



**Staff Report**  
**City of Richmond, Virginia**



**Commission of Architectural Review**

COA-098245-2021	<b>Final Review</b>	<b>Meeting Date: 9/28/2021</b>
<b>Applicant/Petitioner</b>	Alan Adler	
<b>Project Description</b>	Construct a side landing and stairs; install new windows and doors in existing openings.	
<b>Project Location</b>		
<b>Address: 2506 E. Marshall St.</b>		
<b>Historic District: Church Hill North</b>		
<b>High-Level Details:</b> <ul style="list-style-type: none"> <li>The applicant proposes to construct a side landing and stairs on a ca. 1859 masonry, Greek Revival, semi-attached home.</li> <li>The applicant proposes to install new windows and doors in existing, previously bricked-in openings.</li> <li>The proposed stairs and landing will be opaquely-stained wood.</li> </ul>		
<b>Staff Recommendation</b>	<b>Partial Approval</b>	
<b>Staff Contact</b>	Emily Routman, Emily.routman@rva.gov	
<b>Previous Reviews</b>	None	
<b>Conditions for Approval</b>	<ul style="list-style-type: none"> <li>Denial of the shutters on the new, basement windows on the western elevation</li> <li>Staff recommends that the infill brick be recessed in the existing basement door opening in a way that is easily reversible and does not alter the dimension of the existing opening.</li> <li>Staff recommends that the applicant provide final paint colors for the previously painted masonry to staff for administrative review and approval.</li> <li>Staff recommends the door opening on the first floor utilize a contemporary door design to emphasize that it is a new opening.</li> <li>Staff recommends that final specifications on new doors be submitted to staff for administrative review and approval.</li> </ul>	

## Staff Analysis

Guideline Reference	Reference Text	Analysis
Standards for Rehabilitation – Residential Construction, pg. 59	<i>5. Retain original windows including both functional and decorative elements such as frames, sash, muntins, glazing, sills, hood molds, paneled or decorated jambs and moldings, shutters and exterior blinds.</i>	<p>The applicant proposes to remove several existing vinyl windows and replace them with new, 6-over-6 wood windows.</p> <p>The applicant proposes to re-open existing window openings and insert new wood windows to match the original opening size. Staff recommends approval of new wood windows in previously bricked-in openings.</p>
Standards for Rehabilitation – Residential Construction, pg. 59	<i>6. Retain original entrances and porches including doors, frames, fanlights, sidelights, steps, balustrades, pilasters, entablatures, columns, and decorative features.</i>	<p>The applicant proposes to remove an existing rear, basement door that is likely original to the house, infilling the masonry opening with brick. This door is minimally visible and <u>Staff recommends that the infill brick be recessed in the existing opening in a way that is easily reversible and does not alter the dimension of the existing opening.</u></p>
Building Elements – Shutters, pg. 70	<p><i>21. Wood shutters must be functional (mounted on hinges) and not nailed or fixed to the wall surface. New fixed shutters may be used to enclose a portion of a historic or new porch to conceal modern additions.</i></p> <p><i>23. Shutters should only be used on windows that show evidence of their use in the past. Replacement shutters should match the existing ones, or be compatible with the style of the structure, and be sized to fit the window.</i></p>	<p>The applicant proposes new, folding wood shutters on the first floor windows on the western elevation. No other windows on the building have shutters, and there is no evidence that shutters were once on these windows. Therefore, <u>Staff recommends denial of the shutters.</u></p>
Paint – Historic Masonry, pg. 63	<p><i>1. Do not paint historic brick or stone masonry that has not previously been painted. Painting previously unpainted masonry is historically inaccurate and is not permitted. Property owners who wish to remove paint from masonry should work with a qualified contractor knowledgeable in the use of non-abrasive cleaners.</i></p> <p><i>2. Review is required if you wish to change the color of painted brick. If you</i></p>	<p>The applicant proposes either stripping the white paint on the basement level brick or repainting it a CAR-approved color. Staff finds that this white paint has been on the house before the Historic District existed, therefore the applicant can either repaint it white or another CAR-approved color for previously-painted masonry. <u>Staff recommends that the applicant provide final paint colors for the previously painted masonry to staff for administrative review and approval.</u></p>

	<p><i>wish to paint previously painted brick the same color, no review by staff or CAR is necessary.</i></p> <p><i>3. Colors associated with the colors of natural brick are strongly encouraged and are preferable to less appropriate colors (white, green, blue, etc.).</i></p>	
<p>New Construction - Doors &amp; Windows, pg. 49</p>	<p><i>5. Original door and window surroundings should be retained. When selecting new doors and door surrounds, keep in mind that leaded, beveled, or etched glass is rare and is strongly encouraged and rarely permitted. Similarly, stamped or molded faux paneled doors are inappropriate substitutes for door types found in O&amp;H Districts.</i></p>	<p>The applicant proposes to replace the existing basement door on the western elevation with a new door. <u>Staff recommends that final specifications on the new door be submitted to staff for administrative review and approval.</u></p> <p>The applicant proposes to create a new door opening in the first floor of a frame section of the building on the western elevation. The new door will be a wood and glass French door with divided lights. <u>Staff recommends the door be a contemporary design to emphasize that it is a new opening. Final door specifications to be submitted to Staff for administrative review and approval.</u></p>
<p>Building elements - Porches, Entrances &amp; Doors, #4, 10, pg. 71</p>	<p><i>4. Do not remove or radically change entrances and porches important in defining the building's overall historic character. Front and side porches are architecturally more ornate than utilitarian back porches.</i></p> <p><i>10. The addition of a new entrance to a primary dwelling elevation is strongly discouraged.</i></p>	<p>The applicant proposes to construct new wooden stairs and a landing on the western elevation of the building adjacent to a new door opening. The railings will be Richmond rail, painted white, a design that is in-keeping with the district.</p>

# Figures

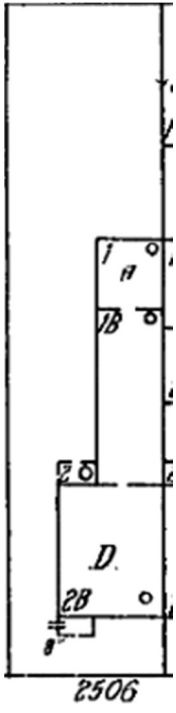


Figure 1. 1924-1925 Sanborn Map



Figure 2. Façade photo



Figure 3. Historic photo from Assessor's office.



Figure 4. Historic photo from DHR records.



Figure 5. Existing east elevation, facing south.

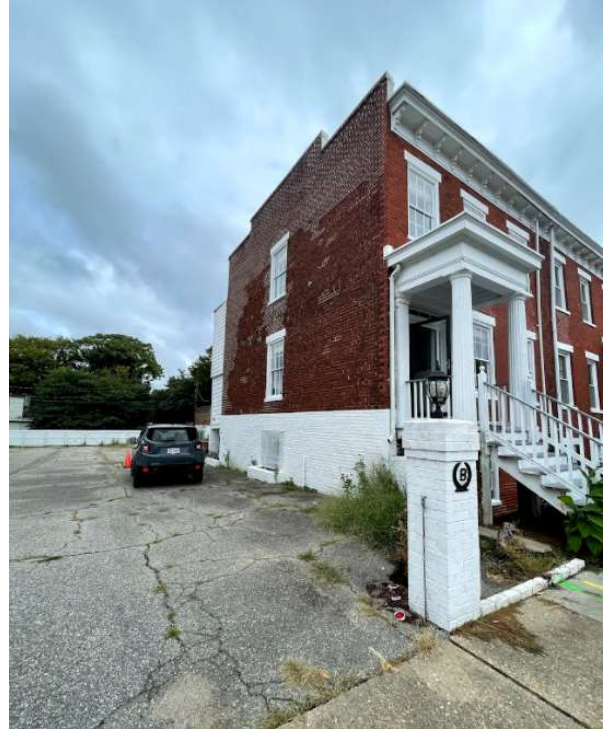


Figure 6. View of side elevation from E. Marshall St.