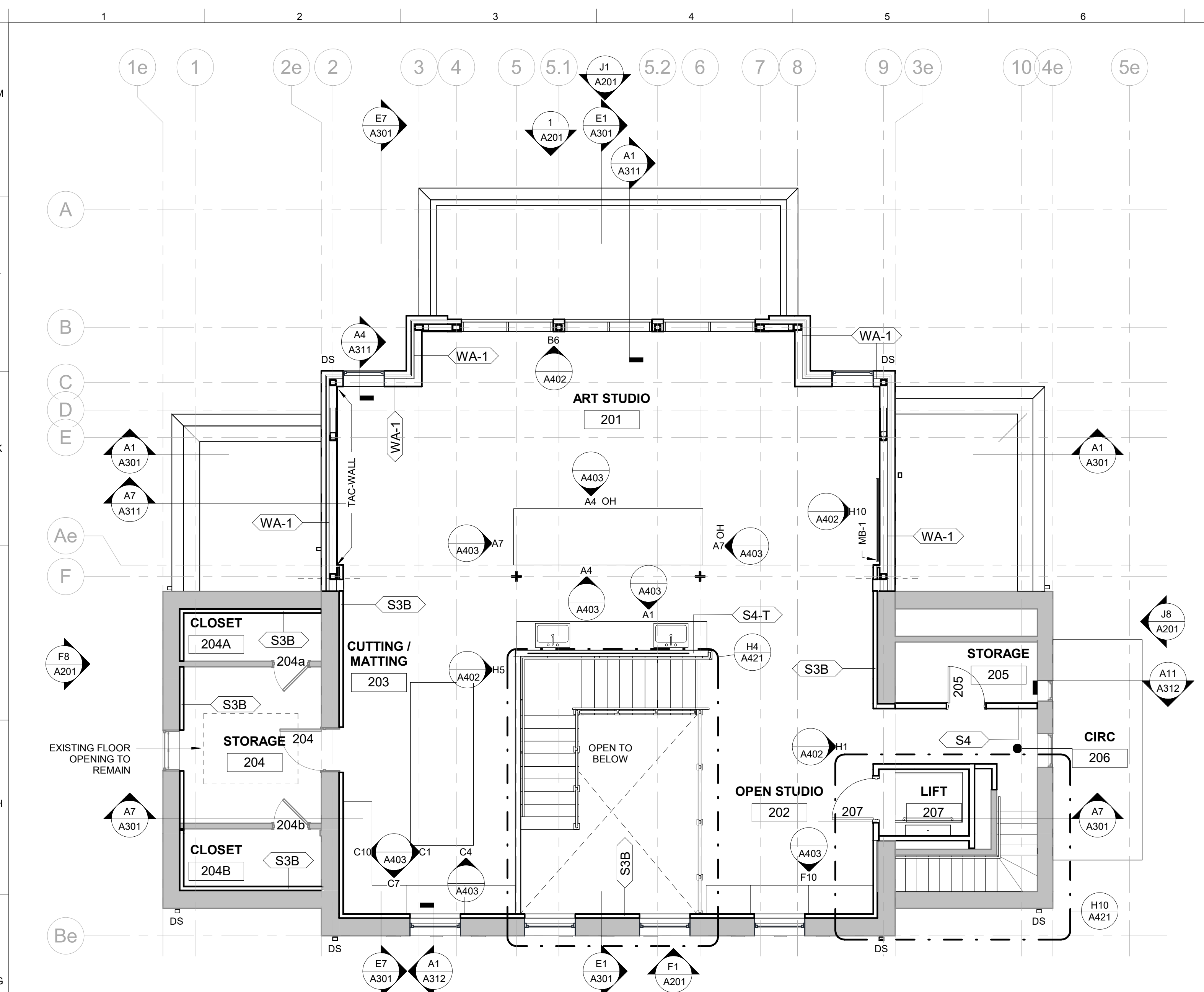
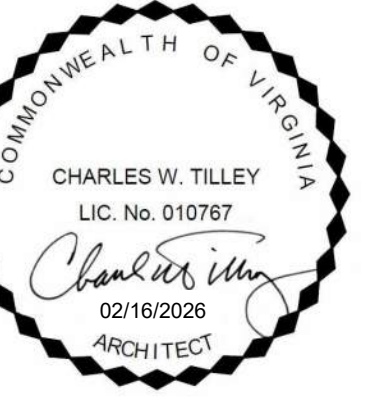
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PROJECT MANAGER:		DRAWN BY:
AL		JB KB

QEA No.52409770
100% CONSTRUCTION DOCUMENTS
02/16/2026

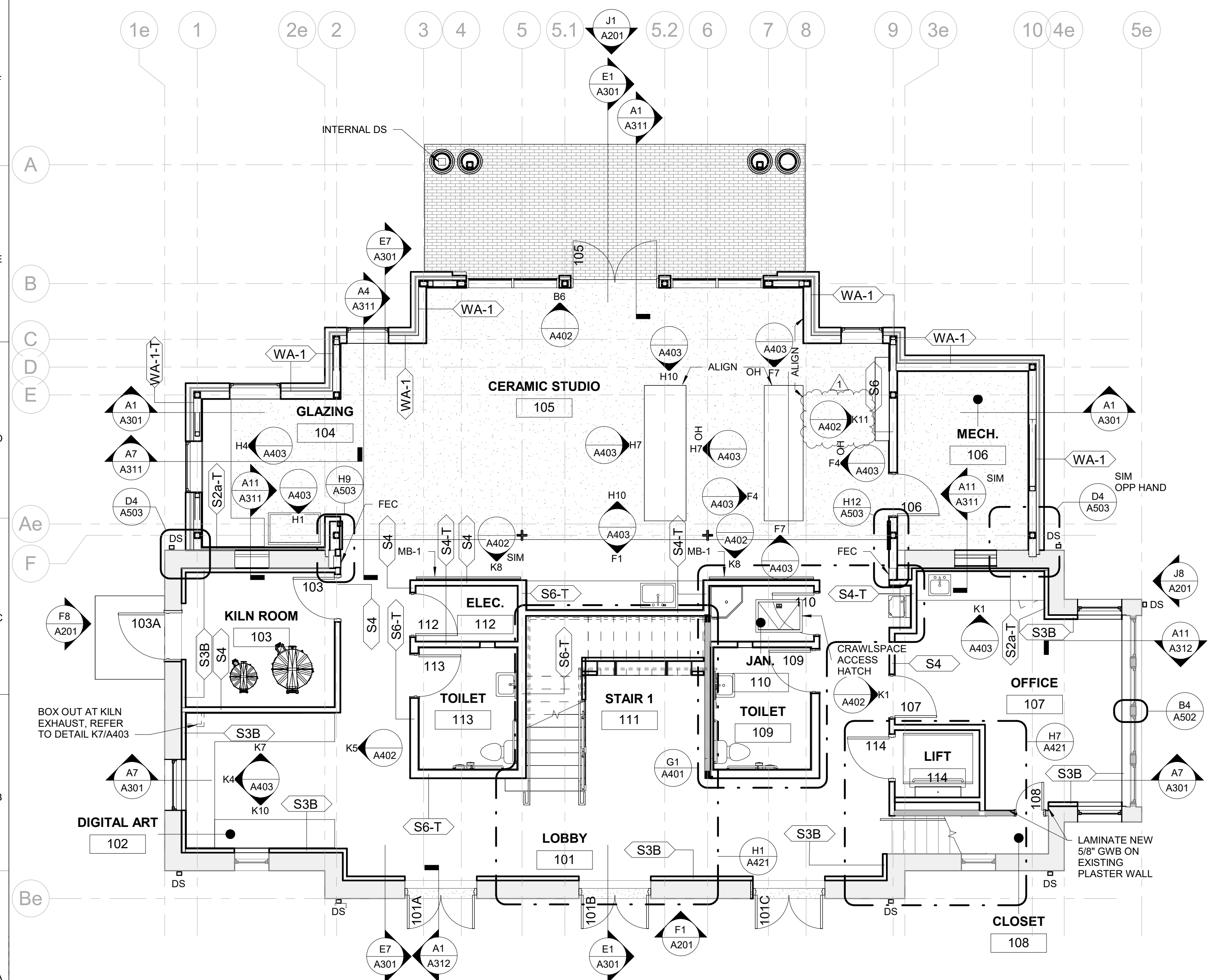
DEMOLITION PLANS

AD101

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G1 SECOND FLOOR PLAN
A101 3/16" = 1'-0"



A1 FIRST FLOOR PLAN
A101 3/16" = 1'-0"

ROOF LEGEND

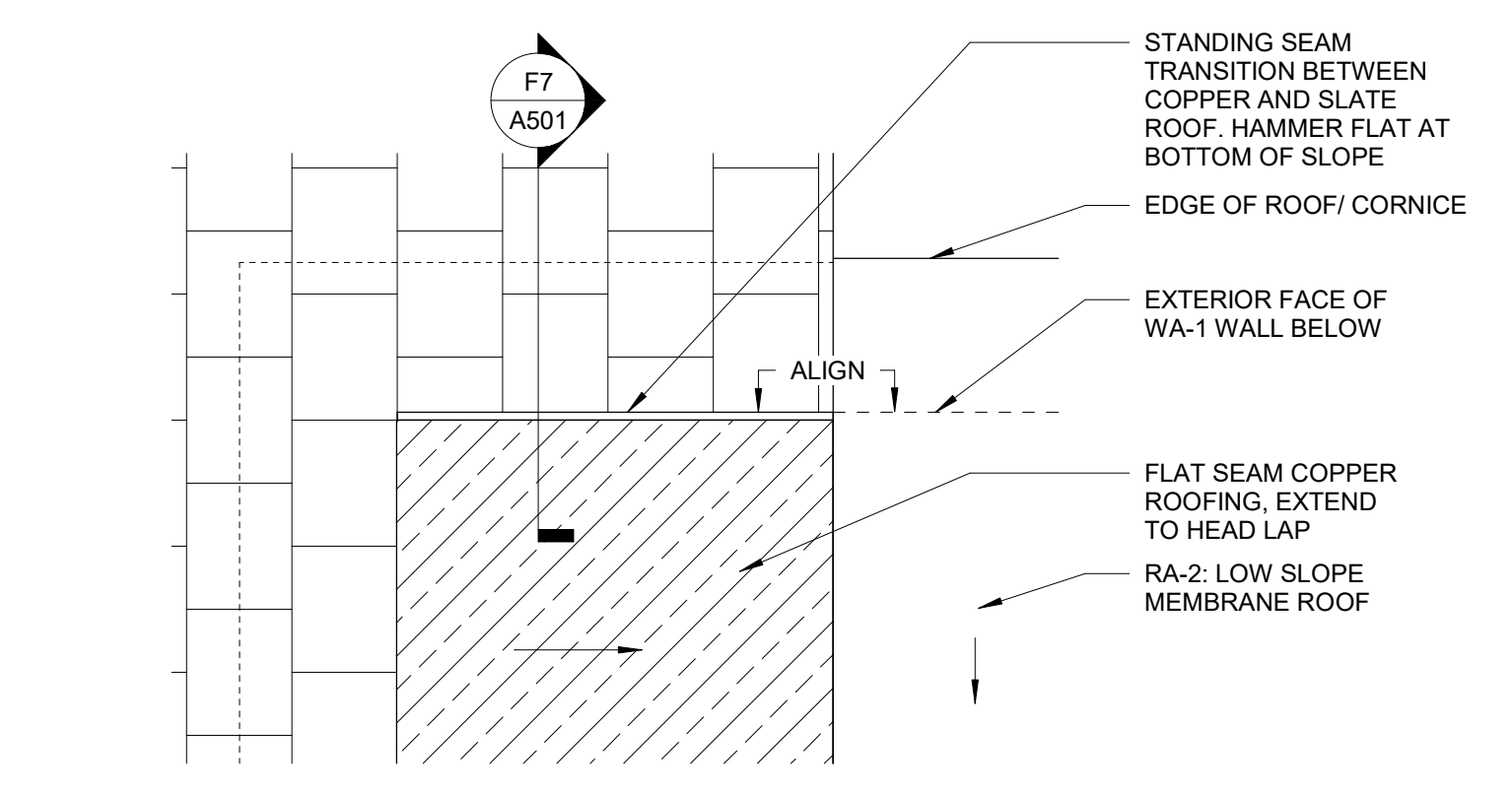
	ROOF ASSEMBLY TYPE
	DIRECTION OF ROOF SLOPE - MINIMUM SLOPE 1/4" PER 1'-0"
	CRICKET
	DOWNSPOUT

FLOOR PLAN LEGEND

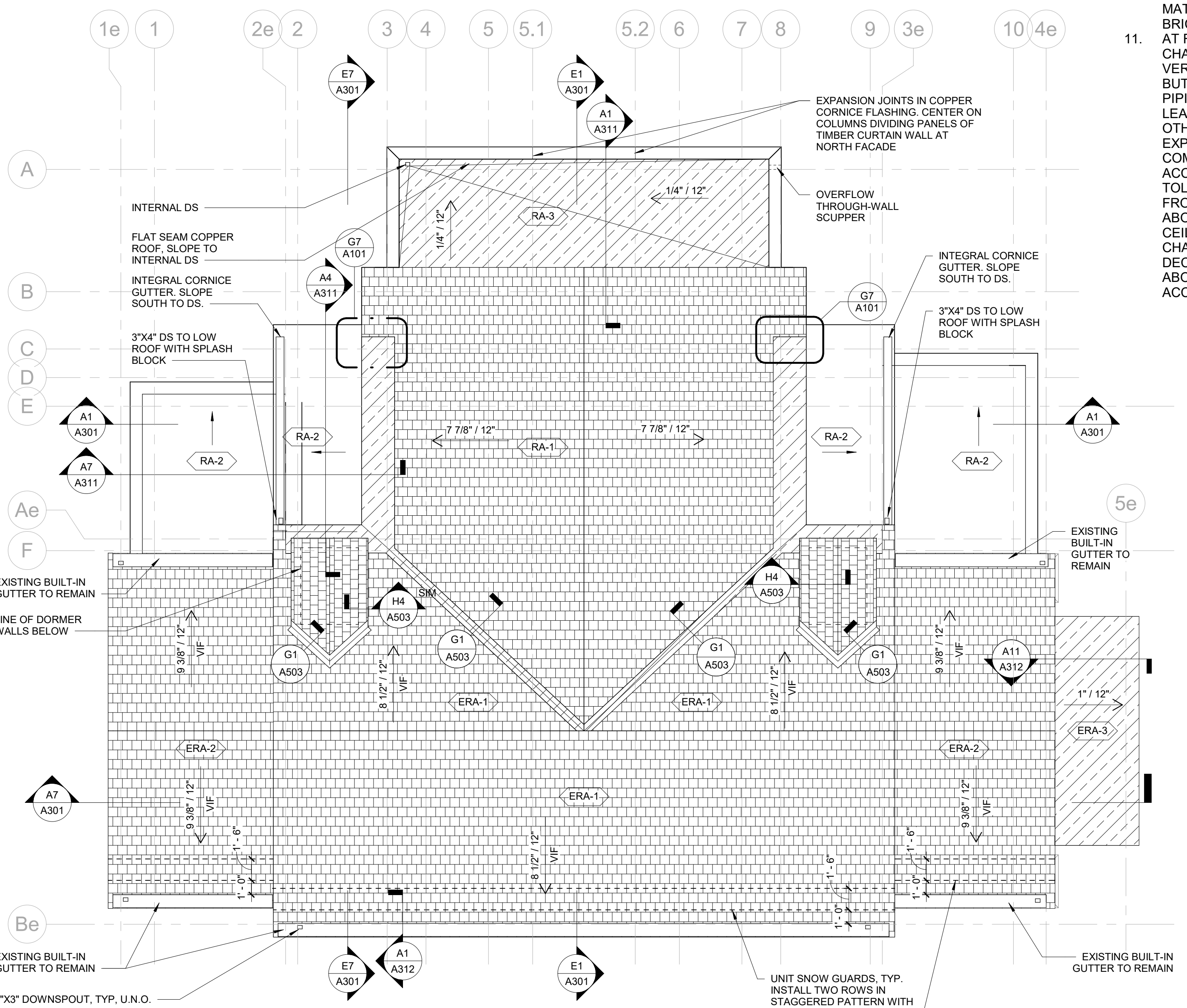
	EXISTING CONSTRUCTION TO REMAIN
	NEW WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR

- GENERAL ROOF NOTES**
- ROOF PLAN DOES NOT INDICATE ALL EQUIPMENT AND PENETRATIONS. REFER TO OTHER DISCIPLINE'S DRAWINGS FOR QUANTITIES AND LOCATIONS OF ROOFTOP EQUIPMENT AND ASSOCIATED PENETRATIONS.
 - ROOF PLAN DOES NOT INDICATE ALL ROOFING DETAILS (INCLUDING BUT NOT LIMITED TO ROOF DRAINS, VTR (VENTS THROUGH ROOF), CURBS, EXPANSION JOINTS). PROVIDE MANUFACTURER'S DETAILS AS REQUIRED TO SUIT SPECIFIC APPLICATION AND SPECIFICATIONS. PROVIDE CRICKETS AT DRAINS, WALLS, CURBS, MECHANICAL EQUIPMENT, AND OTHER OBSTRUCTIONS SUCH THAT 1/4" PER FOOT MINIMUM POSITIVE DRAINAGE SLOPE IS MAINTAINED AT ALL SUCH AREAS.
 - PROVIDE SPLASH BLOCKS UNDER ALL DOWNSPOUTS DISCHARGING AT GRADE.

- GENERAL PLAN NOTES**
- DIMENSIONS ARE TO FINISH FACE OF WALL.
 - NEW EXTERIOR WALLS TO BE ASSEMBLY TYPE WA-1 UNLESS INDICATED OTHERWISE.
 - INTERIOR PARTITIONS TO BE:
 - CENTERED ON GRIDLINE WHERE SHOWN
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN
 - DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
 - AT ALL EXISTING WALLS TO REMAIN, FILL HOLES AND REPAIR SURFACE TO ACHIEVE AN "AS NEW" CONDITION.
 - PAINT ALL NEW AND EXISTING WALLS AND DOOR FRAMES.
 - CONCEAL ALL FASTENERS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO:
 - FIELD VERIFY ALL EXISTING DIMENSIONS AND EQUIPMENT SIZES PRIOR TO COMMENCEMENT OF WORK OR ORDERING MATERIALS.
 - REPAIR OR REPLACE ANY ADJACENT SURFACES DAMAGED DUE TO THIS CONSTRUCTION.
 - NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN FIELD CONDITIONS AND DRAWINGS. PROCEED AFTER RECEIPT OF DIRECTION FROM THE ARCHITECT.
 - ALL PREVIOUSLY PAINTED SURFACES SHALL BE REPAINTED WITHIN THE SCOPE OF THE WORK. PATCH ALL HOLES IN PLASTER WHERE ITEMS HAVE BEEN REMOVED TO MATCH EXISTING.
 - AT AREAS OF EXISTING BUILDING DEMOLITION, REFERENCE GENERAL DEMOLITION NOTES - NOTE 7 - FOR SCOPE OF REQUIRED NEW WORK.
 - AT ALL MASONRY REPAIRS AND NEW WORK - TOOTH IN MASONRY TO MATCH EXISTING WITH SALVAGED BRICK MATERIALS.
 - AT FINISHED SPACES, PROVIDE S2A CHASE AROUND ALL EXPOSED VERTICAL COMPONENTS, INCLUDING BUT NOT LIMITED TO: DUCTWORK, PIPING, CONDUIT, AND RAIN LEADERS - UNLESS INDICATED OTHERWISE TO REMAIN EXPOSED. HOLD CHASES TIGHT TO COMPONENTS ALLOWING FOR ACCESS, INSULATION, AND TOLERANCES. EXTEND CHASES FROM FLOOR TO 4 INCHES MINIMUM ABOVE FINISH CEILING. IF NO CEILING IS INDICATED, EXTEND CHASES TO UNDERSIDE OF FLOOR DECK, ROOF DECK, OR SOLID CAP ABOVE AND TERMINATE ACCORDINGLY.

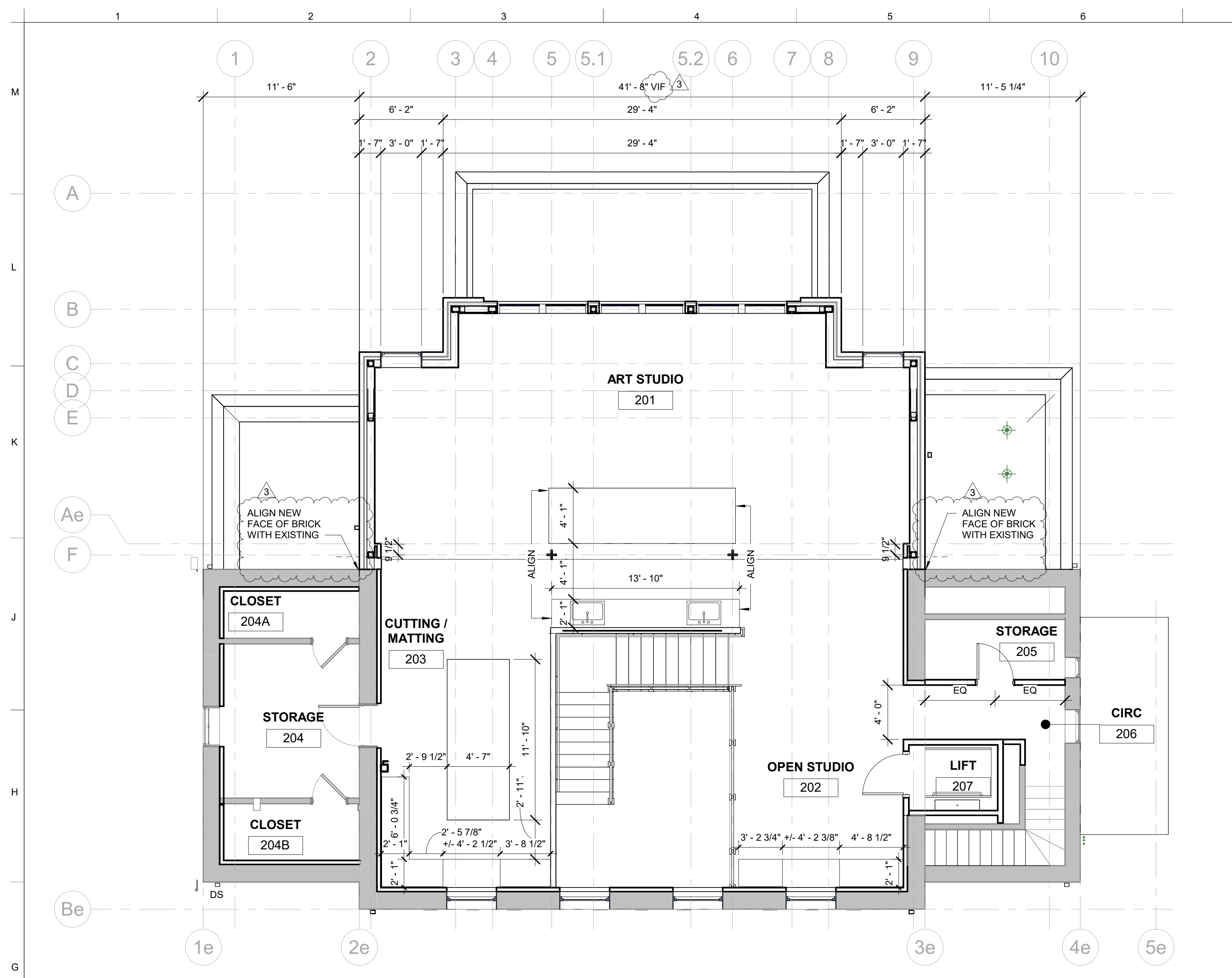


G7 ENLARGED PLAN - ROOF TRANSITION
A101 1" = 1'-0" REFERRED FROM: A101

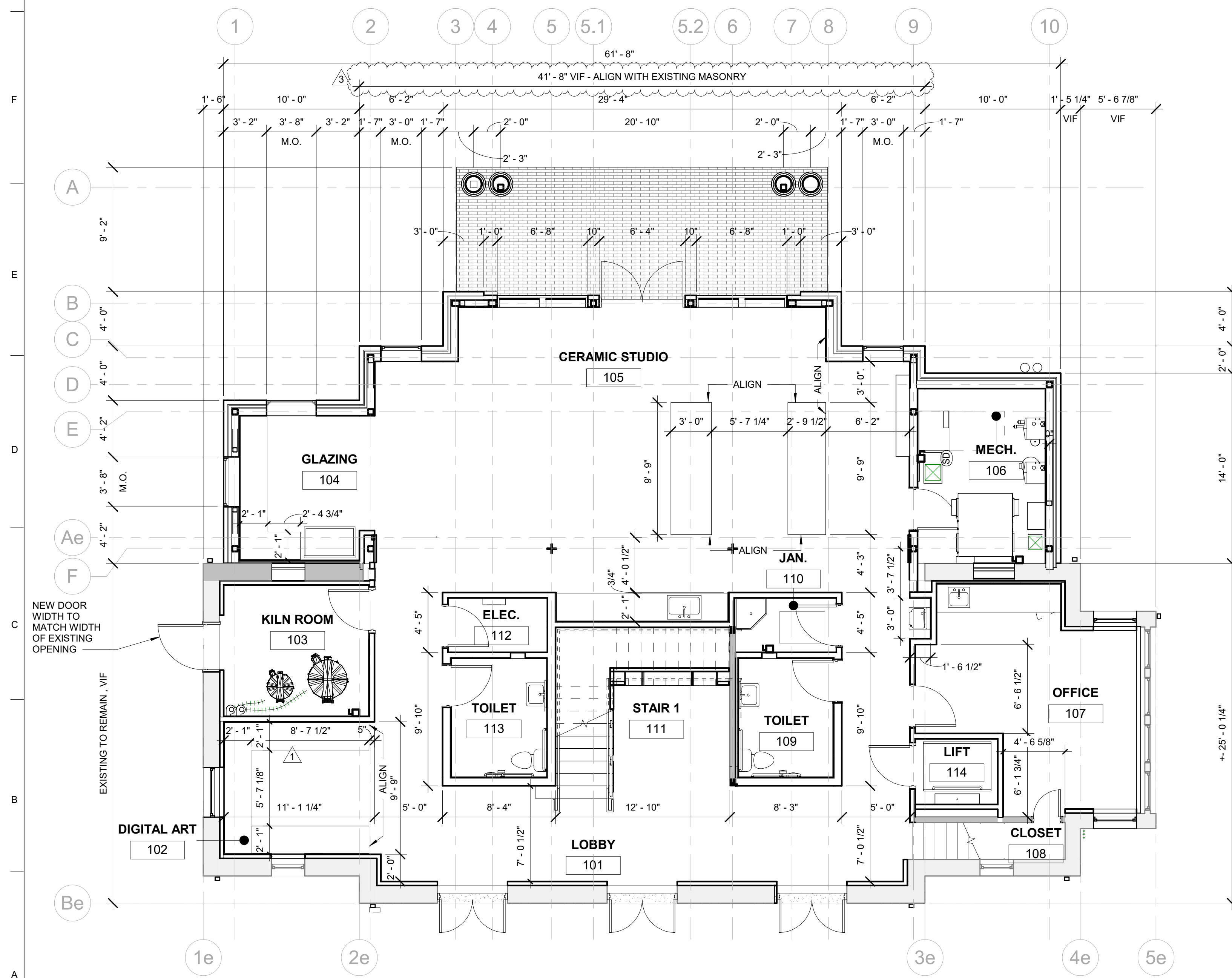


A7 ROOF PLAN
A101 3/16" = 1'-0" REFERRED FROM: A121

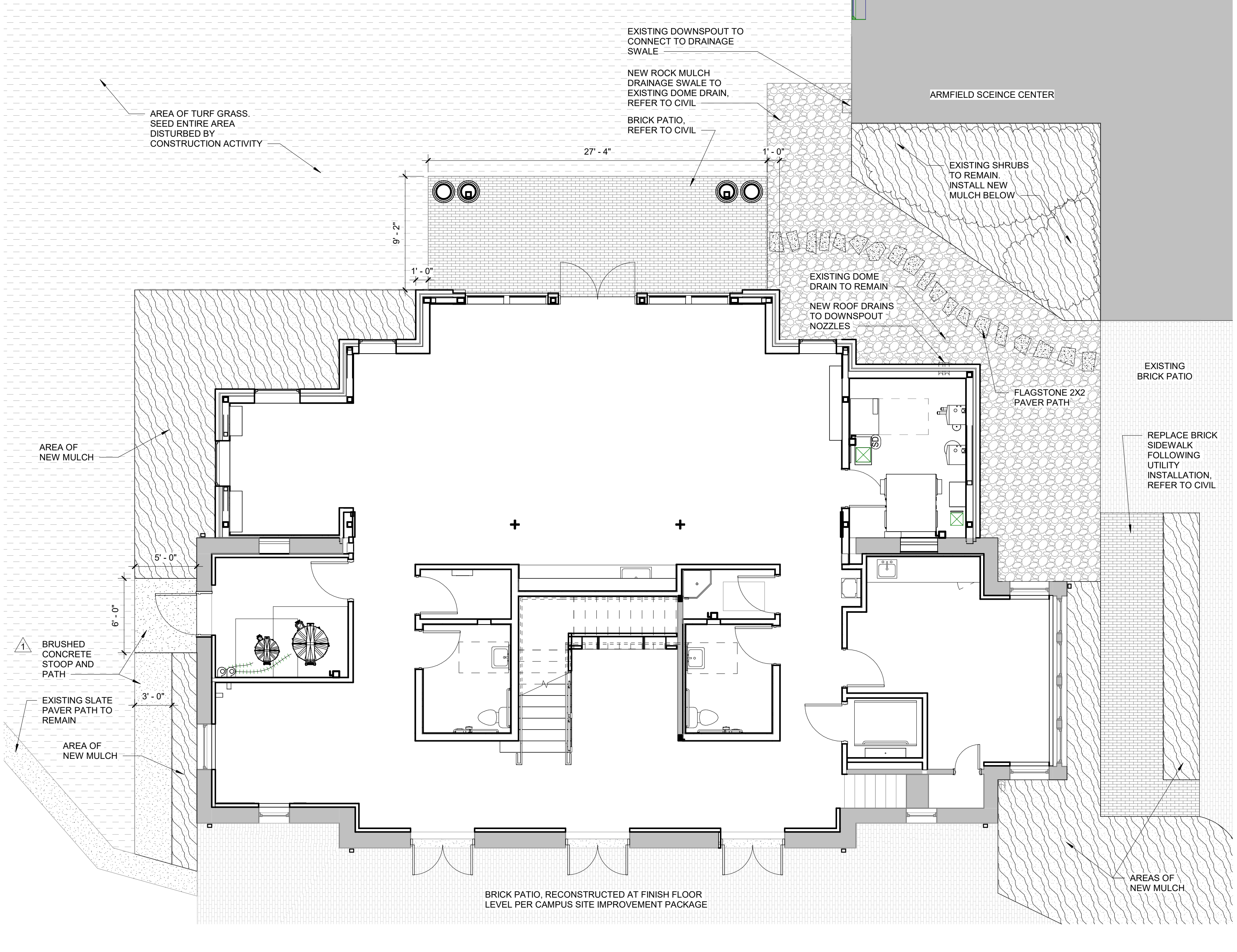
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G1 SECOND FLOOR PLAN - DIMENSION PLAN
A102 3/16" = 1'-0"



A1 FIRST FLOOR PLAN - DIMENSION PLAN
A102 3/16" = 1'-0"



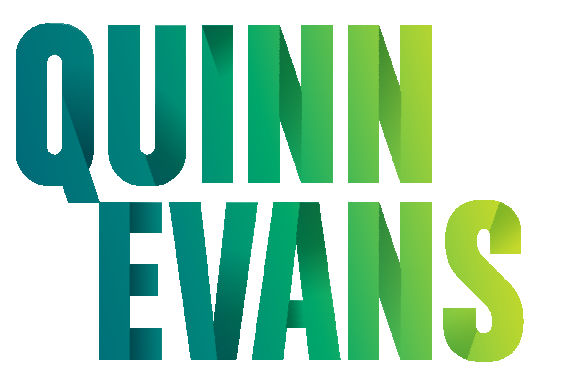
A7 LANDSCAPE PLAN
A102 3/16" = 1'-0" REFERRED FROM:

LANDSCAPE PLAN LEGEND

- BRICK PAVERS
- AGGREGATE CONCRETE
- PLANTING BED WITH MULCH GROUND COVER
- ROCK MULCH
- TURF GRASS LAWN

GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR EXISTING CONDITIONS AND DEMOLITION.
2. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO CURBS, UNDERGROUND UTILITIES, AND GRADING.
3. SEED ALL LAWN AREAS UNLESS OTHERWISE NOTED.
4. PROVIDE A MINIMUM OF 8 INCHES OF TOPSOIL IN ALL LAWN AREAS.
5. PROVIDE A MINIMUM OF 24 INCHES OF TOPSOIL IN ALL PLANTING BEDS.



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GUIGON HALL RENOVATIONS & ADDITION

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6001 Grove Ave
Richmond, VA 23226

EXHIBIT D

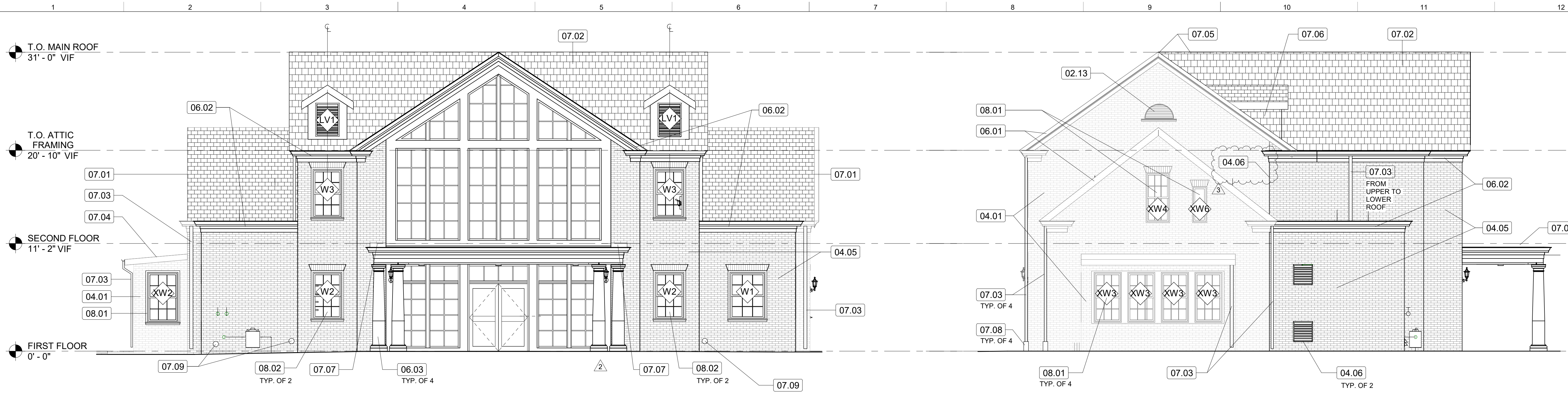
No.	Date	Description
3	3/17/2026	ADDENDUM 03
1	02/27/26	ADDENDUM 01

PROJECT MANAGER: AL
DRAWN BY: JB
QE No. 52409770
100% CONSTRUCTION DOCUMENTS
03/13/2026

DIMENSION PLANS & LANDSCAPE PLAN

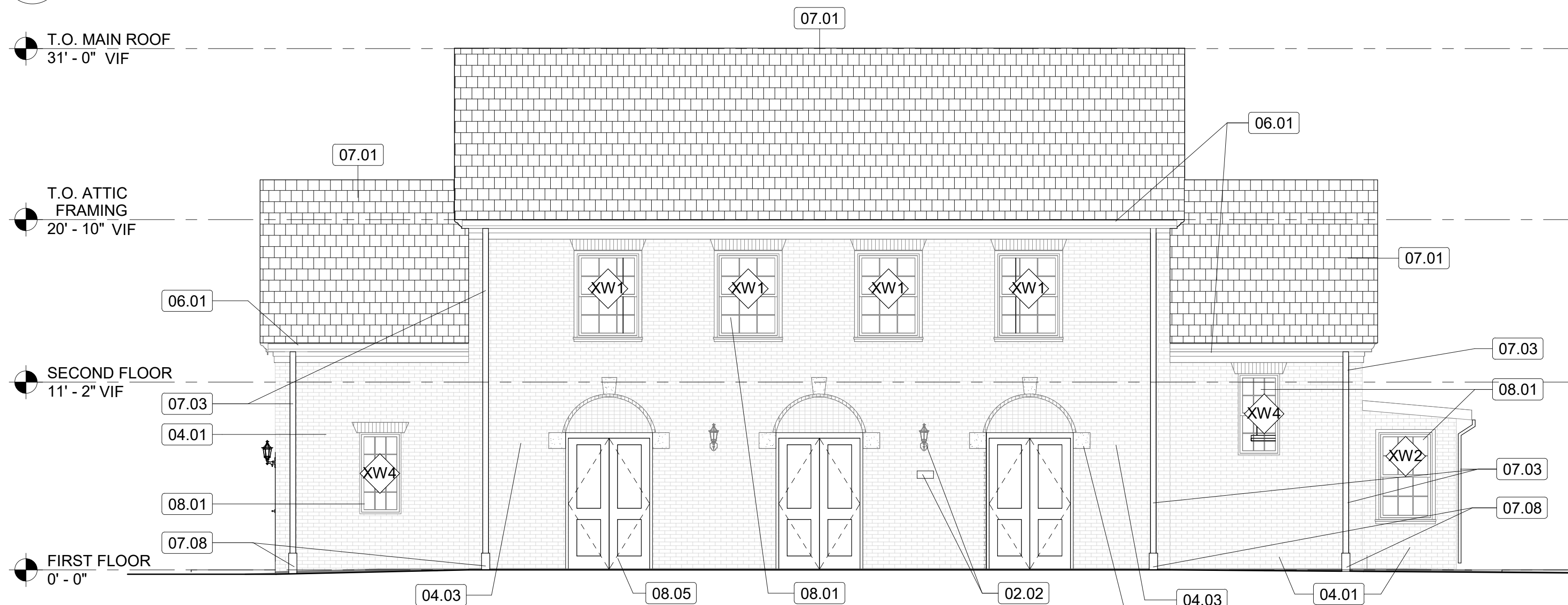
A102

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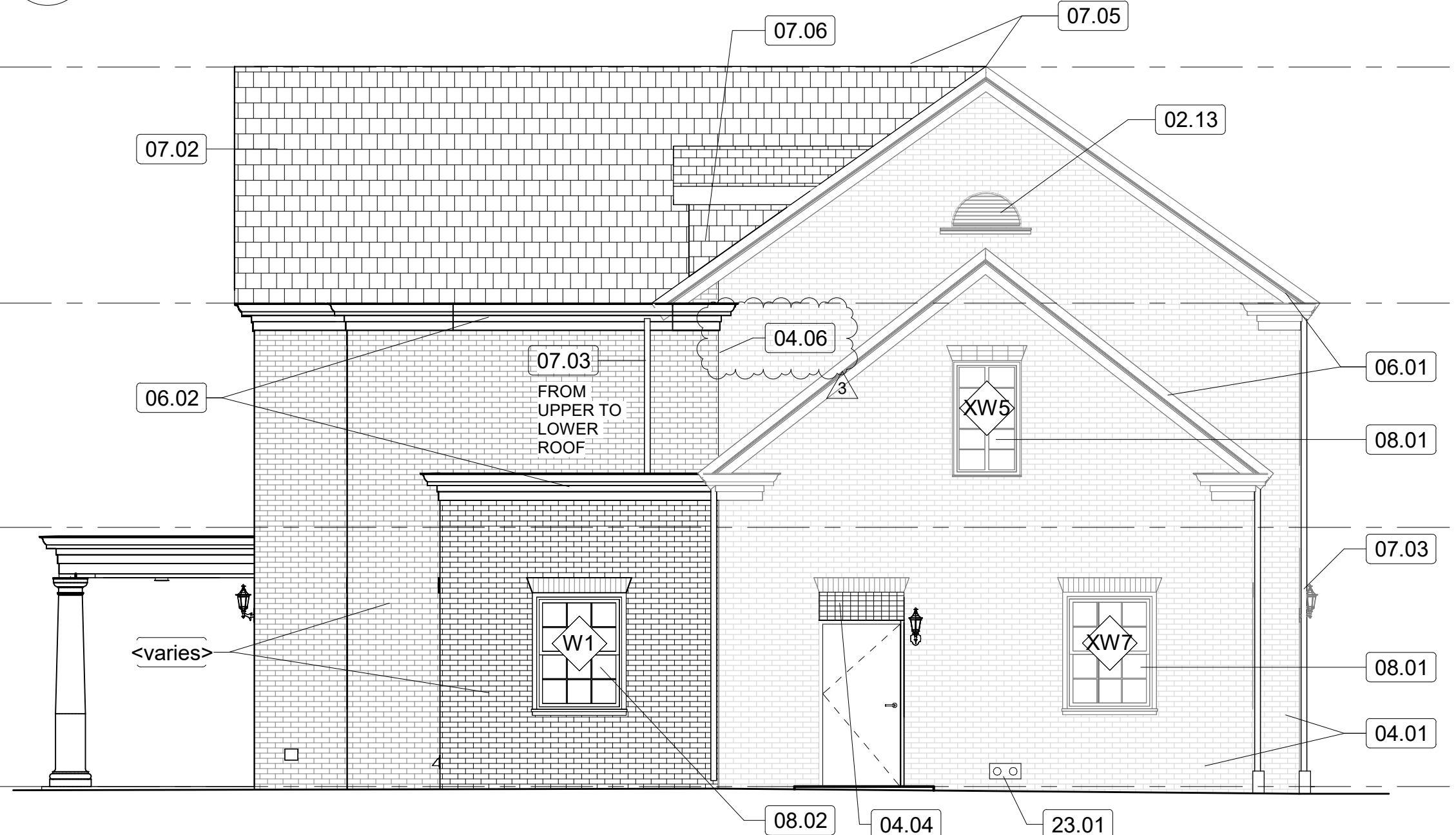


J1 BUILDING ELEVATION - NORTH
 A201 3/16" = 1'-0" REFERRED FROM: A101

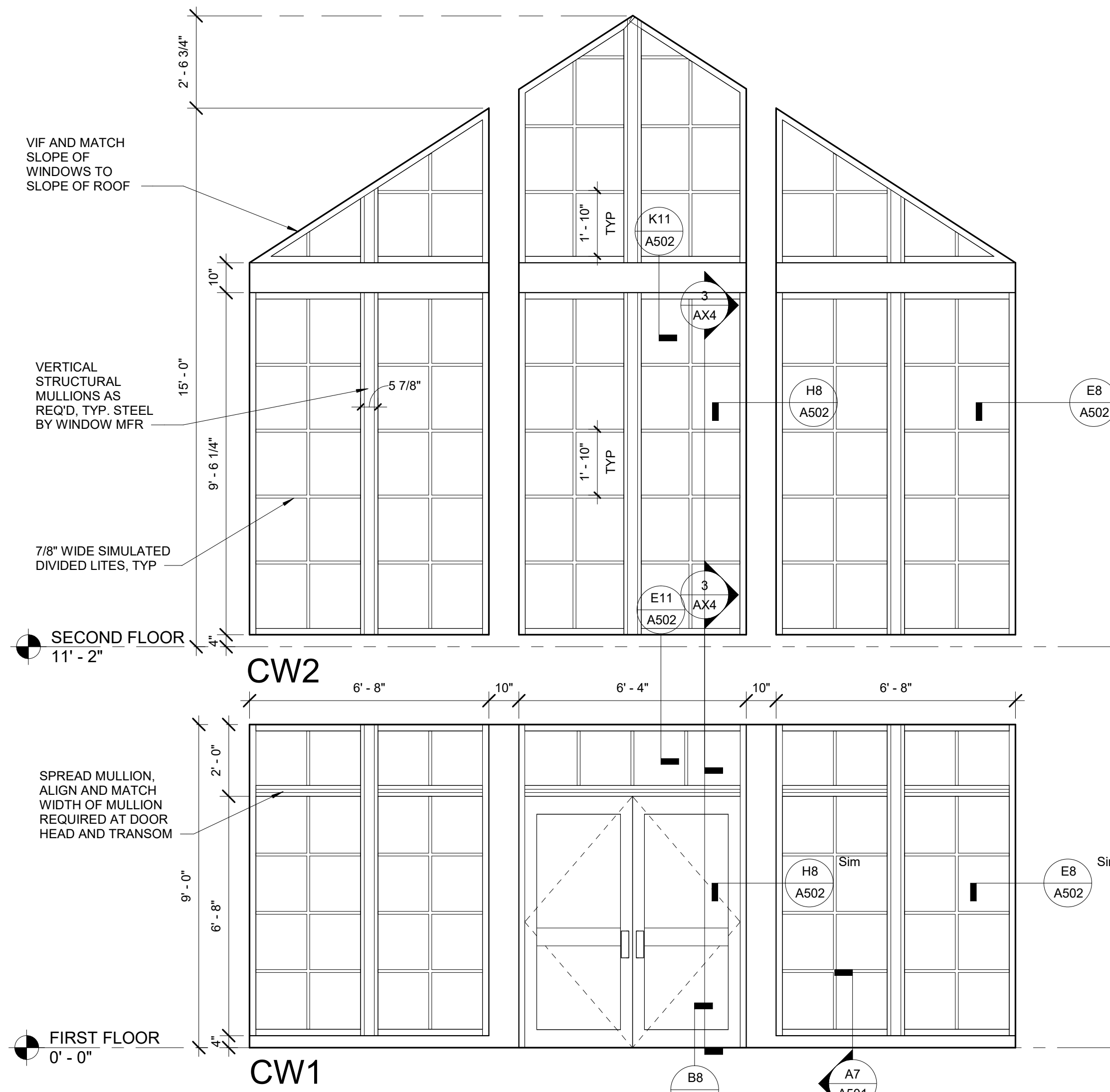
J8 BUILDING ELEVATION - EAST
 A201 3/16" = 1'-0" REFERRED FROM: A101



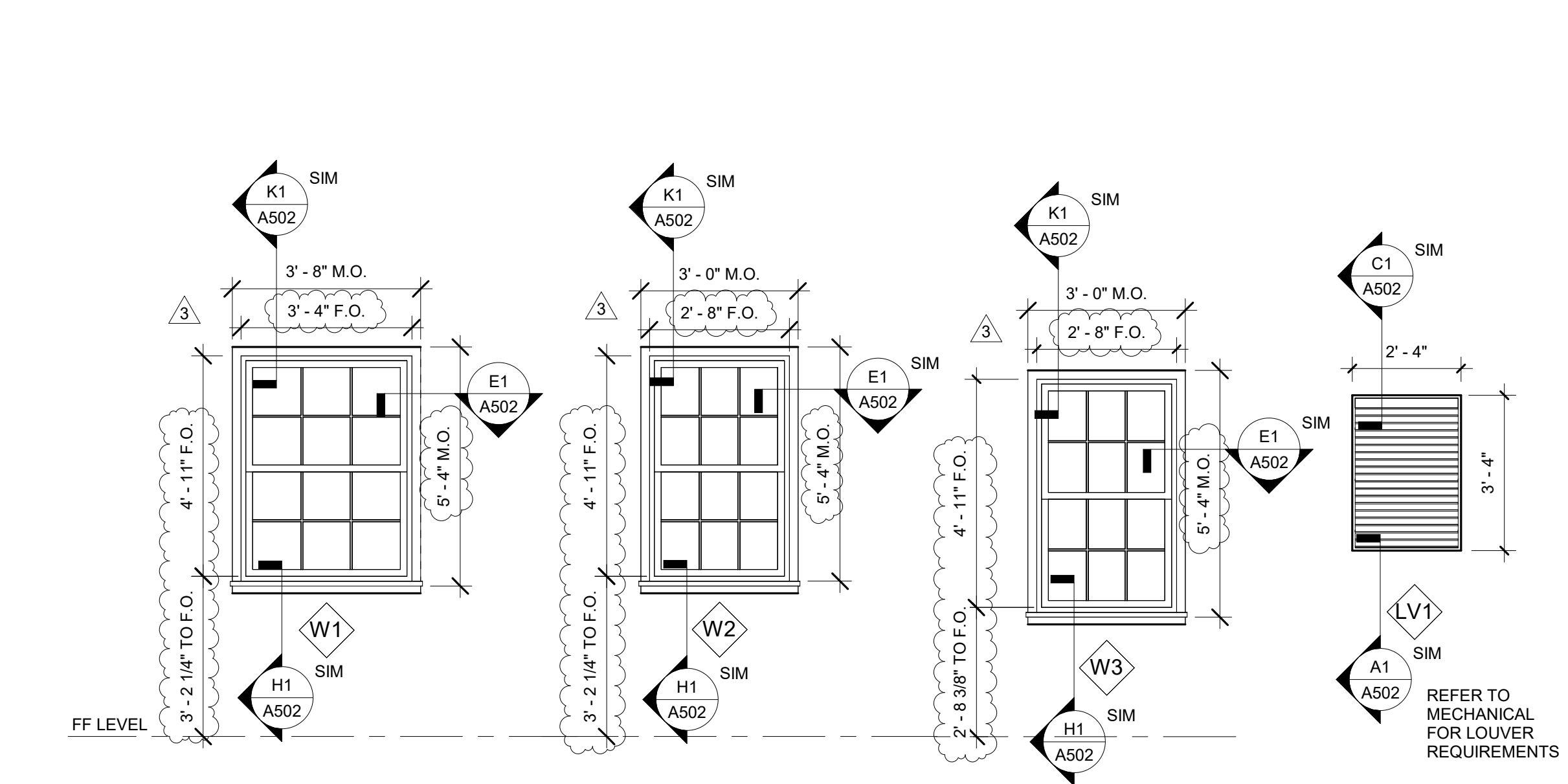
F1 BUILDING ELEVATION - SOUTH
 A201 3/16" = 1'-0" REFERRED FROM: A101



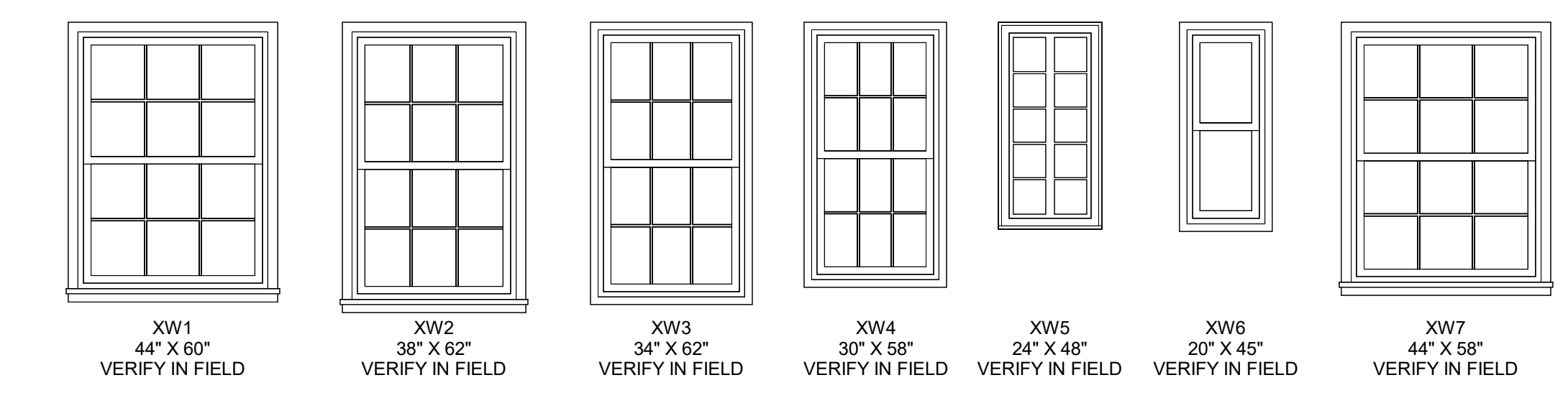
F8 BUILDING ELEVATION - WEST
 A201 3/16" = 1'-0" REFERRED FROM: A101



A1 NORTH WINDOW WALL ELEVATIONS
 A201 3/8" = 1'-0"



C6 WINDOW ELEVATIONS
 A201 3/8" = 1'-0"



EXISTING WINDOW ELEVATIONS
 A201 3/8" = 1'-0" REFERRED FROM:

GENERAL SHEET NOTES

- FIRST AND SECOND FLOOR ELEVATION LEVELS DESIGNATE TOP OF EXISTING HARDWOOD FLOORING.
- CONTRACTOR TO VERIFY IN FIELD TOP OF EXISTING ROOF SHEATHING BOARDS AND NOTIFY ARCHITECT SO NEW ROOF STRUCTURE CAN BE ALIGNED TO MATCH RIDGE OF NEW ROOF WITH EXISTING.
- BRICK MASONRY GRAPHIC FOR REPRESENTATION ONLY. REFER TO SPECIFICATION FOR BOND TYPE, COURSING TO MATCH EXISTING BUILDING.
- ALL GLAZING IN NEW EXTERIOR DOORS AND WINDOWS SHALL BE TYPE GL-1. REFER TO SPECIFICATION 088000.

SHEET KEYNOTES

- 02.02 EXISTING LIGHT FIXTURES AND PLAQUE TO REMAIN
- 02.13 EXISTING ATTIC VENT TO REMAIN
- 04.01 EXISTING BRICK MASONRY, TYPICAL
- 04.02 EXISTING STONE MASONRY, TYPICAL
- 04.03 PATCH BRICK AT OLD LIGHT FIXTURE LOCATIONS.
- 04.04 INFILL EXISTING OPENING ABOVE NEW DOOR WITH RECESSED STACKED BRICK TO MATCH BRICK PATTERN AT ARCHES ON SOUTH FAÇADE
- 04.05 NEW BRICK MASONRY, TYP. BOND AND COURSING TO MATCH EXISTING
- 04.06 VERTICAL SEALANT JOINT BETWEEN NEW AND EXISTING BRICK
- 06.01 PAINT EXISTING WOOD CORNICE TO REMAIN.
- 06.02 NEW CORNICE. PROFILE TO MATCH EXISTING.
- 06.03 POLYMER SYNTHETIC STONE COLUMN ENCLOSURES, TUSCAN ORDER.
- 07.01 NEW SLATE SHINGLE ROOFING ON EXISTING ROOF STRUCTURE
- 07.02 NEW SLATE SHINGLE ROOF ASSEMBLY.
- 07.03 NEW PREFINISHED METAL DOWNSPOUT
- 07.04 NEW FLAT-SEAM COPPER ROOF
- 07.05 RIDGE OF NEW ROOF TO ALIGN WITH RIDGE OF EXISTING.
- 07.06 DORMER WITH SLATE SHINGLE SIDING.
- 07.07 COPPER FLASHING TURNED UP INTO REGLET AT JOINT OF FACE BRICK.
- 07.08 NEW PREFINISHED METAL DOWNSPOUT BOOT
- 07.09 DOWNSPOUT NOZZLE, REFERENCE PLUMBING
- 08.01 PAINT EXISTING WINDOWS AND CASINGS TO REMAIN, TYPICAL.
- 08.02 NEW DOUBLE-HUNG ALUMINUM-CLAD WOOD WINDOW WITH NEW BRICK JACK ARCH ABOVE.
- 08.05 NEW WOOD ENTRY DOORS IN EXISTING OPENINGS, TYP OF (3). NEW DOOR ELEVATIONS TO MATCH ORIGINAL DOOR ELEVATIONS
- 23.01 KILN EXHAUST VENTS, REFERENCE MECHANICAL
- <varies>



1840 WEST BROAD STREET
 SUITE 400
 RICHMOND, VA 23220
 v 804.788.4774

QUINNEVANS.COM



GUGION HALL RENOVATIONS & ADDITION

St. Catherine's School
 6001 Grove Ave
 Richmond, VA 23226

EXHIBIT D

No.	Date	Description
3	3/17/2026	ADDENDUM 03
2	3/6/2026	ADDENDUM 02

PROJECT MANAGER: AL
 DRAWN BY: JB KB

QEA No.52409770
 100% CONSTRUCTION DOCUMENTS
 03/13/2026

A201

PATH: A:\Projects\Gugion Hall Arts Renovation\ARCH_SCS\ArchGugion_025.rvt
 PLOTTING DATE & TIME: 3/17/2026 1:28:43 PM

prepared by Quinn Evans - 4/10/26



Existing South Facade - campus-facing, historic entryway - to be preserved through the renovation



Existing North Facade and Courtyard - location of proposed addition



Existing Southeast Corner - showing existing adjacency to Armfield Science Center entrance



Rendering of Proposed North Addition

INTRODUCED: October 10, 2016

AN ORDINANCE No. 2016-268

To rezone the properties known as 5903 Grove Avenue, 6001 Grove Avenue, 6 Maple Avenue, 10 Maple Avenue, 5604 Cary Street Road, 5606 Cary Street Road, and 5902 Three Chopt Road from the R-1 Single-Family Residential District to the IC Institutional District (Conditional).

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: NOV 14 2016 AT 6 P.M.

THAT THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. That, as shown on the survey entitled “Campus Boundary Survey and Ownership Information,” included as sheet 10 in the plan entitled “St. Catherine’s School, Zoning Master Plan Submission,” a copy of which is attached to, incorporated into, and made a part of this ordinance, the following properties, with tax parcel numbers as shown in the 2016 records of the City Assessor, are excluded from the R-1 Single-Family Residential District and shall no longer be subject to the provisions of sections 30-402.1 through 30-402.7 of the Code of the City of Richmond (2015), as amended, and that the same are included in the IC Institutional District (Conditional) and shall be subject to the provisions of sections 30-432.1 through 30-432.9 and

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: NOV 14 2016 REJECTED: _____ STRICKEN: _____

all other applicable provisions of Chapter 30 of the Code of the City of Richmond (2015), as amended:

5903 Grove Avenue	Tax Parcel No. W021-0381/008
6001 Grove Avenue	Tax Parcel No. W021-0381/007
6 Maple Avenue	Tax Parcel No. W021-0406/006
10 Maple Avenue	Tax Parcel No. W021-0406/005
5604 Cary Street Road	Tax Parcel No. W021-0406/003
5606 Cary Street Road	Tax Parcel No. W021-0406/004
5902 Three Chopt Road	Tax Parcel No. W021-0381/004

§ 2. That this rezoning shall be conditioned upon the compliance by the owner, or owners, with the proffered conditions in the document entitled “Proffered Conditions” with signatures dated September 7, 2016, a copy of which is attached to, incorporated into, and made a part of this ordinance. These conditions, having been proffered by the owner and accepted by the City, shall continue in full force and effect until a subsequent amendment to the City’s zoning ordinance changes the zoning of the parcels rezoned by this ordinance and specifically repeals such conditions.

§ 3. This ordinance shall be in force and effect upon adoption.



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Intracity Correspondence

Pre Introduction to Council: PRE. 2016-181

RECEIVED

JUL 22 2016

File Number: PRE. 2016-181

OFFICE OF CITY ATTORNEY

To rezone the properties known as 6001 Grove Avenue, 5903 Grove Avenue, 5902 Three Chopt Road, 10 Maple Avenue, 6 Maple Avenue, 5606 Cary Street Road, and 5604 Cary Street Road from the R-1 Single-Family Residential District to the IC Institutional District (conditional).

4-5347

O & R REQUEST

O & R Request

EDITION:1

JUN 28 2016

DATE: June 28, 2016

TO: The Honorable Members of City Council

Chief Administration Office
City of Richmond

THROUGH: Dwight C. Jones, Mayor (by request)
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer

THROUGH: Peter L. Downey, Jr., Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Mark A. Olinger, Director, Dept. of Planning and Development Review

RE: To rezone the properties known as 6001 Grove Avenue, 5903 Grove Avenue, 5902 Three Chopt Road, 10 Maple Avenue, 6 Maple Avenue, 5606 Cary Street Road, and 5604 Cary Street Road from the R-1 Single-Family Residential District to the IC Institutional District (conditional).

ORD. OR RES. No. ____

PURPOSE: To rezone the properties known as 6001 Grove Avenue, 5903 Grove Avenue, 5902 Three Chopt Road, 10 Maple Avenue, 6 Maple Avenue, 5606 Cary Street Road, and 5604 Cary Street Road from the R-1 Single-Family Residential District to the IC Institutional District (conditional).

REASON: The applicant has requested a rezoning to the IC Institutional District (conditional) in order to accommodate continued operation and future improvements to the educational institution known as St. Catherine's School.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City

Council. This item will be scheduled for consideration by the Commission at its August 15, 2016, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property consists of seven parcels of land comprising a total of approximately 13 acres fronting on Grove Avenue, Maple Avenue, Cary Street Road, St. Catherine's Lane, and Three Chopt Road in the Three Chopt neighborhood of the Far West planning district. The property is improved with an educational institution known as St. Catherine's School.

Six of the seven parcels of the subject property are designated by the Master Plan for Institutional land use. "Primary uses include institutional uses, such as places of worship, private schools, universities, museums, hospitals and other care facilities. Typically this land use category depicts larger scale uses, while small-scale uses of this type are incorporated within the predominant surrounding land use designations" (p. 135). One parcel, 5902 Three Chopt Road, the location of the Head of School's residence, is designated by the Master Plan for Single-Family (Low Density) land use. The primary use for this land use designation is "single-family detached dwellings at densities up to seven units per acre" and "includes residential support uses such as schools, places of worship, neighborhood parks and recreation facilities, and limited public and semi-public uses" (p. 133).

Specifically for St. Catherine's School, the Master Plan States: "Expansion of St. Catherine's School should be limited to the ongoing acquisition of isolated single family residential properties along the north side of Grove Avenue. Property acquisitions along this section of Grove Avenue should not result in a change to the existing residential use" (p. 184).

The subject property is currently zoned R-1 Single-Family Residential. Properties to the south and west are located in the same R-1 district. Properties to the east are zoned R-4 Single-Family Residential, properties to the northeast are zoned UB-P01 Urban Business (Grove/Libbie Parking Overlay), and properties to the north are zoned R-2 Single-Family Residential.

A mix of residential (predominantly single-family), institutional, public-open space (Country Club of Virginia), government (fire station), and commercial, mix-use, and office (Libbie/Grove Service Area) land uses are present in the vicinity of the subject property.

FISCAL IMPACT / COST: The Department Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$3,200.00

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: July 25, 2016

CITY COUNCIL PUBLIC HEARING DATE: September 12, 2016

REQUESTED AGENDA: Regular

RECOMMENDED COUNCIL COMMITTEE: None.

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission, August 15, 2016.

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None.

REQUIRED CHANGES TO WORK PROGRAM(S):

ATTACHMENTS: Draft Ordinance & Proffered Conditions, Application Form, Master Plan, Map

STAFF: Matthew J. Ebinger, AICP, Senior Planner
Land Use Administration (Room 511)
804-646-6308

PDR O&R No. 16-13

PROFFERED CONDITIONS

The property owners/applicants in this rezoning case, pursuant to Section 15.2-2298 of the Code of Virginia (1950 as amended) and the Zoning Ordinance of the City of Richmond (the "City"), for themselves and their successors or assigns, proffer that the property under consideration (the "Property") will be developed according to the following proffers if, and only if, the rezoning request submitted herewith is granted with only those conditions agreed to by the applicants, or its agent. In the event this request is denied or approved with conditions not agreed to by the applicants or its agent, the proffers shall immediately be null and void and of no further force or effect.

1. Building Height. New buildings constructed on the Property shall not have a height greater than three hundred thirty six (336) feet above sea level.
2. Maple Avenue and Grove Avenue Traffic Control Signal. Within ten (10) business days after the Director of Public Works, or his/her designee, sends written notice to the owner of the parcel of land identified on the City's tax map as Tax Map Number W0210381008 that the City has completed design work and secured matching funds for the installation of a new traffic control signal at the intersection of Maple Avenue and Grove Avenue (the "Traffic Signal"), such property owner shall pay to the City half of the City-estimated cost to design and install such traffic control signal, not to exceed One Hundred Fifty Thousand and No/100 Dollars (\$150,000.00) (the "Traffic Signal Contribution"). In the event that installation of the Traffic Signal does not commence within five (5) years after the date of the aforesaid notice, then the Traffic Signal Contribution shall be returned to the aforesaid property owner by the City. Copies of the written bids or invoices for the design and installation of the Traffic Signal shall be provided by the City to the owner of the aforementioned parcel within ninety (90) days after completion of the Traffic Signal, together with any reimbursement if the amount of the Traffic Signal Contribution exceeds half of the actual cost to design and install such traffic control signal.
3. Grove Avenue Pedestrian Crossing Signal. Within ten (10) business days after the Director of Public Works, or his/her designee, sends written notice to the owner of the parcel of land identified on the City's tax map as Tax Map Number W0210381007 that the City has completed design work and secured matching funds for the installation of a new pedestrian crossing signal (e.g. a high intensity actuated cross walk signal or similar accentuated high visibility cross walk as determined by the Director of Public Works or his/her designee) across Grove Avenue at its intersection with Somerset Avenue (west side of the intersection) (the "Pedestrian Signal"), such property owner shall pay to the City half of the City-estimated cost to design and install such pedestrian crossing signal, not to exceed Sixty Thousand and No/100 Dollars (\$60,000.00) (the "Pedestrian Signal Contribution"). In the event that installation of the Pedestrian Signal does not commence within five (5) years after the date of the aforesaid notice, then the Pedestrian Signal Contribution shall be returned to the aforesaid property owner by the City. Copies of the written bids or invoices for the design and installation of the Pedestrian Signal shall be provided by the City to the owner of the aforementioned parcel within ninety (90) days

after completion of the Pedestrian Signal, together with any reimbursement if the amount of the Pedestrian Signal Contribution exceeds half of the actual cost to design and install such traffic control signal.

4. Restricted Parking Area Entrance onto St. Catherine's Lane. The parking area located immediately south of the athletic field shall only have one entrance on to St. Catherine's Lane. This entrance shall be gated and its use restricted to (i) only buses and emergency vehicles, and (ii) on campus special events (such as athletic games, performances or events in the school auditoriums, and schoolwide events such as "Daisy Days" and graduation) during which all types of vehicles may use the entrance. This restriction shall not apply to the entrance on to St. Catherine's Lane for the parking area serving the building located at the intersection of St. Catherine's Lane and Three Chopt Road and shall not apply to any entrance on to St. Catherine's Lane north of the athletic field.
5. Parking Lot Lighting Height. Parking lot lighting standards within the parking area located immediately adjacent to the south and east sides of the athletic field shall not exceed twenty (20) feet in height as measured from the grade of the lighting standard.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK.]
[SIGNATURE PAGE TO FOLLOW.]

CHURCH SCHOOLS IN THE DIOCESE OF
VIRGINIA, a Virginia corporation, d/b/a St.
Catherine's School

By: Peter Pastore
Peter Pastore, Chief Financial Officer
Dated: Sept 7, 2016

ST. CATHERINE'S SCHOOL FOUNDATION,
a Virginia corporation

By: Peter Pastore
Peter Pastore, Treasurer
Dated: Sept 7, 2016