



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 511-511 1/2 26<sup>th</sup> Street

DATE: 6-25-15

OWNER'S NAME: Evolve Development Inc.

TEL NO.: 804-991-4111

AND ADDRESS: 3420 Pump Rd. #169

EMAIL: DVK5@yahoo.com

CITY, STATE AND ZIPCODE: Richmond VA, 23233

ARCHITECT/CONTRACTOR'S NAME: \_\_\_\_\_

TEL. NO.: \_\_\_\_\_

AND ADDRESS: \_\_\_\_\_

EMAIL: \_\_\_\_\_

CITY, STATE AND ZIPCODE: \_\_\_\_\_

Would you like to receive your staff report via email? Yes  No

## REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

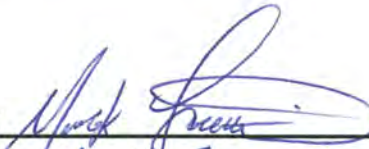
I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

## DETAILED DESCRIPTION OF PROPOSED WORK (Required):

### STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

**PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

*Please See attached*

Signature of Owner or Authorized Agent: **X** 

Name of Owner or Authorized Agent (please print legibly): Mark Facetti for Danil Kleyman

(Space below for staff use only)

Received by Commission Secretary

RECEIVED

APPLICATION NO. \_\_\_\_\_

DATE \_\_\_\_\_

JUN 25 2015

SCHEDULED FOR \_\_\_\_\_

*2pm*

Note: CAR reviews all applications on a case-by-case basis.

Revised 10-02-2014

Daniil Kleyman  
Evolve Development, Inc  
3420 Pump Rd Suite 169  
Richmond, VA 23233

June 24, 2015

To whom it may concern,

Attached you will find proposed architectural plans for a new 4-unit building at 511 N. 26<sup>th</sup> st.

The structure will be in full compliance with the Old and Historic District Design Review Guidelines. Furthermore, the new construction project will be in full compliance with the R-63 zoning requirements in Union Hill.

**Setback drawing** can be found on page C-1 of the attached drawings  
**Architectural Key Notes** can be found on page A-3 of the attached drawings.  
**Context Drawing** can be found on page C-1 of the attached drawings.

**Siding and Exterior Trim** will be fiber-cement (hardipanel). Siding will have a smooth, non-textured finish, with a 7" reveal.

Siding Color will be a Hardie ColorPlus Palette Harris Cream which is very close to S from the CAR Paint Color Palette

**Exterior Doors** will be painted 4-panel fiberglass doors with light at the top and a transom. Color will be white.

**Exterior Windows** will be 2x2 SDL MW Jefferson Series 300 Double Hung window. Please see attached spec sheet.

**Fascia boards** will be fiber-cement, with wood corbels, all painted white.

**Porch roof** will be EPDM, with a black finish.

**Main structure roof** will be a mansard slate roof in the front, and a A-frame shingle roof behind it. This roof structure is similar to the new construction project at 322 N. 36<sup>th</sup> st that was approved during the June 2015 CAR meeting. The main roof will be set between 2 existing structures and will have minimal visibility from the street.

**Front Columns** will be plain round with Tuscan base and cap.

For any additional questions prior to the CAR meeting in July, please feel free to contact me at 804-991-4111 or [dvk5f@yahoo.com](mailto:dvk5f@yahoo.com)

Daniil V. Kleyman

MW JEFFERSON®  
**300 DOUBLE HUNG**



**STANDARD FEATURES**

- Low-maintenance cellular PVC exterior components ready to accept acrylic latex paints
- 4-9/16" joints eliminate need for drywall work; custom jamb extensions to 8-9/16"
- Classic double hung design with traditional brick mould complements an array of architectural styles
- Paint-free all-steel sash fully welded at the corners
- Energy-efficient Warm Edge Insulated Glass
- Low-maintenance cellular PVC exterior brick mould
- Both sashes tilt in and remove for safe and easy cleaning of exterior glass
- Balance counter-balanced with quiet, adjustable springs for smooth up and down action
- Built weather-stripping at top, bottom and check rails for efficient performance and smooth, easy openings and closings

**OPTIONS**

**Glass Options:** Low-E, Low-E/Argon, Tinted, Low-E Tinted, Tempered and Obscure

**Exterior Casing:** 180 Brick Mould (standard), 3-1/4" Williamsburg, 3-1/2" Flat, 5-1/2" Flat or 4-1/2" Wide Back Band, Bull Sill Nose

**Balance Options:** Compression standard, Easy-Tilt optional

**Grille Options:** Grille-between-the-glass (GBG) in flat 5/8", 7/8" styles, sculptured 5/8" and 1" contour styles; classic muntin bar appearance with 1-1/4" simulated-divided-lite (SDL)

**Product Configuration:** Inset, Side Lites, Stationary, Combinations, Bays & Boxes, Circle Heads, Quarter Circles, Ellipticals, Transoms, True Radius, Arches and a wide variety of architectural shapes

**TESTING & PERFORMANCE DATA**

Tested in accordance with ASTM standards; rated in accordance with International Residential Code; and witnessed by an independent AAMA accredited lab.

**NFRC Thermal Performance:**

	U Value*	R Value	SHGC**	VLT**
4 1/2" Clear	0.47	2.13	0.60	0.62
4 1/2" Low-E	0.34	2.94	0.33	0.33
4 1/2" Low-E/Argon	0.30	3.33	0.35	0.33

\* Solar Heat Gain Coefficient    \*\* Visible Light Transmission



© January 2007 MW Windows & Doors Inc. All Rights Reserved.

Class #20001 2006 800, C





 ENLARGE IMAGE

## **BKT-8X17 BRACKET, Fypon Designer 16-5/8" H x 6-3/16" W x 8-3/16"**

Crown-Molding.com is your online dealer for the Fypon BKT8X17 BRACKET in stock and ready to ship through out the USA and Canada.

[Visit Store](#)

PRICE: **\$51.99**

at Decorative Crown Moldings

 [Tweet](#)

 [Pin it](#)

# MULTI-FAMILY RESIDENCE

## 511-511 1/2 26TH STREET

### RICHMOND, VA 23223

#### BUILDING INFORMATION:

REGULATORY AGENCY  
BUREAU OF PERMITS AND  
INSPECTIONS CITY HALL  
900 E. BROAD ST. RM. 110  
RICHMOND, VA 23219

TYPE OF PROJECT  
MULTI-FAMILY RESIDENTIAL R-2

APPLICABLE CODES  
INTERNATIONAL BUILDING CODE (IBC) 2009  
VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) 2009  
INTERNATIONAL ENERGY CODE 2009

BUILDING CODE CONSTRUCTION TYPE: 5B EXTERIOR BEARING WALLS: 1 HOUR  
(AT WALLS WITHIN 10' OF PROPERTY LINE)  
SEE PLAN FOR 1 HR EXTERIOR WALLS

USE GROUP: R-2 QUADPLEX  
SPRINKLED: YES (NFPA-13R)  
MAX ALLOWED AREA PER FLOOR: 7,000 SF PROPOSED AREA: 2,340 SF  
MAX HEIGHT: 40 FT PROPOSED HEIGHT: 32'-3"  
NUMBER OF TYPE 'B' UNITS: 2 TYPE 'B' UNITS PROVIDED: 2

#### ZONING R-63

ZONING REQUIREMENTS  
MINIMUM LOT AREA: 4,000 SF PROPOSED LOT AREA: 5,012 SF  
MINIMUM OPEN SPACE: 30% (1,504 SF) OPEN SPACE: 2,672 SF  
2,672 / 5,012 = 54%  
BUILDING HEIGHT: 26'-10"

MAXIMUM BUILDING HEIGHT: 40 FT  
SETBACKS REQUIRED: (SECTION 114-419.5)  
FRONT YARD: NO SETBACK FRONT YARD: 15 FT  
SIDE YARD: 5 FT SIDE YARD: 5 FT & 6 FT  
REAR YARD: 15 FT REAR YARD: 29 FT

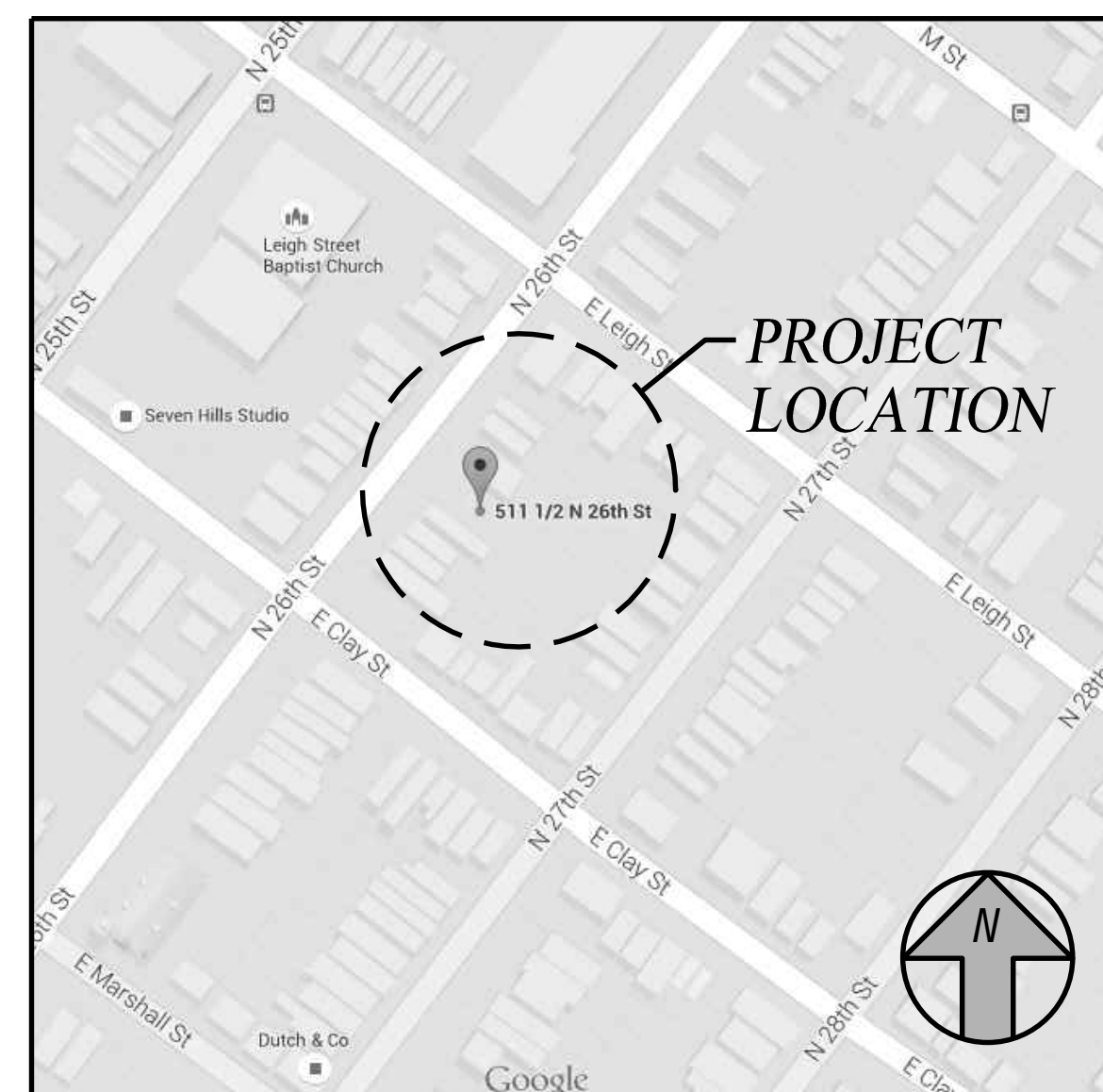
PARKING REQUIREMENTS:  
1 PER DWELLING UNIT PARKING SPACES: 4

GENERAL STRUCTURAL NOTE: STRUCTURAL ITEMS ARE SHOWN FOR REFERENCE.  
ALL STRUCTURAL ELEMENTS ARE TO BE SPECIFIED/APPROVED BY A  
STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

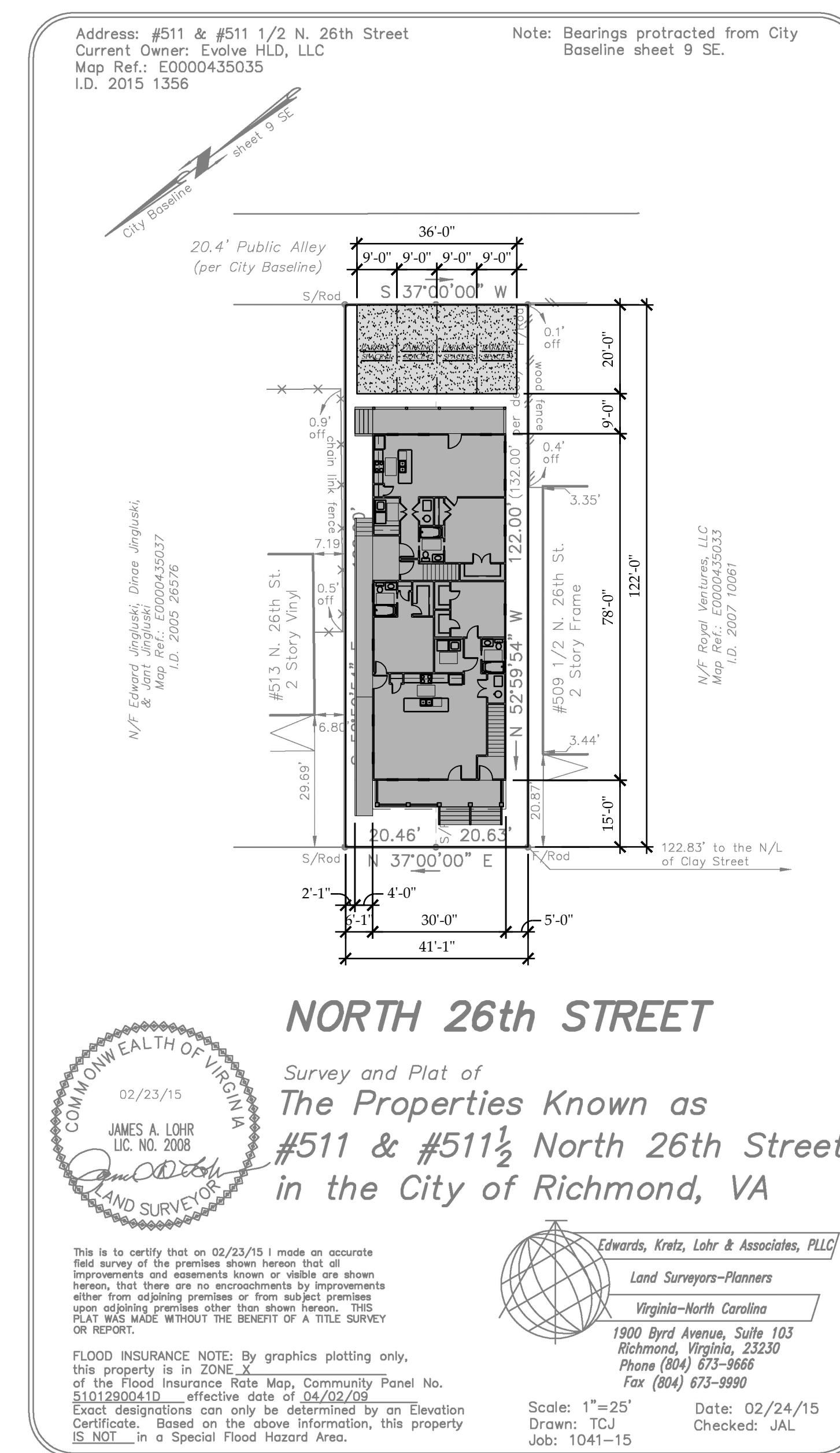
#### DRAWING INDEX:

- T-1 TITLE SHEET, SITE SURVEY AND BUILDING INFORMATION
- C-1 CONTEXT ELEVATIONS
- A-1 1ST FLOOR PLAN & 2ND FLOOR PLAN
- A-2 EXTERIOR ELEVATIONS
- A-3 EXTERIOR ELEVATIONS

#### VICINITY MAP:



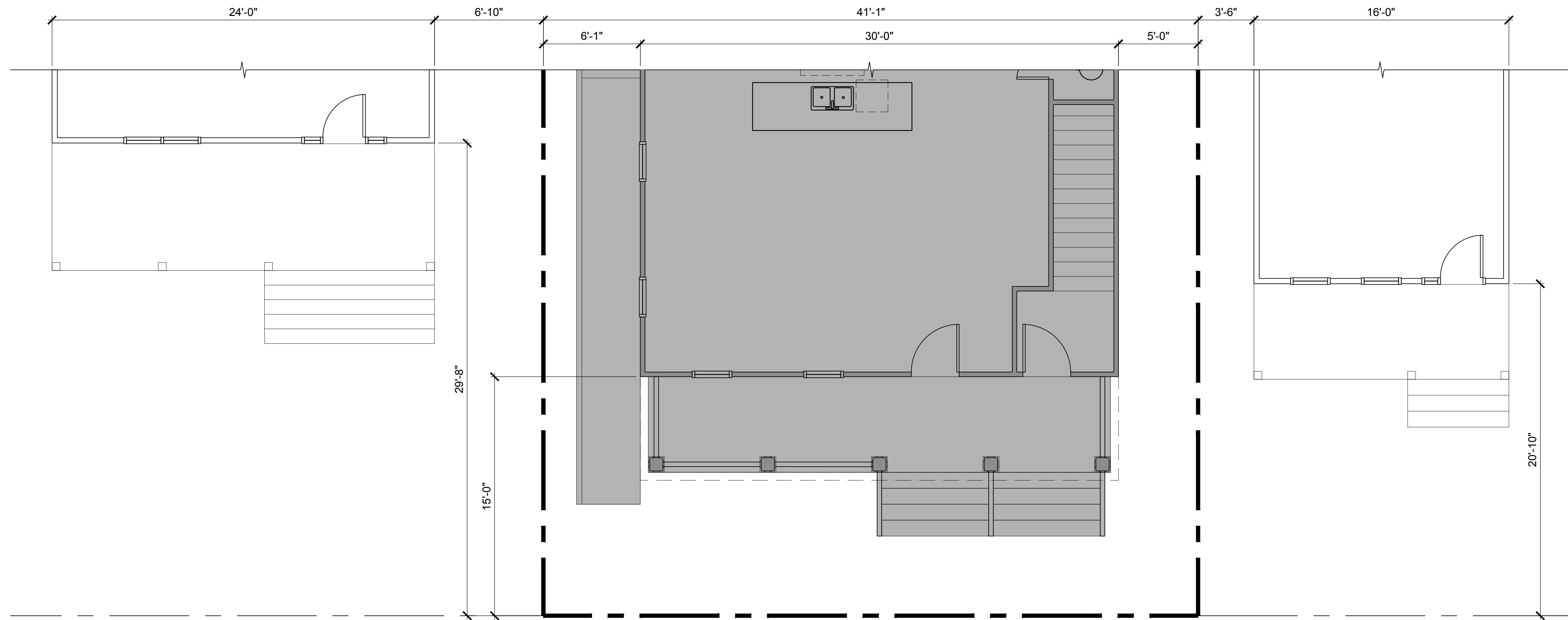
#### PROPOSED SURVEY PLAN





**CONTEXT ELEVATIONS**

SCALE: 1/4"=1'-0"



**CONTEXT SETBACK PLANS**

SCALE: 1/4"=1'-0"

**EVOLVE**  
DEVELOPMENT INC

3420 PUMP RD SUITE 169  
RICHMOND, VA 23233

dvk5f@yahoo.com  
804-991-4111

MULTI-FAMILY RESIDENCE  
**511-511 1/2 26TH ST**  
RICHMOND, VA 23223

DATE: 07-06-15

**C-1**

ARCHITECTURAL KEY NOTES: 1

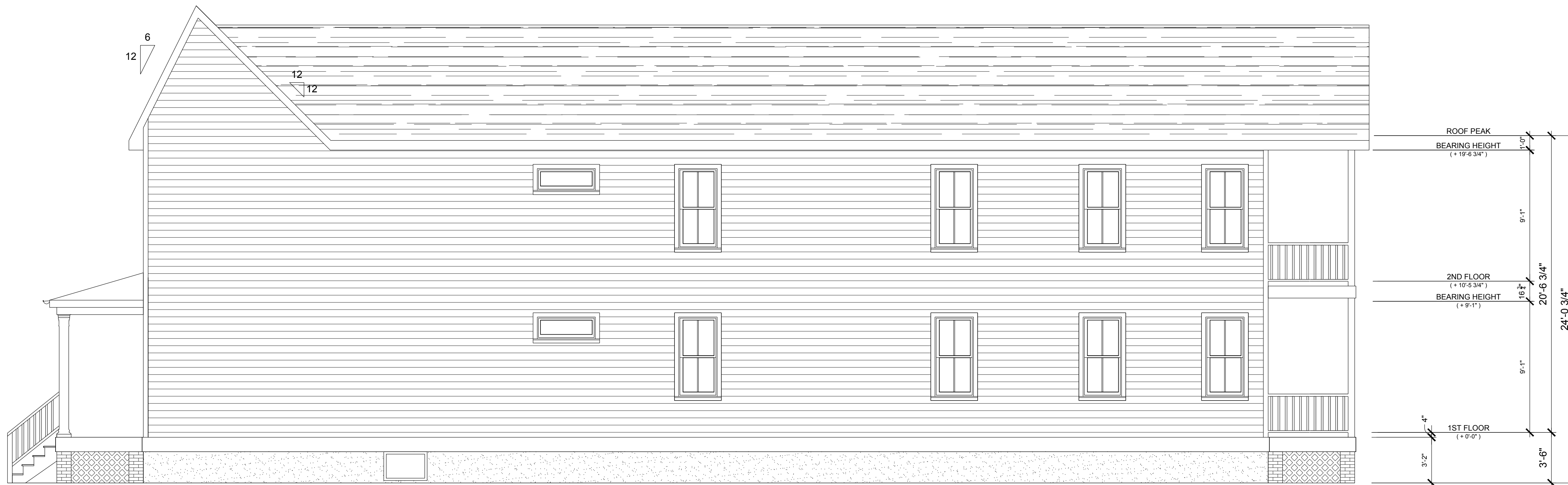
NOTE: 2' CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

1. FOUNDATION: CMU FINISHED WITH PARING SEE WALL DETAIL A-1 FOR ADDITIONAL INFORMATION.
2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
3. RAILING: RICHMOND RAIL, PAINTED
4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST
5. PORCH ROOFING: MEMBRANE, BLACK FINISH
6. WINDOWS: WHITE VINYL- DOUBLE PANE- SEE WINDOW SCHEDULE
7. DOORS: PAINTED FIBERGLASS-SEE DOOR SCHEDULE
8. SIDING AND TRIM: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
9. FASCIA BOARDS: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
10. WOOD STEPS & RAILING: RICHMOND STYLE
11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
12. UPPER ROOF: MEMBRANE ROOF OVER 1/2" OSB
13. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS
14. PORCH PIER: 12"x12" BRICK PIER, 24X24X12 CONCRETE FOOTING, (3) #4 REBAR HORIZONTAL, (2) #4 REBAR VERTICAL, GROUT SOLID.
15. WOOD LATTICE PANEL
16. UPPER ROOF: MEMBRANE ROOF OVER 1 HR FIRE RATED PLYWOOD, 4'-0" FROM SEPARATION WALL - EACH SIDE
17. UNIT SEPARATION WALL - SEE DETAIL ON A-1
18. CRAWL SPACE ACCESS PANEL
19. 12" x 12" BRICK COLUMN
20. 18" x 24" ATTIC VENT
21. 8" x 16" FOUNDATION VENT
22. SIMPSON HDU8 HOLD DOWN



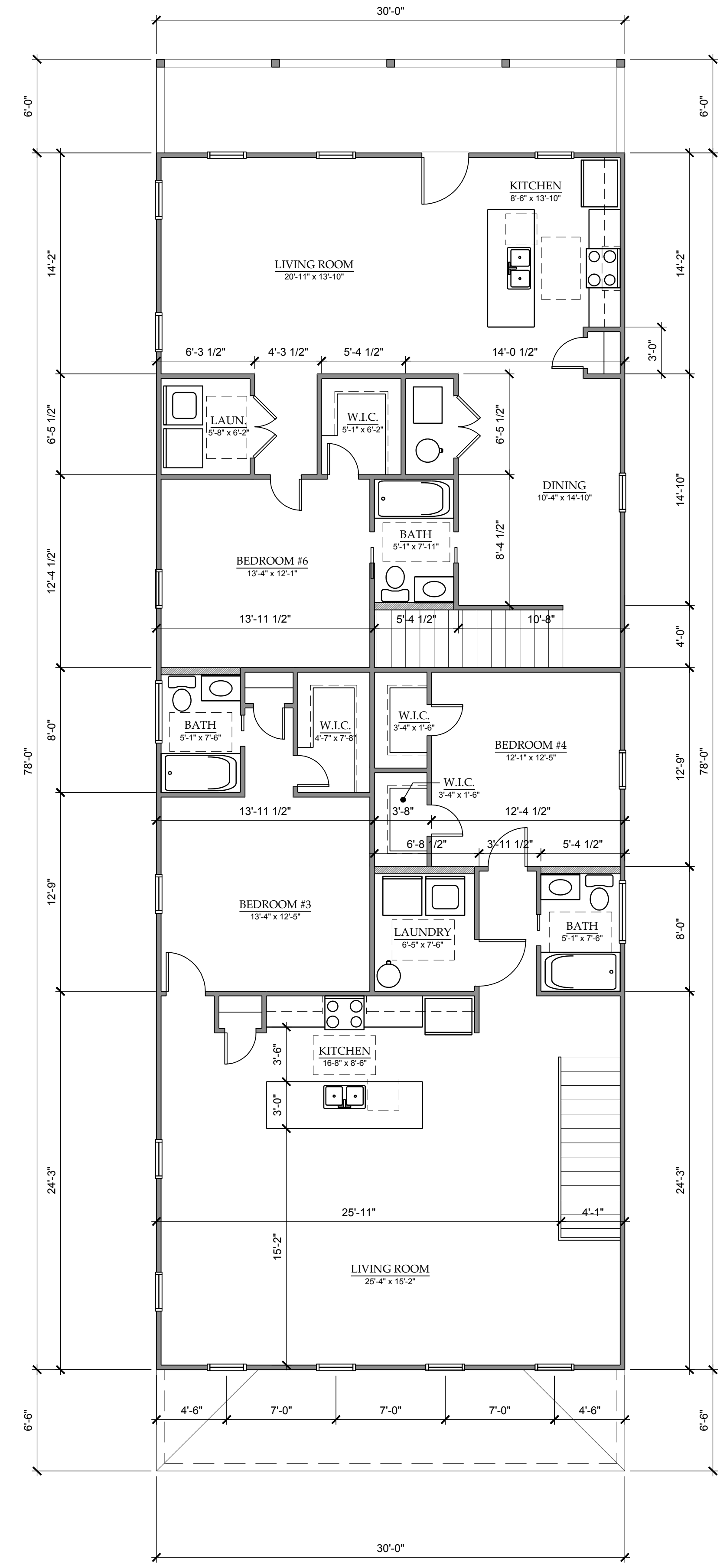
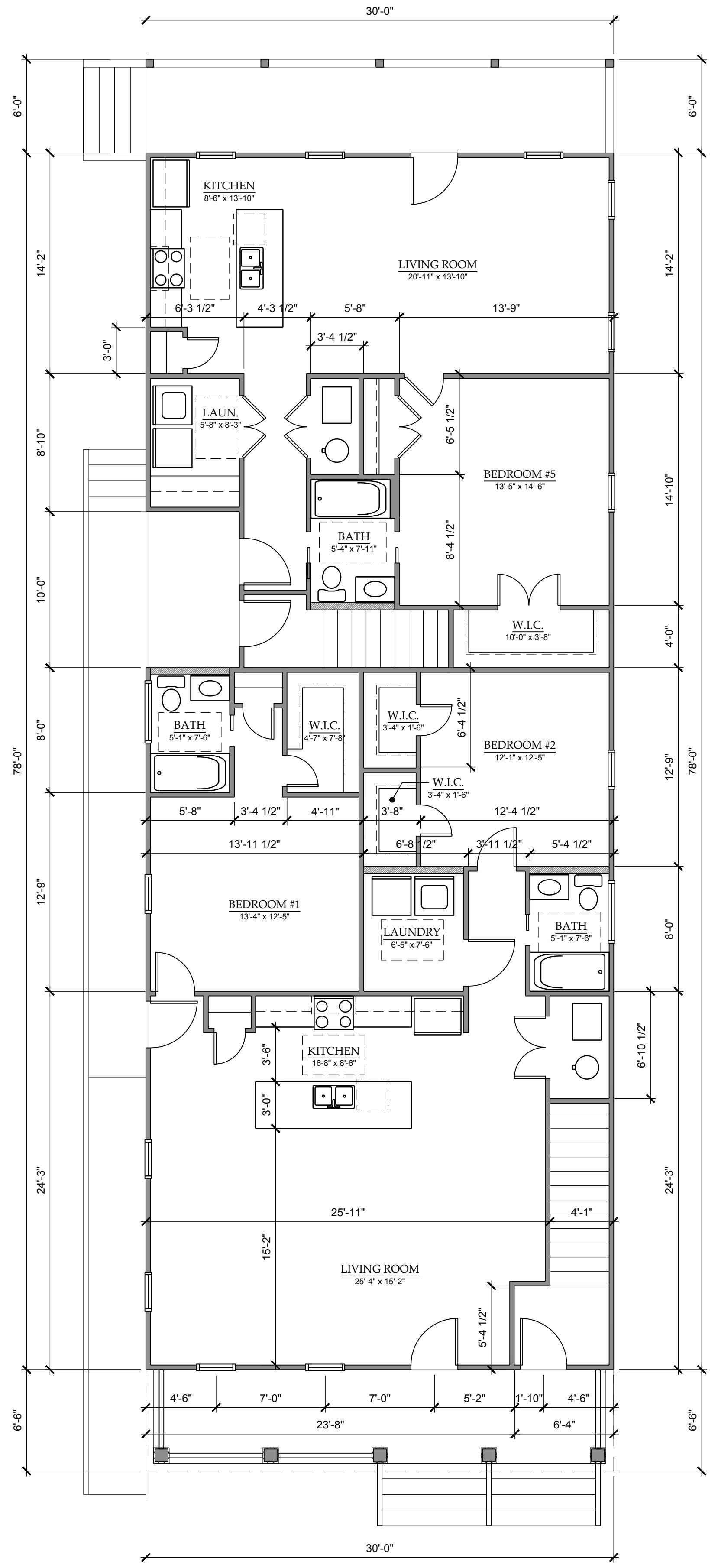
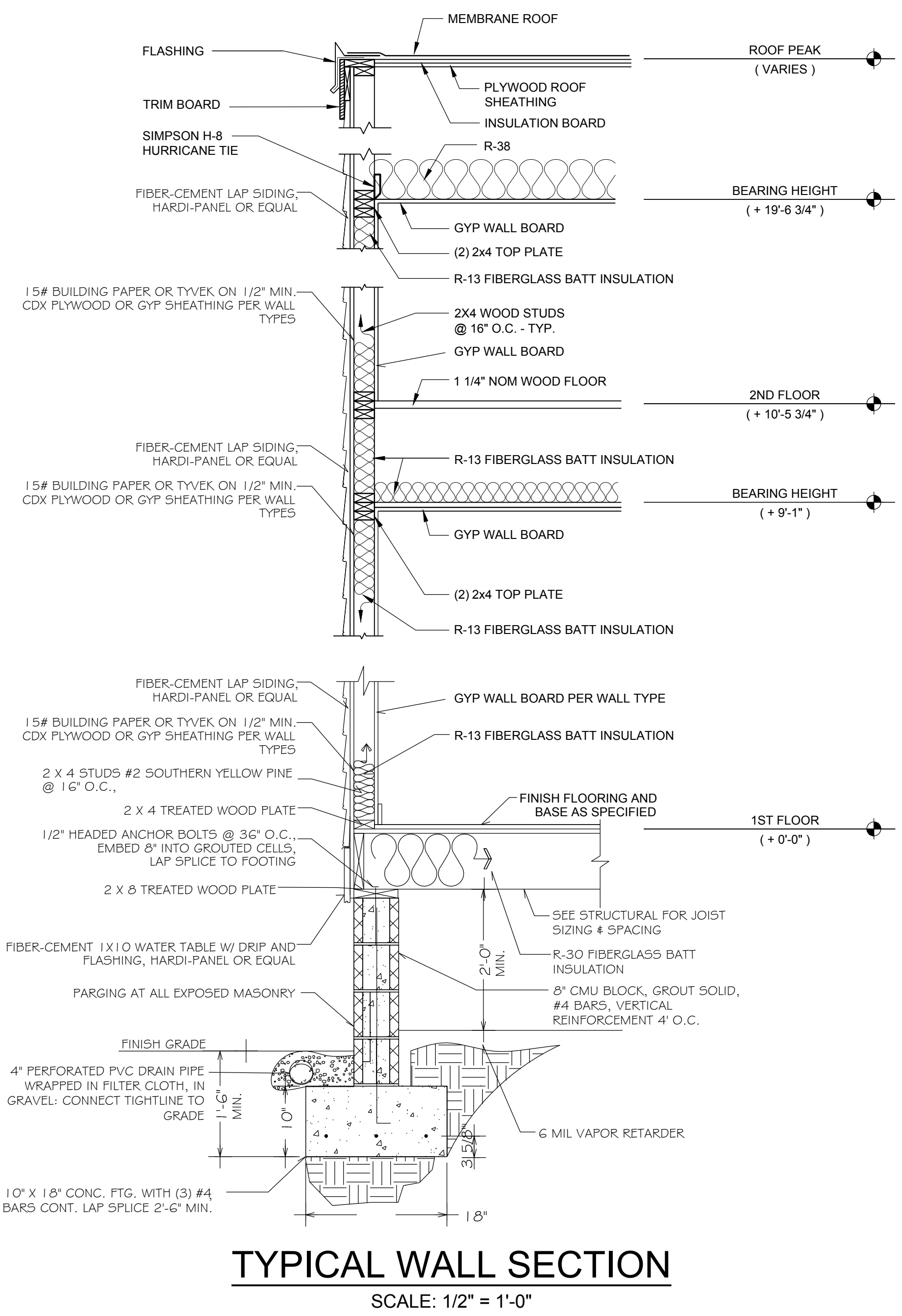
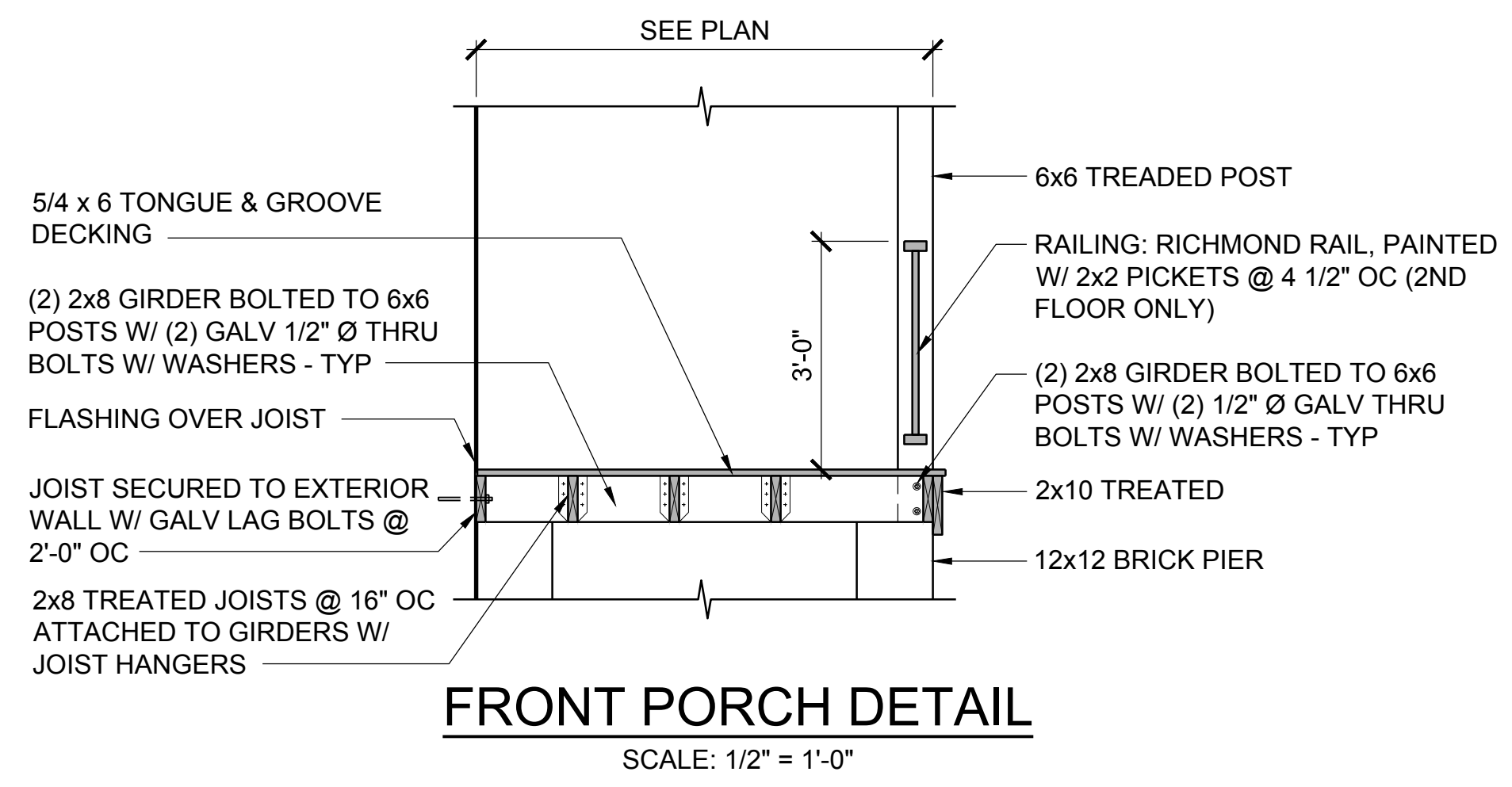
**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4"=1'-0"





ARCHITECTURAL KEY NOTES: 1

NOTE: 2' CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

1. FOUNDATION: CMU FINISHED WITH PARING SEE WALL DETAIL A-1 FOR ADDITIONAL INFORMATION.
2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
3. RAILING: RICHMOND RAIL, PAINTED
4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST
5. PORCH ROOFING: MEMBRANE, BLACK FINISH
6. WINDOWS: WHITE VINYL- DOUBLE PANE- SEE WINDOW SCHEDULE
7. DOORS: PAINTED FIBERGLASS-SEE DOOR SCHEDULE
8. SIDING AND TRIM: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
9. FASCIA BOARDS: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
10. WOOD STEPS & RAILING: RICHMOND STYLE
11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
12. UPPER ROOF: MEMBRANE ROOF OVER 1/2" OSB
13. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS
14. PORCH PIER: (1) 2"x12" BRICK PIER, 24X24X12 CONCRETE FOOTING, (3) #4 REBAR HORIZONTAL, (2) #4 REBAR VERTICAL, GROUT SOLID.
15. WOOD LATTICE PANEL
16. UPPER ROOF: MEMBRANE ROOF OVER 1 HR FIRE RATED PLYWOOD, 4'-0" FROM SEPARATION WALL - EACH SIDE
17. UNIT SEPARATION WALL - SEE DETAIL ON A-1
18. CRAWL SPACE ACCESS PANEL
19. 12" x 12" BRICK COLUMN
20. 18" x 24" ATTIC VENT
21. 8" x 16" FOUNDATION VENT
22. SIMPSON HDUS HOLD DOWN



**REAR ELEVATION**

SCALE: 1/4"=1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4"=1'-0"