

House Renovation

1119 N 31st Street Richmond, VA

DESIGNER: TRINITY HOMES

1901 E. FRANKLIN / RICHMOND, VA. 23223
804-6152527 ANDRE' MANSON, DESIGNER

ENGINEER: BRENT JOHNSON

11901 OLD STAGE RD CHESTER, VA. 23836
804-541-1436

BUILDER: Espinosa Development, LLC

301-324-2633

APPLICABLE CODES	
JURISDICTION: RICHMOND, VA	
USE GROUP: R-3	
BUILDING CODE:	2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE
PROJECT DESCRIPTION:	RENOVATION CONSTRUCTION OF SINGLE FAMILY DWELLING ATTACHED

NOTES & SPECIFICATIONS

GENERAL NOTES:

GENERAL CONTRACTOR SHALL READ AND CONFORM ALL NOTES, STATEMENTS, AND COMMENTS PERTAINING TO THIS PROJECT. ALL SUBCONTRACTOR, VENDERS, AND CONTRACTORS SHALL READ ALL NOTES, COMMENTS, AND STATEMENTS AND RESPOND TO PERTAINING INFORMATION ACCORDING TO THEIR SPECIALTY.

ALL ELECTRICAL AND MECHANICAL LAYOUTS ARE CONCEPT ONLY. CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY AND ABIDE BY LOCAL CODES AND GUIDELINES BEFORE STARTING.

CONTRACTORS GENERAL NOTES:

ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL APPLICABLE CODES AND REGULATIONS. APPROPRIATE SAFETY MEASURES SATISFYING LOCAL AND OSHA REQUIREMENTS SHALL BE PROVIDED.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.

ALL DIMENSIONS SHOWN ARE ACTUAL, AND ARE TO THE FACE OF STUDS OR MASONRY OR EXTERIOR SHEATHING. CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN FIELD. EXTERIOR FRAMING DIMENSIONS ARE TO THE EXTERIOR FACE OF 1/2" SHEATHING (4" WALL); INTERIOR FRAMING DIMENSIONS ARE TO THE FACE OF STUD (3 1/2" WALL). FACE OF EXTERIOR SHEATHING TO ALIGN WITH FACE OF MASONRY BELOW.

CONTRACTOR SHALL CAULK, FLASH, OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT. CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.

ALL GLAZING WITHIN 18" OF FLOOR OR 48" OF DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS, ANY QUESTIONS OR DISCREPANCIES FOUND WITH REGARD TO THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND STRUCTURAL ENGINEER.

THE STRUCTURAL ENGINEER'S REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO FOLLOW THE INTENT OF THE CONTRACT DRAWINGS, UNLESS A WRITTEN REQUEST FOR A CHANGE HAS BEEN PREVIOUSLY SUBMITTED AND APPROVED BY THE STRUCTURAL ENGINEER.

FOUNDATION NOTES:

PROVIDE 75% SOLID CMU OR GROUT FILLED TOP COURSE AT ALL HOLLOW CMU PIERS.

SILL PLATE ANCHORAGE - 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS AND 12" MAX. FROM CORNERS. (8' LONG INTO CONCRETE, 18" LONG INTO MASONRY) CODE APPROVED STRAP ANCHORS MAY BE USED AT THE CONTRACTOR'S OPTION.

TOP COURSE OF CMU PIERS SHALL BE SOLID MASONRY OR FILLED SOLID. PROVIDE 2X8 P.T. PLATE X 16" LONG ON TOP OF EACH PIER.

FRAMING NOTES:

ALL WOOD JOISTS WITHIN 18" OR WOOD GIRDERS WITHIN 12" OF EXPOSED EARTH SHALL BE PRESSURE PRESERVATIVE TREATED.

32" HANDRAILS AND 36" GUARDRAILS ARE REQUIRED ON ALL PORCHES, DECKS, STAIRS, ETC. WITH 30" OR MORE ELEVATION DIFFERENCE. GUARDRAILS TO HAVE PICKETS AT 6" O.C. AND POSTS AT 60" O.C. MAX.

EXTERIOR STAIRS ARE SHOWN FOR LOCATION ONLY. CONTRACTOR SHALL VERIFY ALL GRADE ELEVATIONS AND ACTUAL NUMBER OF STAIRS REQUIRED.

(3) 2X4'S WITH MID-HEIGHT BLOCKING ARE REQUIRED WHERE NOTED AS "TRIPLE STUD SUPPORT" ON DRAWINGS.

PROVIDE FIRESTOPPING AND DRAFTSTOPPING AS REQUIRED BY SECTION R-302.11

SHELVING AND SHELF RODS TO BE BRACED AT 4'-0" O.C. MAXIMUM.

VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS, TUB, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT.

ALLOW FOR 8 SHEETS OF 3/4" 48/24 APA SPAN RATED FLOOR SHEATHING AS REQUIRED BY JOIST SPACING IN ATTIC AREA FOR STORAGE. UNO.

ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS (STUD GRADE 5-P-F 5D 54S MIN) AT 16" O.C.

HANGERS AND METAL CONNECTORS SHALL BE ZINC PLATED, UNLESS EXPOSED TO WEATHER. EXPOSED HARDWARE SHALL BE HOT DIPPED GALVANIZED OR COATED AS REQUIRED FOR CONTACT WITH PRESERVATIVE TREATED WOOD.

PREFABRICATED METAL HANGERS AND CONNECTORS SHALL BE INSTALLED AS SPECIFIED ON STRUCTURAL PLANS OR SHOP DRAWINGS. NAILING SHALL CONFORM TO MANUFACTURER'S PUBLISHED TABLES TO PROVIDE MAXIMUM HANGER CAPACITY, UNLESS NOTED OTHERWISE ON STRUCTURAL PLANS. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR. CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE, UNITED STEEL PRODUCTS (USP), OR APPROVED EQUAL.

NOTES & SPECIFICATIONS CONTINUED

PROVIDE SOLID BLOCKING UNDERNEATH ALL POINT LOADS, CONTINUOUS TO FOUNDATION OR BEARING. BLOCKING SHALL MATCH SIZE OF POST ABOVE.

ALL HEADERS SHALL BE SUPPORTED BY (1) 2X JACK STUD AND (1) 2X KING STUD MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK REQUIRED, UNO. AT FLUSH OR DROPPED BEAMS, THE NUMBER OF STUDS SPECIFIED INDICATES THE TOTAL NUMBER OF STUDS REQUIRED TO SUPPORT THE BEAM.

FACE NAIL MULTI-PLY 2X BEAMS AND HEADERS WITH 2 ROWS OF 12d NAILS AT 12" D.C. STAGGERED. APPLY NAILING FROM BOTH FACES AT 3-PLY OR MORE CONDITIONS.

FASTEN 2X WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH (2) ROWS P.A.F. (HILT) DNI4TP8 PINS OR EQUAL AT 32" O.C., OR, 1/2" DIA. BOLTS AT 48" D.C.

PROVIDE SIMPSON BC52-2/4 POST CAP & ABE44 POST BASE AT ALL EXTERIOR 4X4 POSTS, UNO.

ROOF SHEATHING SHALL BE A MIN. 1/4/32" APA RATED SHEATHING 40/20, EXPOSURE I, FASTEN SHEATHING TO FRAMING MEMBERS WITH 8d COMMON NAILS AT 12" ON CENTER IN FIELD AND AT 6" ON CENTER ALONG THE PANEL EDGES. PROVIDE 1" STYLE CLIPS ALONG UNSUPPORTED EDGES.

FLOOR SHEATHING SHALL BE A MIN. 3/4" APA RATED STUD-1-FLOOR 24" ON CENTER, EXPOSURE I, TONGUE AND GROOVE EDGES. FASTEN SHEATHING WITH GLUE AND 10d COMMON NAILS AT 12" ON CENTER IN FIELD AND AT 6" ON CENTER ALONG THE PANEL EDGES. GLUE ADHESIVES SHALL CONFORM TO THE PERFORMANCE SPECIFICATIONS IN AFG-01.

WALL SHEATHING SHALL BE 1/2" APA RATED SHEATHING 24/16, EXPOSURE I.

ENGINEER SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD FLOOR AND ROOF JOISTS.

R302.7 UNDER-STAIR PROTECTION. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYP-SUM BOARD.

SMOKE ALARMS PER SECTION R314

CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315 AS APPLICABLE

R330.1 KITCHEN AREAS. (2015 VRC) OTHER THAN WHERE THE DWELLING IS EQUIPPED WITH AN APPROVED SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313, A FIRE EXTINGUISHER HAVING A RATING OF 2-A:10-B:C OR AN APPROVED EQUIVALENT TYPE OF FIRE EXTINGUISHER SHALL BE INSTALLED IN THE KITCHEN AREA.

STRUCTURAL NOTES:

SOLID BEARING (FIELD VERIFY)	2,000 LBS/SQFT.
WIND LOAD	15 LBS/SQFT.
SEISMIC	ONE ZONE
LIVE FLOOR	40 LBS/SQFT.
DEAD FLOOR (ALL)	10 LBS/SQFT.
LIVE ROOF (SNOW)	20 LBS/SQFT.
DEAD ROOF (EACH CORE)	10 LBS/SQFT.
ATTIC FLOOR STORAGE	20 LBS/SQFT.
LIVE DECK	40 LBS/SQFT.

ALL STRUCTURAL LUMBER (I.E. JOISTS, RAFTERS, HEADERS, ETC.) SHALL HAVE A MODULUS OF ELASTICITY OF 1,400,000 MIN. AND EXTREME FIBER BENDING STRESS OF 1,000 PSI MIN. FOR REPETITIVE MEMBERS.

ALL UNEXPOSED CONCRETE SHALL BE 3,000 PSI MIN. STRENGTH, ALL EXPOSED CONCRETE SHALL BE 3,500 PSI STRENGTH WITH 5 AIR ENTRAINMENT.

PLUMBING NOTES:

ALL HOSE BIBBS SHALL BE FREEZEPROOF AND HAVE A VACUUM BREAKER.

INSULATE ALL PIPING IN EXTERIOR WALLS AND CRAWL SPACE.

PROVIDE RECESSED BOX WITH VALVE TO AREA OF REFRIGERATOR FOR ICEMAKER.

SECTION R307 TOILET, BATH AND SHOWER SPACES
R307.1 SPACE REQUIRED. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1, AND IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION P2105.1.

R307.2 BATHTUB AND SHOWER SPACES, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

ELECTRICAL NOTES:

ALL ELECTRICAL DRAWINGS ARE FOR LAYOUT PURPOSES ONLY (NOT TO SUPERSEDE THE ELECTRICAL DRAWING DONE BY AN ELECTRICAL ENGINEER)

RUN ALL TOILET FANS AND EXHAUST VENTS TO AN OWNER APPROVED EXTERIOR DISCHARGE.

EXTERIOR NOTES:

ICE AND SNOW SHIELD WILL BE USED ON THE FIRST 3'-0" OF ROOF

ALL EXTERIOR RAILINGS AT PORCHES AND FRONT STOOPS ARE TO BE (RICHMOND RAIL SYS.)

6" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING AT CONC. SLABS AND 16" AT CRAWL SPACE

PROVIDE RAIN DIVERTERS ABOVE ALL EXTERIOR DOORS TO MATCH THE EXPOSED FLASHING MATERIAL (WHERE GUTTERS NOT PROVIDED).

ONE LAYER NO. 40 COATED ROOFING OR COATED GLASS BASE SHEET SHALL BE APPLIED FROM THE EAVES TO A LINE 12" INSIDE THE EXTERIOR WALL LINE WITH ALL LAPS CEMENTED TOGETHER.

DECK NOTES:

GENERAL REQUIREMENTS

- DECK FRAMING IS BASED ON 40 LBS PER SQ FT LIVE LOAD AND 10 LBS PER SQ FT DEAD LOAD. THE PORCH ROOF IS BASED ON 20 LBS PER SQ FT SNOW LOAD AND 10 LBS PER SQ FT DEAD LOAD.
- ALL DECK MATERIALS SHALL BE PRESERVATIVE TREATED (P.T.) LUMBER OR COMPOSITE MATERIAL SPECIFICALLY DESIGNED FOR DECKS AND OUTSIDE USE, OR FOR USE IN CONTACT WITH THE GROUND. ALL CUT MATERIALS SHALL HAVE THEIR ENDS TREATED WITH AN APPROVED PRESERVATIVE, SUCH AS COPPER NAPHTHENATE.
- TO RESIST CORROSION FOR USE WITH PRESERVATIVE TREATED (P.T.) WOOD, THE FOLLOWING IS REQUIRED:
 - BORATE TREATED 2X LUMBER MAY NOT BE USED IN CONTACT WITH THE GROUND.
 - ALL SCREWS, BOLTS, NAILS AND FASTENERS SHALL BE HOT-DIPPED GALVANIZED (HDG IN ACCORDANCE WITH ASTM A-153 OR B-645, CLASS 55), STAINLESS STEEL, OR AN APPROVED SPECIAL COATED FASTENER FOR USE WITH ALKALINE COPPER QUAT (ACQ) PRESERVATIVE TREATED LUMBER.
 - WHERE A MATERIAL IS LISTED AS "HDS" IN THIS GUIDE, ANY OF THE ABOVE MENTIONED MATERIALS MAY BE SUBSTITUTED.
- FLASHING SHALL BE A MINIMUM 1/4" THICK CORROSION-RESISTANT METAL OR AN APPROVED NON-METALIC MATERIAL. BRIGHT ALUMINUM FLASHING IS NOT ALLOWED.
- IF YOU ARE ATTACHING THE DECK TO THE HOUSE, THE HOUSE SHALL HAVE A PRESERVATIVE TREATED, NOMINAL SIZE, WOOD BAND BOARD ALONG THE ENTIRE LENGTH OF THE ATTACHMENT AREA. PLYWOOD IS NOT ACCEPTABLE.
- WHERE THRU BOLTS ARE TO BE USED, COMPATIBLE SIZED WASHERS AND NUTS ARE ASSUMED TO BE PART OF THE ASSEMBLY.
- DO NOT ATTACH THE LEDGER BOARD TO OR THROUGH BRICK VENEER.
- DO NOT CONSTRUCT FOOTINGS OVER UTILITY LINES. CALL MISS UTILITY AT 811 BEFORE YOU START!
- DO NOT CONSTRUCT THE FOOTINGS OVER A SEPTIC FIELD. SEEK ADVICE FROM THE HEALTH DEPARTMENT.
- DO NOT ATTACH A DECK OR PORCH TO A TRAILER OR MOBILE HOME.

STAIRS AND RAMPS

STAIR RISERS:

- THE MAXIMUM RISER HEIGHT IS 8-1/4". THE MAXIMUM VARIATION BETWEEN THE TALLEST AND SHORTEST RISER IS 3/8".
- OPEN RISERS ARE ALLOWED AS LONG AS THE OPENINGS DO NOT EXCEED 4"

STAIR TREADS:

- THE MINIMUM TREAD WIDTH IS 9". THE MAXIMUM VARIATION IN TREAD WIDTHS BETWEEN THE WIDEST AND NARROWEST IS 3/8".
- THE TREAD NOSING SHALL PROJECT AT LEAST 3/4" AND NOT MORE THAN 1-1/4" BEYOND ANY SOLID RISER.

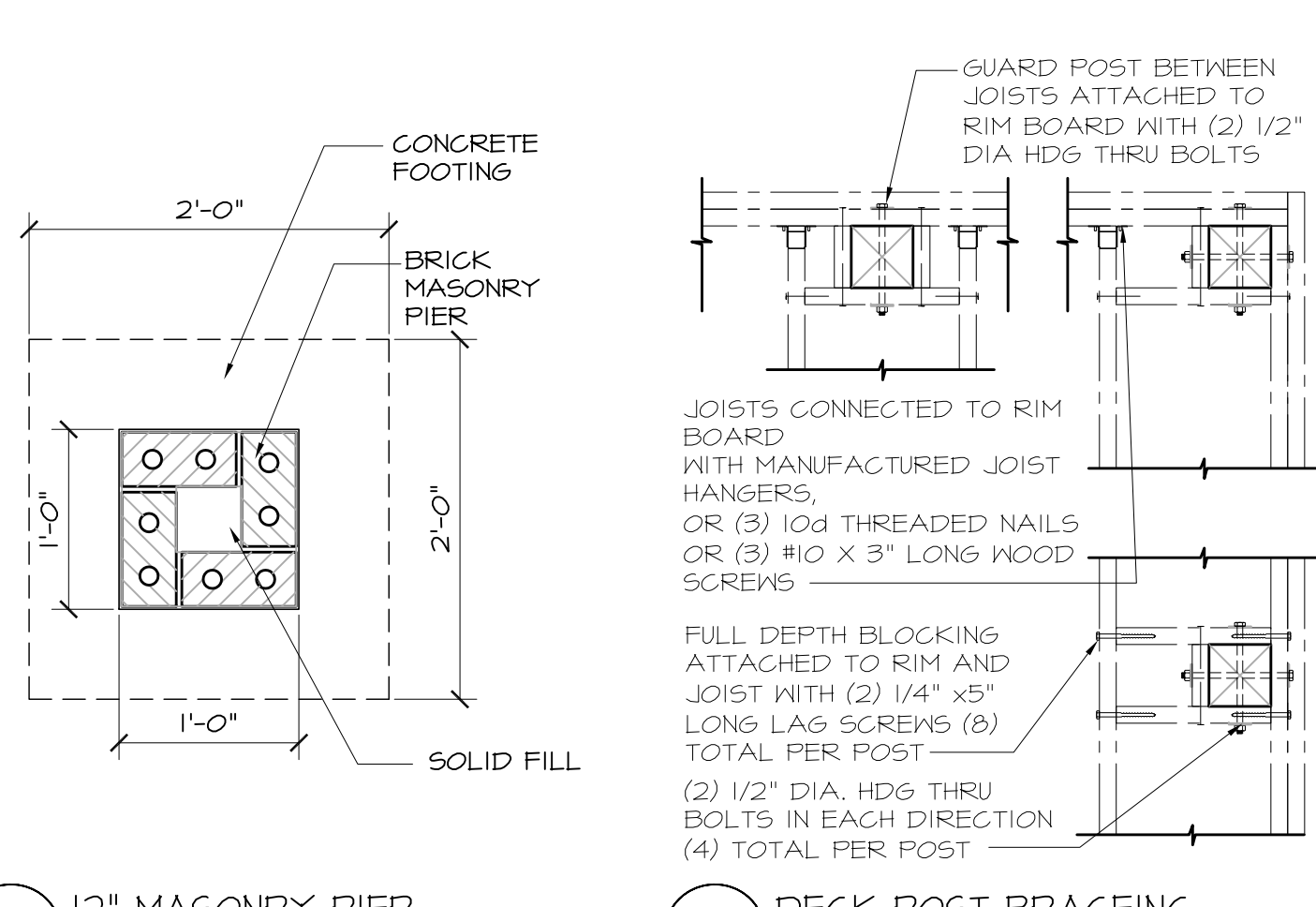
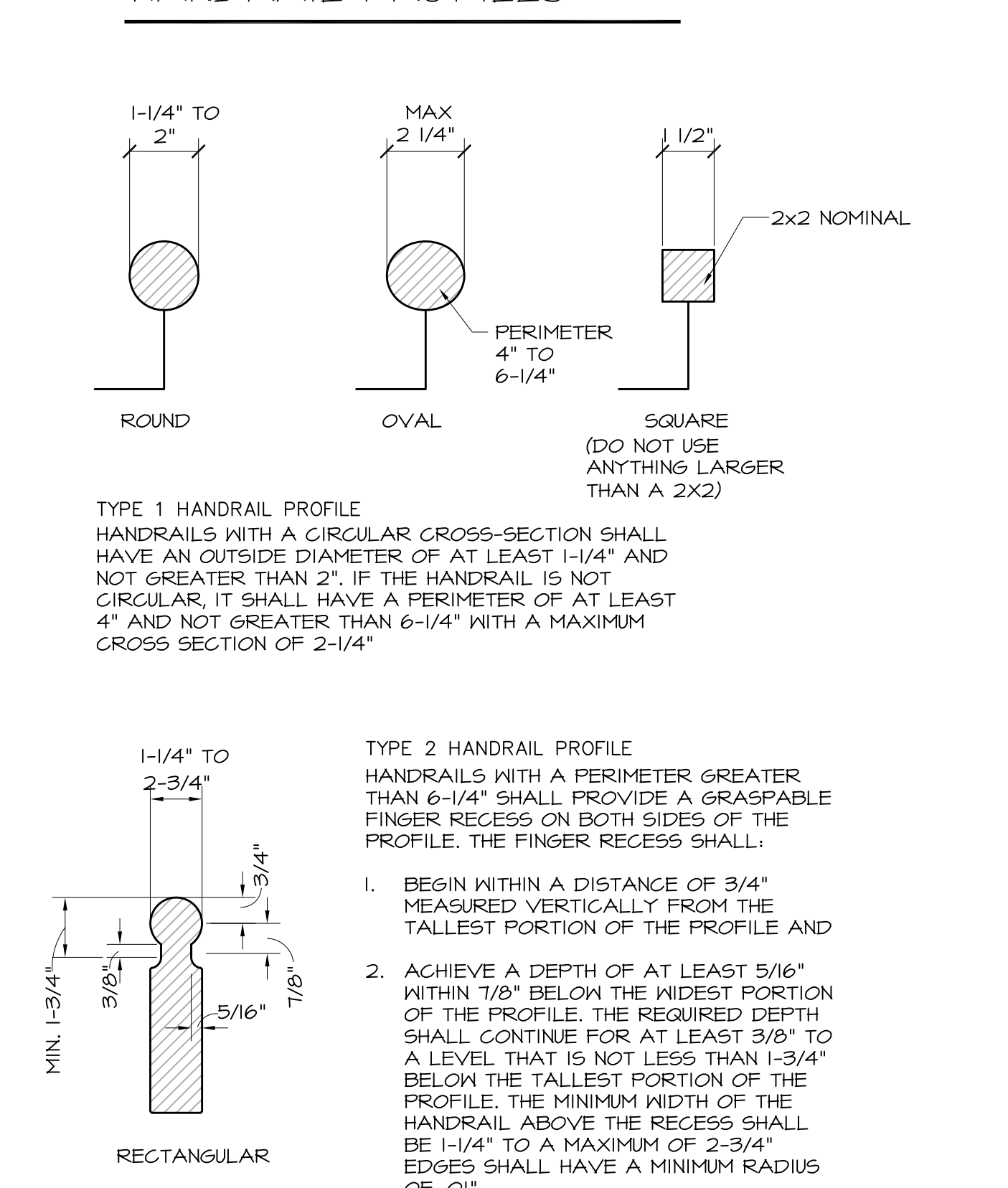
STRINGERS:

- ALL STRINGERS SHALL BE A MINIMUM OF 2x12 P.T. MATERIAL.
- IF THE STRINGER IS FABRICATED BY CUTTING NOTCHES FOR THE RISERS AND TREADS, THREE STRINGERS SHALL BE PROVIDED FOR A 36" WIDE STAIR. NOTE: DO NOT OVER CUT NOTCHES. IF THE STRINGER IS FABRICATED FROM UNGUT 2x12, TWO STRINGERS ARE REQUIRED FOR A 36" WIDE STAIR.
- STRINGERS SHALL NOT SPAN MORE THAN THE THE DIMENSIONS SHOWN, OTHERWISE, AN INTERMEDIATE POST IS REQUIRED. THE POST SHALL BE SUPPORTED ON A CONCRETE FOOTING AT LEAST 12" DEEP. THE STRINGER SHALL BE ATTACHED TO THE POST WITH (2) 1/2" DIA HDG THRU BOLTS.

GUARDRAILS (FREQUENTLY REFERRED TO AS "GUARDS")

- GUARDRAILS ARE AN ASSEMBLY COMPRISED OF THE FOLLOWING COMPONENTS:
 - * A GUARDRAIL CAP, TYPICALLY A 2X6 OR 5/4 BOARD LAID FLAT
 - * TOP AND BOTTOM RAILS TO WHICH THE PICKETS ARE ATTACHED,
 - * (GUARD) POSTS, AND
 - * PICKETS.
- GUARDRAILS ARE REQUIRED WHERE THE DISTANCE FROM THE WALKING SURFACE TO GRADE IS MORE THAN 30" MEASURED OUT 36" FROM THE FACE OF THE DECK.
- THE TOP OF THE GUARDRAIL CAP MUST BE BETWEEN 34" AND 38" WHERE MEASURED FROM THE NOSING OF THE TREAD.
- THE BOTTOM RAIL MUST BE LOCATED SO THAT A 6" SPHERE CANNOT PASS BETWEEN THE TRIANGLE FORMED BY THE RISER, TREAD AND BOTTOM RAIL.
- THE GUARDS SHALL BE ABLE TO WITHSTAND A LOADING OF 200# IN ANY DIRECTION

HANDRAIL PROFILES



On-Center Spacing for Fasteners Attaching Decks to Houses

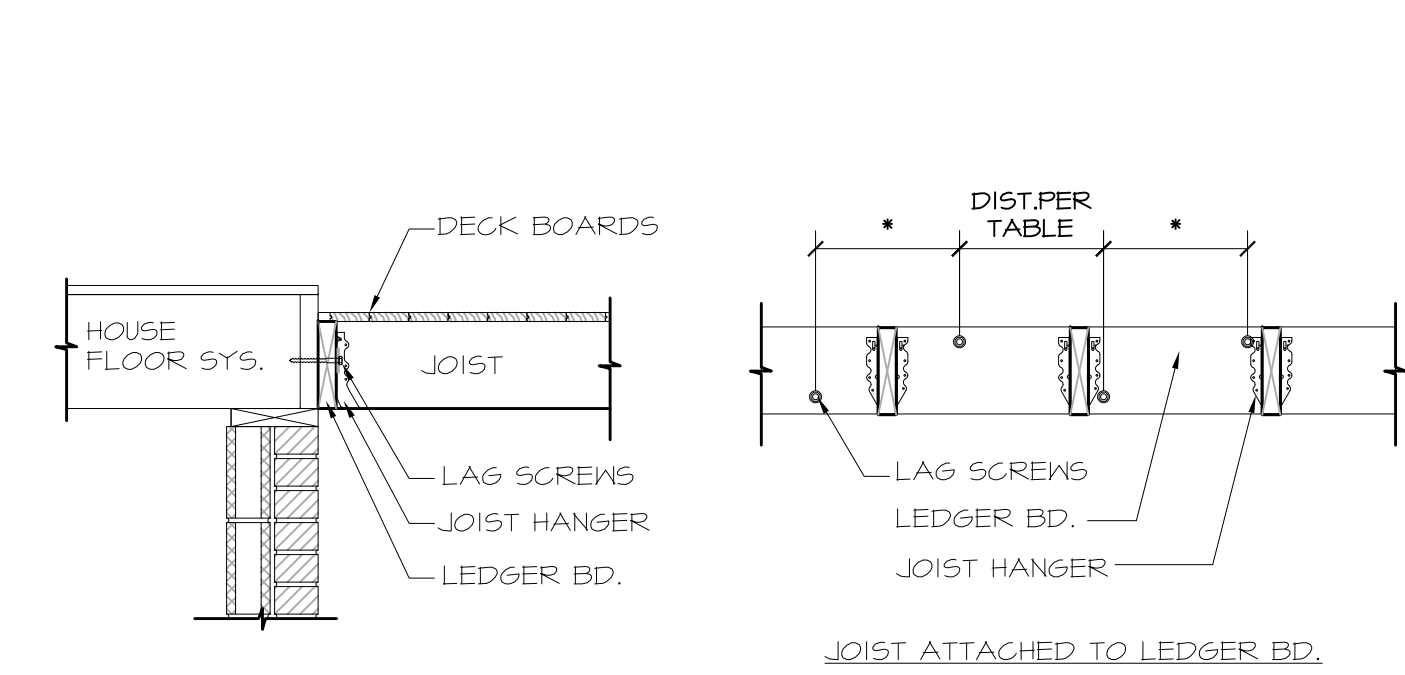
Joist span (ft)	6' or less	6'-1\"/>					
1/2" x 4" Lag Screws	30"	23"	18"	15"	13"	11"	10"
1/2" Bolt w/ washers	36"	36"	34"	29"	24"	21"	19"

Notes:

- The maximum gap between the face of the ledger board and face of the house band joist shall be 1/2".
- The tip of the lag screw shall fully extend beyond the inside of the band joist (board).
- Ledgers shall be flashed to prevent water from contacting the house band joist (board).
- Lag screws and bolts shall be staggered and shall not be closer than 2" to the top and bottom of the ledger.
- Deck ledgers shall be 2x8 preservative treated Southern Pine (minimum) or other approved method and material as established by standard engineering practice.

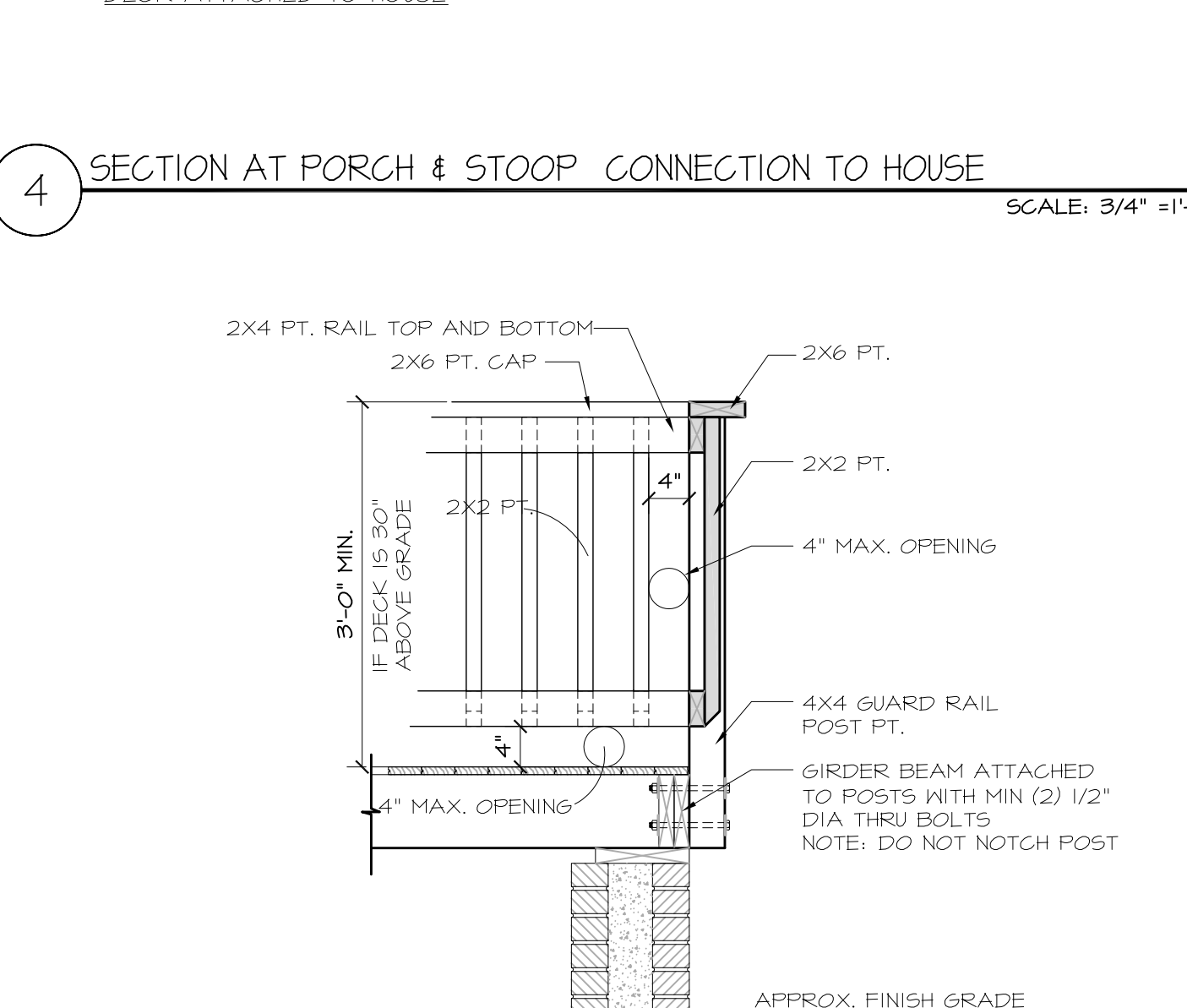
SECTION AT PORCH & STOOP CONNECTION TO HOUSE

SCALE: 3/4" = 1'-0"



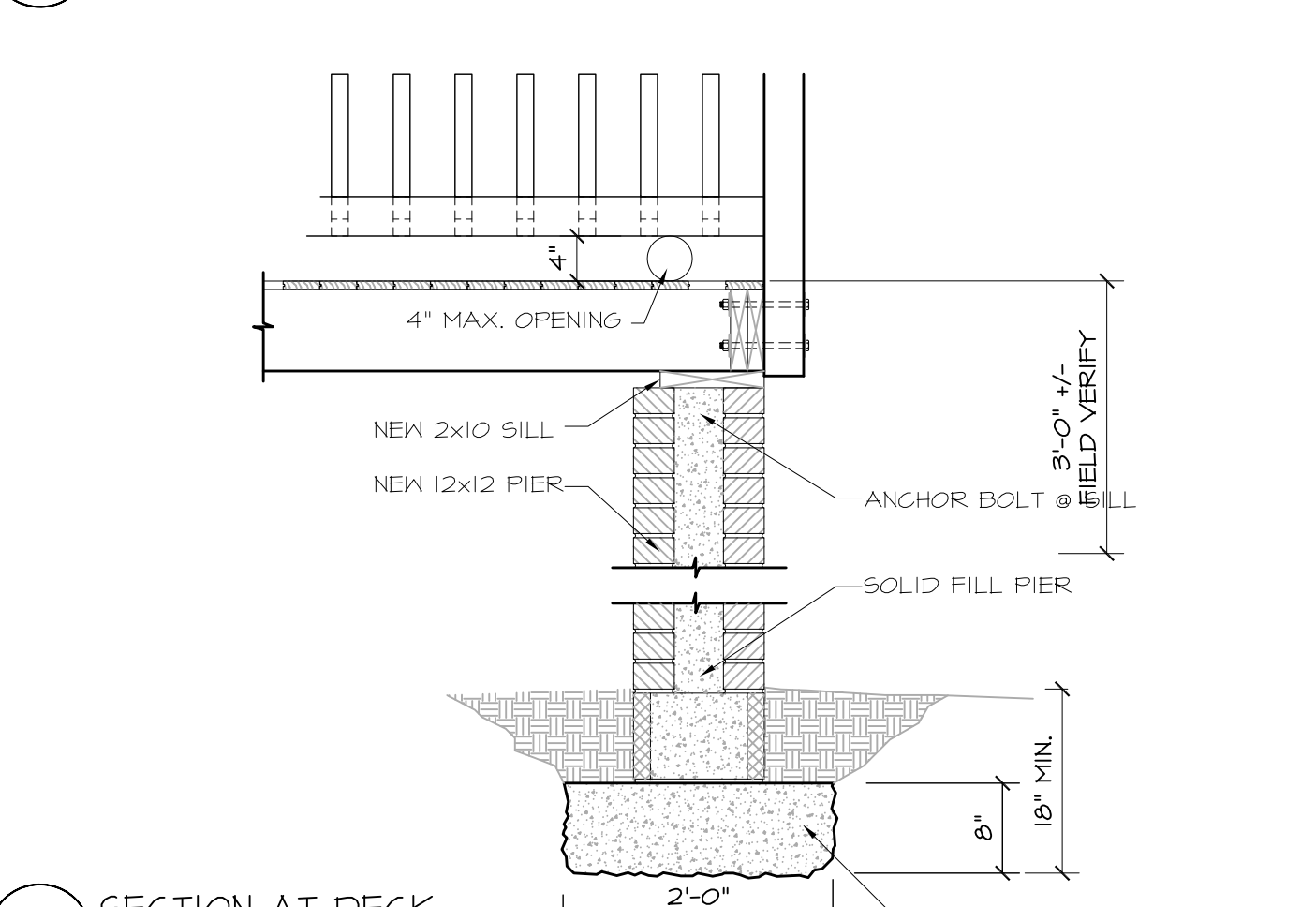
SECTION AT PORCH & STOOP CONNECTION TO HOUSE

SCALE: 3/4" = 1'-0"



SECTION AT DECK

SCALE: 3/4" = 1'-0"



TrinityHDC
COMMERCIAL & RESIDENTIAL BUILDING DESIGN
1901 E. Franklin Street, Suite 118, Richmond, VA. 23223
Voice: 804-615.2527 Email: andre_manson@comcast.net

SQUARE FOOTAGE

FIRST FLOOR SF.	861 SF.
SECOND FLOOR SF.	861 SF.
THIRD FLOOR SF.	435 SF.
TOTAL FINISHED SF.	2,157 SF.
(UNFINISHED) TOTAL SF.	- SF.
TOTAL UNDER ROOF SF.	2,157 SF.

REV.	DATE	DESCRIPTION
1		CITY REVIEW COMMENTS

House Renovation
1119 N 31st Street Richmond, VA
Permit # BLDR-040462-2018

CLIENT APPROVAL

DRAWING INDEX

C-1	COVER AND INFORMATION SHEET
A1-0	EXISTING/DEMO PLANS
A1-1	PROPOSED PLANS / SCHEDULES
A1-2	FRAMING PLANS
A1-3	TYPICAL WALL SECTIONS / ROOF FRAMING
A1-4	HOUSE SECTIONS / ELEVATIONS

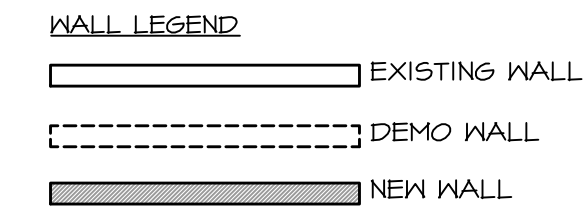
Start Date: 04-Feb-19 Plot Date: 26-Jun-19

100% 19-003

SHEET NUMBER
C-1

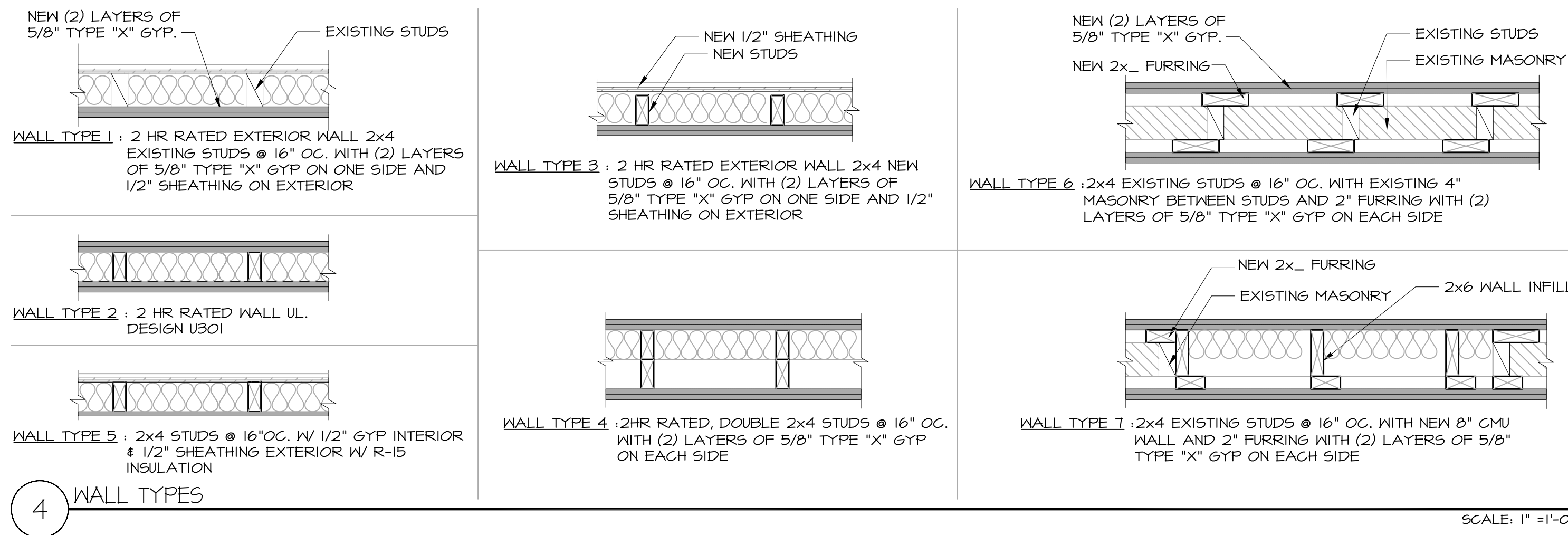
DEMO NOTES:

- FIELD VERIFY ALL CONDITIONS PRIOR TO DEMOLITION OF ANY WALLS OR STRUCTURAL MEMBERS AND SURE UP BEST WAYS POSSIBLE TO ENSURE STRUCTURAL INTEGRITY AND SAFETY.
- DEMO WORK SHALL BE DONE IN COMPLIANCE TO THE LOCAL GOVERNMENT AND CODES.
- ALL EXISTING FLOOR AND CEILING JOIST ARE TO REMAIN, IF STRUCTURALLY SOUND
- ALL WORK AND RECONSTRUCTION OF THE HOUSE SHALL BE DONE WITHIN THE EXISTING PERIMETER OF THE EXISTING HOUSE

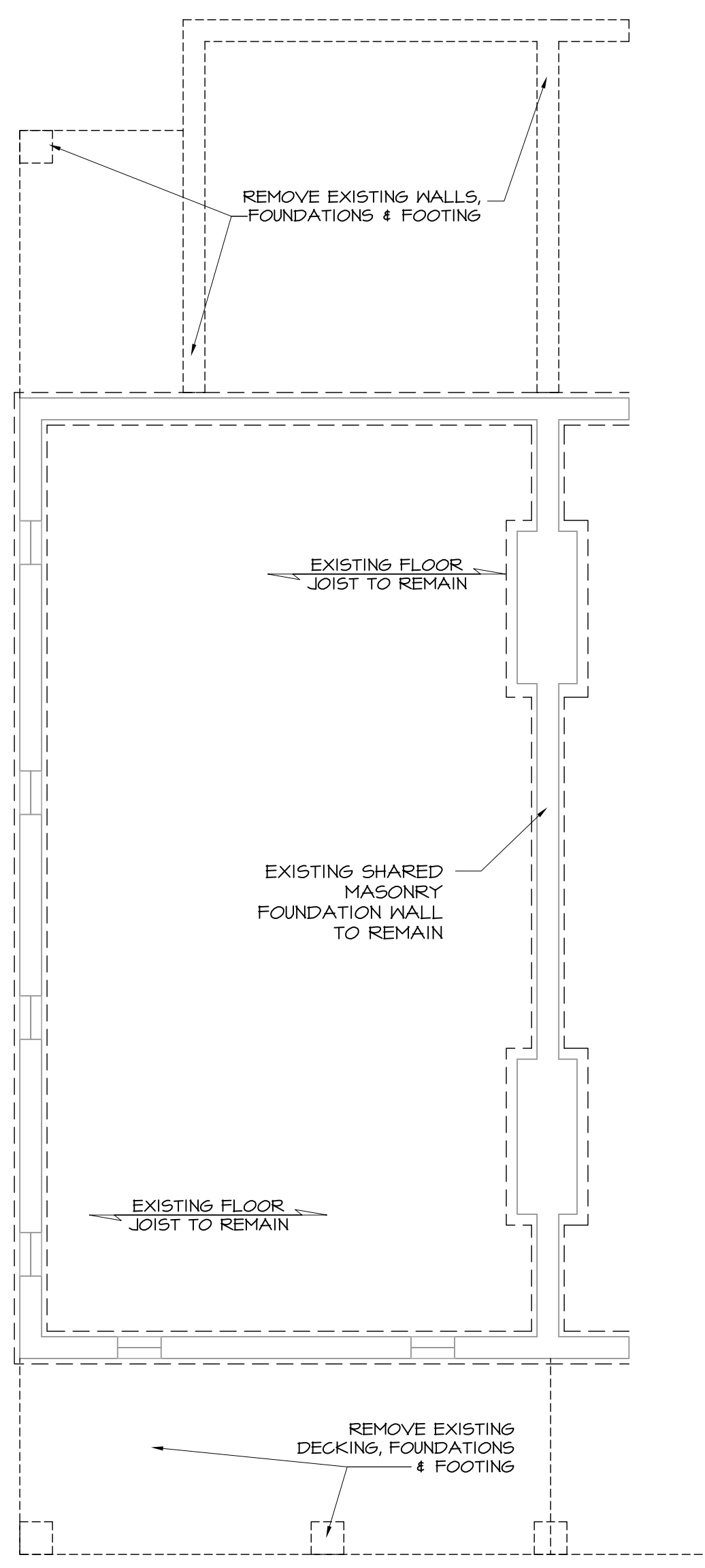


DEMO KEY NOTES

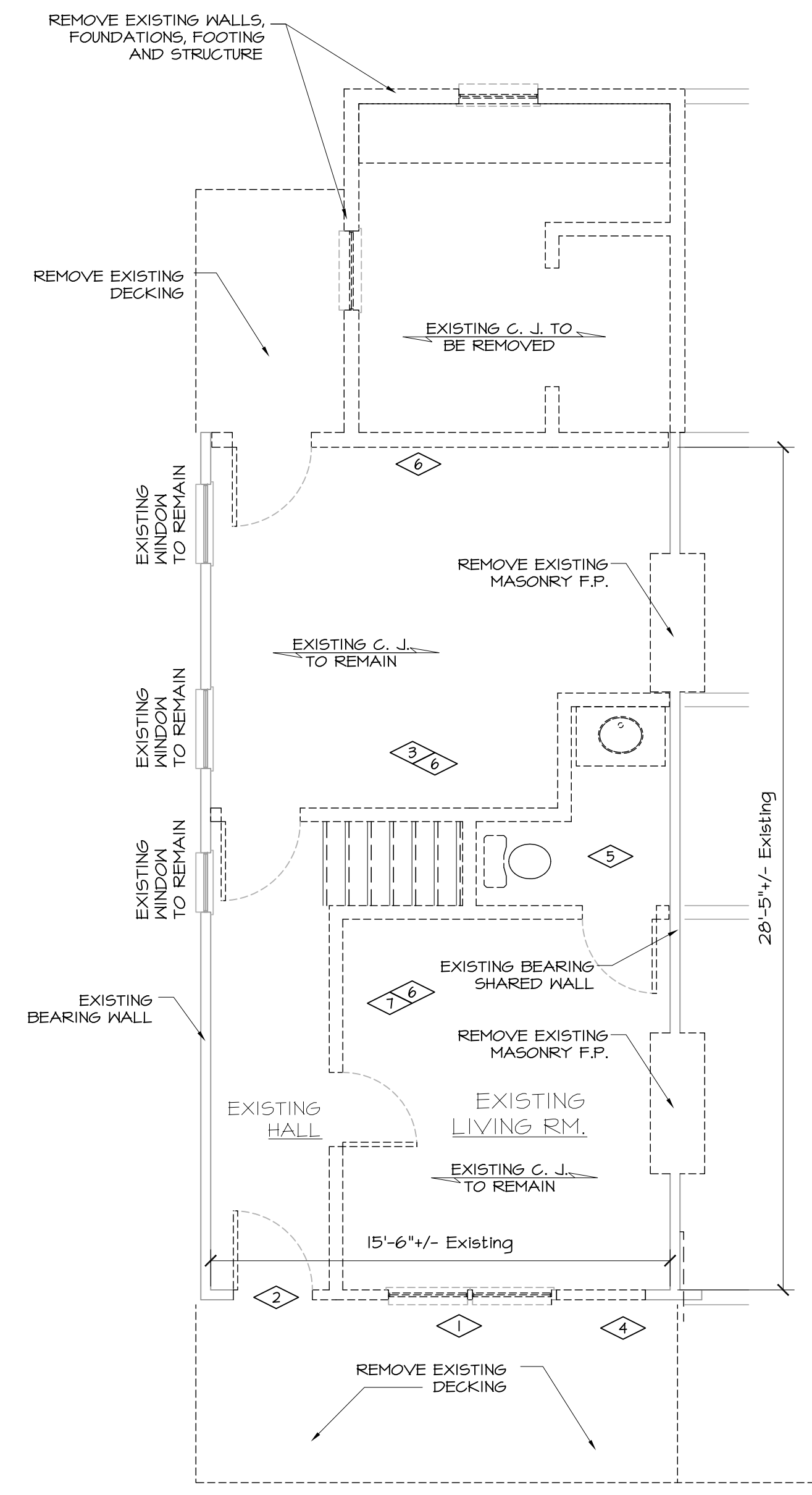
- REMOVE EXISTING WINDOW AND CLOSE IN WALL (Keep existing header and structure)
- REMOVE EXISTING DOOR AND INFILL WITH FRAMING
- REMOVE EXISTING DEBRIS AND LOOSE FINISHES AND PREPARE AREA FOR NEW FINISHED
- DEMO EXISTING WALL AND PREPARE FOR NEW OPENING



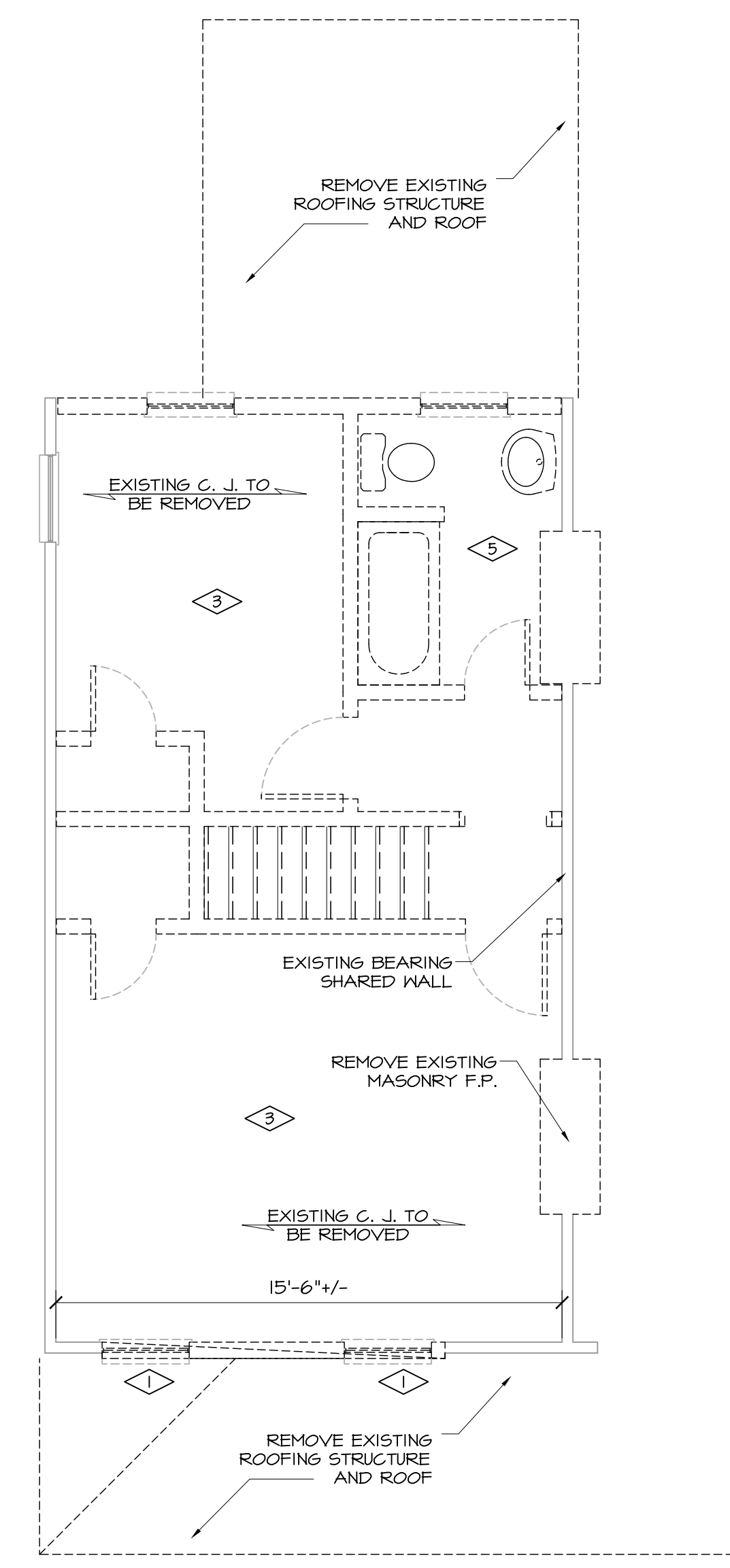
4 WALL TYPES



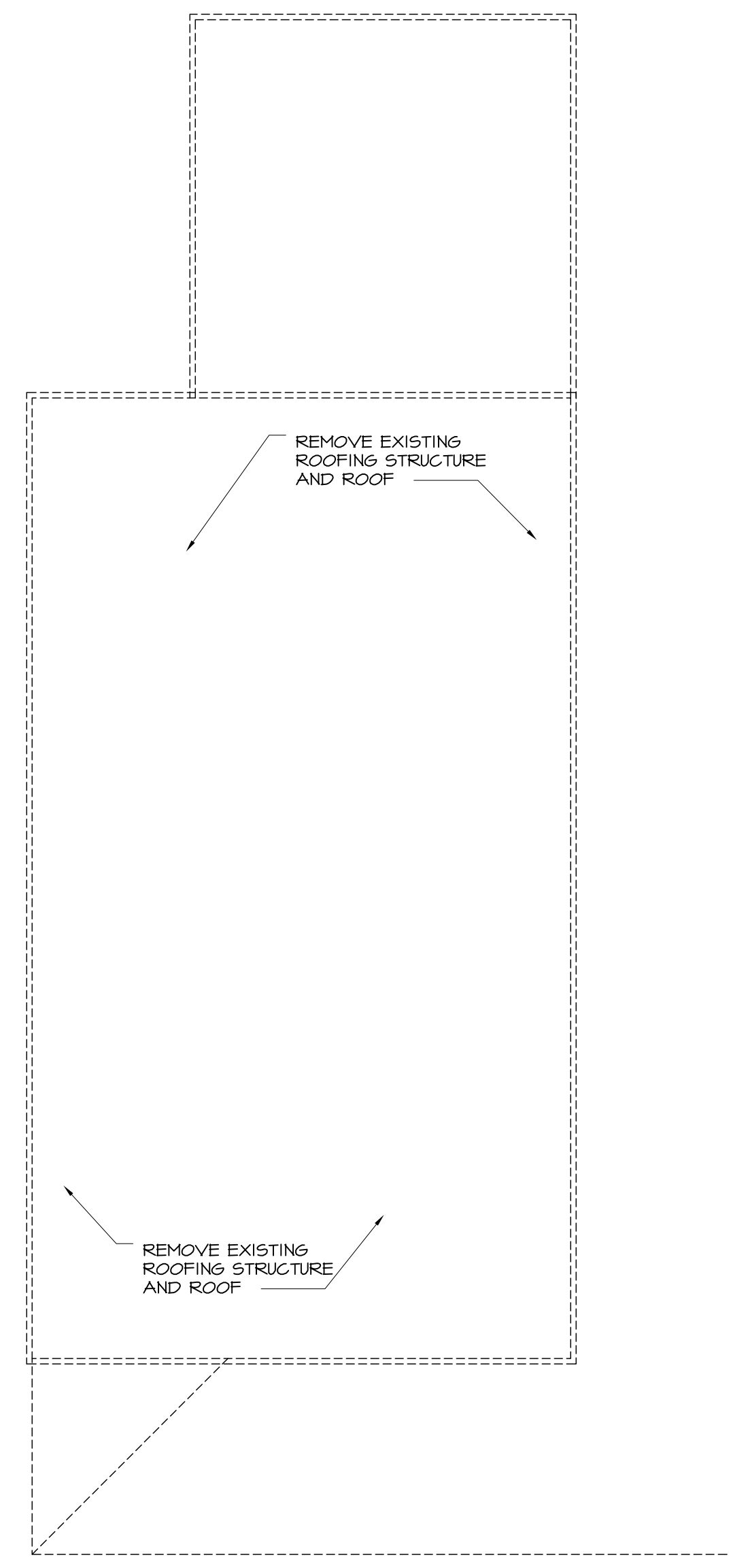
EXISTING FOUNDATION PLAN



EXISTING FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN



EXISTING ROOF PLAN

TrinityHDC
COMMERCIAL & RESIDENTIAL BUILDING DESIGN
1901 E. Franklin Street, Suite 118, Richmond, VA. 23223
Voice: 804.615.2527 Email: andree_manson@comcast.net

SQUARE FOOTAGE	
FIRST FLOOR SF.	861 SF.
SECOND FLOOR SF.	861 SF.
THIRD FLOOR SF.	435 SF.
TOTAL FINISHED SF.	2,157 SF.
(UNFINISHED) TOTAL SF.	- SF.
TOTAL UNDER ROOF SF.	2,157 SF.

REV. DATE	COMMENTS
1	City review comments

House Renovation
1119 N3 31st Street Richmond, VA
Permit # BLDR-040462-2018

CLIENT APPROVAL

DRAWING INDEX	
C-1	COVER AND INFORMATION SHEET
A1-0	EXISTING/DEMO PLANS
A1-1	PROPOSED PLANS / SCHEDULES
A1-2	FRAMING PLANS
A1-3	TYPICAL WALL SECTIONS / ROOF FRAMING
A1-4	HOUSE SECTIONS / ELEVATIONS

Start Date: 04-Feb-19 Plot Date: 26-Jun-19

100% 19-003

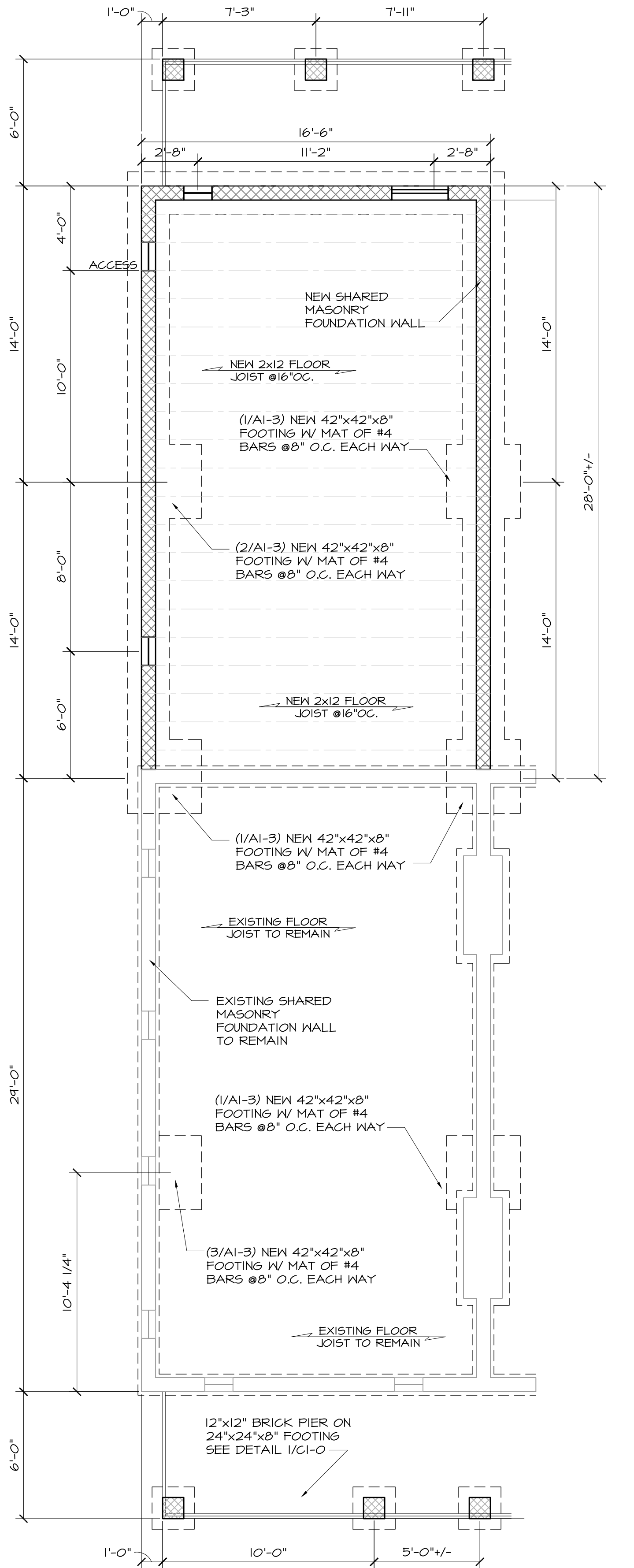
SHEET NUMBER
A1-0

C:\Users\Richmond_0216\AppData\Local\Temp\AutoCAD_110723_2-ARCHITECT\DWG.dwg Jun 26, 2019 - 9:39am Richmond Office

OWNER AND OPERATOR ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF TRINITY HDC. THEY ARE NOT TO BE USED BY THE OWNER OR ANYONE ELSE ON OTHER PROJECTS OR EXTENDED TO THE PROJECT EXCEPT BY WRITTEN AGREEMENT IN WRITING AND WITH APPROPRIATE CONSTRUCTION OF TRINITY HDC.

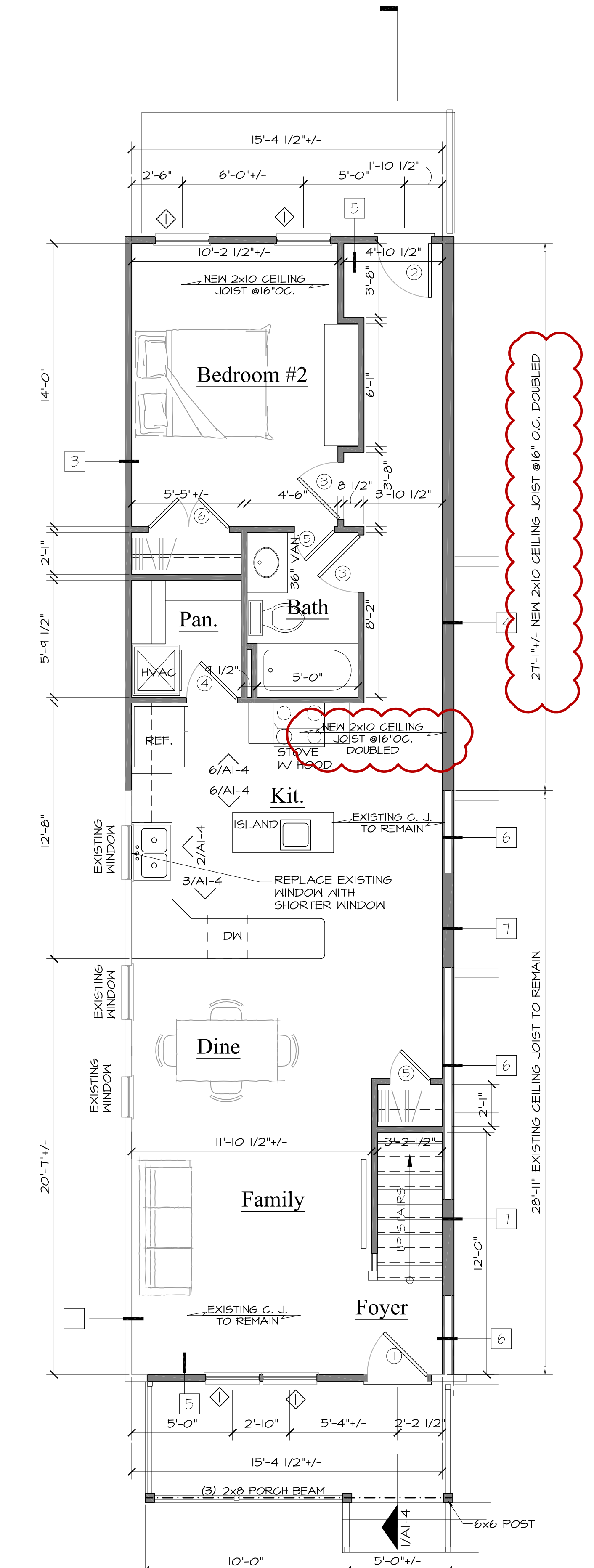
FOUNDATION NOTES:

1. BAND TO BE PRESSURE TREATED AT STOOP DECKS AND PORCHES
2. COORDINATE FLOOR JOIST LAYOUT WITH PLUMBING FIXTURE LOCATION
3. BACKFILL AS REQUIRED TERMITE TREAT GROUND COVER WITH 6 MILL POLY



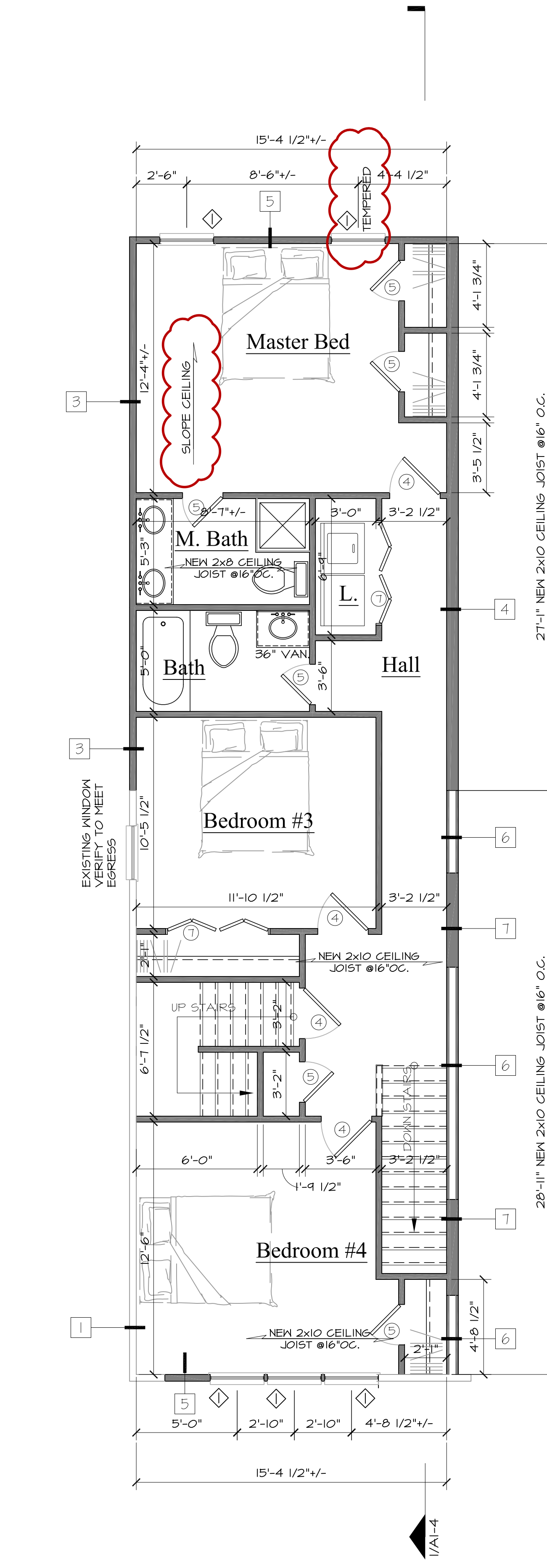
PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



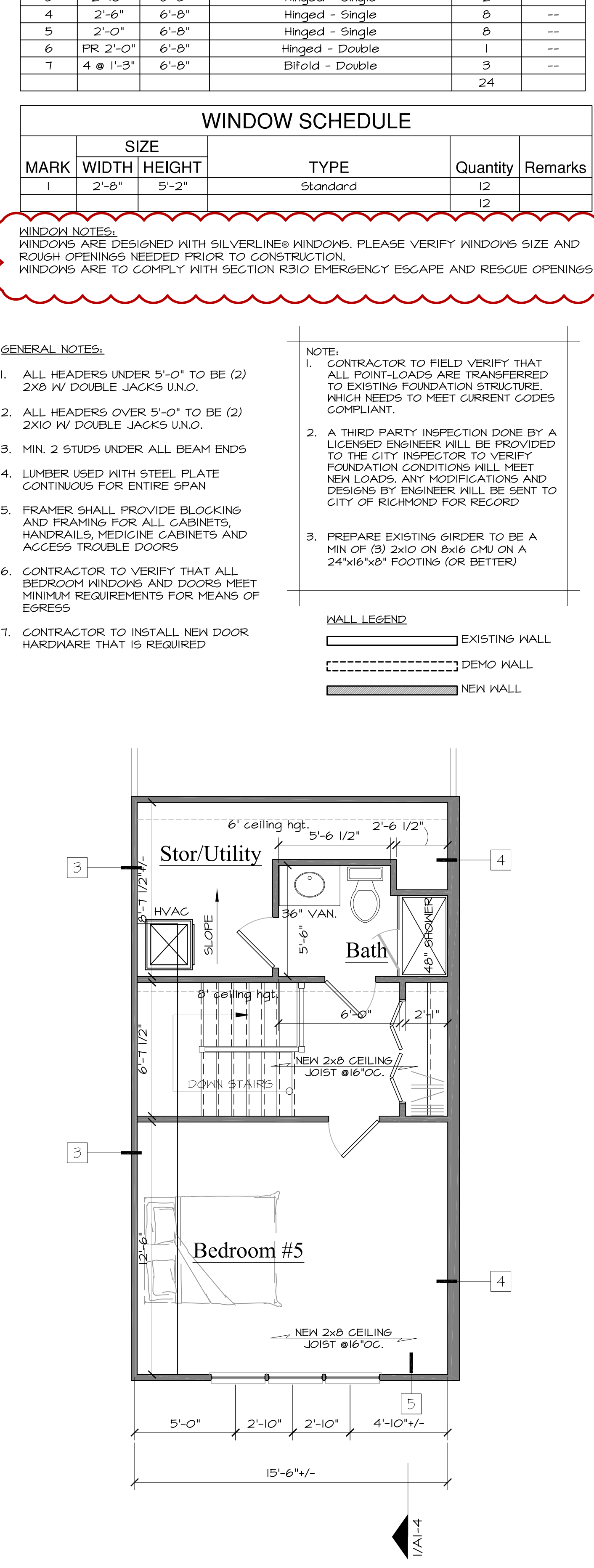
PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE					
DOOR	SIZE		TYPE	Quantity	NOTES
	WIDTH	HEIGHT			
1	3'-0"	6'-8"	Hinged - Single - Exterior	1	--
2	2'-8"	6'-8"	Hinged - Single - Exterior	1	--
3	2'-10"	6'-8"	Hinged - Single	2	--
4	2'-6"	6'-8"	Hinged - Single	8	--
5	2'-0"	6'-8"	Hinged - Single	8	--
6	PR 2'-0"	6'-8"	Hinged - Double	1	--
7	4 @ 1'-3"	6'-8"	Bifold - Double	3	--
				24	

WINDOW SCHEDULE					
MARK	SIZE		TYPE	Quantity	Remarks
	WIDTH	HEIGHT			
1	2'-8"	5'-2"	Standard	12	
				12	

WINDOW NOTES:
WINDOWS ARE DESIGNED WITH SILVERLINE® WINDOWS. PLEASE VERIFY WINDOWS SIZE AND ROUGH OPENINGS NEEDED PRIOR TO CONSTRUCTION. WINDOWS ARE TO COMPLY WITH SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

GENERAL NOTES:

1. ALL HEADERS UNDER 5'-0" TO BE (2) 2x8 W/ DOUBLE JACKS U.N.O.
2. ALL HEADERS OVER 5'-0" TO BE (2) 2x10 W/ DOUBLE JACKS U.N.O.
3. MIN. 2 STUDS UNDER ALL BEAM ENDS
4. LUMBER USED WITH STEEL PLATE CONTINUOUS FOR ENTIRE SPAN
5. FRAMER SHALL PROVIDE BLOCKING AND FRAMING FOR ALL CABINETS, HANDRAILS, MEDICINE CABINETS AND ACCESS TROUBLE DOORS
6. CONTRACTOR TO VERIFY THAT ALL BEDROOM WINDOWS AND DOORS MEET MINIMUM REQUIREMENTS FOR MEANS OF EGRESS
7. CONTRACTOR TO INSTALL NEW DOOR HARDWARE THAT IS REQUIRED

NOTE:

1. CONTRACTOR TO FIELD VERIFY THAT ALL POINT-LOADS ARE TRANSFERRED TO EXISTING FOUNDATION STRUCTURE, WHICH NEEDS TO MEET CURRENT CODES COMPLIANT.
2. A THIRD PARTY INSPECTION DONE BY A LICENSED ENGINEER WILL BE PROVIDED TO THE CITY INSPECTOR TO VERIFY FOUNDATION CONDITIONS WILL MEET NEW LOADS. ANY MODIFICATIONS AND DESIGNS BY ENGINEER WILL BE SENT TO CITY OF RICHMOND FOR RECORD
3. PREPARE EXISTING GIRDER TO BE A MIN OF (3) 2x10 ON 8x16 CMU ON A 24"x16"x8" FOOTING (OR BETTER)

WALL LEGEND

- EXISTING WALL
- DEMO WALL
- NEW WALL

TrinityHDC
COMMERCIAL & RESIDENTIAL BUILDING DESIGN
1901 E. Franklin Street, Suite 118, Richmond, VA. 23223
Voice: 804.615.2527 Email: andrew_manson@comcast.net

SQUARE FOOTAGE	
FIRST FLOOR SF.	861 SF.
SECOND FLOOR SF.	861 SF.
THIRD FLOOR SF.	435 SF.
TOTAL FINISHED SF.	2,157 SF.
(UNFINISHED) TOTAL SF.	- SF.
TOTAL UNDER ROOF SF.	2,157 SF.

REV.	DATE	COMMENTS
1		City review comments

House Renovation
1119 N3 31st Street Richmond, VA
Permit # BLDR-040462-2018
CLIENT APPROVAL

DRAWING INDEX	
C-1	COVER AND INFORMATION SHEET
A1-0	EXISTING/DEMO PLANS
A1-1	PROPOSED PLANS / SCHEDULES
A1-2	FRAMING PLANS
A1-3	TYPICAL WALL SECTIONS / ROOF FRAMING
A1-4	DOOR SECTIONS / ELEVATIONS

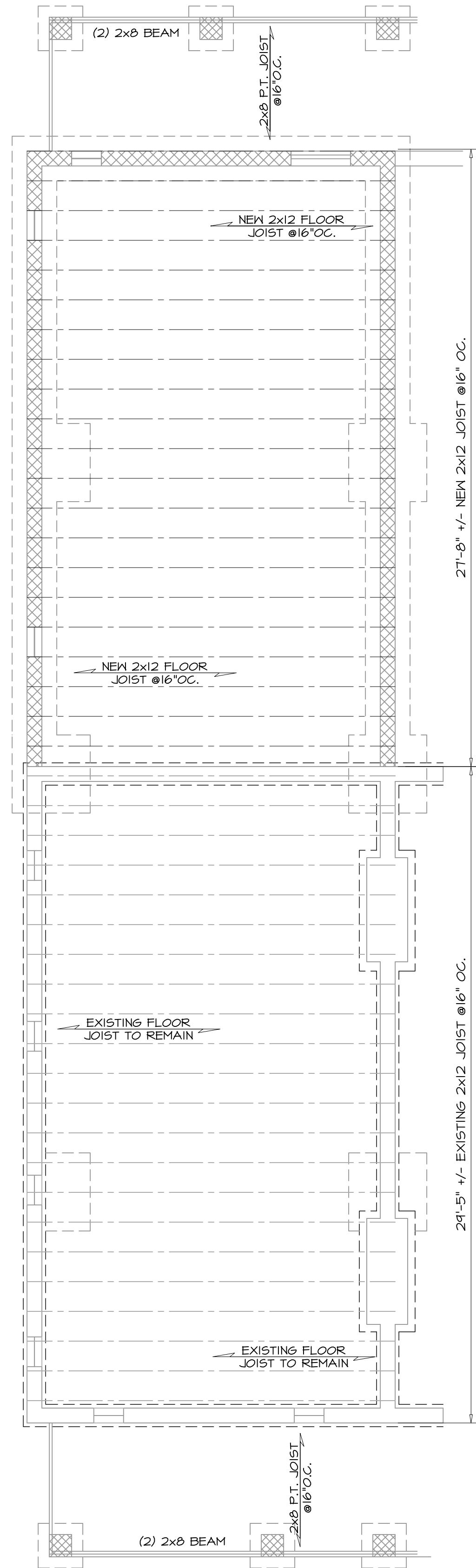
Start Date: 04-Feb-19 Plot Date: 26-Jun-19
100% 19-003
SHEET NUMBER
A1-1

C:\Users\Richmond\OneDrive\Documents\110723_ARCHITECTURAL.dwg Jun 26, 2019 - 9:40am Richmond Office

DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE SOLELY THE PROPERTY OF TRINITY HDC. THEY ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF TRINITY HDC. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF TRINITY HDC IS STRICTLY PROHIBITED.

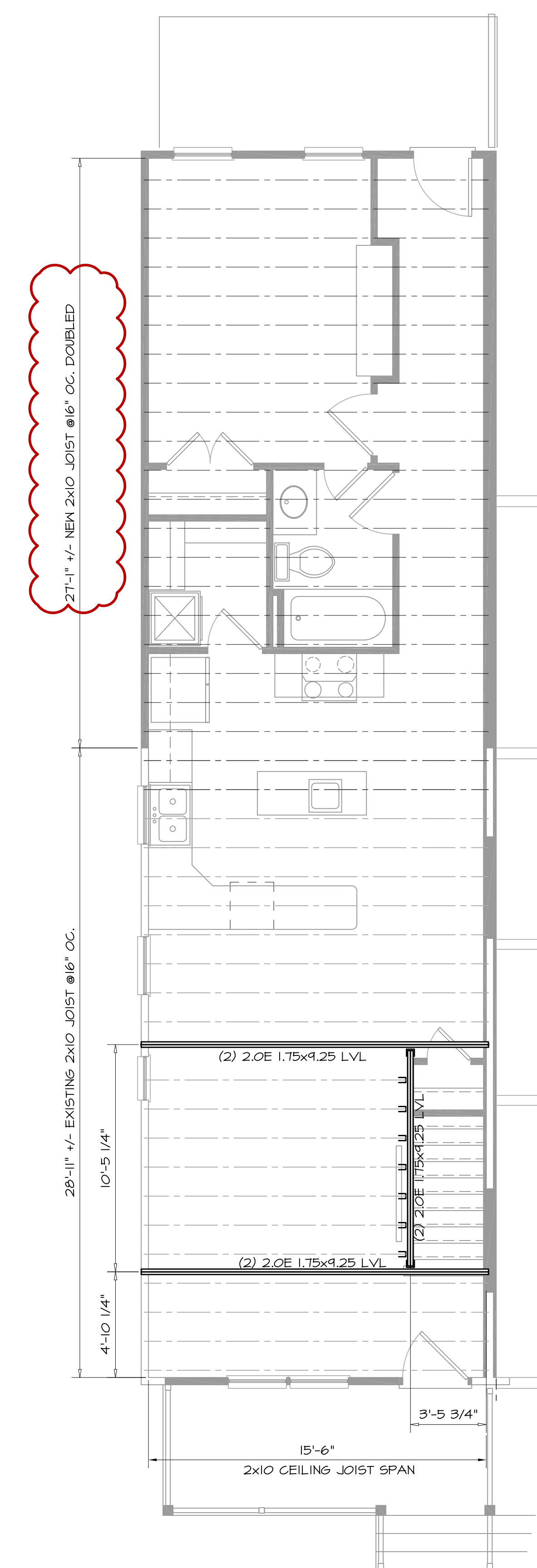
FRAMING NOTES:

1. BAND TO BE PRESSURE TREATED AT STOOP DECKS AND PORCHES
2. COORDINATE FLOOR JOIST LAYOUT WITH PLUMBING FIXTURE LOCATION



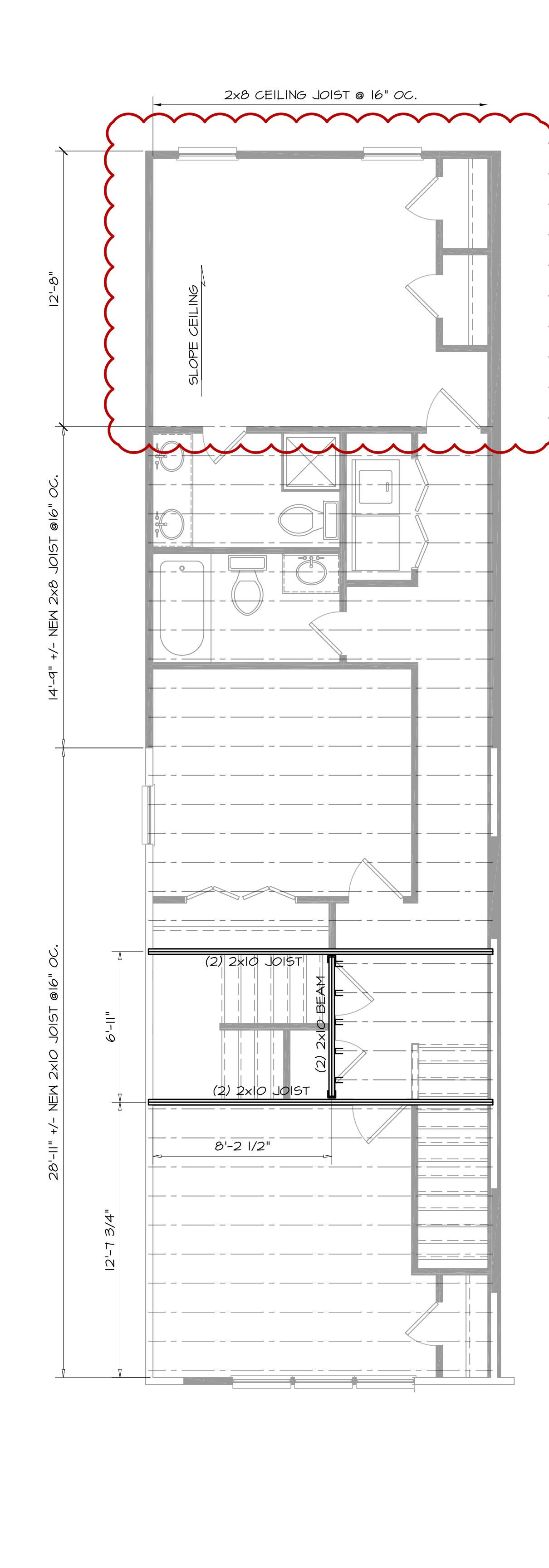
PROPOSED FOUNDATION FRAMING PLAN

SCALE: 1/4" = 1'-0"



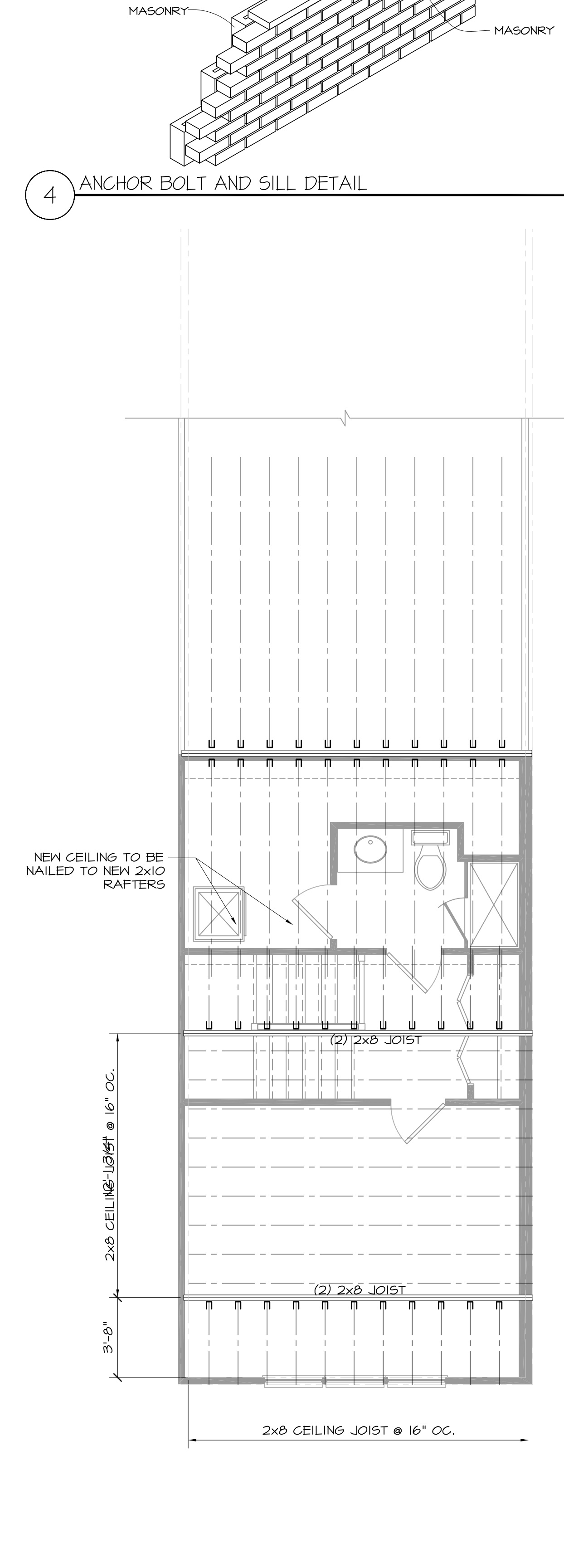
PROPOSED FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



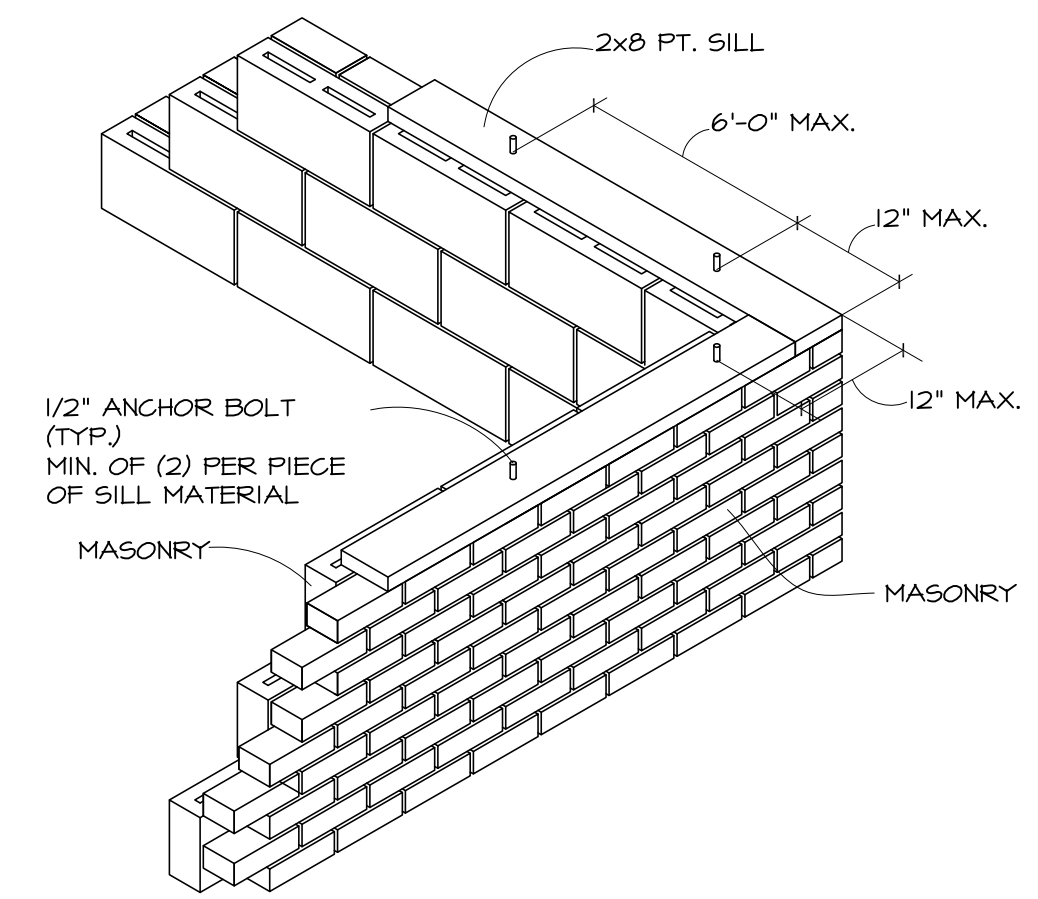
PROPOSED SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



PROPOSED THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



4 ANCHOR BOLT AND SILL DETAIL

SCALE: 3/4" = 1'-0"

TrinityHDC
COMMERCIAL & RESIDENTIAL BUILDING DESIGN

1901 E. Franklin Street, Suite 118, Richmond, VA, 23223
Voice: 804.615.2527 Email: andrew_manson@comcast.net

DRAWING INDEX	
C-1	COVER AND INFORMATION SHEET
A1-0	EXISTING/DEMO PLANS
A1-1	PROPOSED PLANS / SCHEDULES
A1-2	FRAMING PLANS
A1-3	TYPICAL WALL SECTIONS / ROOF FRAMING
A1-4	HOUSE SECTIONS / ELEVATIONS

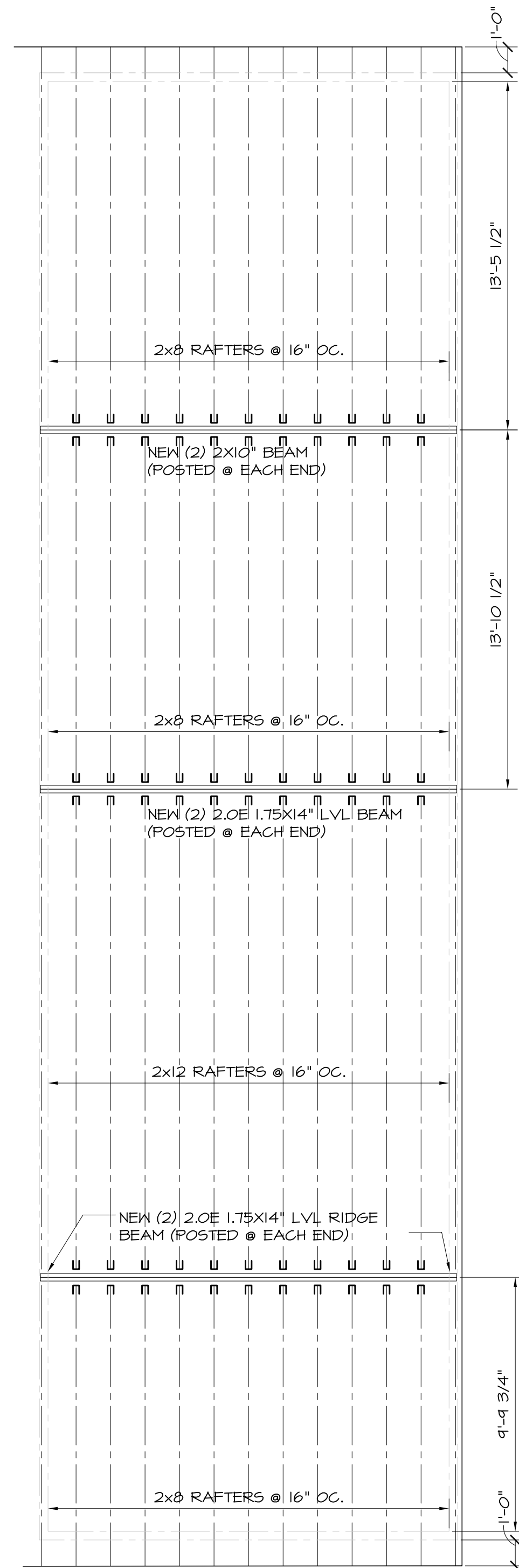
REV.	DATE	COMMENTS
1		City review comments

SQUARE FOOTAGE	
FIRST FLOOR SF.	861 SF.
SECOND FLOOR SF.	861 SF.
THIRD FLOOR SF.	435 SF.
TOTAL FINISHED SF.	2,157 SF.
(UNFINISHED) TOTAL SF.	0 SF.
TOTAL UNDER ROOF SF.	2,157 SF.

House Renovation
1119 N3 31st Street Richmond, VA
Permit # BLDR-040462-2018

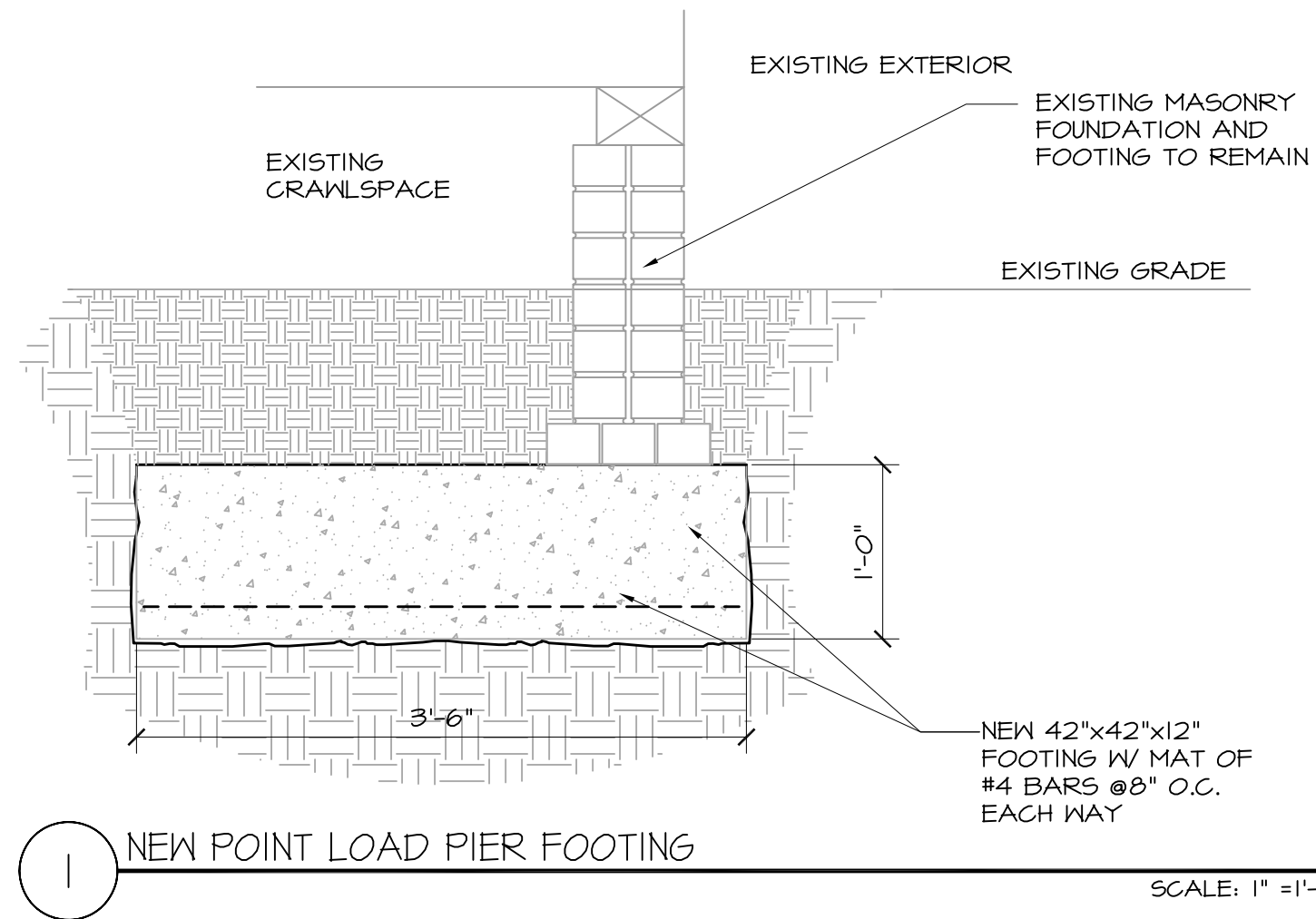
CLIENT APPROVAL _____

Start Date:	04-Feb-19	Plot Date:	26-Jun-19
100% 19-003			
SHEET NUMBER			
A1-2			



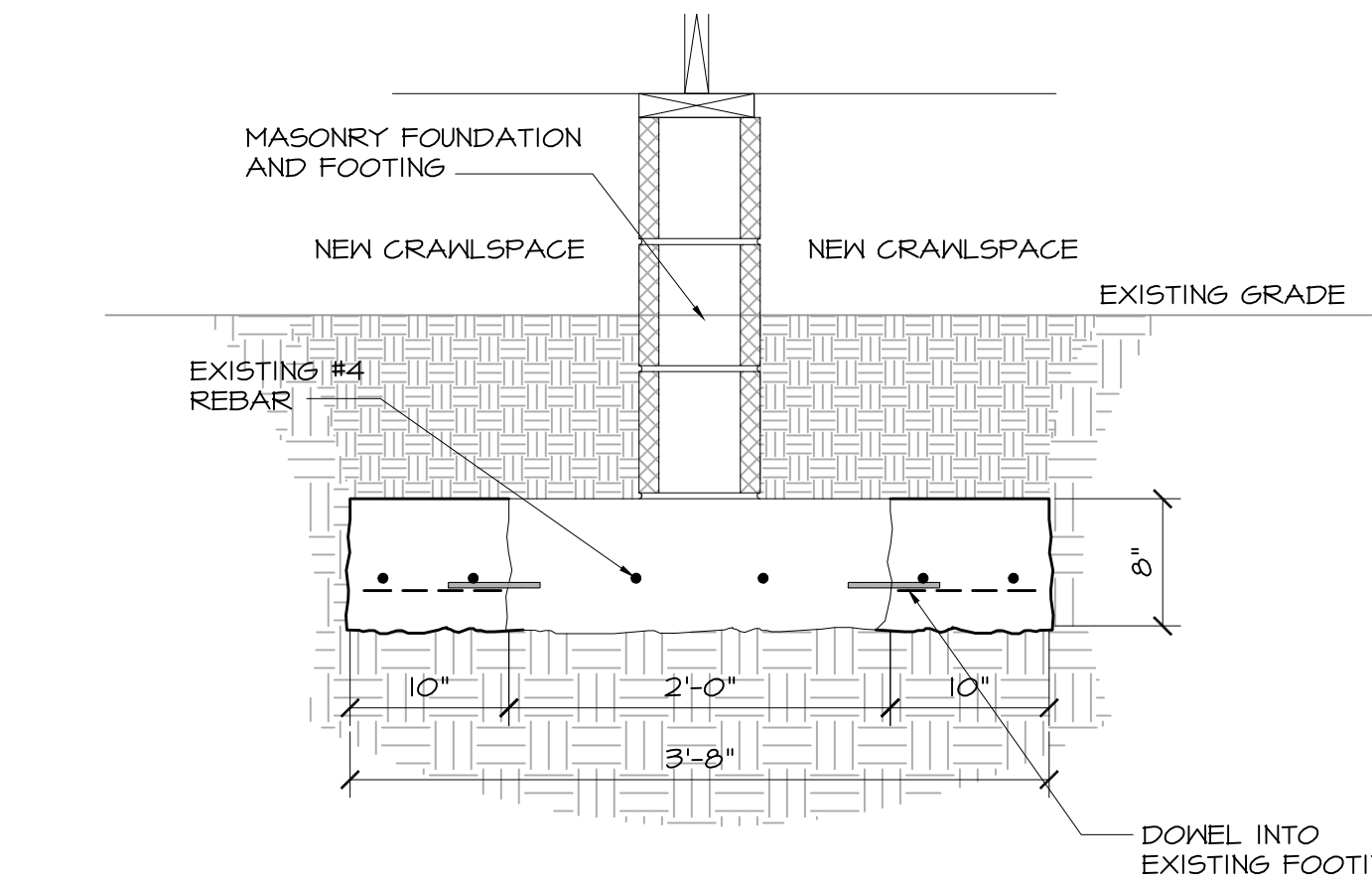
PROPOSED ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



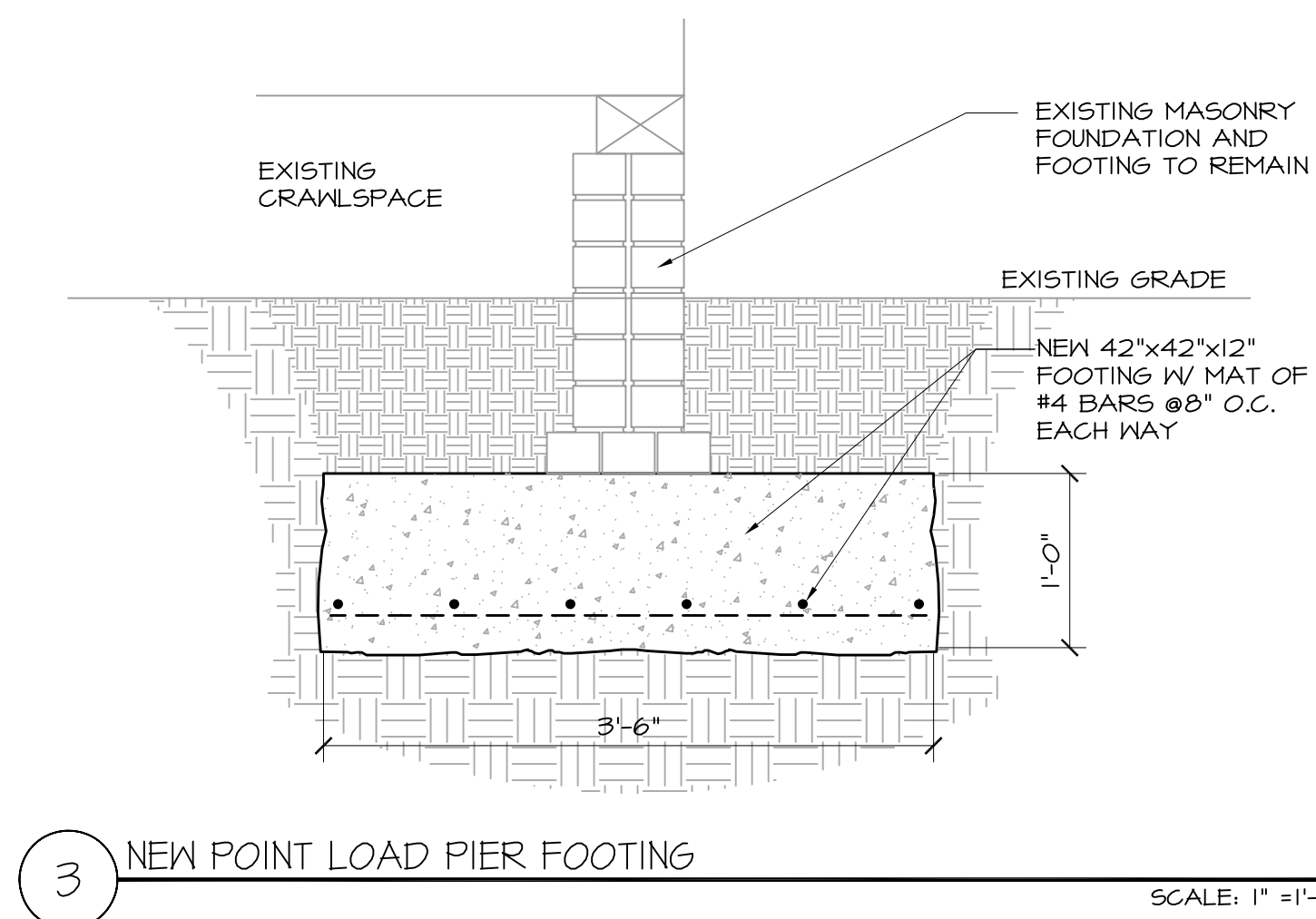
1 NEW POINT LOAD PIER FOOTING

SCALE: 1" = 1'-0"



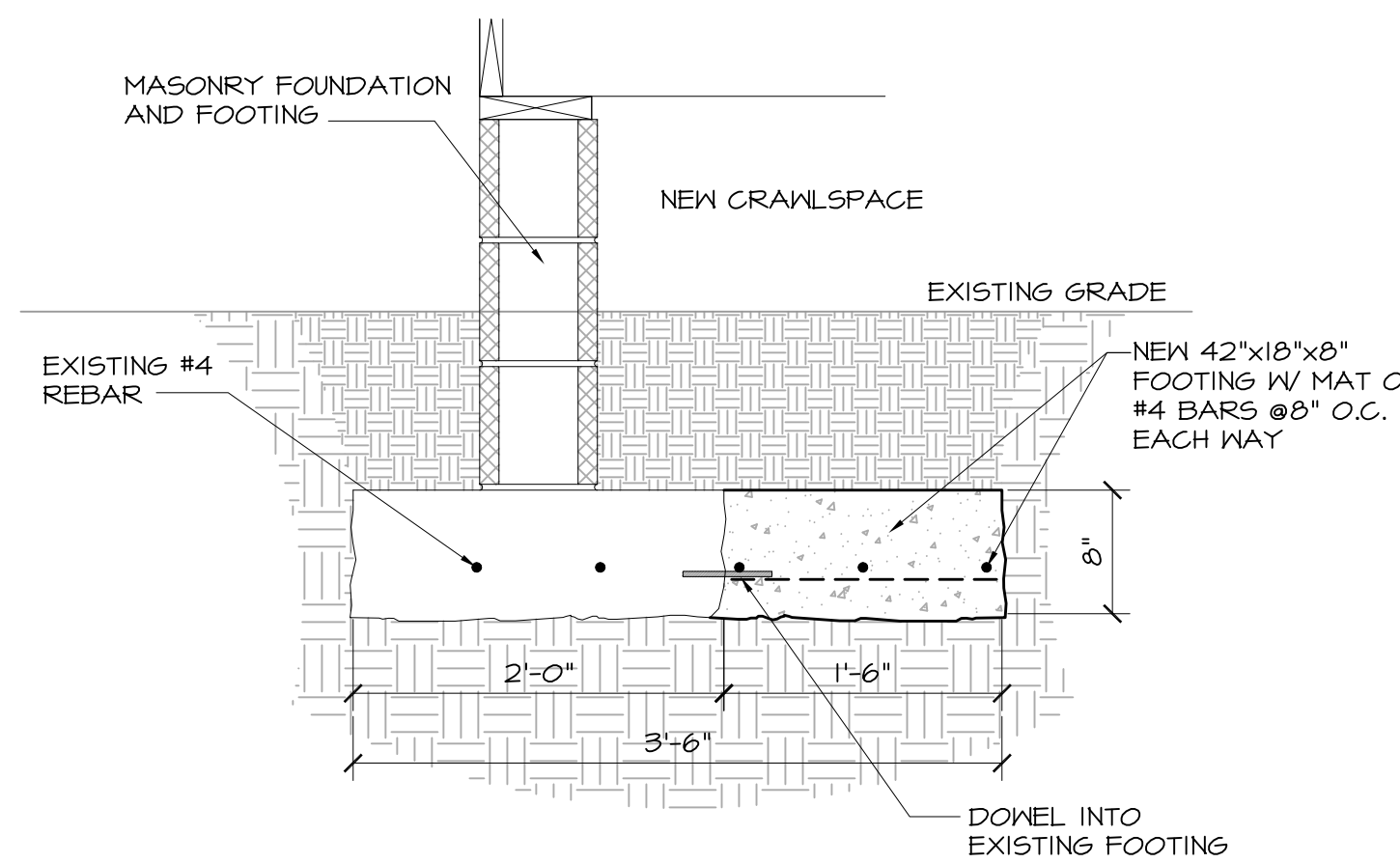
2 NEW POINT LOAD PIER FOOTING ADDED TO NEW FOOTING

SCALE: 1" = 1'-0"



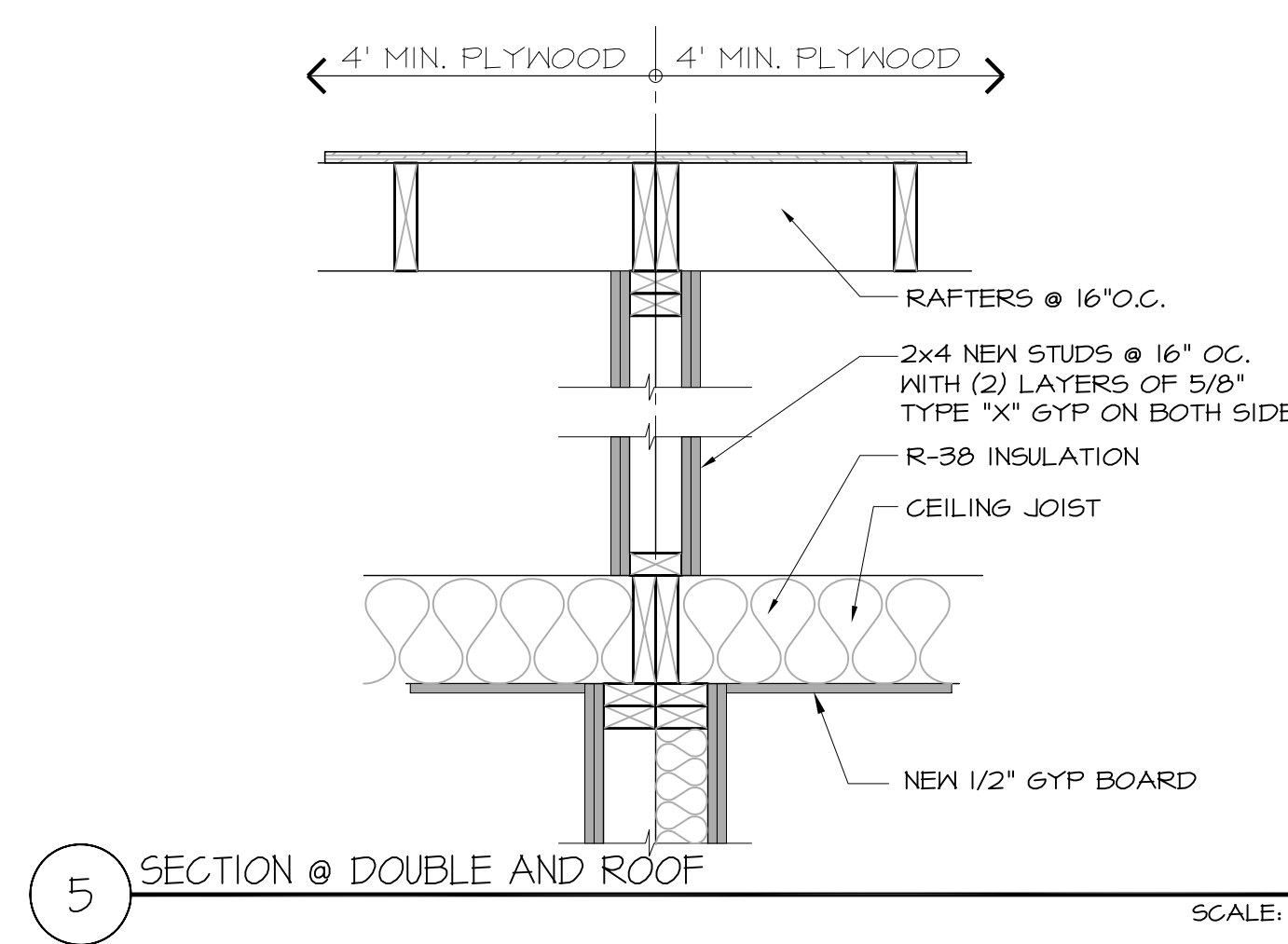
3 NEW POINT LOAD PIER FOOTING

SCALE: 1" = 1'-0"



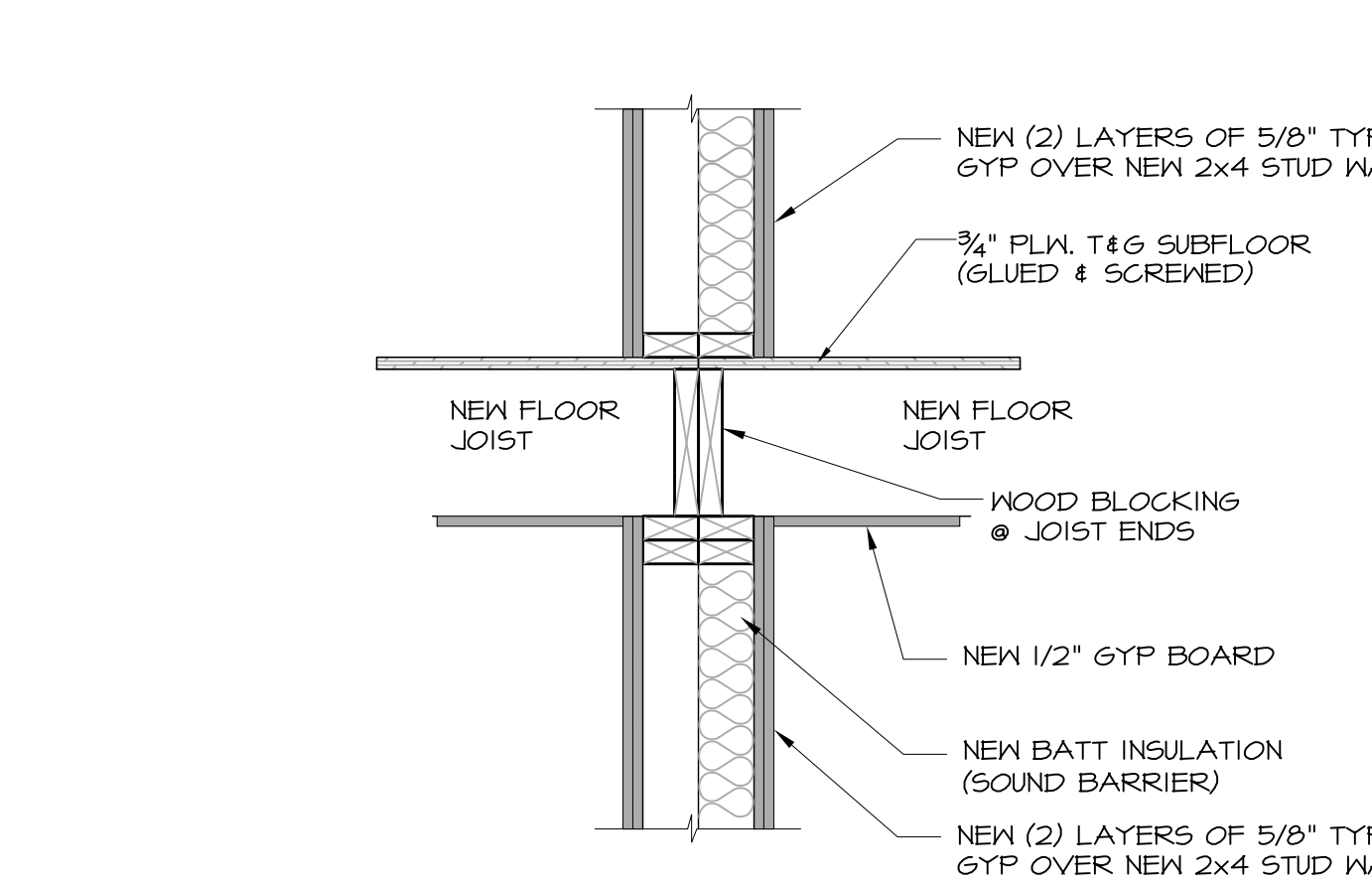
4 NEW POINT LOAD PIER FOOTING ADDED TO NEW FOOTING

SCALE: 1" = 1'-0"



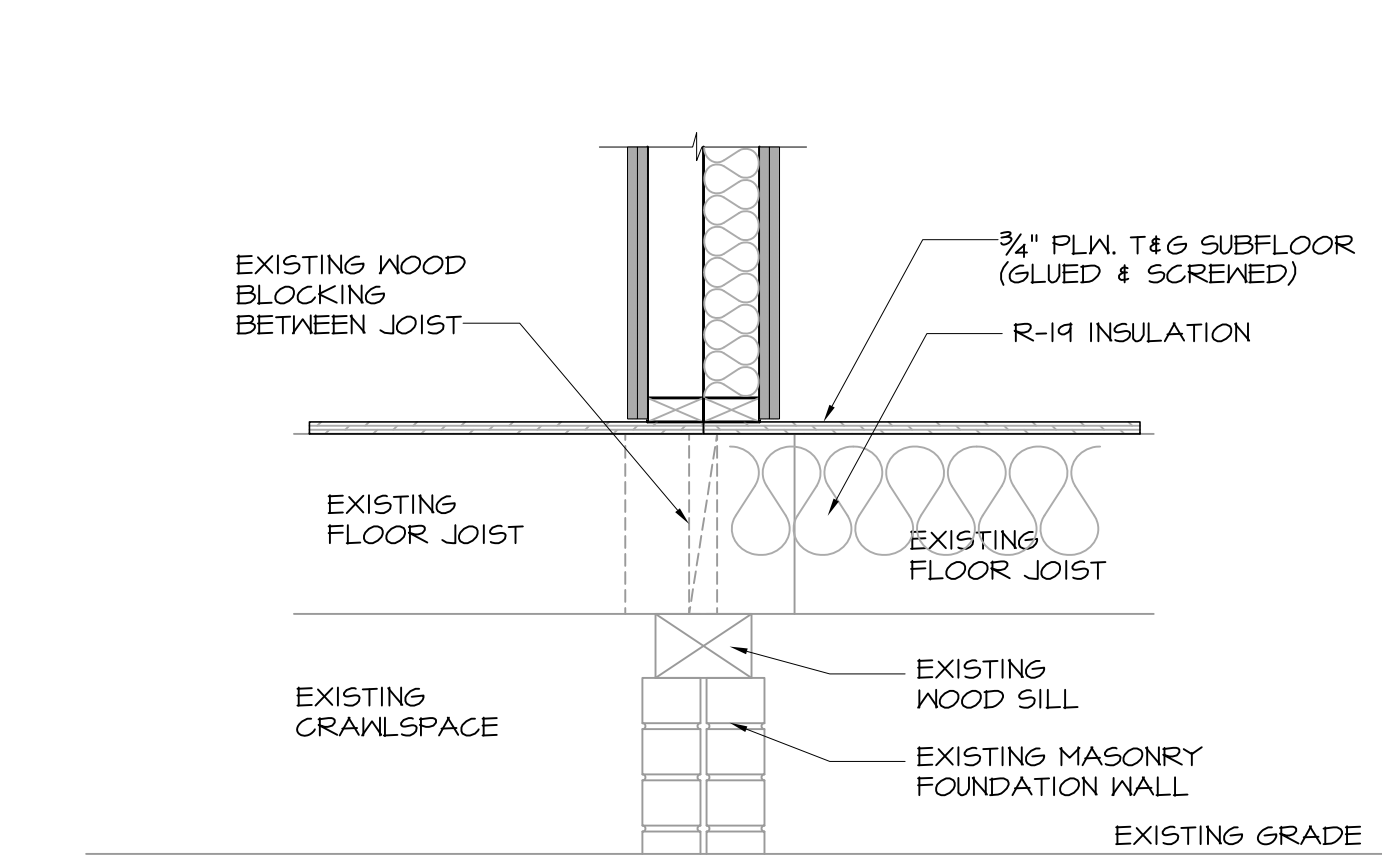
5 SECTION @ DOUBLE AND ROOF

SCALE: 1" = 1'-0"



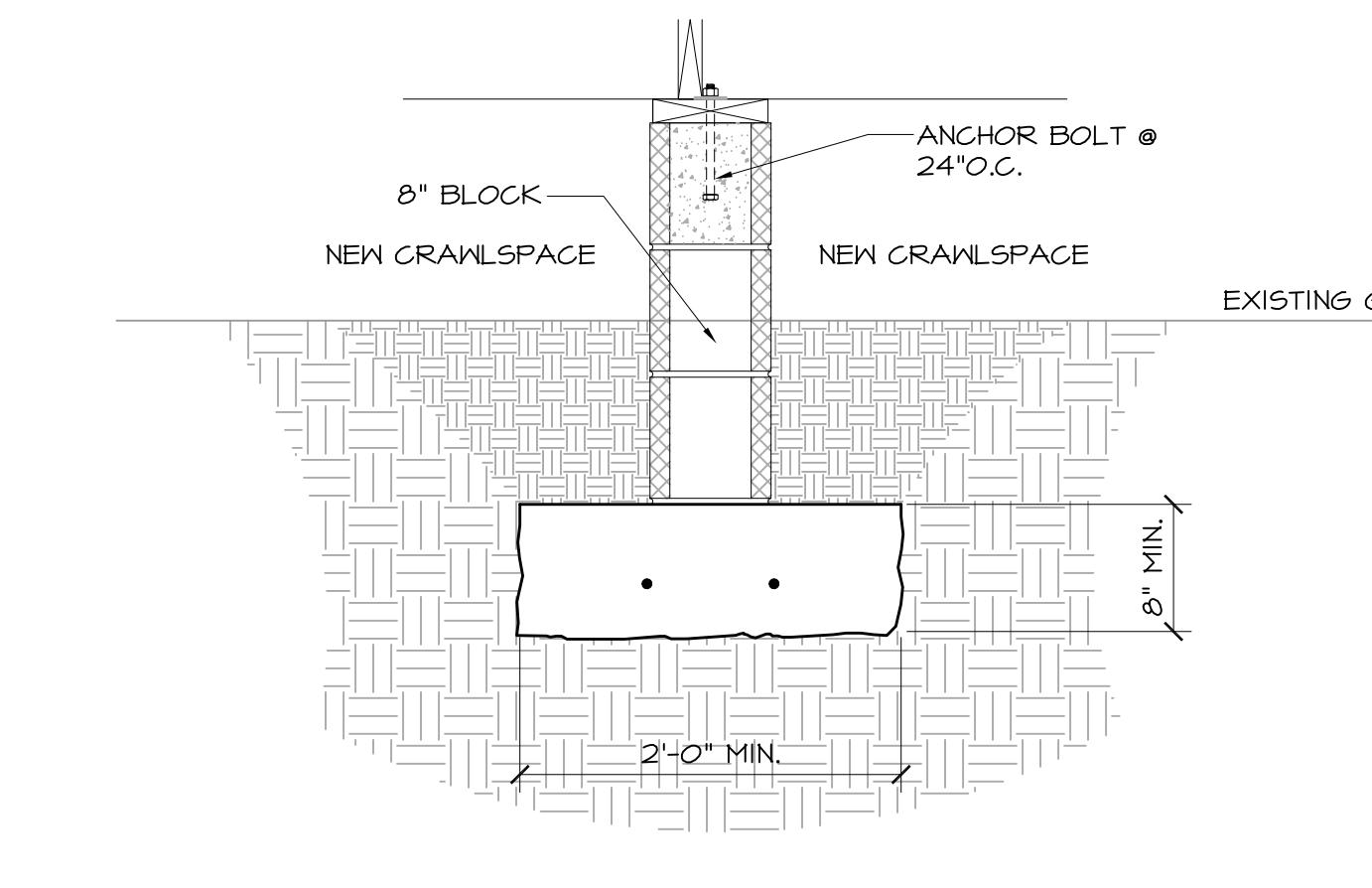
6 DOUBLE WALL @ INTERMEDIATE FLOOR

SCALE: 1" = 1'-0"



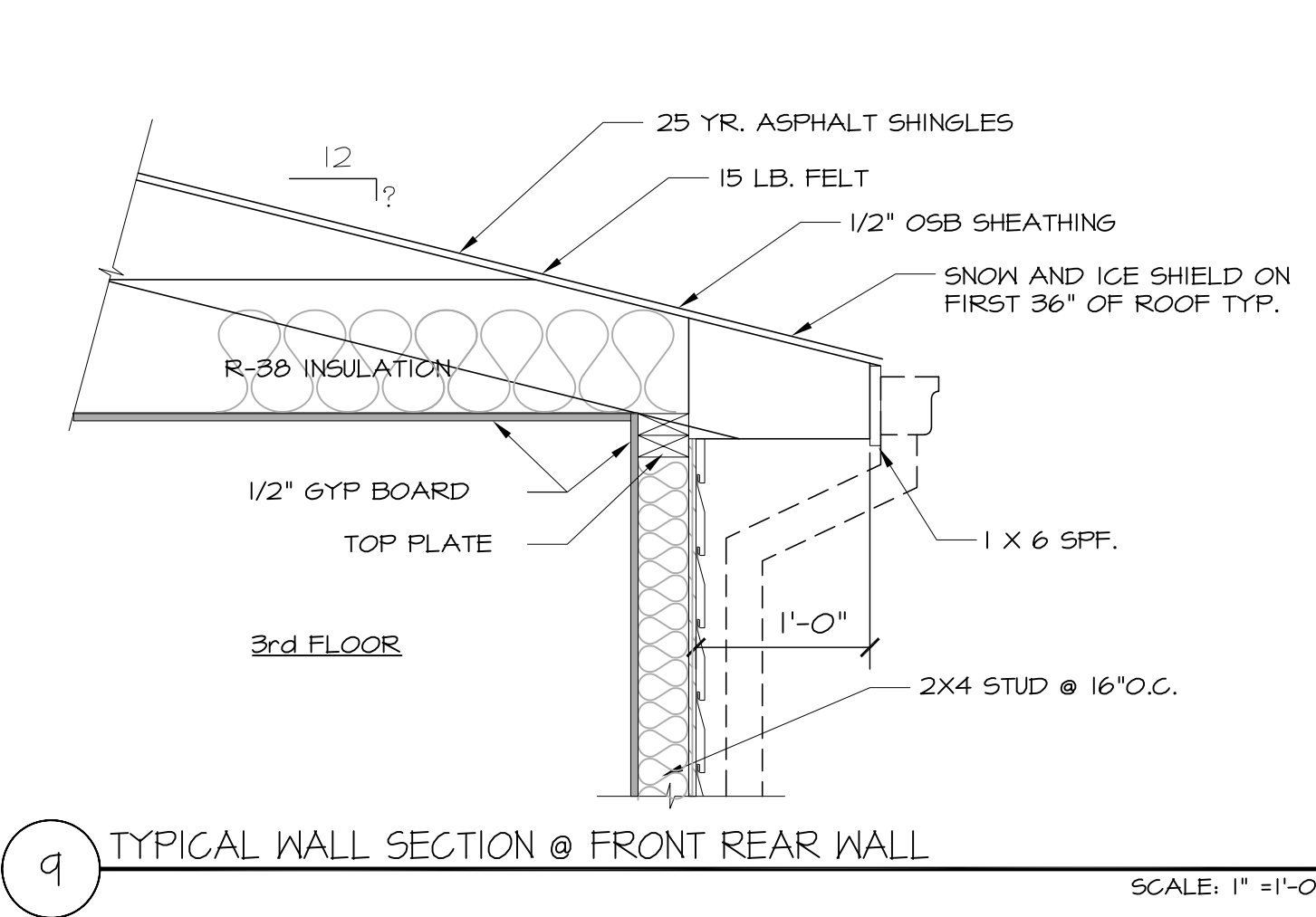
7 DOUBLE WALL @ EXISTING FOUNDATION

SCALE: 1" = 1'-0"



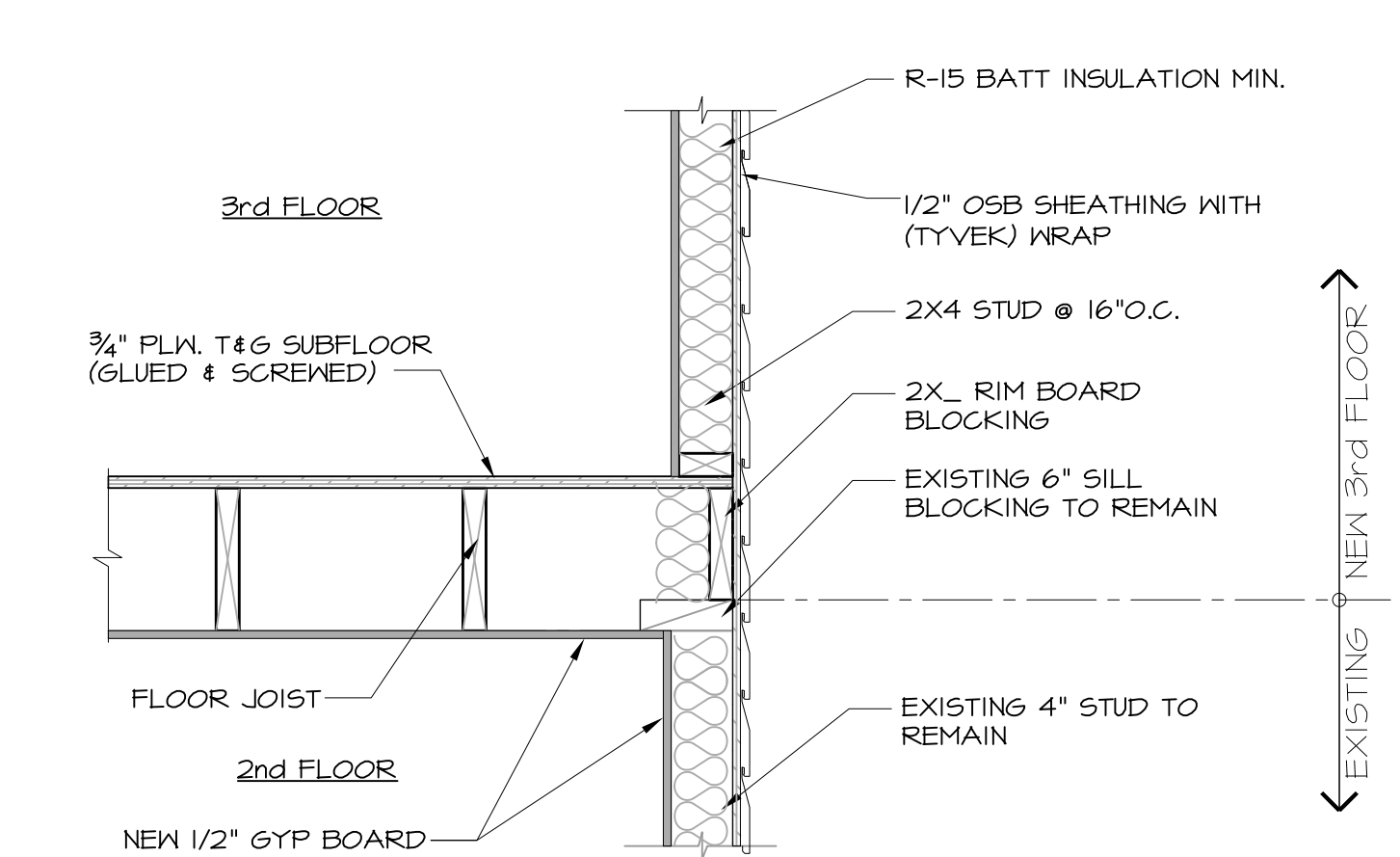
8 NEW FOOTING AND FOUNDATION WALL

SCALE: 1" = 1'-0"



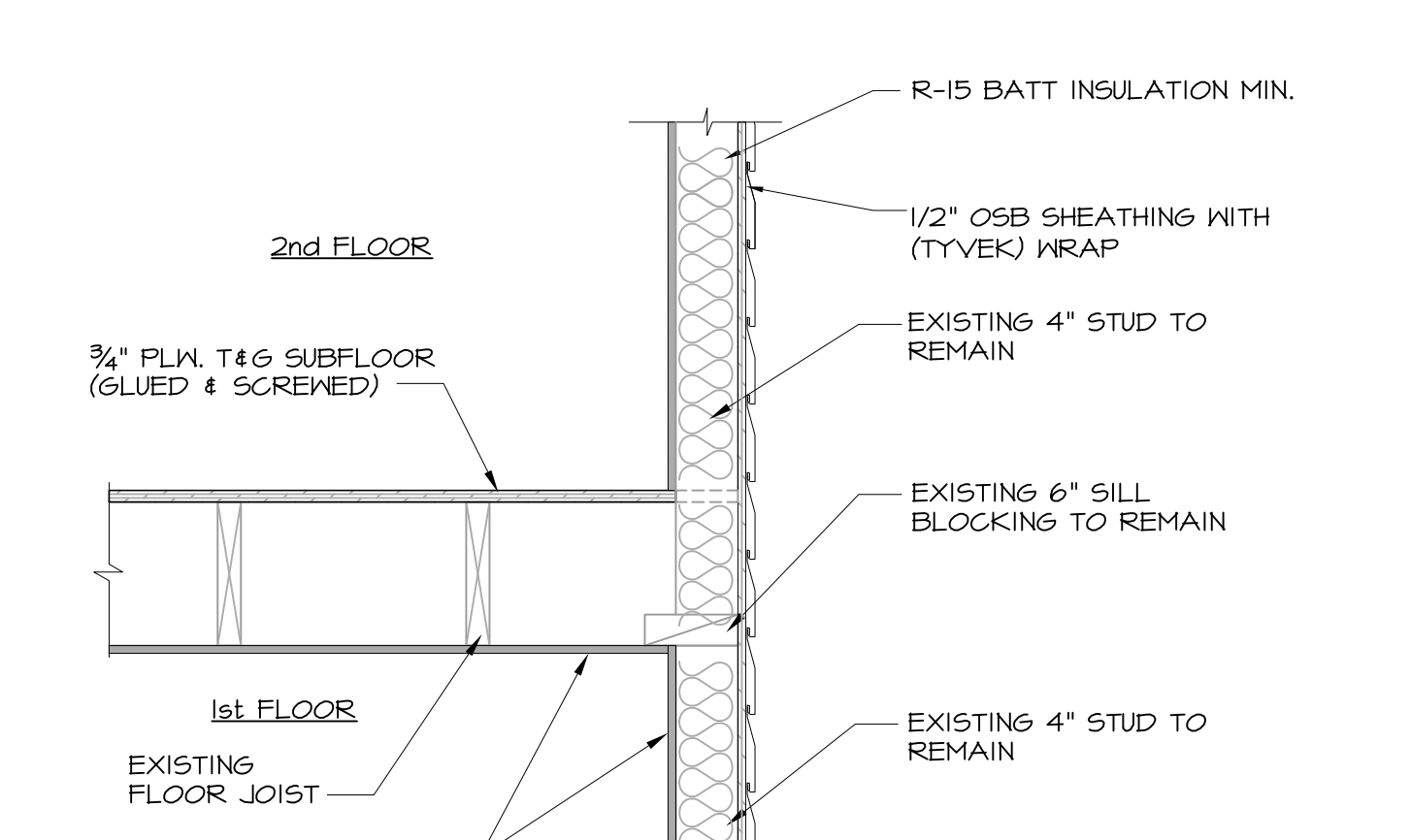
9 TYPICAL WALL SECTION @ FRONT REAR WALL

SCALE: 1" = 1'-0"



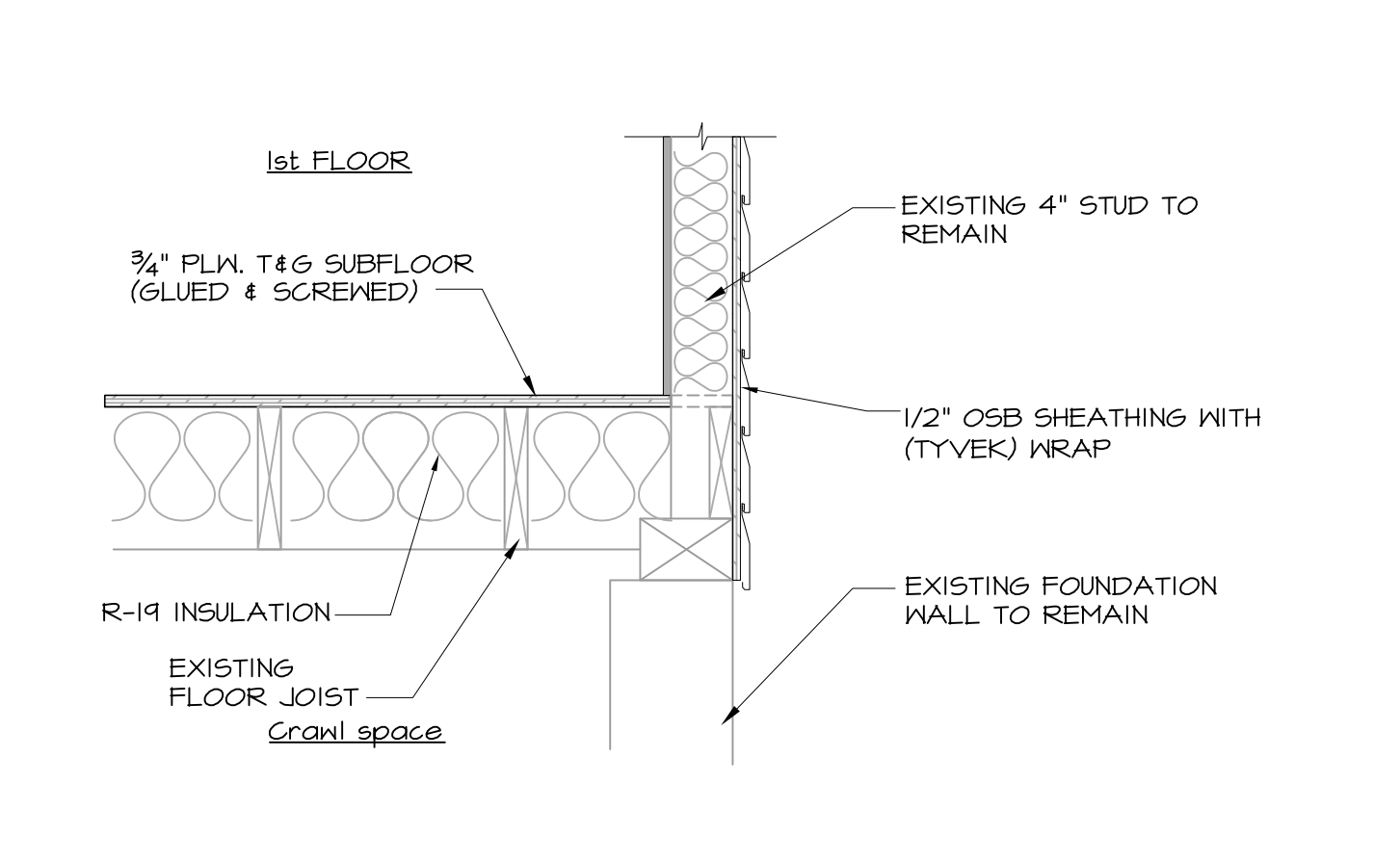
10 TYPICAL WALL SECTION @ FRONT WALL

SCALE: 1" = 1'-0"



11 TYPICAL WALL SECTION @ FRONT WALL

SCALE: 1" = 1'-0"



12 TYPICAL WALL SECTION @ FRONT WALL

SCALE: 1" = 1'-0"

SQUARE FOOTAGE	
FIRST FLOOR SF.	861 SF.
SECOND FLOOR SF.	861 SF.
THIRD FLOOR SF.	435 SF.
TOTAL FINISHED SF.	2,157 SF.
(UNFINISHED) TOTAL SF.	- SF.
TOTAL UNDER ROOF SF.	2,157 SF.

REV.	DATE	DESCRIPTION
1		City review comments

House Renovation
1119 N3 31st Street Richmond, VA
Permit # BLDR-040462-2018

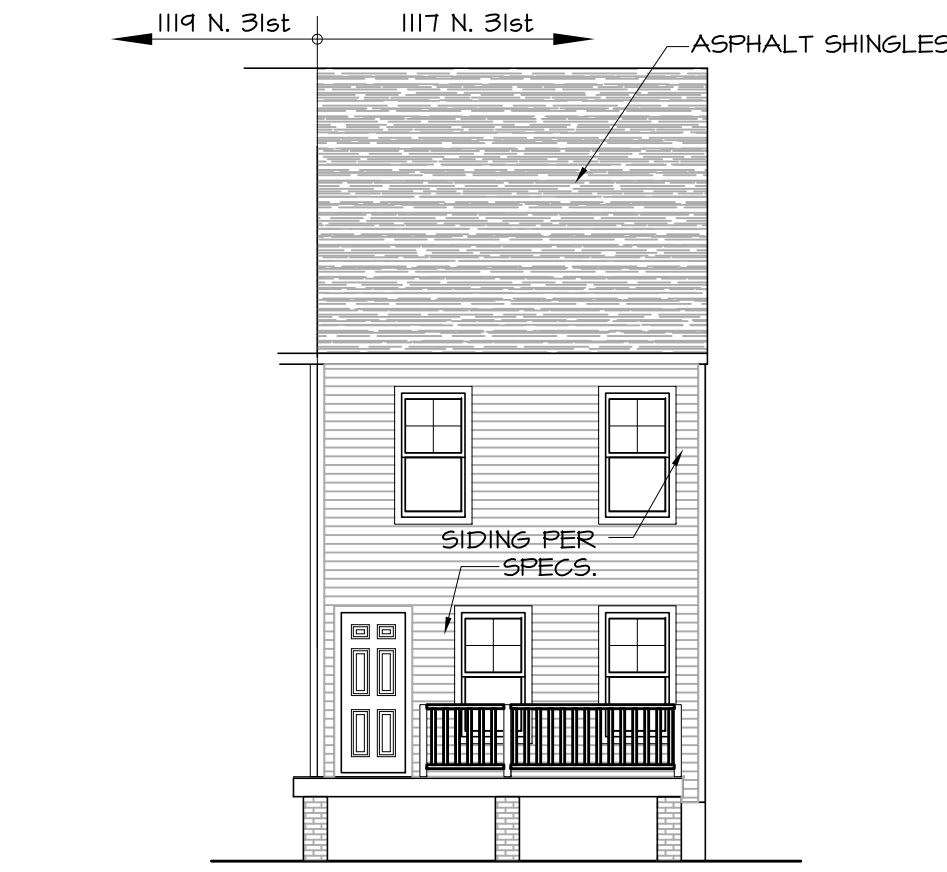
CLIENT APPROVAL

DRAWING INDEX	
C-1	COVER AND INFORMATION SHEET
A1-0	EXISTING/DEMO PLANS
A1-1	PROPOSED PLANS / SCHEDULES
A1-2	FRAMING PLANS
A1-3	TYPICAL WALL SECTIONS / ROOF FRAMING
A1-4	HOUSE SECTIONS / ELEVATIONS

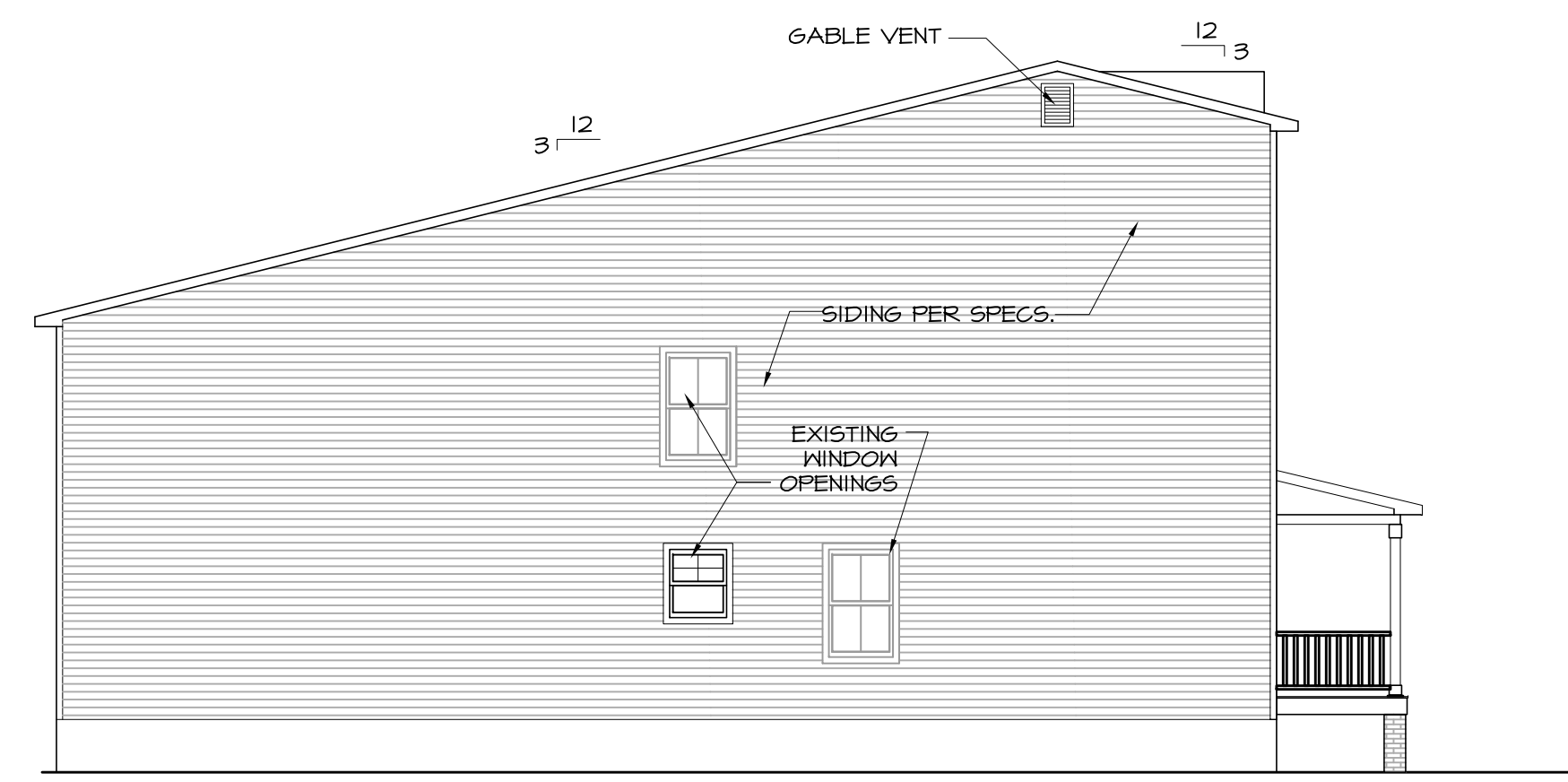
Start Date: 04-Feb-19 Plot Date: 26-Jun-19
100% 19-003
SHEET NUMBER
A1-3

C:\Users\Richmond\OneDrive\Documents\Projects\110723_ARCHITECTURAL.dwg Jun 26, 2019 - 9:40am Richmond Office

DRAWING NOT SPECIFICALLY AS INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF TRINITY HDC. THEY ARE NOT TO BE USED BY THE OWNER OR ANYONE ELSE ON OTHER PROJECTS OR CONTRACTS TO THE PROJECT EXCEPT BY PRIOR AGREEMENT IN WRITING AND WITH APPROPRIATE CORRECTION TO TRINITY HDC.



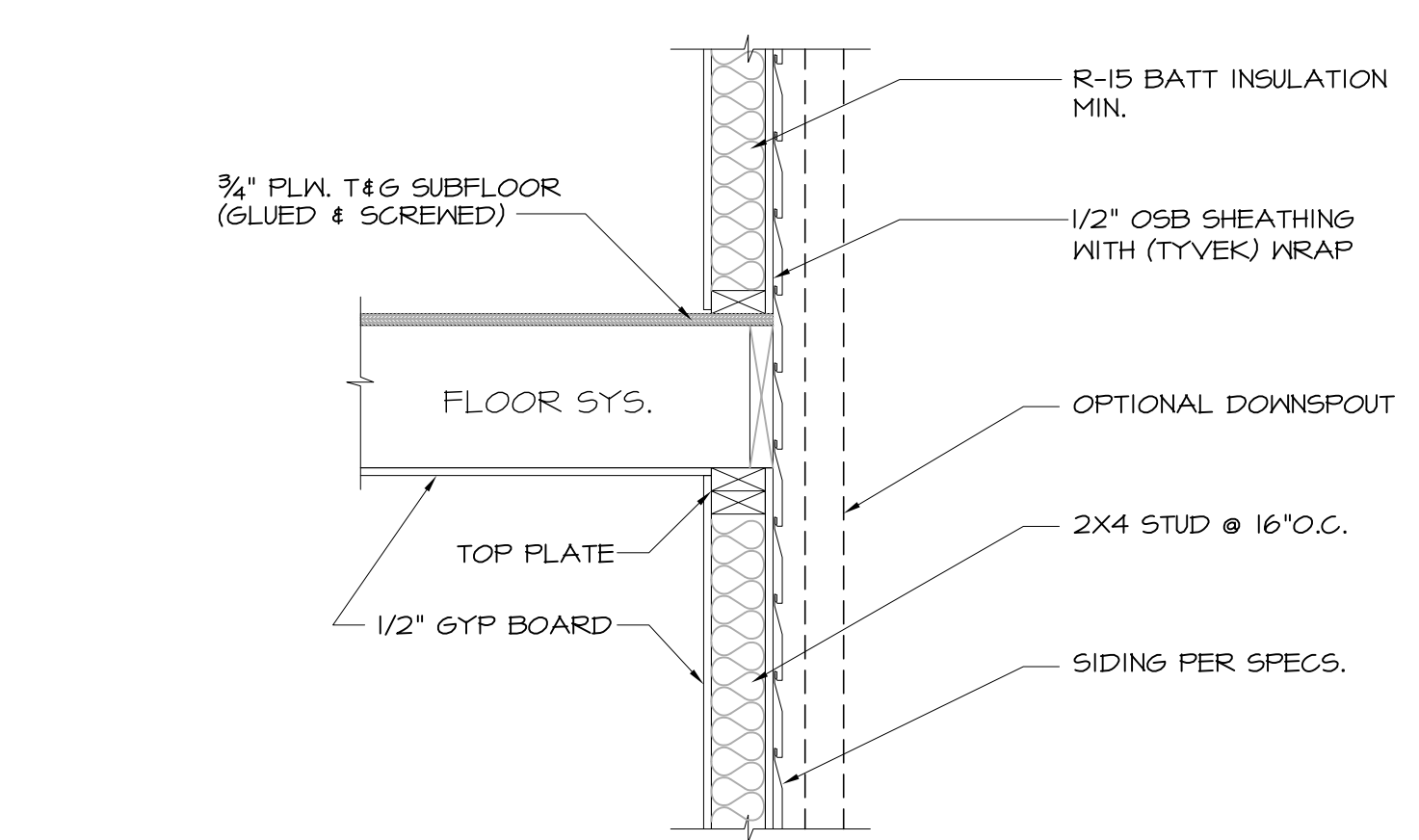
REAR ELEVATION
SCALE: 1/8" = 1'-0"



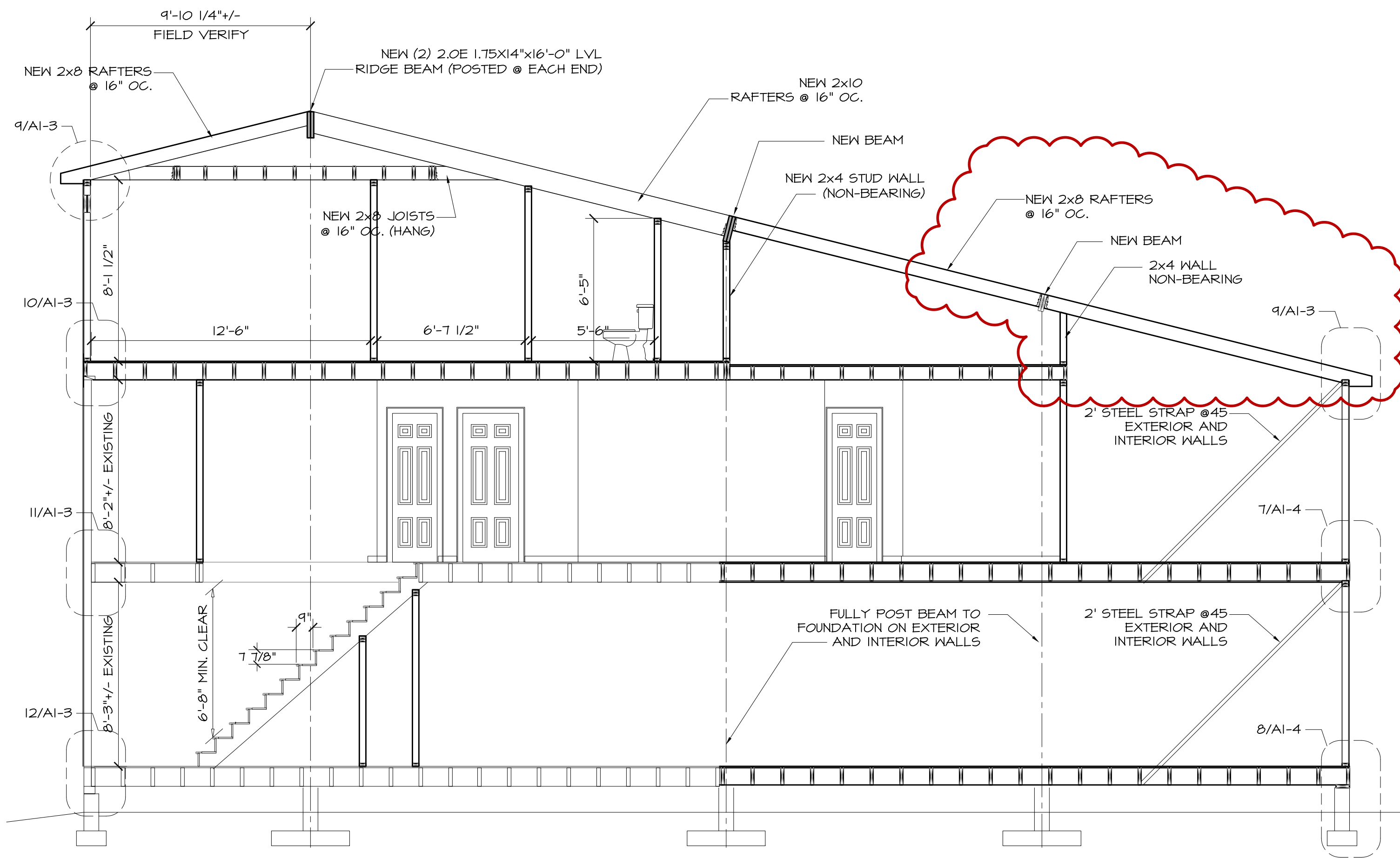
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



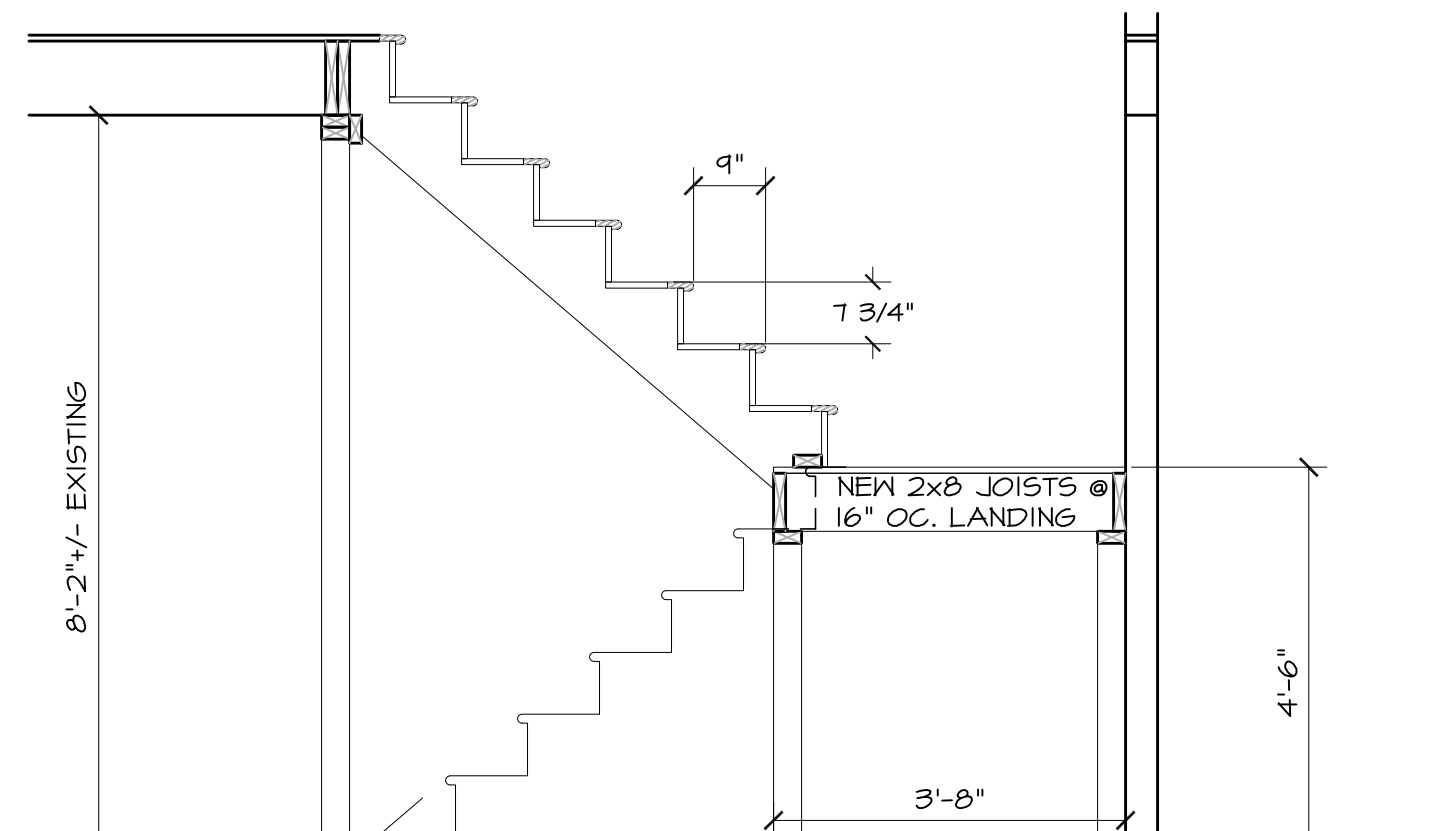
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



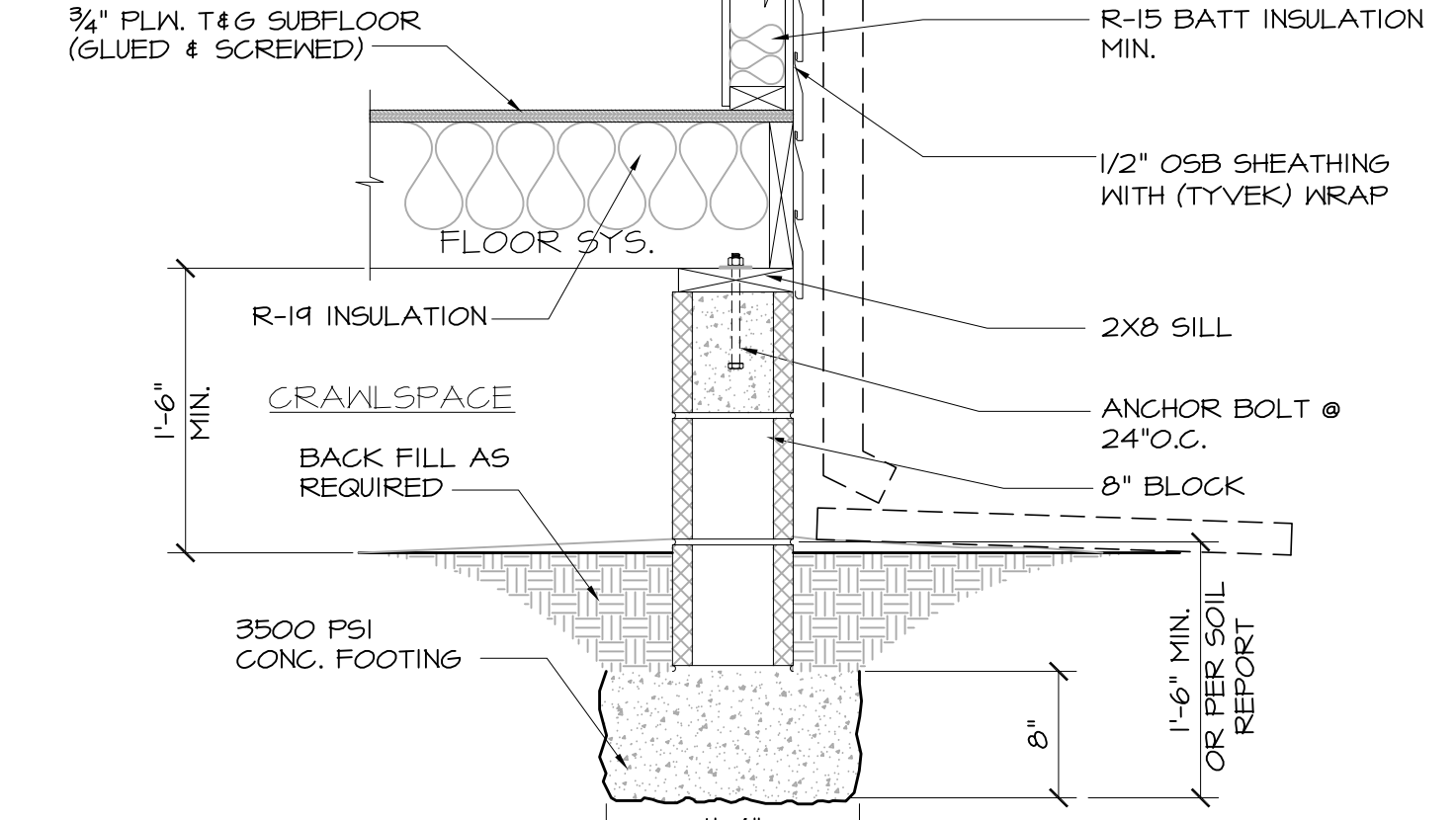
7 TYPICAL WALL SECTION @ INTERMEDIATE FLOOR
SCALE: 1" = 1'-0"



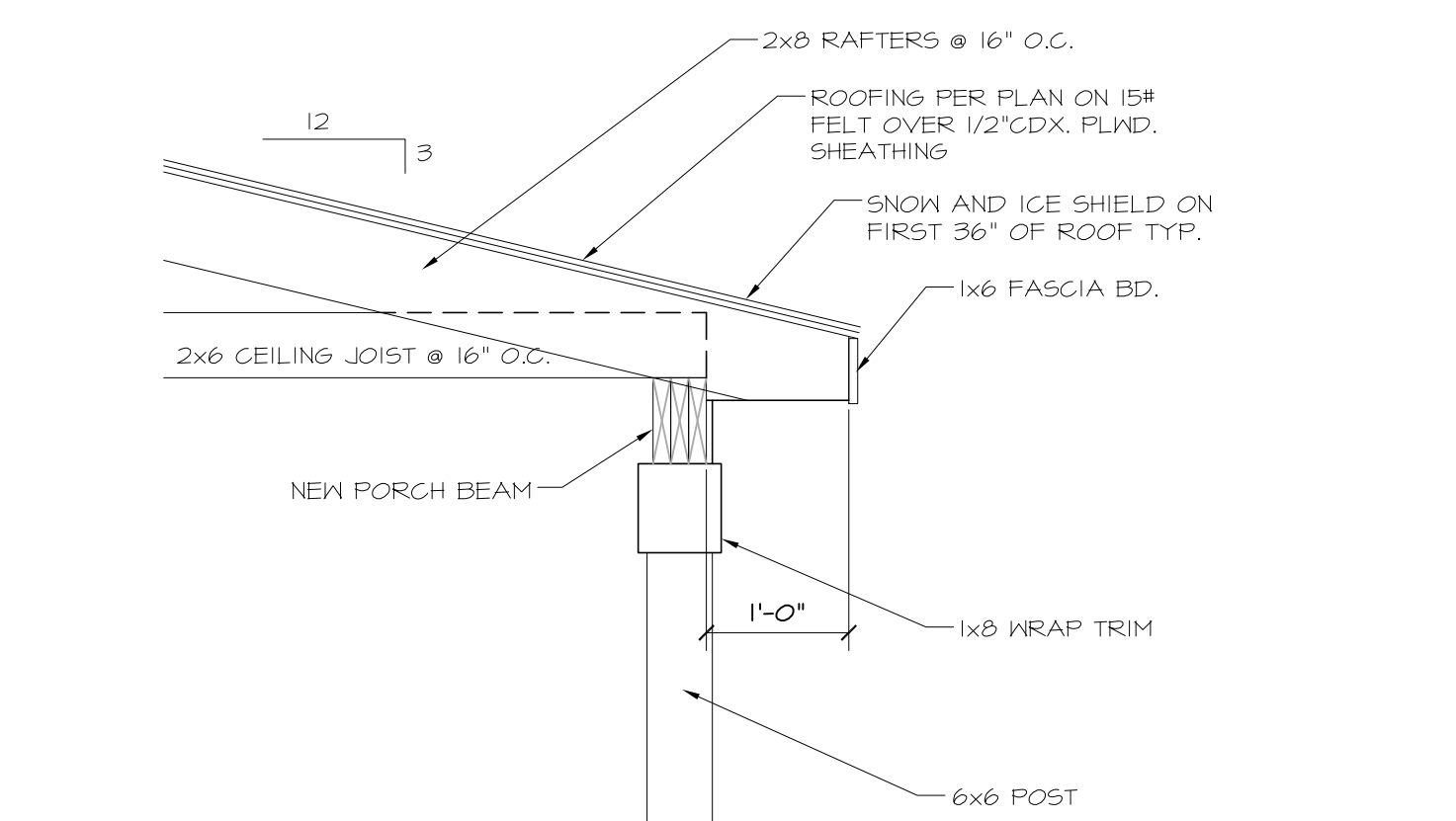
1 SECTION
SCALE: 1/4" = 1'-0"



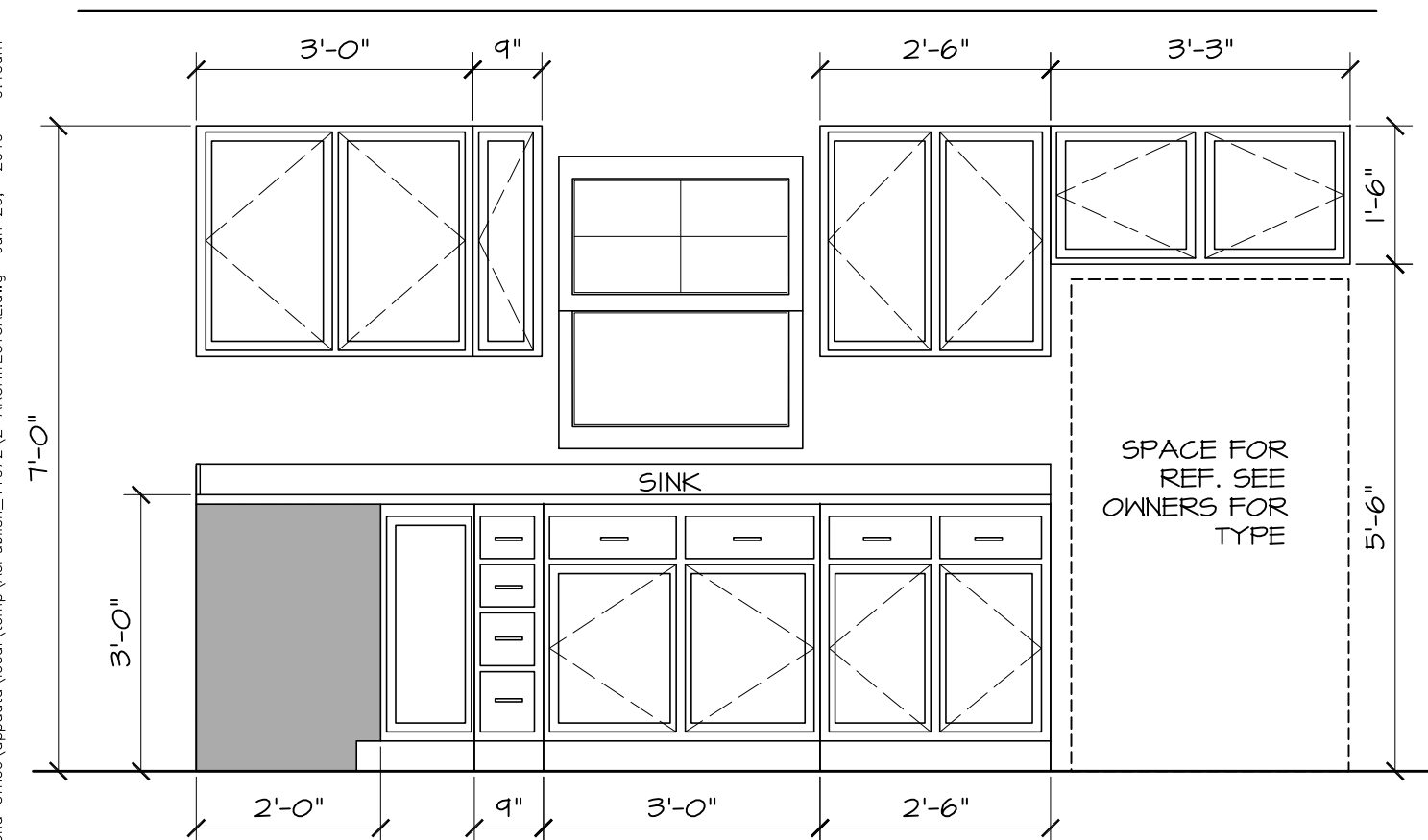
5 STAIR AND LANDING SECTION
SCALE: 1/2" = 1'-0"



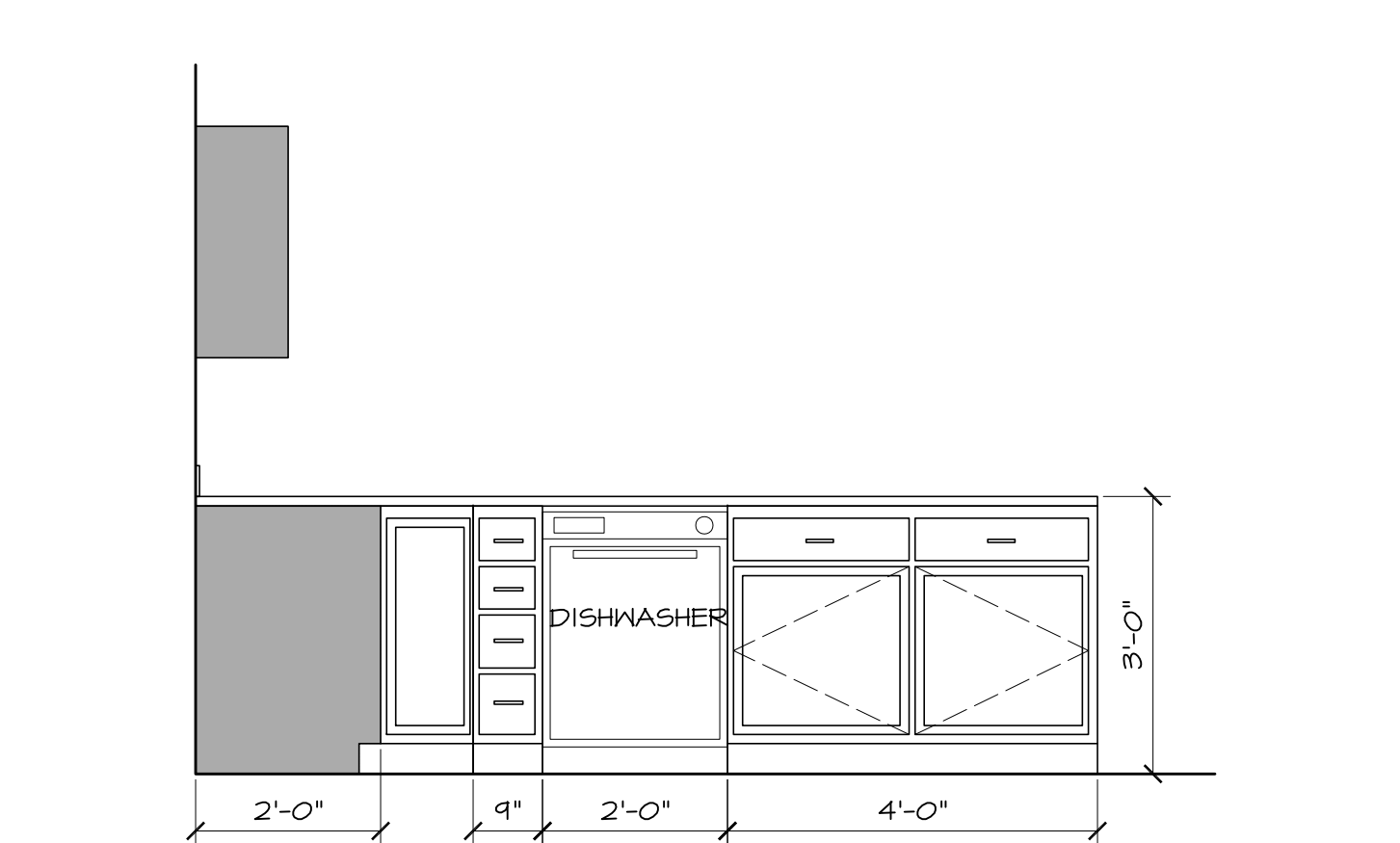
8 TYPICAL WALL SECTION @ FLOOR & FOUNDATION
SCALE: 1" = 1'-0"



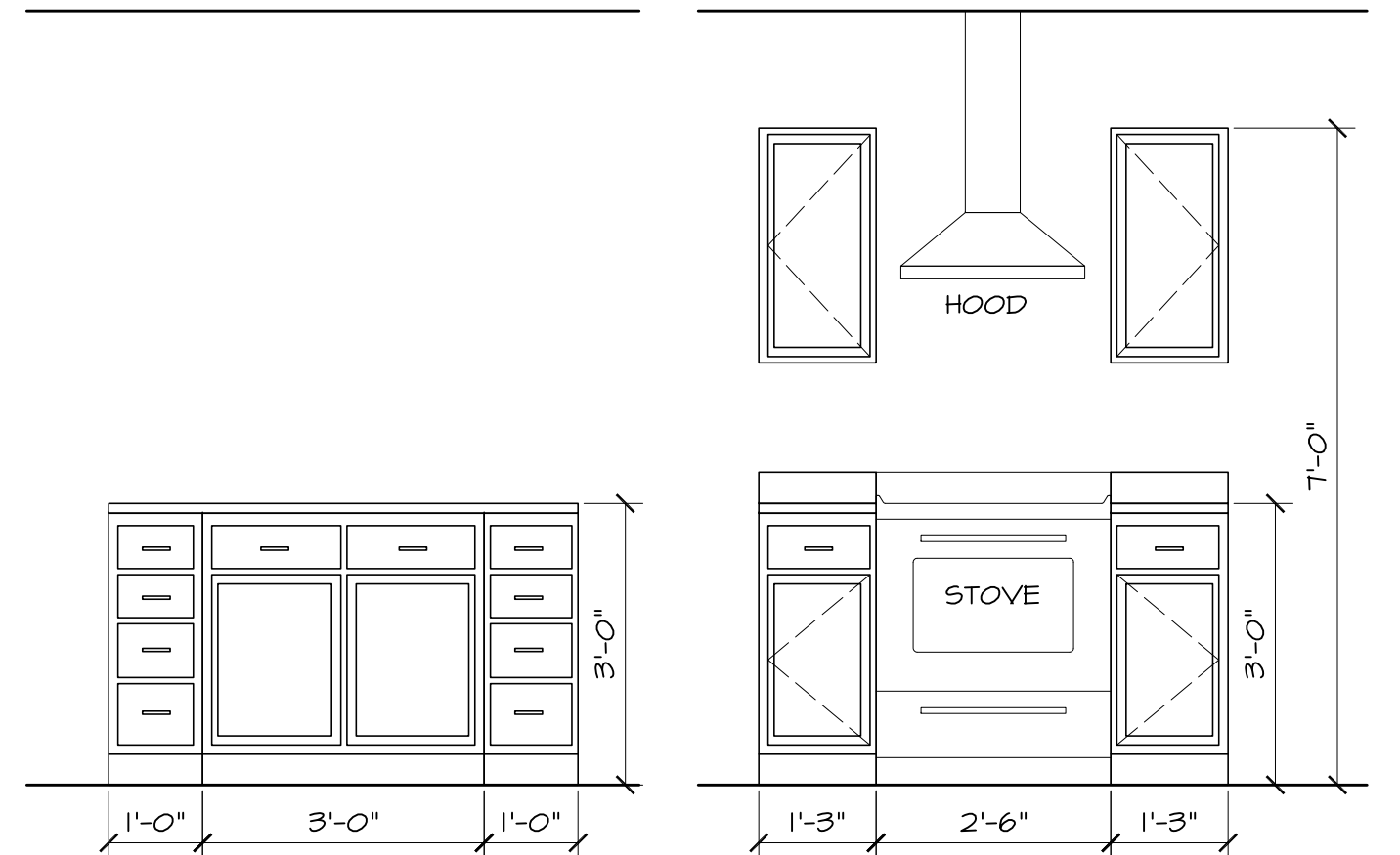
9 PORCH SECTION @ ROOF
SCALE: 3/4" = 1'-0"



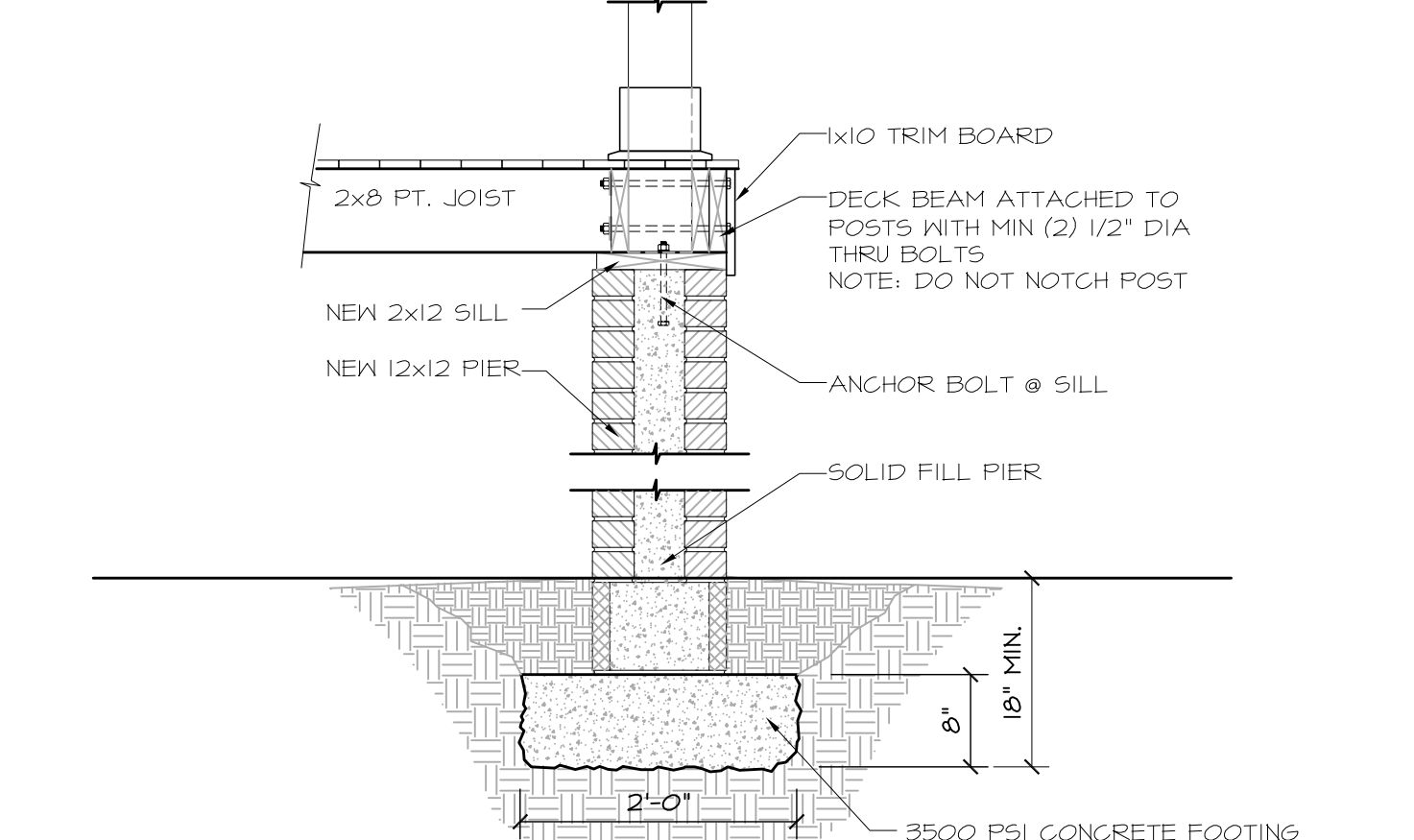
2 KITCHEN CABINET
SCALE: 1/2" = 1'-0"



3 KITCHEN CABINET
SCALE: 1/2" = 1'-0"



6 KITCHEN CABINET
SCALE: 1/2" = 1'-0"



10 BRICK PIER @ PORCH
SCALE: 3/4" = 1'-0"

TrinityHDC
COMMERCIAL & RESIDENTIAL BUILDING DESIGN
1901 E. Franklin Street, Suite 118, Richmond, VA, 23223
Voice: 804.615.2527 Email: andr_manson@comcast.net

SQUARE FOOTAGE	
FIRST FLOOR SF.	861 SF.
SECOND FLOOR SF.	861 SF.
THIRD FLOOR SF.	435 SF.
TOTAL FINISHED SF.	2,157 SF.
(UNFINISHED) TOTAL SF.	- SF.
TOTAL UNDER ROOF SF.	2,157 SF.

REV.	DATE	COMMENTS
1		City review comments

House Renovation
1119 N3 31st Street Richmond, VA
Permit # BLDR-040462-2018
CLIENT APPROVAL

DRAWING INDEX	
C-1	COVER AND INFORMATION SHEET
AI-0	EXISTING/DEMO PLANS
AI-1	PROPOSED PLANS / SCHEDULES
AI-2	FRAMING PLANS
AI-3	TYPICAL WALL SECTIONS / ROOF FRAMING
AI-4	HOUSE SECTIONS / ELEVATIONS

Start Date: 04-Feb-19 Plot Date: 26-Jun-19
100% 19-003
SHEET NUMBER
A1-4

Richmond Office
 C:\Users\Richmond\OneDrive\Documents\110773-ARCHITECTURAL.dwg Jun 26, 2019 - 9:40am