

INTRODUCED: February 22, 2016

AN ORDINANCE No. 2016-039

To authorize the special use of the property known as 3303 Lawson Street for the purpose of permitting up to four single-family detached dwellings, together with associated improvements, including a parking area, upon certain terms and conditions.

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: MAR 28 2016 AT 6 P.M.

WHEREAS, the owner of the property known as 3303 Lawson Street, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of four single-family detached dwellings, together with associated improvements, including a parking area, which uses, among other things, currently do not meet the lot area, yard, and lot coverage requirements set forth in sections 30-410.4 through 30-410.6 of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: MAR 28 2016 REJECTED: _____ STRICKEN: _____

detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 3303 Lawson Street and identified as Tax Parcel No. S000-2284/011 in the 2016 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Improvements on Lot 1, 2, & 3, Block ‘H’, Plan of Burfoot’s Estate, in the City of Richmond,” prepared by McKnight and Associates, P.C., and dated April 25, 2015, a copy of which appears as an inset on sheet A1.0 of the plans entitled “3303 Lawson Street, Richmond, VA 23224,” prepared by HRD, Inc., and dated December 30, 2015, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to four single-family detached dwellings, together with associated improvements, including a parking area, hereinafter referred to as “the Special Use,” substantially as shown on sheets A0.1, A0.2, A0.3, A1.0, A1.1, A1.2, A1.3, A2.2, A3.1, A4.1, A5.1, A5.2, C1.1, C2.1, C3.0, C3.1, C3.2, C3.3, L1.1, U1.1, U1.2, U1.3, and U1.4 of the plans entitled “3303 Lawson Street, Richmond, VA 23224,” prepared by HRD, Inc., and dated December 30, 2015, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The use of the Property shall be as a maximum of four single-family detached dwellings, configured and arranged substantially as shown on the Plans.

(b) At a minimum, landscaping shall be provided substantially as shown on the Plans.

(c) A private parking area for the four lots shall be provided substantially as shown on the Plans.

(d) Prior to the issuance of any building permit for the Special Use, the establishment of four lots, substantially as shown on the Plans, shall be accomplished by obtaining subdivision approval from the City and by recording appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond.

(e) Appropriate agreements and covenants that provide for the perpetuation and maintenance of all areas to be owned by any property owners' association within the Property, approved by the Zoning Administrator, must be executed prior to the issuance of any building permit for the Special Use.

(f) The Owner shall grant sufficient easements, approved by the Zoning Administrator, to all lot owners so that all lots have access to the parking area, substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including the installation or repair of sidewalks and other repairs to the right-of-way necessitated by construction on the Property, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate

of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void or when the Special Use of the Property as authorized by this ordinance is abandoned for a period of 730 consecutive calendar days, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Intracity Correspondence

Pre Introduction to Council: PRE. 2016-41

P D

FEB 01 2016

File Number: PRE. 2016-41

OFFICE OF THE ATTORNEY

To authorize the special use of the property known as 3303 Lawson Street for the purpose of the construction and occupancy of up to four (4) single-family detached dwellings, together with associated improvements, including a parking area, upon certain terms and conditions.

O & R Request

O & R REQUEST

DATE: January 27, 2016 **EDITION:** 1

TO: The Honorable Members of City Council

THROUGH: Dwight C. Jones, Mayor (by request) *D. Jones*
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer *SCG*

THROUGH: Peter L. Downey, Deputy Chief Administrative Officer for Economic Development and Planning *PLD*

FROM: Mark A. Olinger, Director, Department of Planning and Development Review *MAO*

RE: Special use permit for 3303 Lawson Street for four (4) single-family detached dwellings

JAN 27 2016
4-4593
Chief Administration Office
City of Richmond

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 3303 Lawson Street for the purpose of the construction and occupancy of up to four (4) single-family detached dwellings, together with associated improvements, including a parking area, upon certain terms and conditions.

REASON: The proposed single-family detached residences do meet all of the dimensional provisions required in the R-5 Single-Family Detached Residential District and a special use permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its March 21, 2016, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The request is to take three existing lots facing Lawson Street and reorient them towards East 33rd Street through a subdivision that would include an additional fourth lot. The resulting proposed subdivision would be for four single-family lots and what the application shows as a shared parking area along the existing alley.

The subject property is currently located within the R-5 Single-Family Residential zoning district, which permits single-family detached dwellings by-right. The minimum lot size is 6,000 square feet, which equals a density of 7.26 units per acre. The proposed development would have an average lot size of just over 2,000 square feet with a common area lot of 7, 813 square feet. The minimum lot width is 50 feet and the front yard setback requirement is 25 feet. The proposal has lot widths of 29 feet and lot depths of 69 feet. The subdivision ordinance requires that residential lots have a depth of not less than 100 feet.

The homes would have masonry foundations and exterior walls would be clad in masonry veneer. Roof materials would be metal.

A parking area, accessed from the alley would provide four parking spaces, one space for each dwelling. This parking area as well as a common area to the rear of each lot would be owned and maintained by a property owner's association.

The Richmond Master Plan designates this property as Single-Family (low density) in the Old South Planning District. "Primary uses are single-family detached dwellings at densities up to seven units per acre. Includes residential support uses such as schools, places of worship, neighborhood parks and recreation facilities, and limited public and semi-public uses. Typical zoning classifications that may accommodate this land use category are R-1, R-2, R-3, R-4, and R-5" (p.133).

FISCAL IMPACT: The Department Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

COST TO CITY: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption.

REQUESTED INTRODUCTION DATE: February 22, 2016

CITY COUNCIL PUBLIC HEARING DATE: March 28, 2016

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL AGENCIES: City Planning Commission, March 21, 2016

AFFECTED AGENCIES: Office of Chief Administrative Officer; Law Department (for review of draft ordinance); and City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORDINANCES: None.

ATTACHMENTS: Application Form, Applicant's Letter, Draft Ordinance, Plans, Survey

STAFF: Willy Thompson, Senior Planner; Land Use Administration (Room 511);
646-5734

Original



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Project Name: Burfoot Commons, llc. Date: 09/30/2015

Property Address: 3303 Lawson Street, Richmond, VA 23224 Tax Map #: S0002284011

Fee: \$300.00, Ck# Total area of affected site in acres: .0364 and (15,840 sf)
(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R5- Residential

Existing Use: Residential/ Vacant Lot

Is this property subject to any previous land use cases? Yes No

If Yes, please list the Ordinance Number:

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

New Residential

Applicant/Contact Person: Robert S. McCracken, MB

Company: Historic Resources Documentation, Inc., (H.R.D., Inc.)

Mailing Address: 7717 Comanche Drive

City: Richmond State: VA Zip Code: 23225-1005

Telephone: (804) 912-4074 Fax: (N/A)

Email: robertmcc77@hotmail.com

Property Owner: Robert S. McCracken, MB, COO

If Business Entity, name and title of authorized signee: Robert S. McCracken, MB, COO

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 7717 Comanche Dr

City: Richmond State: VA Zip Code: 23225-1005

Telephone: (804) 912-4074 Fax: (N/A)

Email: robertmcc77@hotmail.com

Property Owner Signature: *Robert S. McCracken, MB, COO*

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

City of Richmond/ Special Use Permit

Applicant's Report

Of 3303 Lawson Street, Richmond, VA 23224

❖ **SPECIAL USE PERMIT REQUEST**

- This report is respectfully submitted as a "Special Use Request" for an Eco-PUD (Environmentally-Planned Urban Development), of the existing vacant parcel.
- Currently divided into three (3) separate lots, it is our proposal to: (a) turn the lots facing Lawson Street, to face 33rd street, and (b) further subdivide the site from three to four salable lots with attached, off-street parking in the rear.

❖ **SUBJECT PROPERTY**

- *Parcel Address:* **3303 Lawson Street, Richmond, VA 23224**
- *Council District:* **Burfoots**
- *Applicant:* **Robert S. McCracken, MB, COO, Sr PM**
- *Present Use:* **Residential**, (3) vacant lots.
- *Proposed Use:* **Residential**, (4) new lots, with new homes.

❖ **SITE IMPROVEMENTS**

The proposed PUD of this site has been thoroughly reviewed and received by the development firm of Historic Resources Documentation, Inc. (HRD). HRD has found positive improvements that will both fit and improve the site as it currently exists. The current parcel has been redesigned to receive four new residential living units, with rear parking for each. Encompassing all new sustainable construction, this site is suitable for development that will achieve a unique sense of community and place. Equitable distribution of improvement costs will keep the price point of these new homes well within the new townhome range.

Key Features of Required Site Feature Improvements:

- ◆ Turn lots to face 33rd Street
- ◆ Redraw lot lines to create four distinct lots from the current three
- ◆ Four off-street parking spaces, at rear of parcel
- ◆ Construction of two auxiliary buildings,
 - a) Refuse Cover
 - b) Maintenance
- ◆ One manhole to capture all four sanitary sewer system lines
- ◆ Underground greywater cistern for runoff capture
- ◆ Green space common area (grounds maintained by owners)
- ◆ Four new homes for sale
- ◆ Independent PV solar systems on rooftops for leased sales, maintained by ECEC, llc.
- ◆ All new underground utility services (including electricity, sanitary sewer, potable water, AV/IT and gas.

APPLICANT'S REQUEST

We respectfully request the City of Richmond/ Planning & Review Dept. accept our application to accomplish the following:

- 1) We propose to further subdivide the site to accommodate **four buildable parcels**.
- 2) To accommodate this request we propose to **redirect the original three lots facing Lawson Street, to now face 33rd street**.
- 3) To **amend current setback, easement and parcel size requirements to accommodate this new development plan**.
- 4) Improve this site with **four new Townhomes**.

❖ **CURRENT PARCEL CHARACTERISTICS & CONDITIONS**

The parcel known as 3303 Lawson Street, Richmond, VA 23224 has in its original form been the site of residential homes on three lots, although today this parcel may be described as a vacant lot. It is our new development proposal to return this lot to Residential status with four new townhomes, with off-street parking.

❖ **PLANS, POLICIES & LAND USE**

Simply put, our plans have been developed to support the existing community with new Residential/Townhome infill, and to bring the new living units in at a competitively reasonable cost, and while investing in Eco-friendly design practices. ***Please reference all attached plan sheets, for further information.*

❖ **PROPOSED ZONING DISTRICT SUMMARY**

The "*Burfoots District*" of Richmond, has more than age and character going for it. Nestled between Midlothian Turnpike and Hull Street Road business corridors, *Burfoots* is a district that is 80+ years young and full of single-family (SF) character. Part of the charm of this district is the single-family influence, conveyed over the life of this district. This proposal places newer town home SF living units adjacent to one and two story SF homes, consistent with the aesthetic of the existing area. Many of the residents have lived, been educated, worshiped and worked their entire lives in the community. Current opportunities have supported renovations, rental properties, blight infill and larger homes changed to boarding homes. This proposal harmonizes with that community vision.

❖ **DESIGN DOCUMENTATION**

The purpose of this Planned Urban Development or (PUD) has been to arrange and to encourage flexibility in the development of the aforementioned parcel. In this proposed plan we will take an equitable distribution of costs from four new home sales and apply these features, in the creation of a "micro-community."

The urban planning basis for this development is smart growth. In this type of growth, a compact, walkable center from safe housing advocates compact design and core units grounded in a central community in an otherwise aging/bleak setting. Strategically located near commercial street centers, parking, schools, and smaller neighborhood features, our design advocates traditional improvements. With the installation of new town homes will come improved underground and

overhead utility services, parking, off-street design orientation, area & site walkability, bicycle and electric services in a generally friendly, family-oriented environment.

Offering a contemporary range of sustainable features, this site is designed with environmental items such as: (a) Low-E building design, (b) Low-E equipment, (c) web connectivity, (d) PV-solar energy systems, (e) low-to-no downward site lighting, (f) grey water capture systems, and (g) electric vehicle connectivity. These new sustainable design technologies depend on Solar-to-Grid energy systems and greatly reduce our carbon footprint.

It is our intention to employ the best practices associated with smart growth and urban planning as they relate to this new development site. This means we will: (a) support the existing community, (b) redevelop under-utilized spaces, (c) enhance economic competitiveness, (d) provide more transportation choices, (e) develop more livability measures and tools, promoting equitable & affordable housing, (f) provide a vision for suitable growth, and (g) enhance integrated planning. New development of this type is designed to improve the quality-of-life, expand the tax base, and preserve open space while improving safety. Consequently, we seek to provide a new “sense of place” in which potential owners can envision their lives.

The new construction proposed has been developed with close attention to promoting the fundamental aims of a residential neighborhood. Our development proposes to build four new town homes in a style sympathetic to Virginia and surrounding neighborhoods. These designs have expanded on current building practices by investing in sustainable or green design techniques. Some of the new features include light & water conservation, and an energy efficient envelope.

- 01) Within this new PUD are garden style townhomes, which will receive the safety of a micro-community layout. The aim of an energy efficient envelope is to maximize the use of building assembly components, to minimize baseline utility expenses.
- 02) Although the inclusion of a moderately dense micro-community is a step away from the current residential zoning, an additional living unit will have little-to-no impact on the surrounding community. The new design includes improvements such as full site improvements, off-street parking, auxiliary utility buildings, underground utilities, and many other key features that ensure the development places no burden on existing infrastructure.
- 03) This new development will construct each new living unit with fire retardant materials (e.g. brick exterior veneer and metal roofing), interior protective measures (e.g. fire and smoke alarms and emergency egress windows), limited access and underground utility services, and perimeter fencing to protect against many urban issues. All of these items have received a significant amount of attention through design and can expect more attention through the installation process.
- 04) One may hold the opinion that an addition living unit on this site may contribute to overcrowding. However, one additional townhome simply changes an already urban dynamic in the positive direction. One additional home will provide for maximum site buildout and a cost efficiency through numbers. The best use of land resources is to avoid urban sprawl, through an effective use of allocated resources, for resources that are already underutilized. This in turn will allow the developer a means by which to offer competitive home pricing.

05) The City of Richmond/ Planning Department, has focused on the Midlothian/ Hull Street Residential corridor. Our PUD is already accommodated for in their CoR/ Master Plan, 2014. Public streets, lighting, utility main services are already in place. New on-grounds down-lighting, and new underground utility connections have already received positive acknowledgement within the appropriate agencies and departments. Schools, playgrounds, parks and other local amenities are already in place and should not receive any negative effects from this project.

Water run-off will no longer be an issue, for the site has been designed to include an underground cistern for landscape watering. This new system has been designed to accommodate more than 100% of impervious surface water run-off.

Other features for this new site include clustered/underground utilities, and Photovoltaic Solar (PV-Solar) systems overhead. The new PV-solar systems will reduce energy dependencies and the site's carbon footprint. PV-Solar and environmentally friendly materials assist in rating this development as green. In turn, these progressive features will assist this area in community connectivity.

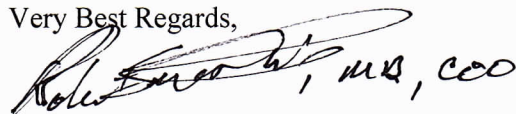
06) Many larger cities are concerned with the blocking of light and air resources, and this is often attributed to taller monolithic structures. Our Residential/PUD in no way interferes with these global rights. In fact, each of the new living units has been specifically designed to expand on and enhance the use of lighting and airflow. The site surrounding each living unit has received green space planning. This effort will allow unique opportunities of common space investment opportunities to each owner. The communal green-spaces within this micro-community will allow for individual owner time investment, based on their desire and ability. In brief, the micro-community association will oversee all operations and maintenance (O&M) of this site.

In conclusion, one will find that this micro-community fits neatly in this well-established Burfoots community. Although this community may be in need of regeneration and/or renovation, creative intent by new owners will only enhance its character and serve that regeneration. This site has been designed with Planned Urban Development standards in mind. And, although the new homes are unique in style, they are sympathetic to the single-family plan, and extended use of local features.

If the City of Richmond/Department of Planning & Review find that they have any questions regarding this new development project, the "SUA/ Applicant Report" or any other related topics, feel free to contact us, so we may meet and discuss the issues at hand. It is understood by our team at (HRD) that we will be advised of your findings within 60 days of the review process.

Thank you for this opportunity, and we look forward to hearing from you!

Very Best Regards,



All of the staff at

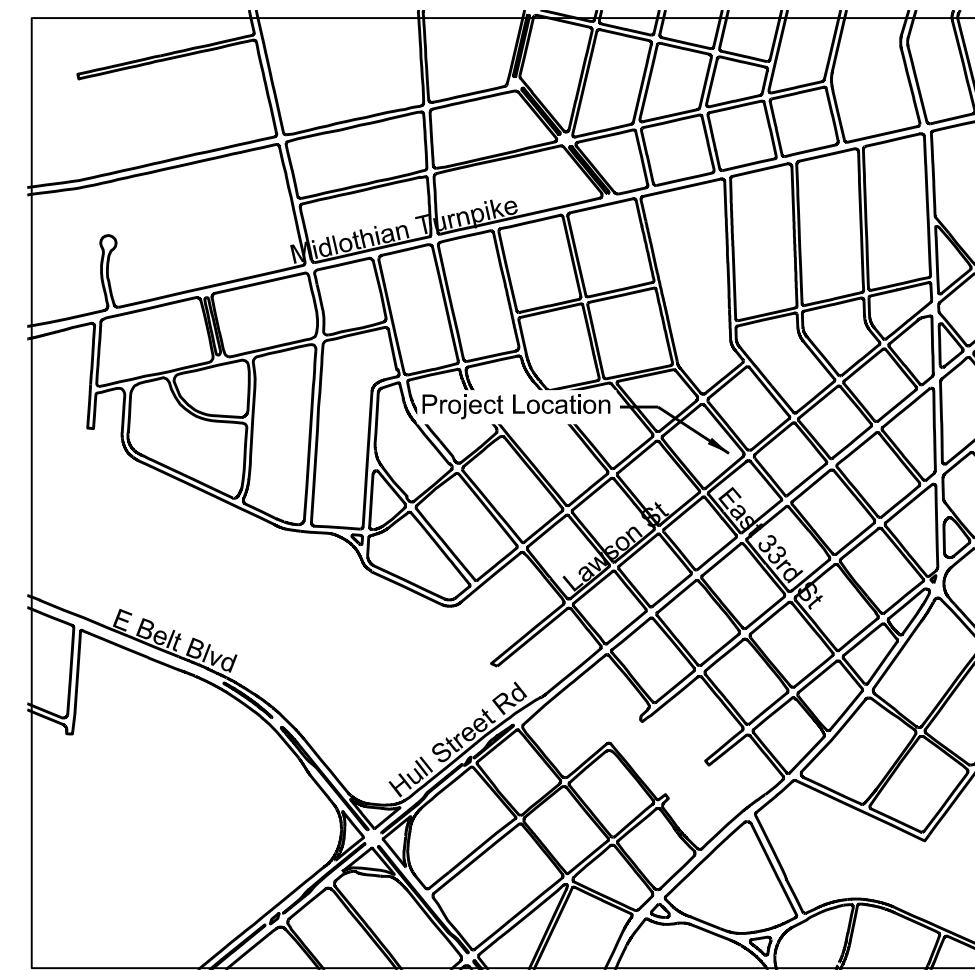
Historic Resources Documentation, Inc.

3303 LAWSON STREET, RICHMOND, VA 23224

HRD, Inc.

(A Virginia Corporation)
P.O. Box 7218
Richmond, VA 23221-0218
PH: 804/673-0842

COVER PAGE



LOCATION MAP - 1:200

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PRINCIPAL DATA:

SITE

BURFOOT COMMONS, LLC.
(A VIRGINIA LIMITED LIABILITY CORPORATION)

OWNER

MR. ROBERT S. MCCrackEN, MB, COO
1111 COMANCHE DR, RICHMOND, VA 23225
PH: (804-912-4074)
EM: (robertmcc11@hotmail.com)

PROFESSIONALS:

DEVELOPER

ECEC, LLC.
(A VA LIMITED LIABILITY CORPORATION)
MR. ROBERT S. MCCrackEN, MB, COO, SR. PM
1111 COMANCHE DR,
RICHMOND, VA 23225-1005
PH: (804/ 912-4074)
EM: (ROBERTMCC11@HOTMAIL.COM)

GENERAL CONTRACTOR

HRD, INC.
(A VA S-CORPORATION)
(VA CONTRACTOR'S "A" LIC# 2705-20046)
MR. ROBERT S. MCCrackEN, MB, COO, SR. PM
1111 COMANCHE DR,
RICHMOND, VA 23225-1005
PH: (804/ 912-4074)
EM: (ROBERTMCC11@HOTMAIL.COM)

STRUCTURAL ENGINEER

OBSDIAN ENGINEERING, INC.
(A VIRGINIA CORPORATION)
(VA FE LIC# 21873)
MR. CHARLES R. FIELD, PE, PRES.
515 N 22nd STREET
RICHMOND, VA 23233
PH: (804/ 641-1589)
EM: (CRFIELD@OBSIDIANPRO)

CIVIL ENGINEER

OBSDIAN ENGINEERING, INC.
(A VIRGINIA CORPORATION)
(VA CONTRACTOR'S "C" LIC# 21873)
MR. CHARLES R. FIELD, PE, PRES.
515 N 22nd STREET
RICHMOND, VA 23233
PH: (804/ 641-1589)
EM: (CRFIELD@OBSIDIANPRO)

ELECTRICAL ENGINEER

VLMK ENGINEERING & DESIGN, INC.
(A OREGON CORPORATION)
(OR FE LIC# 0462-244889)
MR. KEVIN KAPLAN, PE, SE, VP
3933 SW KELLY AV
PORTLAND, OR 97239
PH: (503/ 222-4453)
EM: (KEVIN@VLMK.COM)

IT/ LV CONTRACTOR

MATRIX SYSTEM, INC.
(A VA C-CORPORATION)
(VA CONTRACTOR'S "C" LIC# 2705-38628)
MR. ROBERT E. WARD, PRES.
816 BLANTON AV
RICHMOND, VA 23230
PH: (804/ 402-4250)
EM: (REWARD@MATRIXSYSTEMS.COM)

GOVERNING BODY

CITY OF RICHMOND, PERMITS & INSPECTIONS DEPT.
MR. DAVID F. DUCKHARDT, SR. PLNR
900 E BROAD ST, RM. 110
RICHMOND, VA 23219
PH: (804/ 646-6948)
EM: (DAVID.DUCKHARDT@RICHMONDGOV.COM)
URL: (WWW.RICHMONDGOV.COM)

CODE REFERENCES

IBC-2011, INTERNATIONAL BUILDING CODE, 2011
IEC-2011, INTERNATIONAL ELECTRICAL CODE, 2011
IRC-2011, INTERNATIONAL RESIDENTIAL CODE, 2011
USBC-2006, UNIFORM STATEWIDE BUILDING CODE, 2006
NEC-2011, NATIONAL ELECTRIC CODE, 2011
IEBC-2011, INTERNATIONAL BUILDING CODE, 2011
IBC-2011, INTERNATIONAL BUILDING CODE, 2011

PROJECT TITLE
BURFOOT COMMONS, LLC.
3303A-E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE

12.30.2015

HRD PROJECT NO.

15-0409

CLIENT PROJECT NO.

NEW RESIDENCE

SCALE

N.T.S.

APPROVED BY

RSM

A0.1

SITE- A

DEVELOPMENT PARCEL: 3303A LAWSON STREET, RICHMOND, VA 23224

LOT(S) & ACREAGE: EXISTING LOTS: 1-4, MAP REF# S0000157001, ACERAGE: 0.3636, SQ FT.: 15,840

CURRENT USE: (R-5) RESIDENTIAL/ (SINGLE FAMILY)

SPECIAL-USE APPLICATION: # 9812, DATE: 10/01/2015

THE EXISTING SITE IS MADE UP OF (1) PARCEL WITH (3) CONTIGUOUS LOTS FACING LAWSON STREET. IT IS THE OWNER'S APPLICATION TO (a) FIRST TURN THE EXISTING LOTS TO FACE 33RD STREET, AND (b) FURTHER SUBDIVIDE THE SITE INTO (4) "FEE SIMPLE" LOTS. THESE LOTS SHALL BE SURROUNDED BY "COMMON AREA" HELD IN RESTRICTIVE COVENANTS, BY A HOMEOWNER'S ASSOCIATION. THIS SITE BEING THE FIRST OF (4).

BUILDING DATA:

Table with 2 columns: NEW BLDG. HEIGHT, and values for lowest, highest, and average grades.

Table with 2 columns: MEZZANINE? and HIGHRISE?, both with NO values.

Table with 6 columns: GROSS BUILDING AREA, 1L, 2L, BAL, COMMENT, FOOTPRINT.

Table with 2 columns: NET BUILDING/ HEATED SPACE, NET BUILDING/ UNHEATED SPACE, BUILDING FOOTPRINT/ IMPERVIOUS SURFACE.

PARKING INFORMATION:

Table with 2 columns: SPACES/ REQUIRED, BASIS FOR PARKING CALC., and values.

Table with 2 columns: ACCESSIBLE SPACES PROVIDED, INCLUDED VAN SPACES, and values.

Table with 2 columns: PARKING INTERIOR GREEN SPACE, REQUIRED, PROVIDED, and values.

Table with 2 columns: TOTAL SPACES PROVIDED, and values.

PLANNING INFORMATION:

Table with 2 columns: PLAN OF DEVELOPMENT (P.O.D.) #, ADMINISTRATIVE #, ZONING CASE #, etc.

Table with 3 columns: UTILITIES, YES, NO, and utility names.

FLOOD PLAIN INFORMATION:

Table with 3 columns: FEMA FLOOD PLAIN, 100 YR FLOOD PLAIN, 500 YR FLOOD PLAIN, and values.

BUILDING INFORMATION:

Table with 2 columns: TOTAL S.F. OF BUILDING, NO. OF STORIES, NO. OF LIVING UNITS, etc.

PLANNING INFORMATION:

SITE- B

DEVELOPMENT PARCEL: 3303B LAWSON STREET, RICHMOND, VA 23224

LOT(S) & ACREAGE: EXISTING LOTS: 2-4, MAP REF# S0000157001, ACERAGE: 0.3636, SQ FT.: 15,840

CURRENT USE: (R-5) RESIDENTIAL/ (SINGLE FAMILY)

SPECIAL-USE APPLICATION: # 9812, DATE: 10/01/2015

THE EXISTING SITE IS MADE UP OF (1) PARCEL WITH (3) CONTIGUOUS LOTS FACING LAWSON STREET. IT IS THE OWNER'S APPLICATION TO (a) FIRST TURN THE EXISTING LOTS TO FACE 33RD STREET, AND (b) FURTHER SUBDIVIDE THE SITE INTO (4) "FEE SIMPLE" LOTS. THESE LOTS SHALL BE SURROUNDED BY "COMMON AREA" HELD IN RESTRICTIVE COVENANTS, BY A HOMEOWNER'S ASSOCIATION. THIS SITE BEING SECOND OF (4).

BUILDING DATA:

Table with 2 columns: NEW BLDG. HEIGHT, and values for lowest, highest, and average grades.

Table with 2 columns: MEZZANINE? and HIGHRISE?, both with NO values.

Table with 6 columns: GROSS BUILDING AREA, 1L, 2L, BAL, COMMENT, FOOTPRINT.

Table with 2 columns: NET BUILDING/ HEATED SPACE, NET BUILDING/ UNHEATED SPACE, BUILDING FOOTPRINT/ IMPERVIOUS SURFACE.

PARKING INFORMATION:

Table with 2 columns: SPACES/ REQUIRED, BASIS FOR PARKING CALC., and values.

Table with 2 columns: ACCESSIBLE SPACES PROVIDED, INCLUDED VAN SPACES, and values.

Table with 2 columns: PARKING INTERIOR GREEN SPACE, REQUIRED, PROVIDED, and values.

Table with 2 columns: TOTAL SPACES PROVIDED, and values.

PLANNING INFORMATION:

Table with 2 columns: PLAN OF DEVELOPMENT (P.O.D.) #, ADMINISTRATIVE #, ZONING CASE #, etc.

Table with 3 columns: UTILITIES, YES, NO, and utility names.

FLOOD PLAIN INFORMATION:

Table with 3 columns: FEMA FLOOD PLAIN, 100 YR FLOOD PLAIN, 500 YR FLOOD PLAIN, and values.

BUILDING INFORMATION:

Table with 2 columns: TOTAL S.F. OF BUILDING, NO. OF STORIES, NO. OF LIVING UNITS, etc.

PLANNING INFORMATION:

SITE- C

DEVELOPMENT PARCEL: 3303C LAWSON STREET, RICHMOND, VA 23224

LOT(S) & ACREAGE: EXISTING LOTS: 3-4, MAP REF# S0000157001, ACERAGE: 0.3636, SQ FT.: 15,840

CURRENT USE: (R-5) RESIDENTIAL/ (SINGLE FAMILY)

SPECIAL-USE APPLICATION: # 9812, DATE: 10/01/2015

THE EXISTING SITE IS MADE UP OF (1) PARCEL WITH (3) CONTIGUOUS LOTS FACING LAWSON STREET. IT IS THE OWNER'S APPLICATION TO (a) FIRST TURN THE EXISTING LOTS TO FACE 33RD STREET, AND (b) FURTHER SUBDIVIDE THE SITE INTO (4) "FEE SIMPLE" LOTS. THESE LOTS SHALL BE SURROUNDED BY "COMMON AREA" HELD IN RESTRICTIVE COVENANTS, BY A HOMEOWNER'S ASSOCIATION. THIS SITE BEING THIRD OF (4).

BUILDING DATA:

Table with 2 columns: NEW BLDG. HEIGHT, and values for lowest, highest, and average grades.

Table with 2 columns: MEZZANINE? and HIGHRISE?, both with NO values.

Table with 6 columns: GROSS BUILDING AREA, 1L, 2L, BAL, COMMENT, FOOTPRINT.

Table with 2 columns: NET BUILDING/ HEATED SPACE, NET BUILDING/ UNHEATED SPACE, BUILDING FOOTPRINT/ IMPERVIOUS SURFACE.

PARKING INFORMATION:

Table with 2 columns: SPACES/ REQUIRED, BASIS FOR PARKING CALC., and values.

Table with 2 columns: ACCESSIBLE SPACES PROVIDED, INCLUDED VAN SPACES, and values.

Table with 2 columns: PARKING INTERIOR GREEN SPACE, REQUIRED, PROVIDED, and values.

Table with 2 columns: TOTAL SPACES PROVIDED, and values.

PLANNING INFORMATION:

Table with 2 columns: PLAN OF DEVELOPMENT (P.O.D.) #, ADMINISTRATIVE #, ZONING CASE #, etc.

Table with 3 columns: UTILITIES, YES, NO, and utility names.

FLOOD PLAIN INFORMATION:

Table with 3 columns: FEMA FLOOD PLAIN, 100 YR FLOOD PLAIN, 500 YR FLOOD PLAIN, and values.

BUILDING INFORMATION:

Table with 2 columns: TOTAL S.F. OF BUILDING, NO. OF STORIES, NO. OF LIVING UNITS, etc.

PLANNING INFORMATION:

SITE- D

(NEW ADD)

DEVELOPMENT PARCEL: 3303D LAWSON STREET, RICHMOND, VA 23224

LOT(S) & ACREAGE: EXISTING LOTS: 4-4, MAP REF# S0000157001, ACERAGE: 0.3636, SQ FT.: 15,840

CURRENT USE: (R-5) RESIDENTIAL/ (SINGLE FAMILY)

SPECIAL-USE APPLICATION: # 9812, DATE: 10/01/2015

THE EXISTING SITE IS MADE UP OF (1) PARCEL WITH (3) CONTIGUOUS LOTS FACING LAWSON STREET. IT IS THE OWNER'S APPLICATION TO (a) FIRST TURN THE EXISTING LOTS TO FACE 33RD STREET, AND (b) FURTHER SUBDIVIDE THE SITE INTO (4) "FEE SIMPLE" LOTS. THESE LOTS SHALL BE SURROUNDED BY "COMMON AREA" HELD IN RESTRICTIVE COVENANTS, BY A HOMEOWNER'S ASSOCIATION. THIS SITE BEING FOURTH OF (4).

BUILDING DATA:

Table with 2 columns: NEW BLDG. HEIGHT, and values for lowest, highest, and average grades.

Table with 2 columns: MEZZANINE? and HIGHRISE?, both with NO values.

Table with 6 columns: GROSS BUILDING AREA, 1L, 2L, BAL, COMMENT, FOOTPRINT.

Table with 2 columns: NET BUILDING/ HEATED SPACE, NET BUILDING/ UNHEATED SPACE, BUILDING FOOTPRINT/ IMPERVIOUS SURFACE.

PARKING INFORMATION:

Table with 2 columns: SPACES/ REQUIRED, BASIS FOR PARKING CALC., and values.

Table with 2 columns: ACCESSIBLE SPACES PROVIDED, INCLUDED VAN SPACES, and values.

Table with 2 columns: PARKING INTERIOR GREEN SPACE, REQUIRED, PROVIDED, and values.

Table with 2 columns: TOTAL SPACES PROVIDED, and values.

PLANNING INFORMATION:

Table with 2 columns: PLAN OF DEVELOPMENT (P.O.D.) #, ADMINISTRATIVE #, ZONING CASE #, etc.

Table with 3 columns: UTILITIES, YES, NO, and utility names.

FLOOD PLAIN INFORMATION:

Table with 3 columns: FEMA FLOOD PLAIN, 100 YR FLOOD PLAIN, 500 YR FLOOD PLAIN, and values.

BUILDING INFORMATION:

Table with 2 columns: TOTAL S.F. OF BUILDING, NO. OF STORIES, NO. OF LIVING UNITS, etc.

PLANNING INFORMATION:

SITE- E

(INCLUDED COMMON AREA)

DEVELOPMENT PARCEL: 3303E LAWSON STREET, RICHMOND, VA 23224

LOT(S) & ACREAGE: EXISTING LOTS: INCL, MAP REF# S0000157001, ACERAGE: 0.3636, SQ FT.: 15,840

CURRENT USE: (R-5) RESIDENTIAL/ (SINGLE FAMILY)

SPECIAL-USE APPLICATION: # 9812, DATE: 10/01/2015

THE EXISTING SITE IS MADE UP OF ALL "COMMON AREA" INCLUDING (2) ANCILLARY BUILDINGS, ASSIGNED PARKING AREA, SIDEWALKS, AND ALL OTHER APPURTENANCE'S LISTED IN ALL LEGAL DOCUMENTS. KEY PROJECT DOCUMENT DESCRIPTIONS ARE INCLUDED IN THE WRITTEN PORTION OF THIS SUBMISSION PACKAGE. ALL ASSETS AND OTHER ITEMS PART OF THE "COMMON AREA" ARE HELD THROUGH "RESTRICTIVE COVENANTS" BY THE HOMEOWNER'S ASSOCIATION.

BUILDING DATA:

Table with 2 columns: NEW BLDG. HEIGHT, and values for lowest, highest, and average grades.

Table with 2 columns: MEZZANINE? and HIGHRISE?, both with NO values.

Table with 6 columns: GROSS BUILDING AREA, 1L, 2L, BAL, COMMENT, FOOTPRINT.

Table with 2 columns: NET BUILDING/ HEATED SPACE, NET BUILDING/ UNHEATED SPACE, BUILDING FOOTPRINT/ IMPERVIOUS SURFACE.

PARKING INFORMATION:

Table with 2 columns: SPACES/ REQUIRED, BASIS FOR PARKING CALC., and values.

Table with 2 columns: ACCESSIBLE SPACES PROVIDED, INCLUDED VAN SPACES, and values.

Table with 2 columns: PARKING INTERIOR GREEN SPACE, REQUIRED, PROVIDED, and values.

Table with 2 columns: TOTAL SPACES PROVIDED, and values.

PLANNING INFORMATION:

Table with 2 columns: PLAN OF DEVELOPMENT (P.O.D.) #, ADMINISTRATIVE #, ZONING CASE #, etc.

Table with 3 columns: UTILITIES, YES, NO, and utility names.

FLOOD PLAIN INFORMATION:

Table with 3 columns: FEMA FLOOD PLAIN, 100 YR FLOOD PLAIN, 500 YR FLOOD PLAIN, and values.

BUILDING INFORMATION:

Table with 2 columns: TOTAL S.F. OF BUILDING, NO. OF STORIES, NO. OF LIVING UNITS, etc.

PLANNING INFORMATION:

HRD, Inc.

(A Virginia Corporation) P.O. Box 7218, Richmond, VA 23221-0218, PH: 804/673-0842

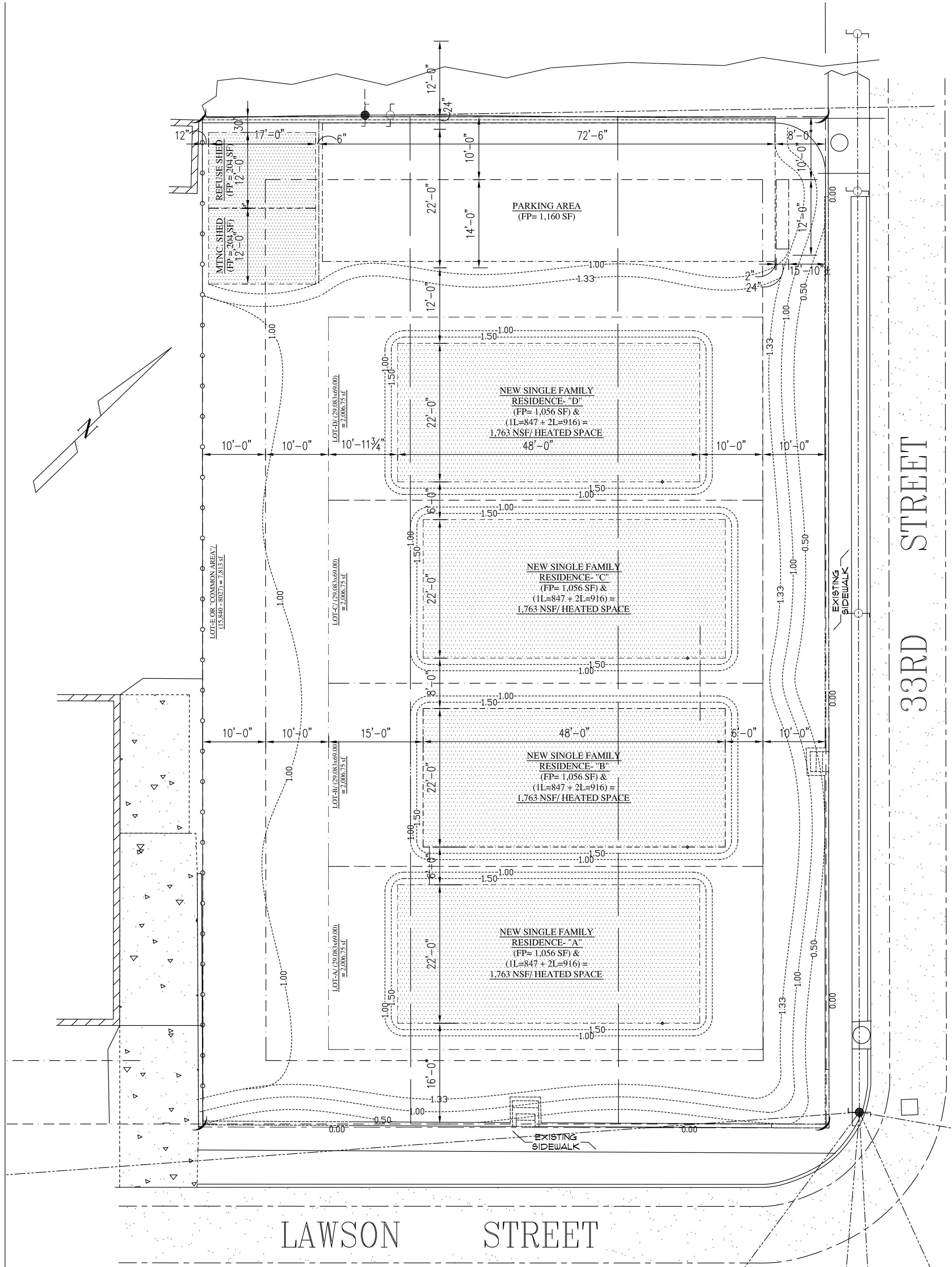
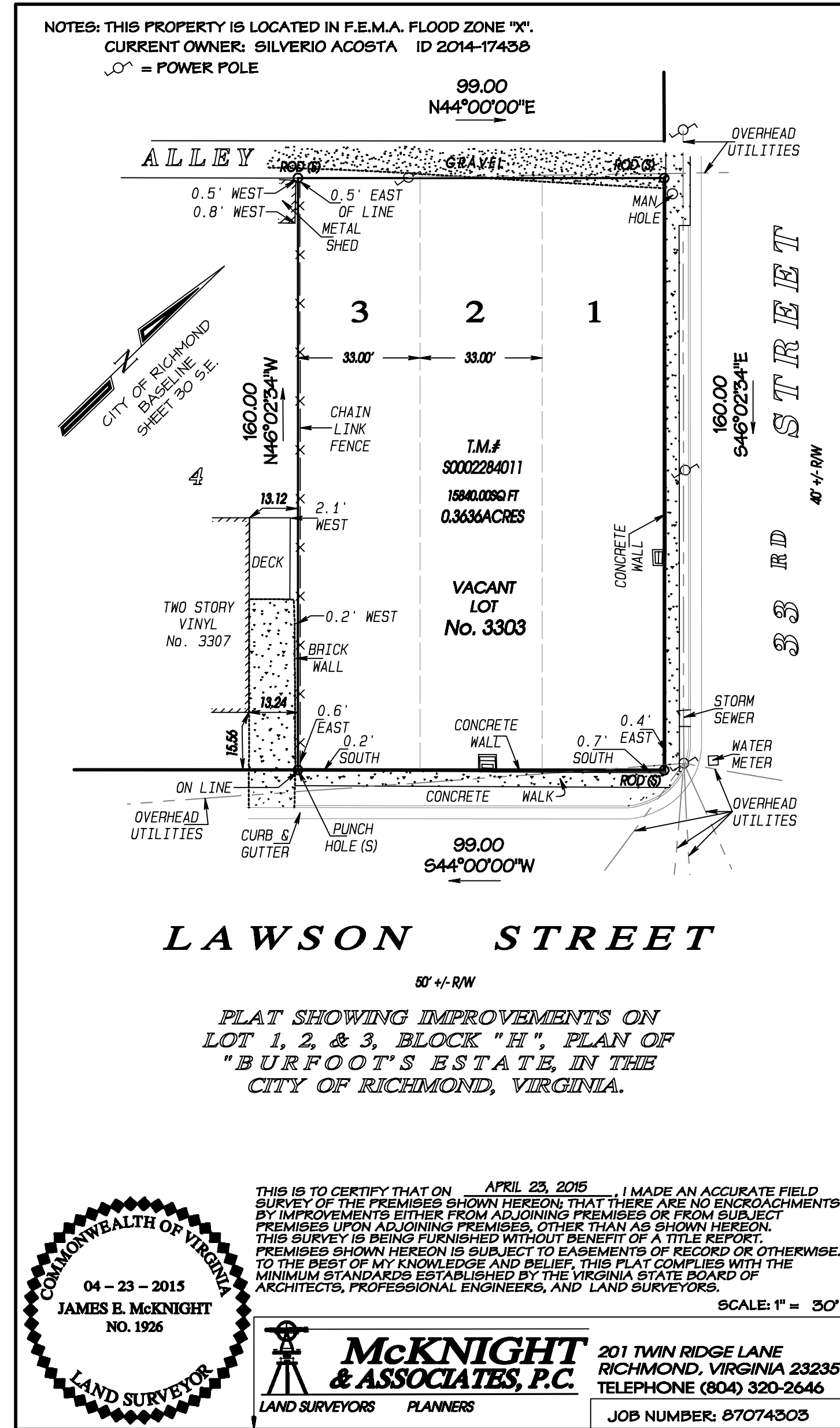
PROJECT DATA & SITE APPLICATION INFORMATION

BURFOOT COMMONS, LLC, 3303A -E LAWSON ST., RICHMOND, VA 23224 (804) 912-4074

Table with 3 columns: REV, DATE, NOTE.

Table with 2 columns: DATE, HRD PROJECT NO., CLIENT PROJECT NO., SCALE, APPROVED BY.

A0.2



NEW IMPROVEMENTS SPATIAL CALCULATIONS

ID	LOCATION	FOOT PRINT	%	1L	2L	SAL	PK-SPCS	AREA	TYPE
0	EXIST PARCEL # 228401	19,840	100%	0	0	0	0	0	
"A"	NEW RESIDENCE/ (3303-A)	1,056	6.7%	847	916	1,363	1	250	HC
"B"	NEW RESIDENCE/ (3303-B)	1,056	6.7%	847	916	1,363	1	250	HC
"C"	NEW RESIDENCE/ (3303-C)	1,056	6.7%	847	916	1,363	1	250	HC
"D"	NEW RESIDENCE/ (3303-D)	1,056	6.7%	847	916	1,363	1	250	HC
M5	NEW MAINTENANCE SHED	204	1.3%	204	0	204	0	0	
M6	NEW REFUSE SHED	204	1.3%	204	0	204	0	0	
	IMPROVED AREA	5,632	28.3%			1,460	4	1,060	SF
	GREEN SPACE	12,208	60.8%						

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P.O. Box 7218
Richmond, VA 23221-0218
PH: 804/673-6842

EXIST SITE SURVEY & NEW SITE PLAN

BURFOOT COMMONS, LLC.
3303A-E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

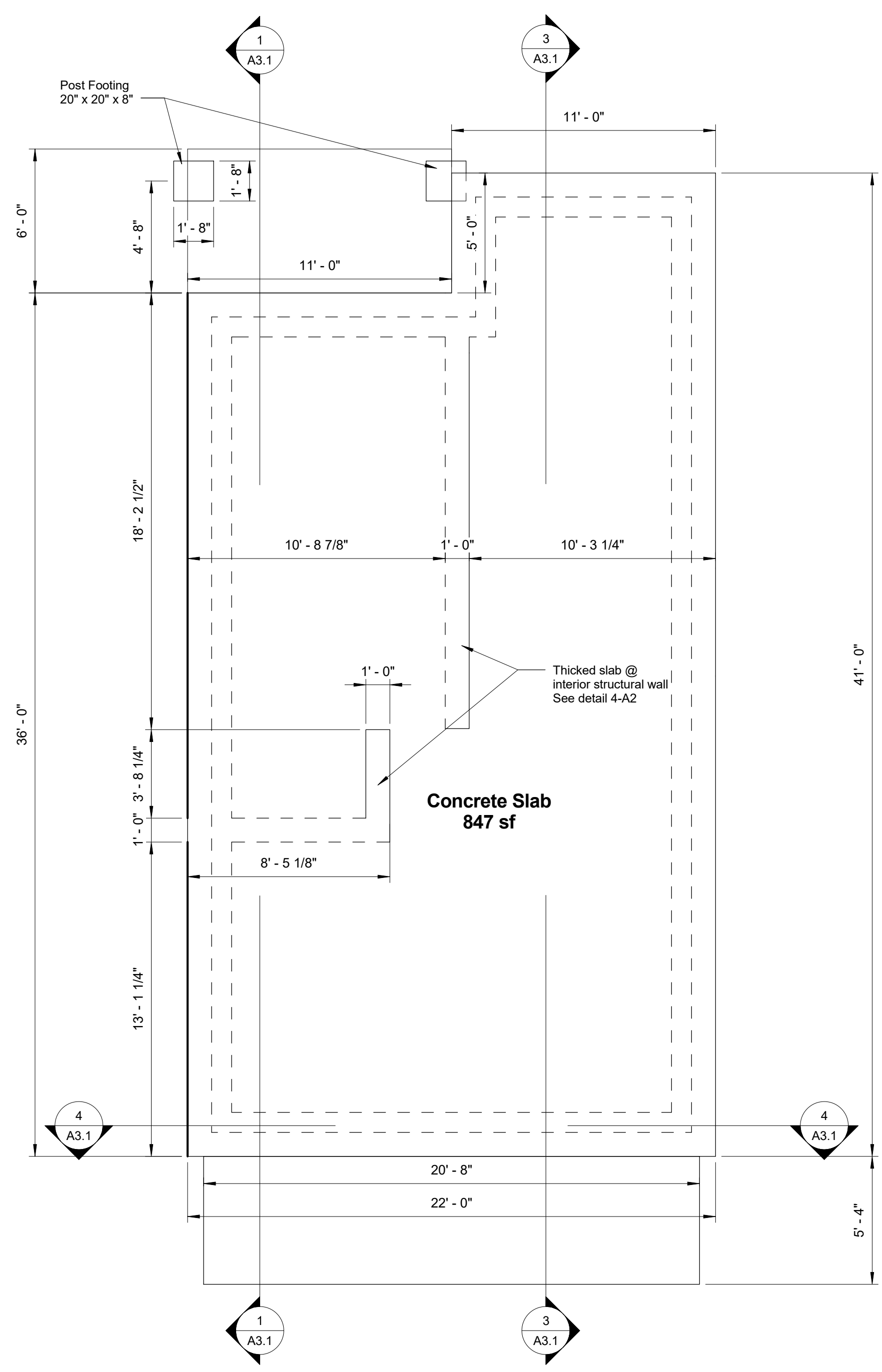
PROJECT TITLE

REV DATE NOTE

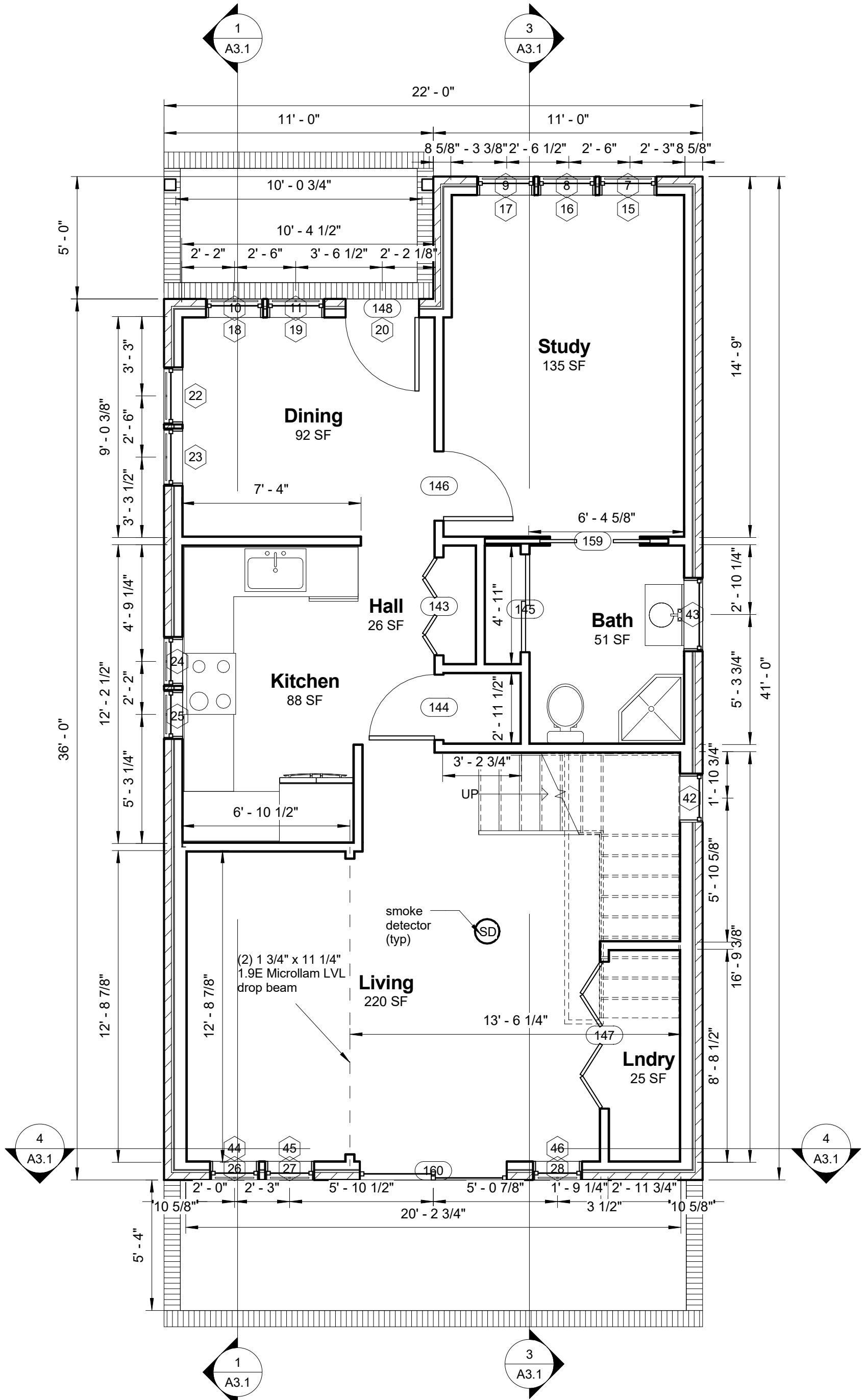
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: AS NOTED
APPROVED BY: RSM

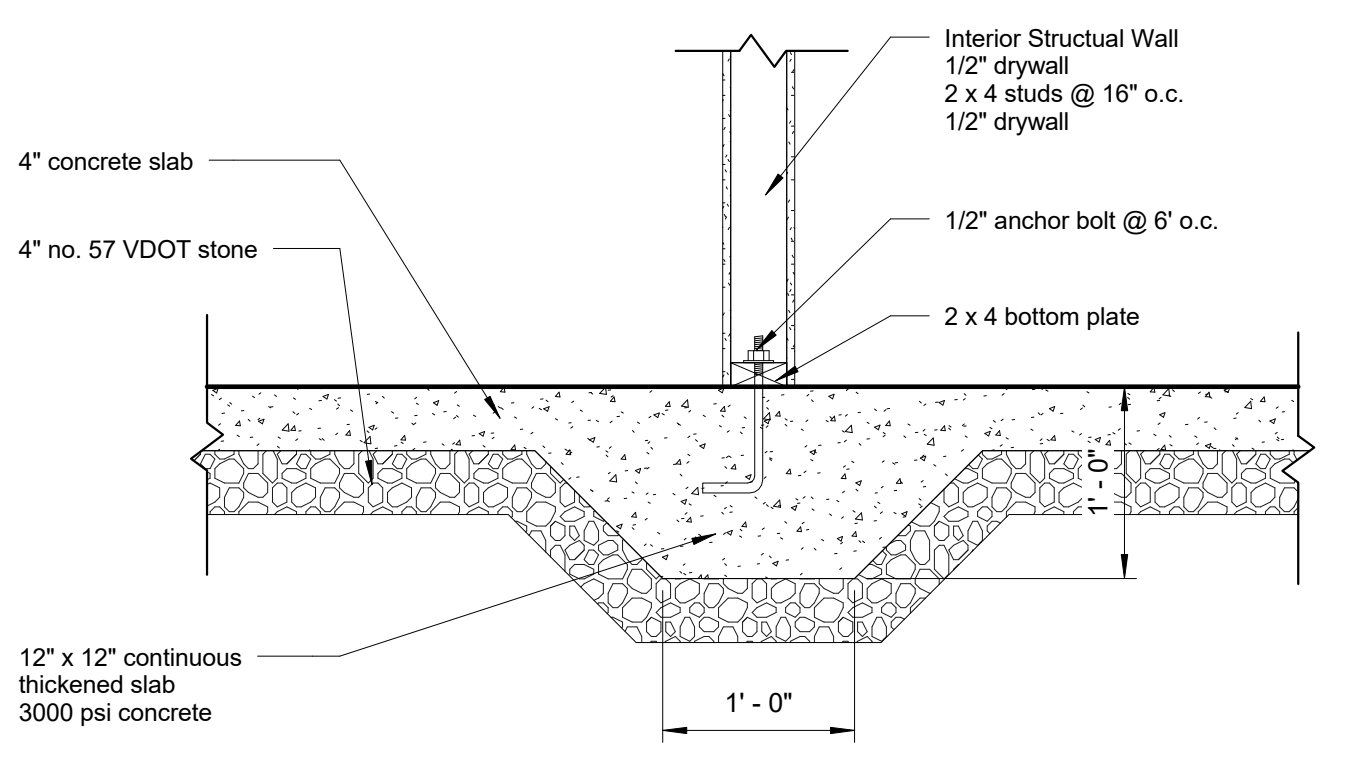
A1.0



1 Proposed - First Floor Structure
1/4" = 1'-0"



2 Proposed - First Floor
1/4" = 1'-0"



3 Thickened Slab Detail
1" = 1'-0"

*Note: All dimensions are to framing unless otherwise noted

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P.O. Box 7218
Richmond, VA 23221-0218
PH: 804/673-0842

SHEET TITLE
**NEW FOUNDATION
& 1L PLANS, WITH
MSC DTLS**

PROJECT TITLE
**BURFOOT COMMONS, LLC.
3303A - E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074**

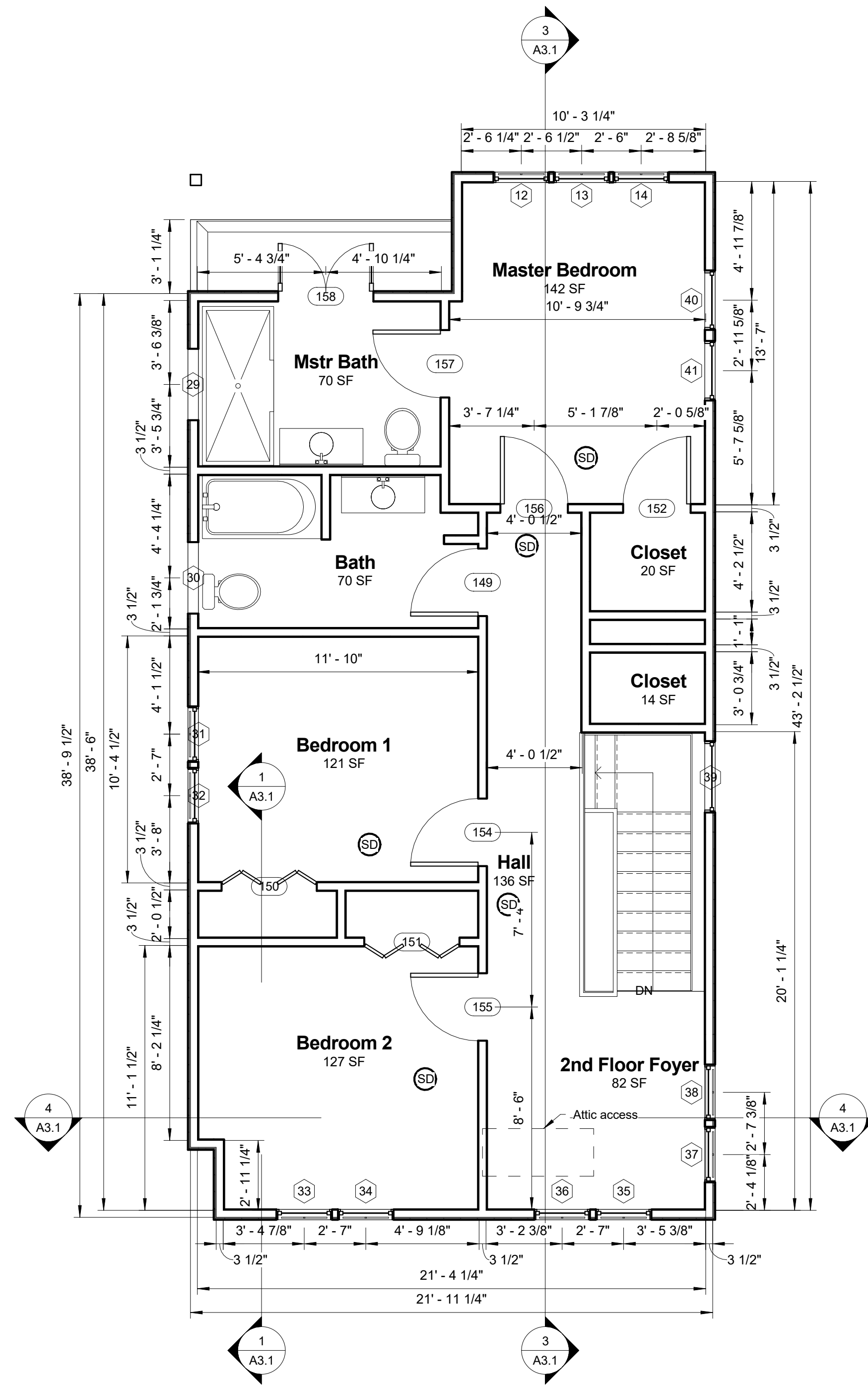
REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: AS NOTED
APPROVED BY: RSM

- NOTES:**
- DO NOT SCALE DRAWINGS.
 - ALL IMPROVEMENTS ARE TO BE CARRIED OUT IN OWNER APPROVED LOCATIONS AND WITHIN THE OWNER APPROVED SCHEDULE.
 - ALL NEW BUILDING LOCATIONS TO BE VERIFIED BY ON-SITE SURVEYOR. RECORD ANY SITE CONDITIONS THAT IMPEDE WORK AND ADVISE OWNER IMMEDIATELY OF CONDITIONS.
 - EXCAVATOR SHALL PAY CLOSE ATTENTION TO UNDERGROUND UTILITIES (AND/OR CONDUIT) LOCATIONS, PRIOR TO AND THROUGHOUT THE EXCAVATION PROCESS.
 - SOME UNDERGROUND CONDUIT WILL RECEIVE MINOR CONCRETE BALAST, AT KEY POINTS. WHILE ELECTRICAL MAIN CONDUIT WILL RECEIVE A CONCRETE CAP/COVER OVER THE FULL LENGTH OF THE RUN.
 - EXCAVATOR SHALL COORDINATE WITH OWNER ON ALL SITE FEATURES IN THE SITE AND UNDERGROUND UTILITIES PLANS, AND, BUILDING FEATURES IN THE BUILDING PLANS.
 - COORDINATE WITH OWNER ON M/E/P FIXTURES AND OTHER M/E/P EQUIPMENT TO BE INSTALLED. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES DURING THE INSTALLATION PROCESS.
 - THE RESIDENCE AND NEW CONSTRUCTION SHALL BE MADE SECURE AT THE END OF EACH WORK PERIOD. SEEK OWNER APPROVAL BEFORE DEPARTING.

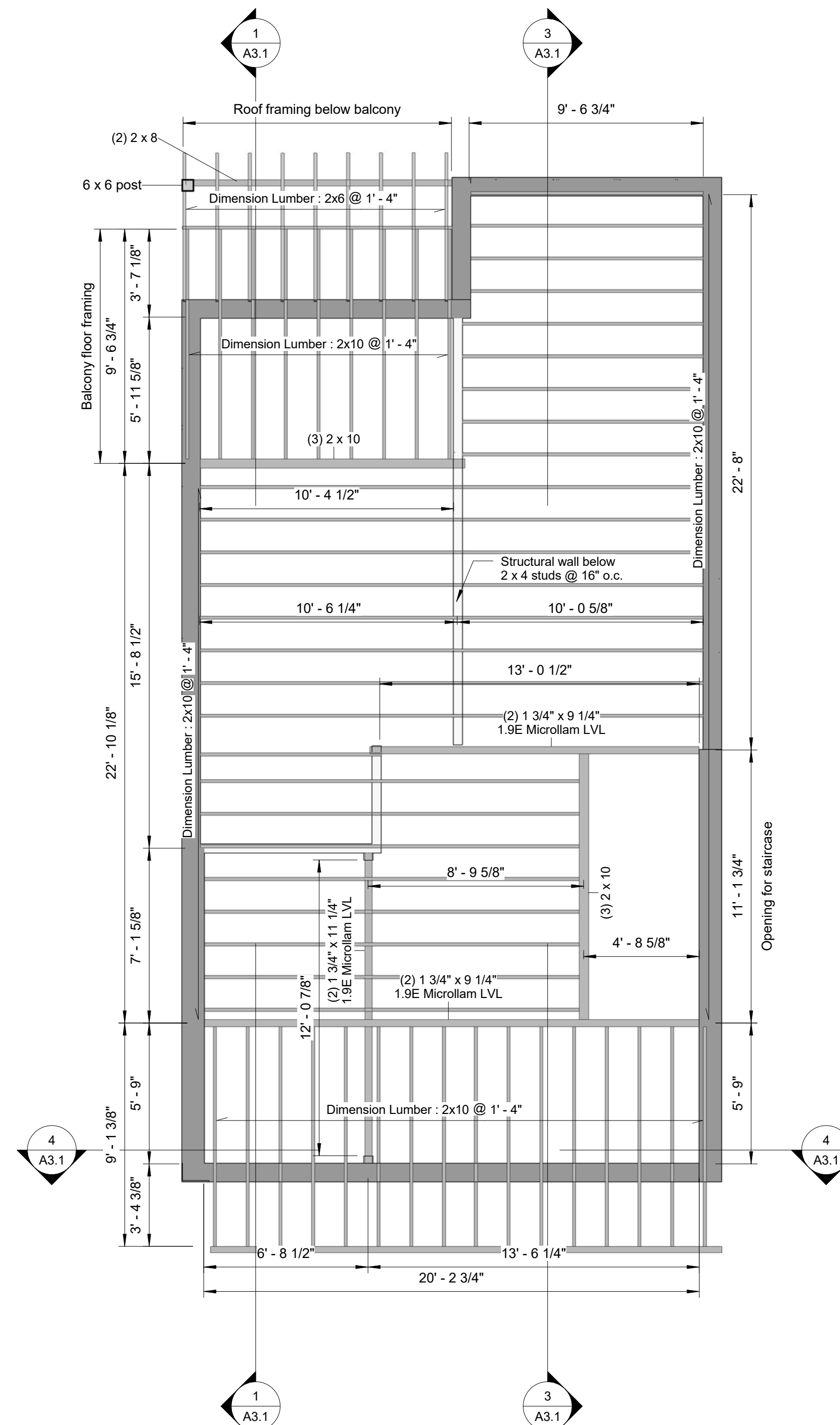


A1.1



1 Proposed - Second Floor

1/4" = 1'-0"



2 Proposed - Second Floor Structure

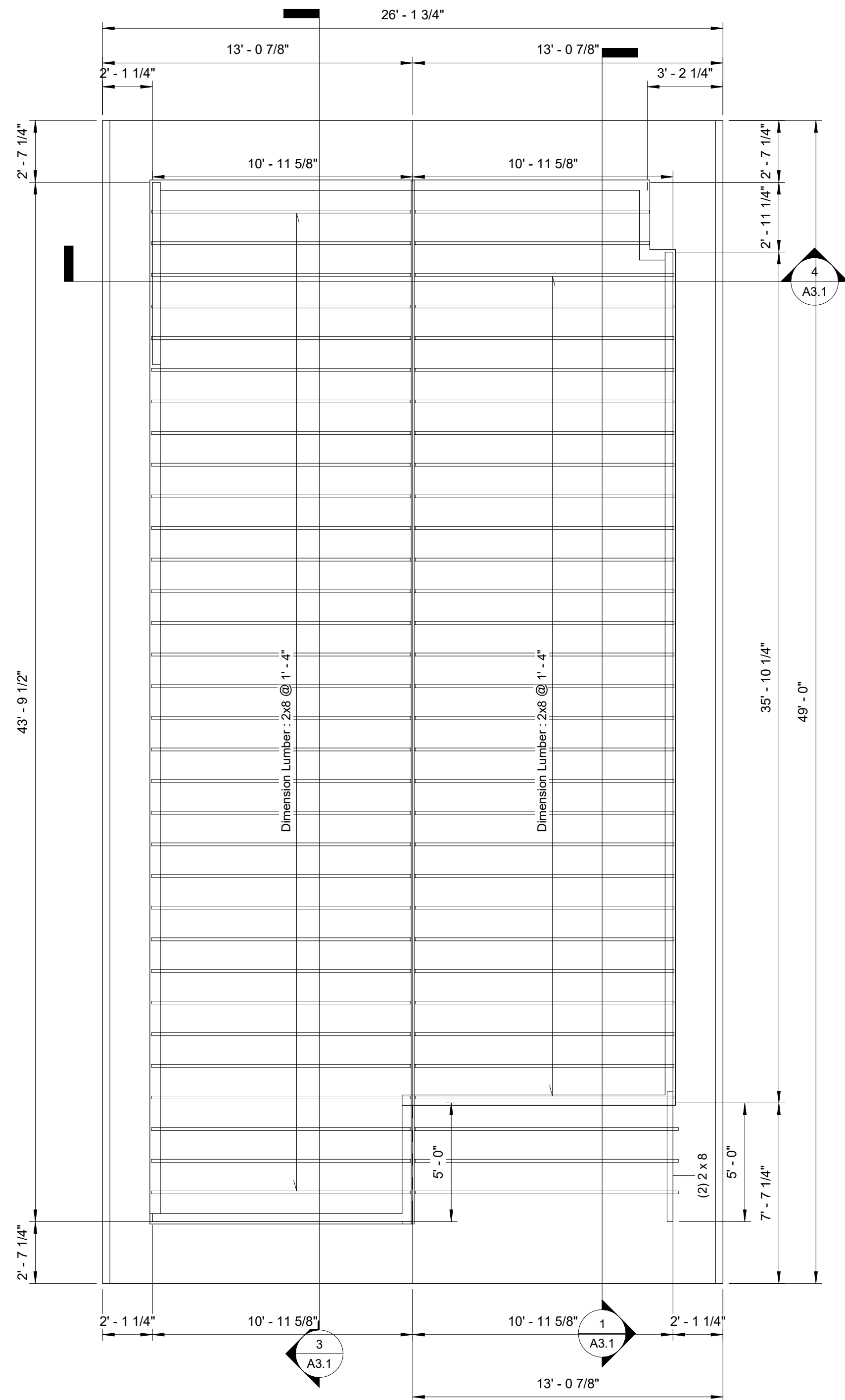
1/4" = 1'-0"

FINISHED FLOOR NOTES:

1. DO NOT SCALE DRAWINGS.
2. ALL IMPROVEMENTS ARE TO BE CARRIED OUT IN OWNER APPROVED LOCATIONS AND WITHIN THE OWNER APPROVED SCHEDULE.
3. ALL NEW BUILDING LOCATIONS TO BE VERIFIED BY ON-SITE SURVEYOR. RECORD ANY SITE CONDITIONS THAT IMPEDE WORK AND ADVISE OWNER IMMEDIATELY OF CONDITIONS.
4. FRAMER SHALL PAY CLOSE ATTENTION TO MECHANICAL AND/OR PLUMBING SHAFT LOCATIONS, PRIOR TO AND THROUGHOUT THE FRAMING PROCESS.
5. FRAMER SHALL COORDINATE WITH DISCIPLINES TO ACCOMMODATE FOR NEW EQUIPMENT, SPECIAL CUT-OUTS AND SPECIAL FRAMING SITUATIONS THAT ARISE FROM UNSPECIFIED SITUATIONS, AND TO MEET CODE REQUIREMENTS.
6. FRAMER SHALL REVIEW ALL PLANS, AND BUILDING FEATURES IN THE BUILDING PLANS, BEFORE FRAMING LAYOUT MAY BEGIN. BLOCKING, CORNER EDGES AND DRYWALL FINISH EDGES ARE REQUIRED IN ALL AREAS, AND AS SPECIFIED BY CODE.
7. COORDINATE WITH OWNER ON M/E/P FIXTURES AND OTHER M/E/P EQUIPMENT TO BE INSTALLED. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES DURING THE INSTALLATION PROCESS.
8. THE RESIDENCE AND NEW CONSTRUCTION SHALL BE MADE SECURE AT THE END OF EACH WORK PERIOD. SEEK OWNER APPROVAL BEFORE DEPARTING.

REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
 HRD PROJECT NO.: 15-0409
 CLIENT PROJECT NO.: NEW RESIDENCE
 SCALE: AS NOTED
 APPROVED BY: RSM



1 Proposed - Roof Structure
1/4" = 1'-0"

ROOF NOTES:

- DO NOT SCALE DRAWINGS.
- ALL IMPROVEMENTS ARE TO BE CARRIED OUT IN OWNER APPROVED LOCATIONS AND WITHIN THE OWNER APPROVED SCHEDULE.

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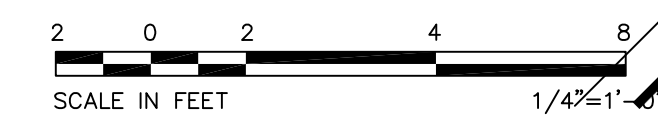
**NEW ROOF
FRAMING PLAN
& MSC DTLS**

BURFOOT COMMONS, LLC.
3303A - E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

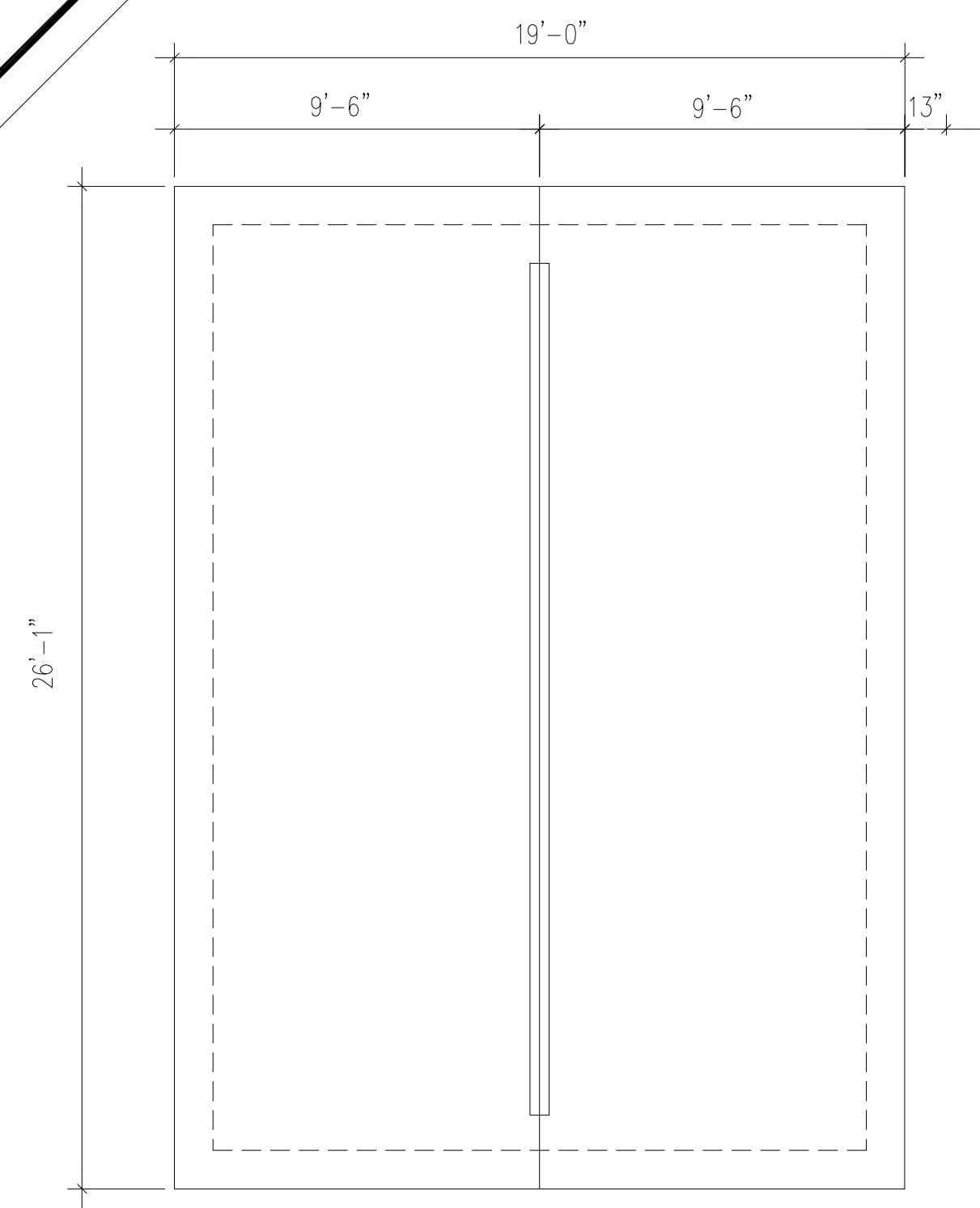
REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: AS NOTED

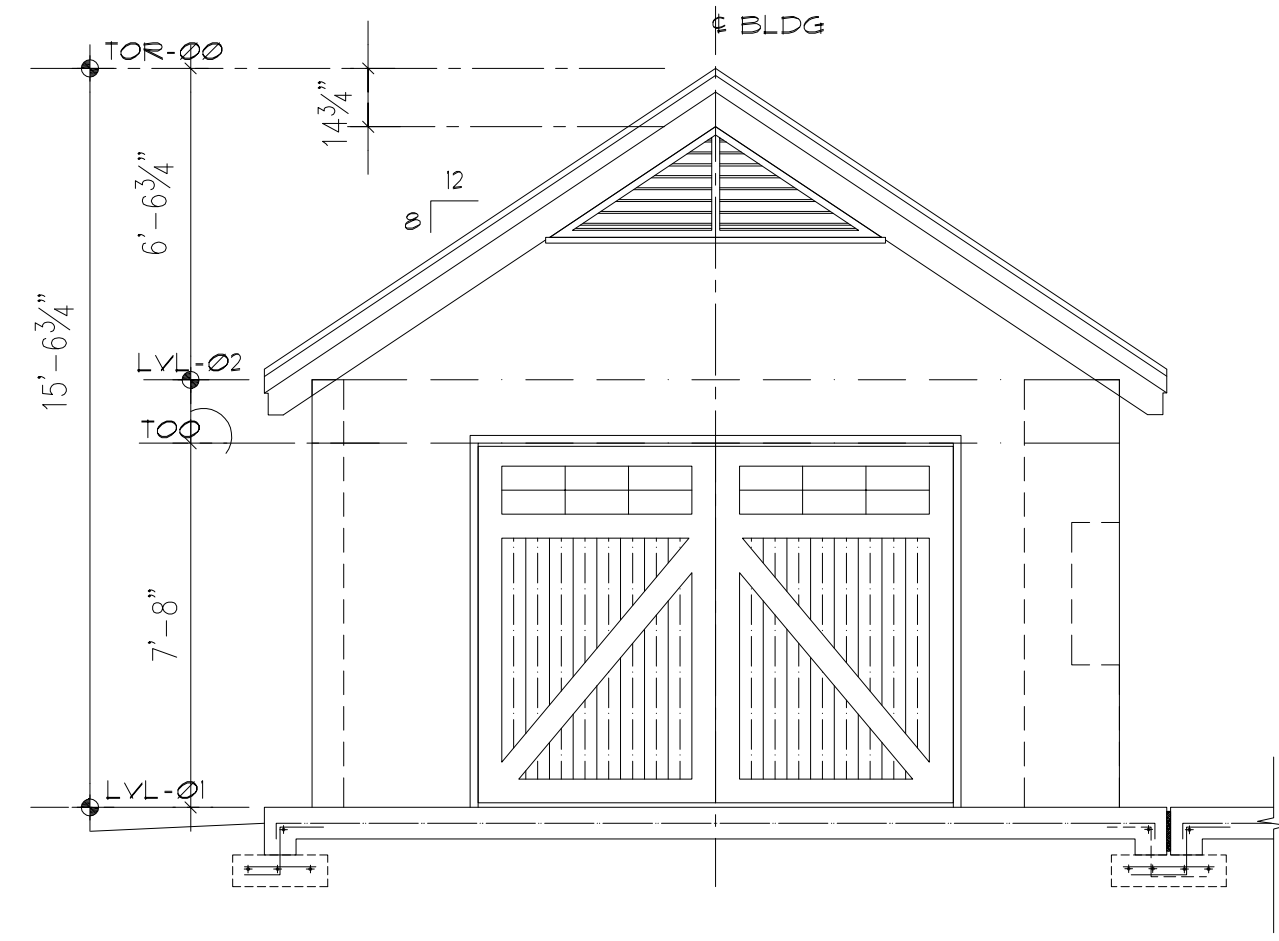
APPROVED BY: RSM



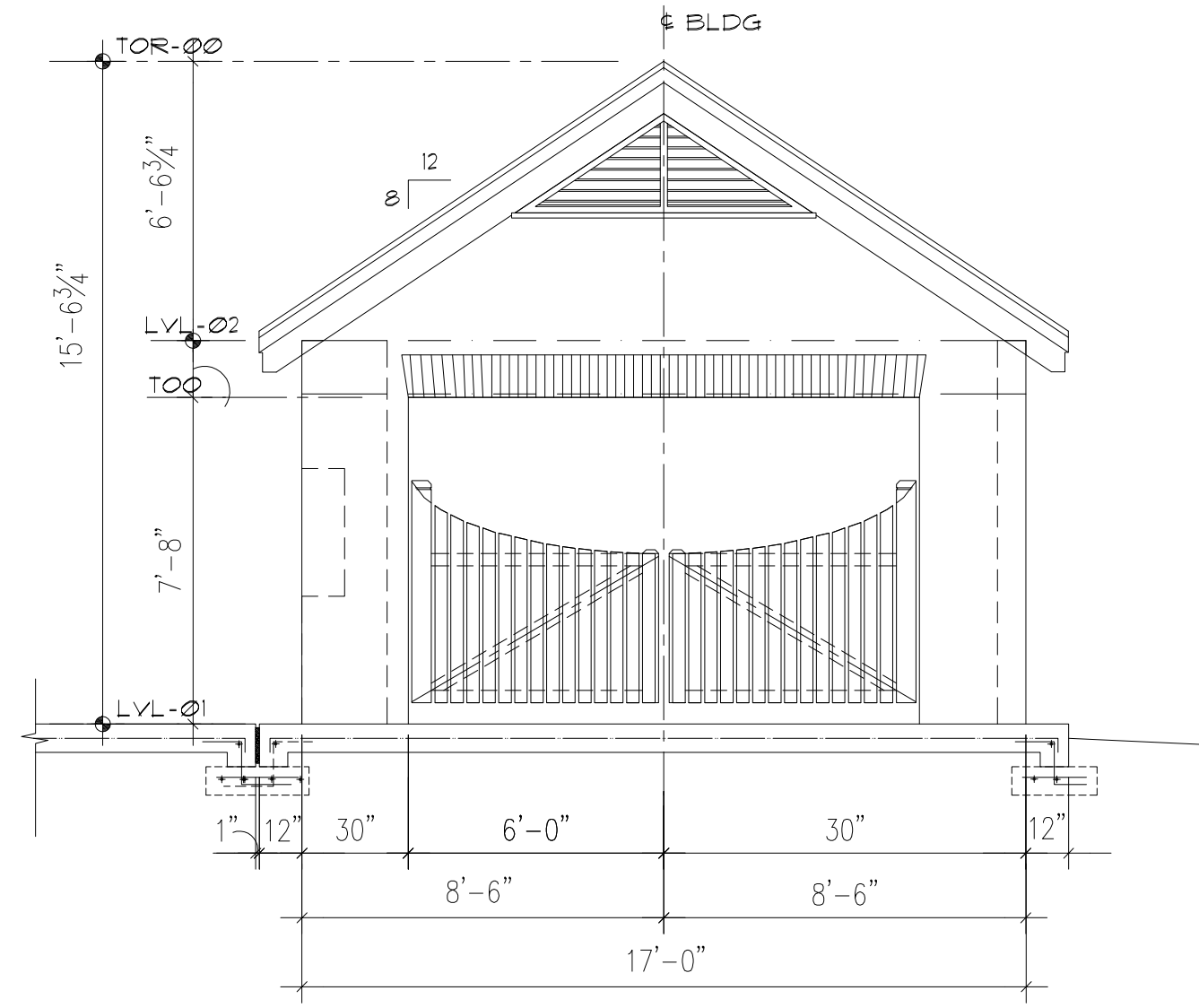
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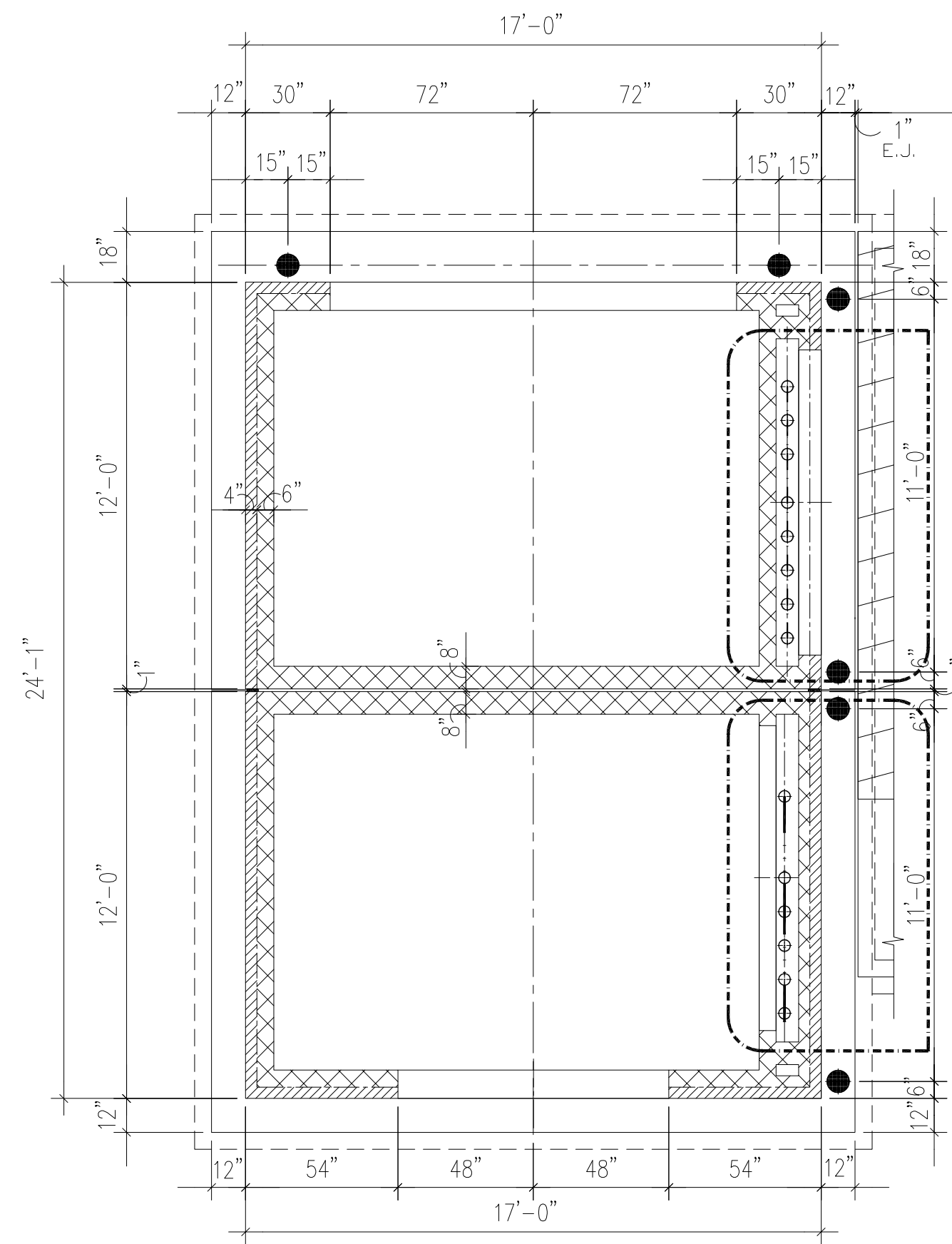
01 AUXILIARY BUILDINGS/
A2.2/AXX
ROOF PLANS
SCALE: 1/4"=1'-0"



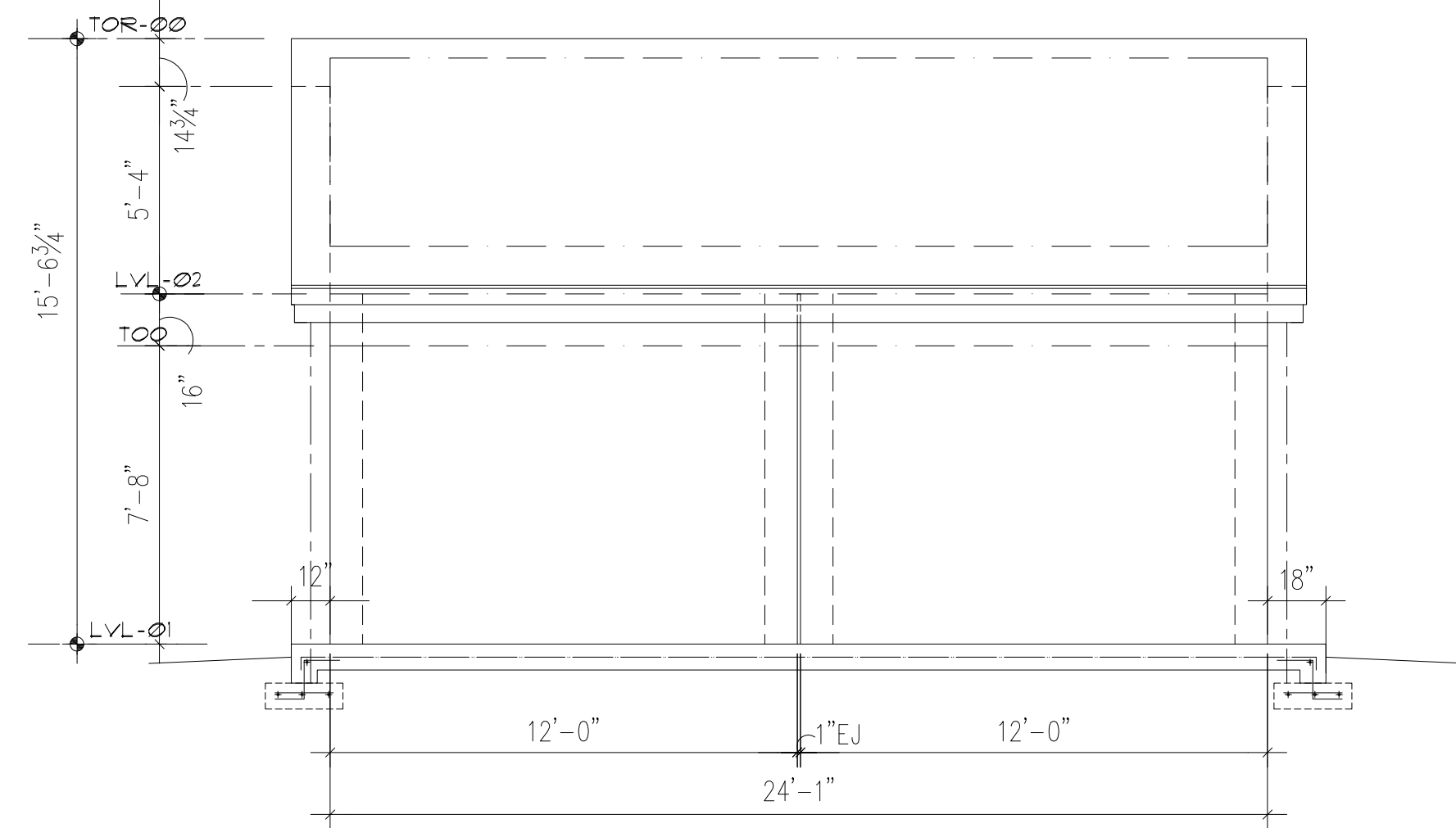
01 AUXILIARY BUILDINGS/
A2.2/AXX
ROOF PLANS
SCALE: 1/4"=1'-0"



01 AUXILIARY BUILDINGS/
A2.2/AXX
ROOF PLANS
SCALE: 1/4"=1'-0"



01 AUXILIARY BUILDINGS/
A2.2/AXX
ROOF PLANS
SCALE: 1/4"=1'-0"



01 AUXILIARY BUILDINGS/
A2.2/AXX
ROOF PLANS
SCALE: 1/4"=1'-0"

HRD, Inc.
(A Virginia Corporation)
P.O. Box 7218
Richmond, VA 23221-0218
PH: 804/673-0842

SHEET TITLE
**NEW ANCILLARY
PLANS, ELEVATIONS,
SECTIONS & DTLS.**

PROJECT TITLE
BURFOOT COMMONS, LLC.
3303A-E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE

12.30.2015

HRD PROJECT NO.

15-0409

CLIENT PROJECT NO.

NEW RESIDENCE

SCALE

AS NOTED

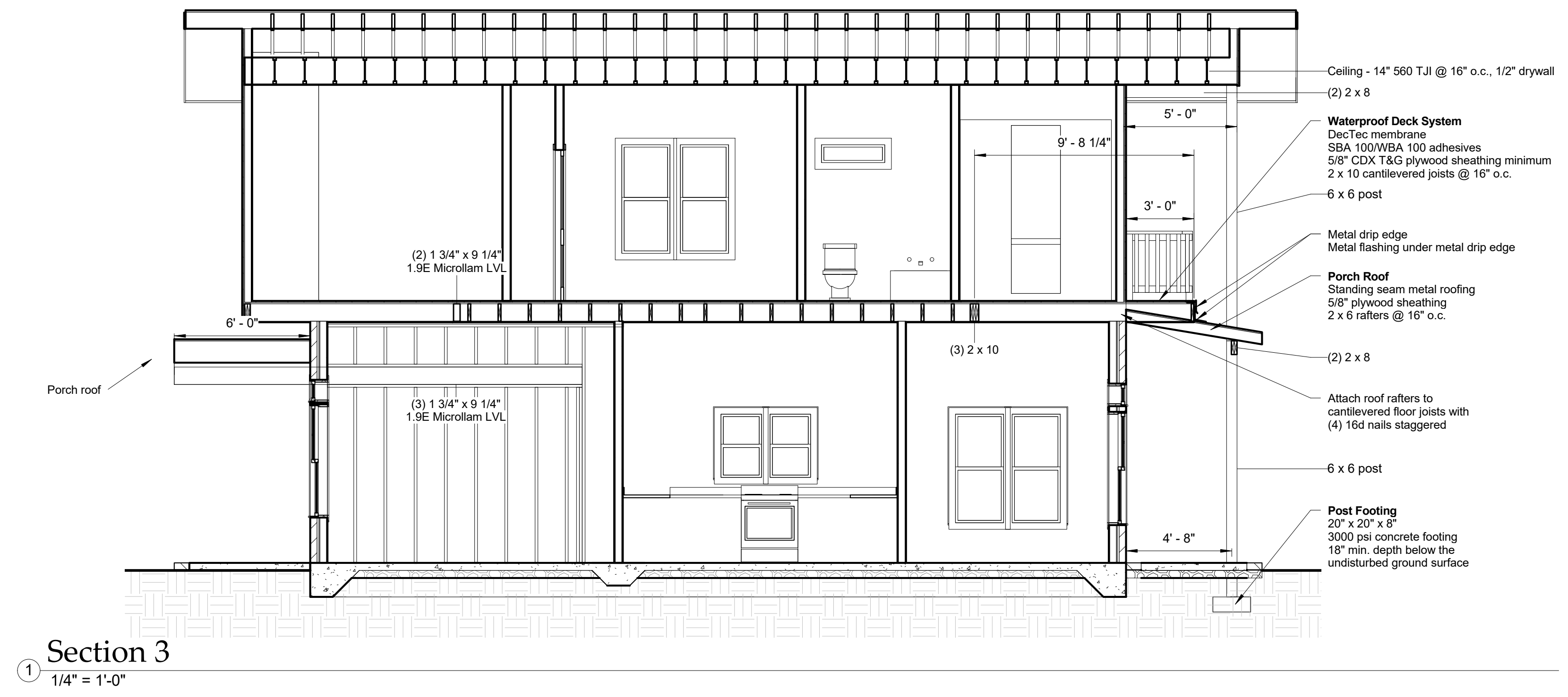
APPROVED BY

RSM

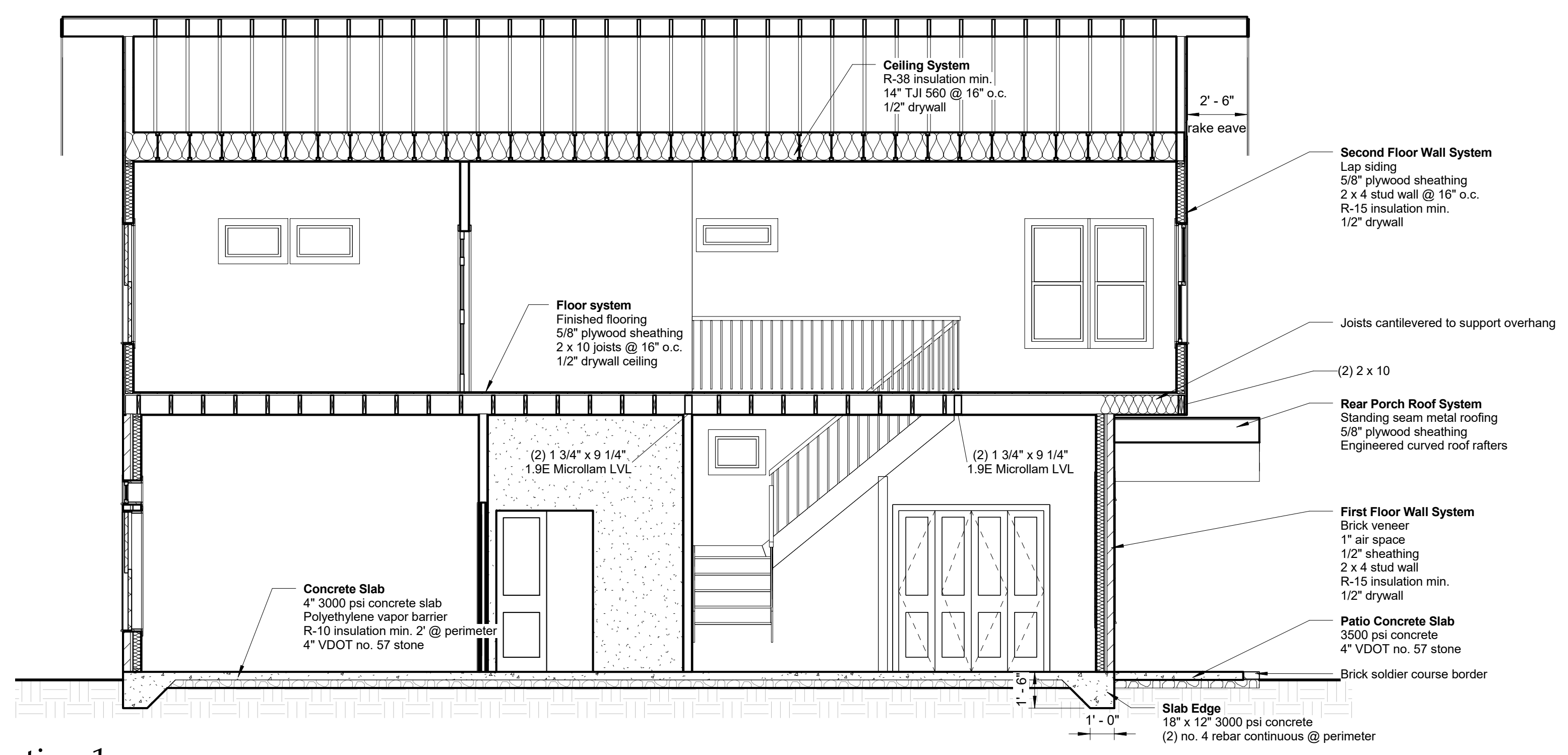


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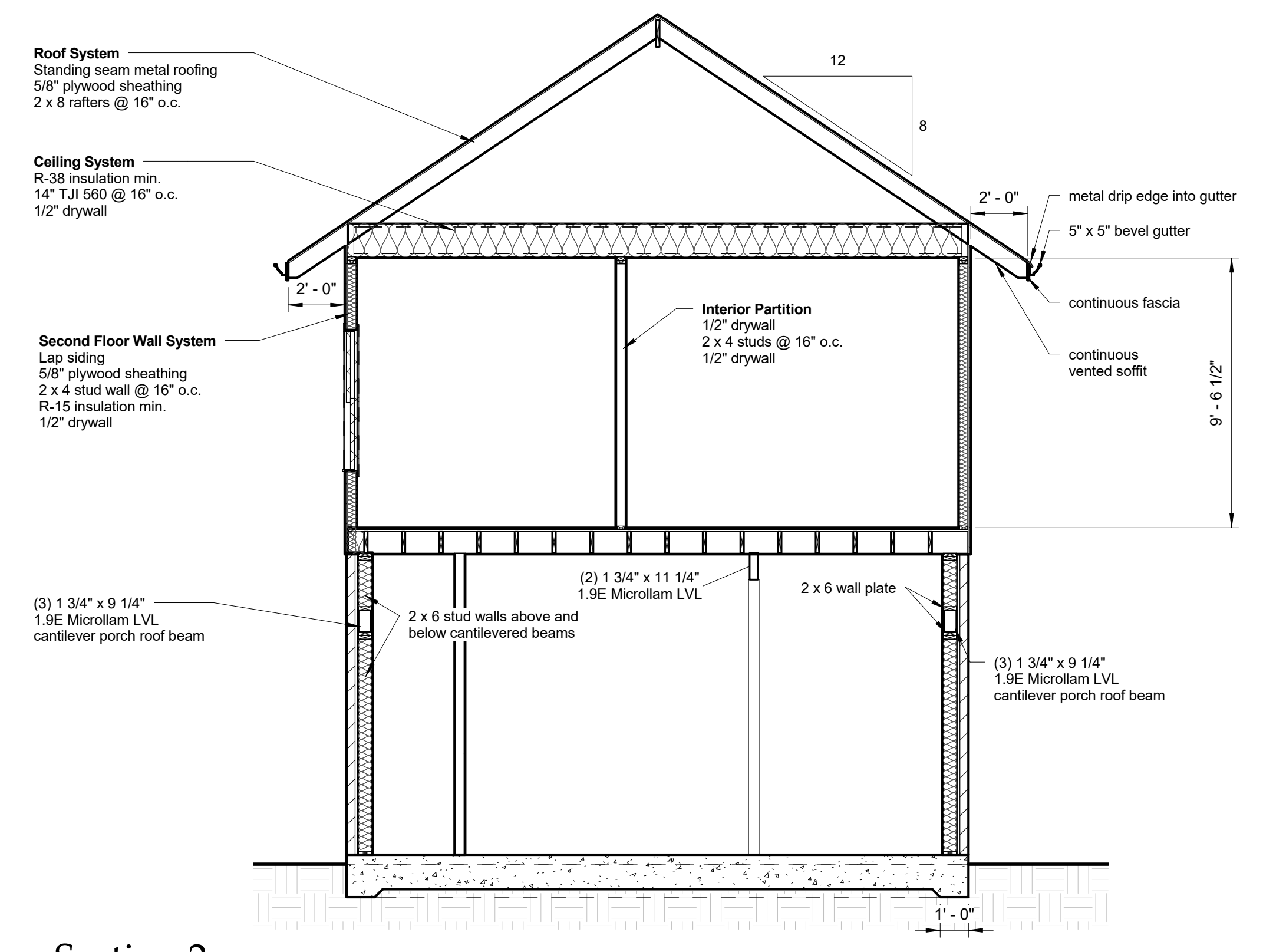
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Section 3
1/4" = 1'-0"



Section 1
1/4" = 1'-0"



Section 2
1/4" = 1'-0"

HRD, Inc.
(A Virginia Corporation)
P.O. Box 7218
Richmond, VA 23221-0218
PH: 804/673-6842

NEW BUILDING
SECTIONS FOR
BLDGs (A-D)

PROJECT TITLE
BURFOOT COMMONS, LLC.
3303A-E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE 12.30.2015
HRD PROJECT NO. 15-0409
CLIENT PROJECT NO. NEW RESIDENCE
SCALE AS NOTED
APPROVED BY RSM

A3.1

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 Richmond, VA 23221-0218
 PH: 804/673-6842

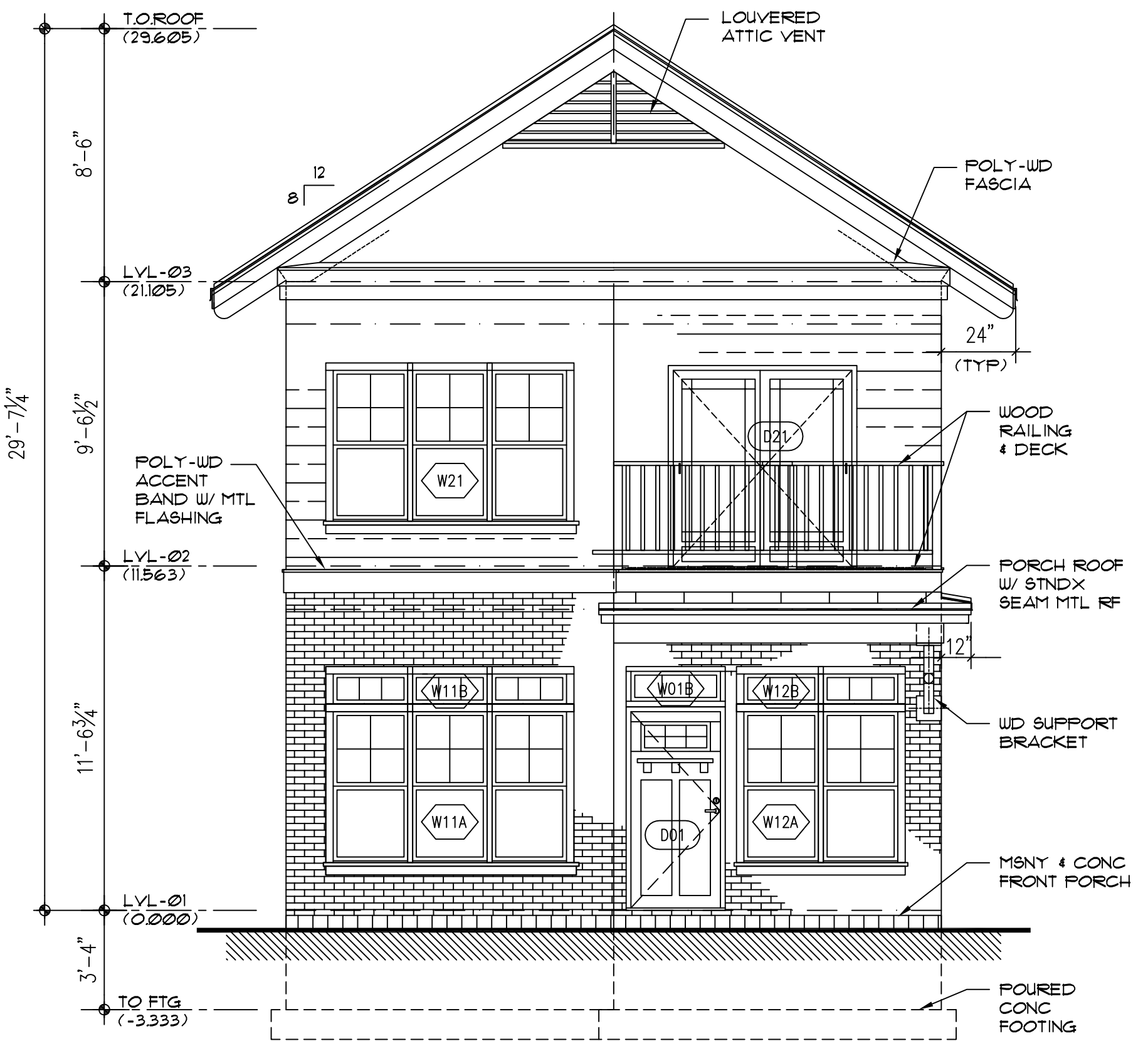
NEW BUILDING
 ELEVATIONS FOR
 (A-D)

PROJECT TITLE
BURFOOT COMMONS, LLC.
 3303A-E LAWSON ST.
 RICHMOND, VA 23224
 (804) 912-4074

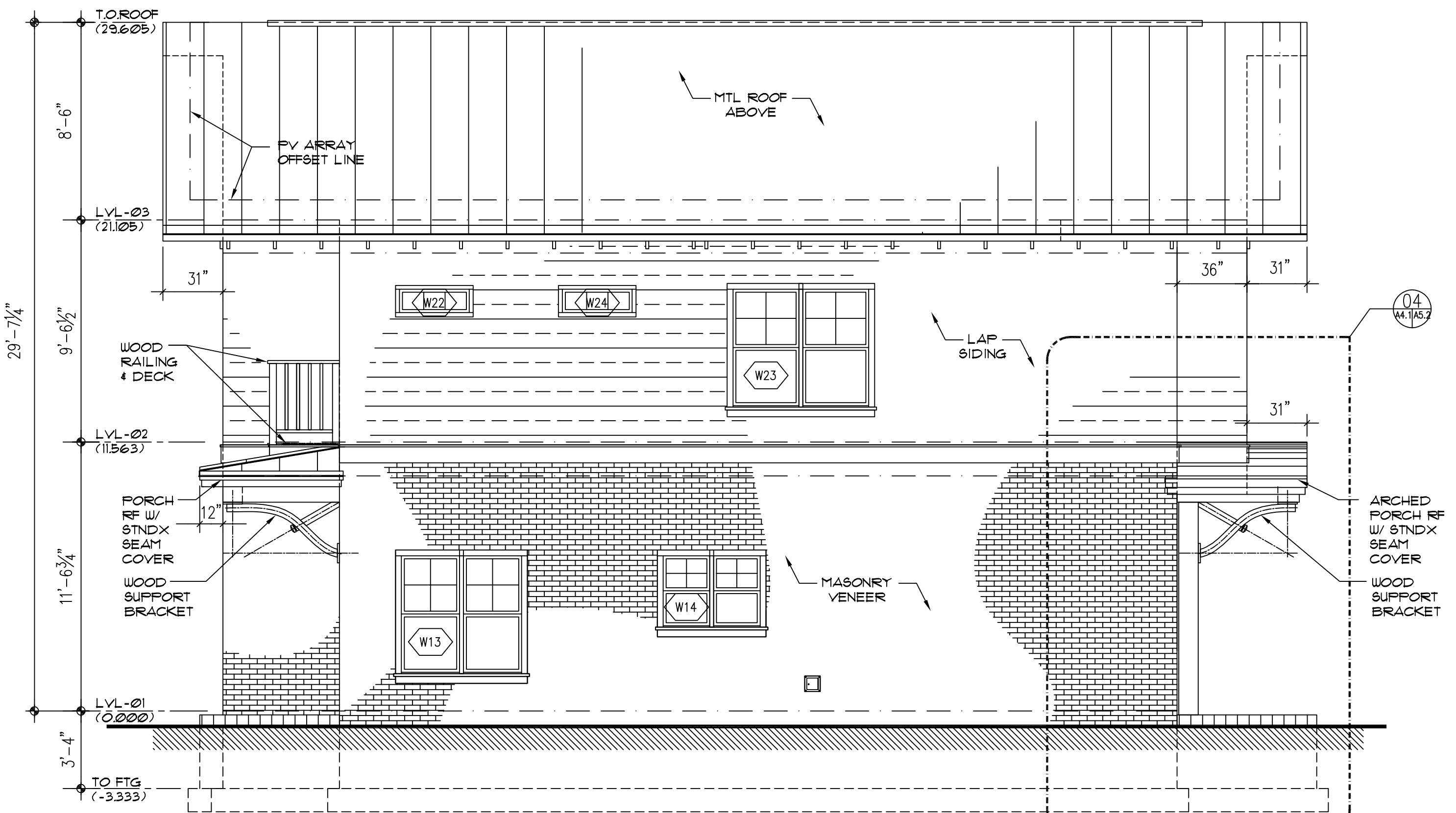
REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
 HRD PROJECT NO.: 15-0409
 CLIENT PROJECT NO.: NEW RESIDENCE
 SCALE: 1/4" = 1'-0"
 APPROVED BY: RSM

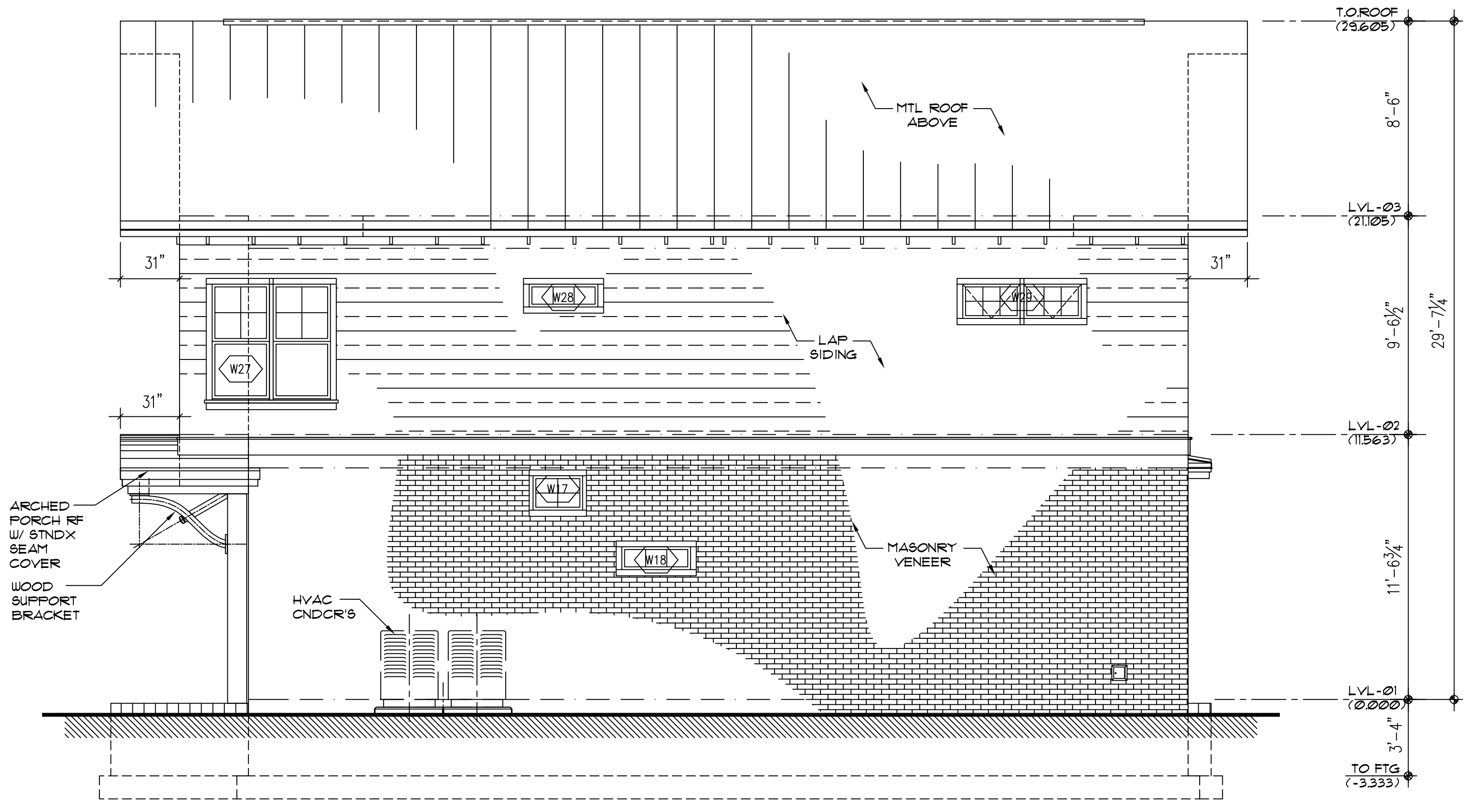
A4.1



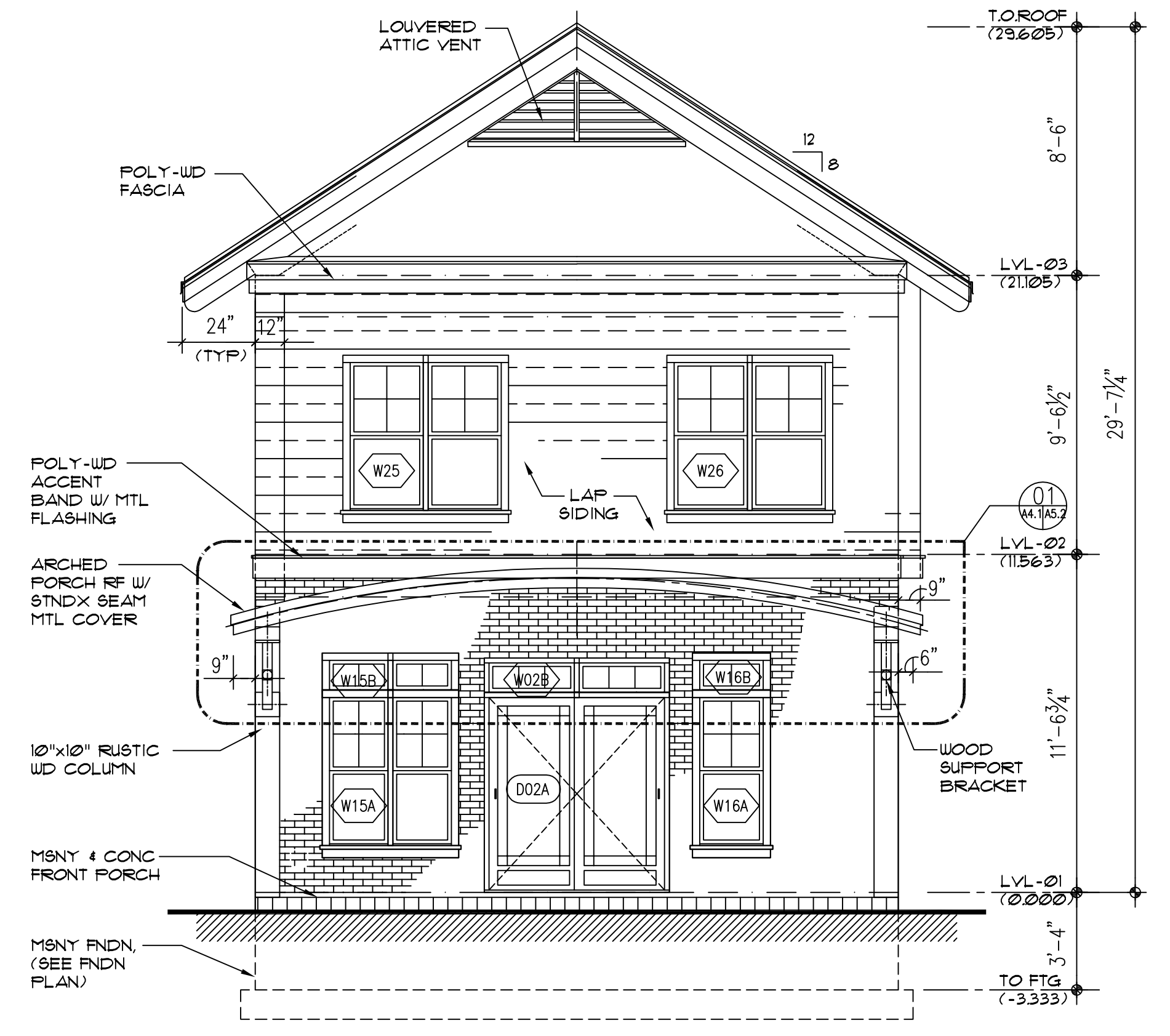
01 FRONT ELEVATION/
(WEST FACADE)
 SCALE: 1/4"=1'-0"



02 RIGHT SIDE ELEVATION/
(SOUTH FACADE)
 SCALE: 1/4"=1'-0"



03 LEFT SIDE ELEVATION/
(NORTH FACADE)
 SCALE: 1/4"=1'-0"



04 REAR ELEVATION/
(EAST FACADE)
 SCALE: 1/4"=1'-0"



SYMBOLS

DETAIL REFERENCE
 DETAIL NUMBER
 DTL DWG LOCATION
 DTL CUT LOCATION

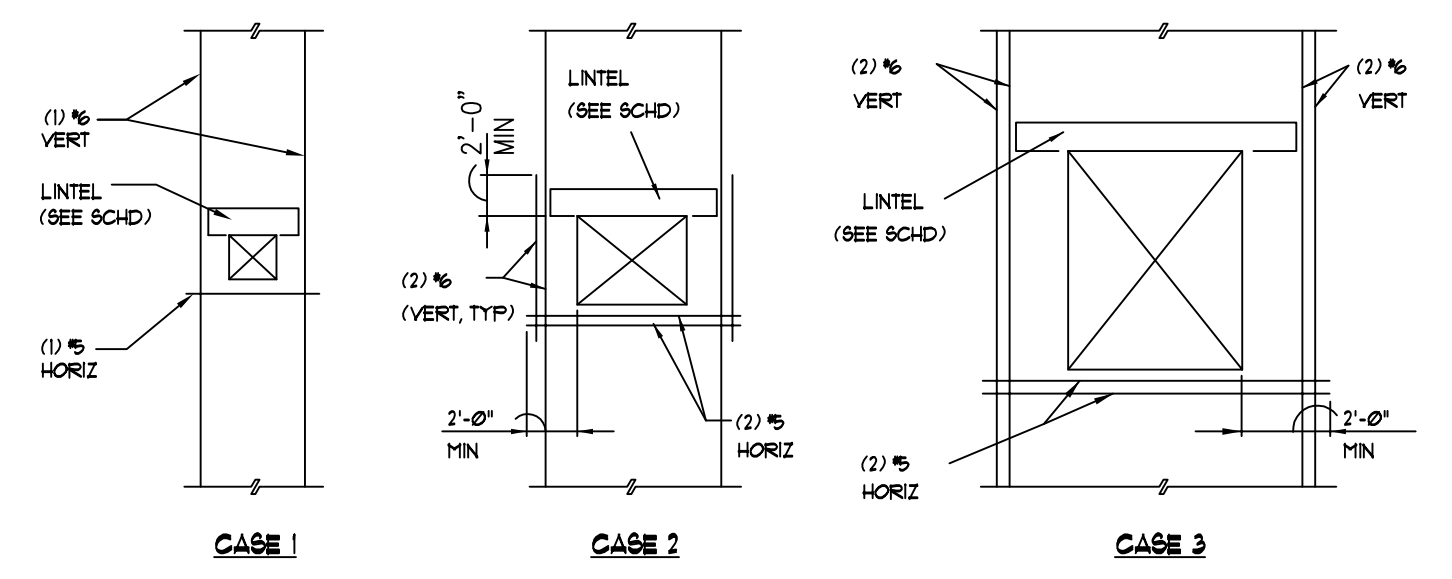
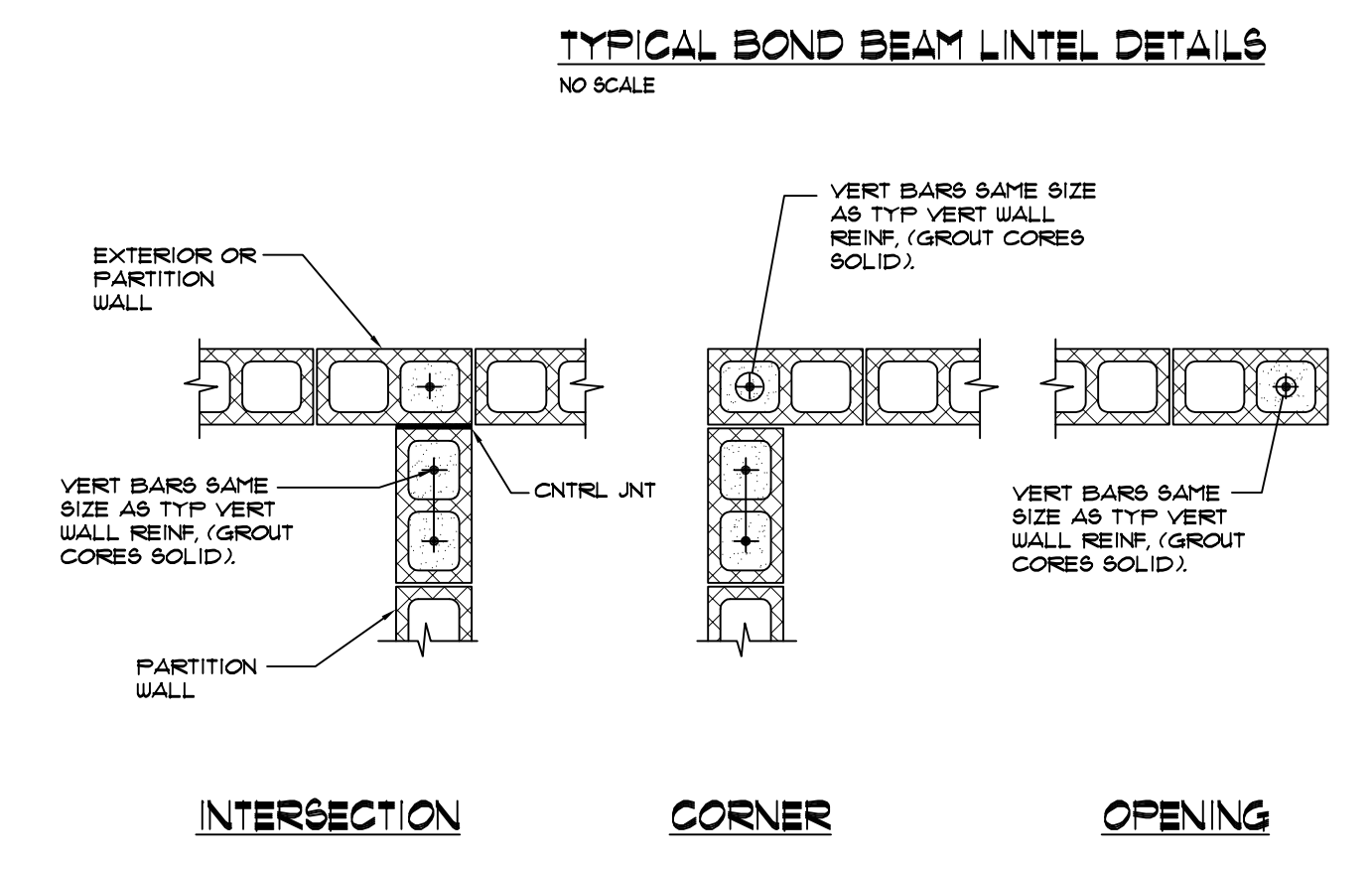
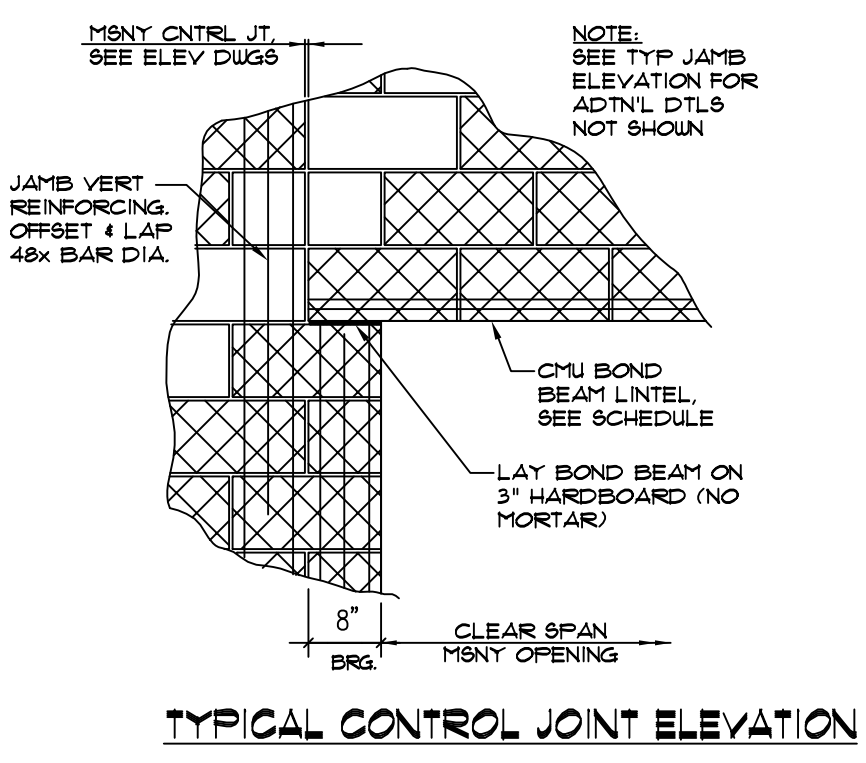
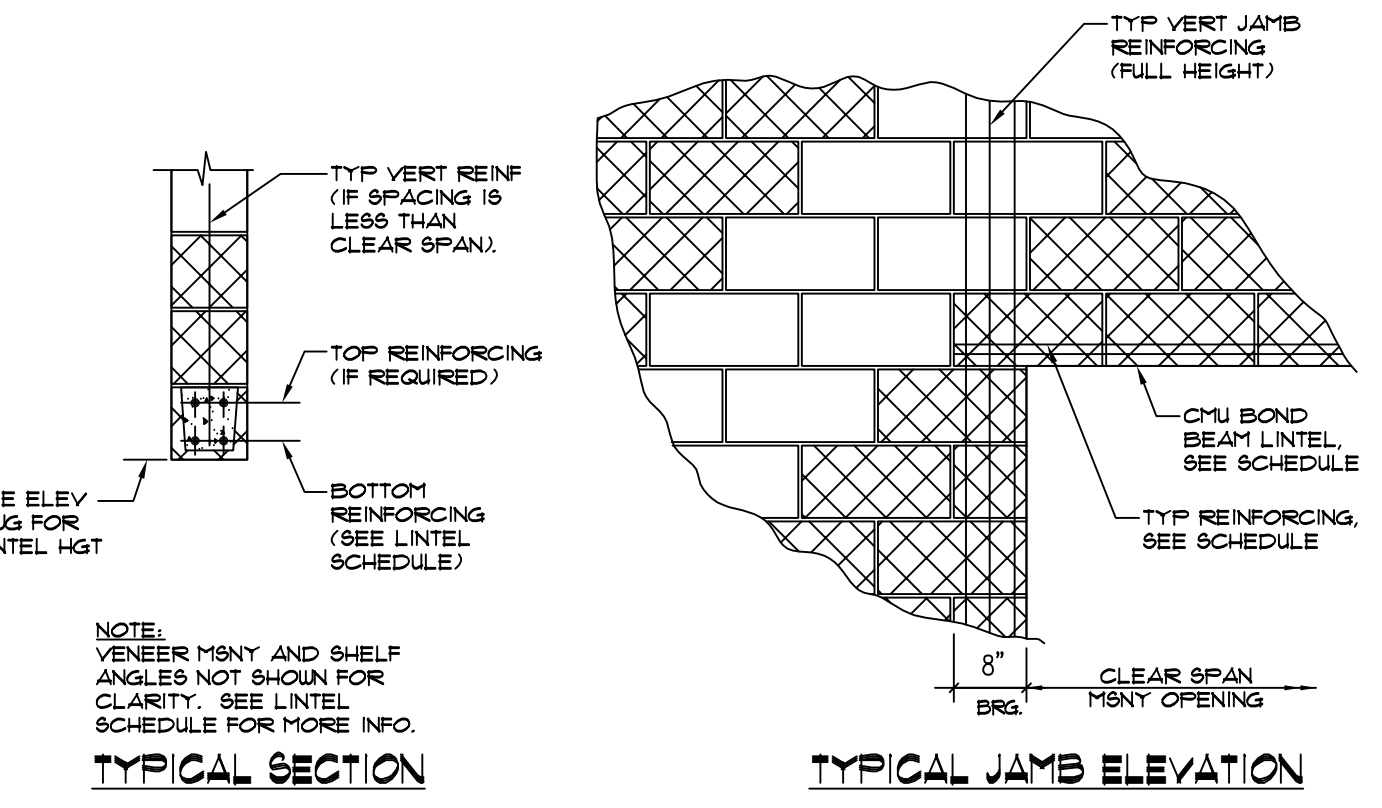
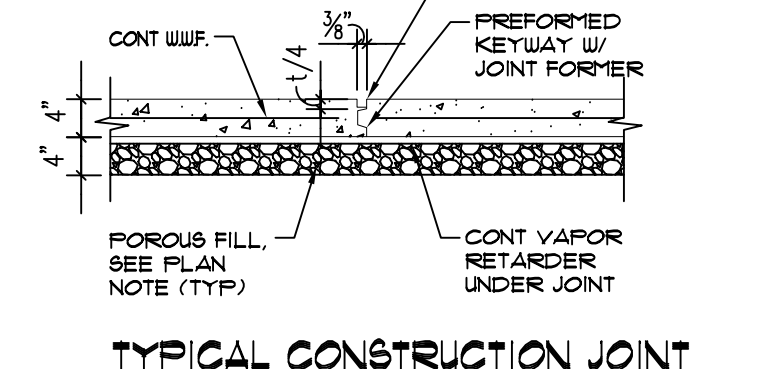
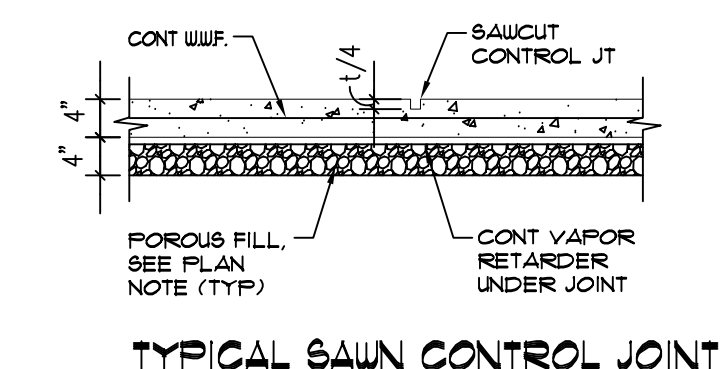
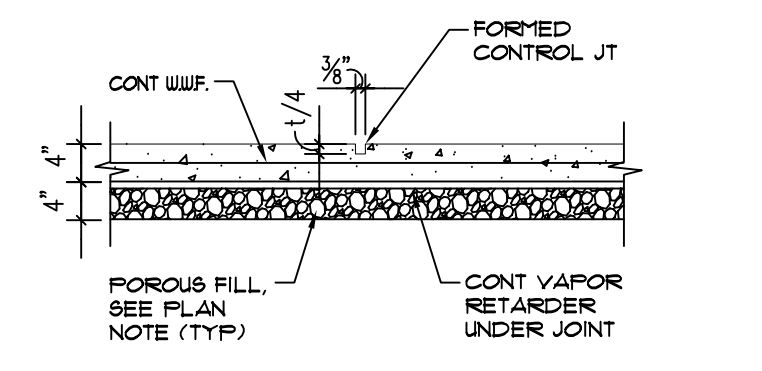
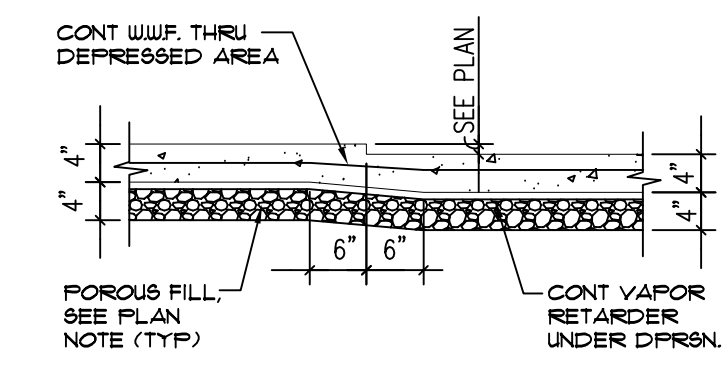
SECTION REFERENCE
 SECTION NUMBER
 DTL DWG LOCATION
 DTL CUT LOCATION

REFERENCE TAGS
 DEMOLITION SCHED NUMBER(S)
 INTERIOR FINISH SCHED NUMBER(S)

SCHEDULED REFERENCE ITEMS
 ROOM TAG - NAME/NUMBER
 DOOR TAG
 WINDOW TAG
 REVISION TAG
 KEY NOTE TAG (FOR NEW CONSTR)
 EXISTING ITEM NOTE TAG

SOIL
GRAVEL
CONCRETE
CONC MSNY UNIT
BRICK
STEEL
WOOD FRAMING
WOOD BLOCKING
PLYWOOD
FINISHED WOOD
BATT INSULATION
RIGID INSULATION
GYPSUM BOARD
SPEC CEILING MTRL
PLASTIC LAMINATE
EXIST ASPHALT PAVEMENT
NEW ASPHALT PAVEMENT
DEMO PAVEMENT

COLUMN GRID NUMBER & LINE
PARTITION / SECTION TYPE TAG & LINE
RM NM
DOOR
WINDOW
RO
MO
XO



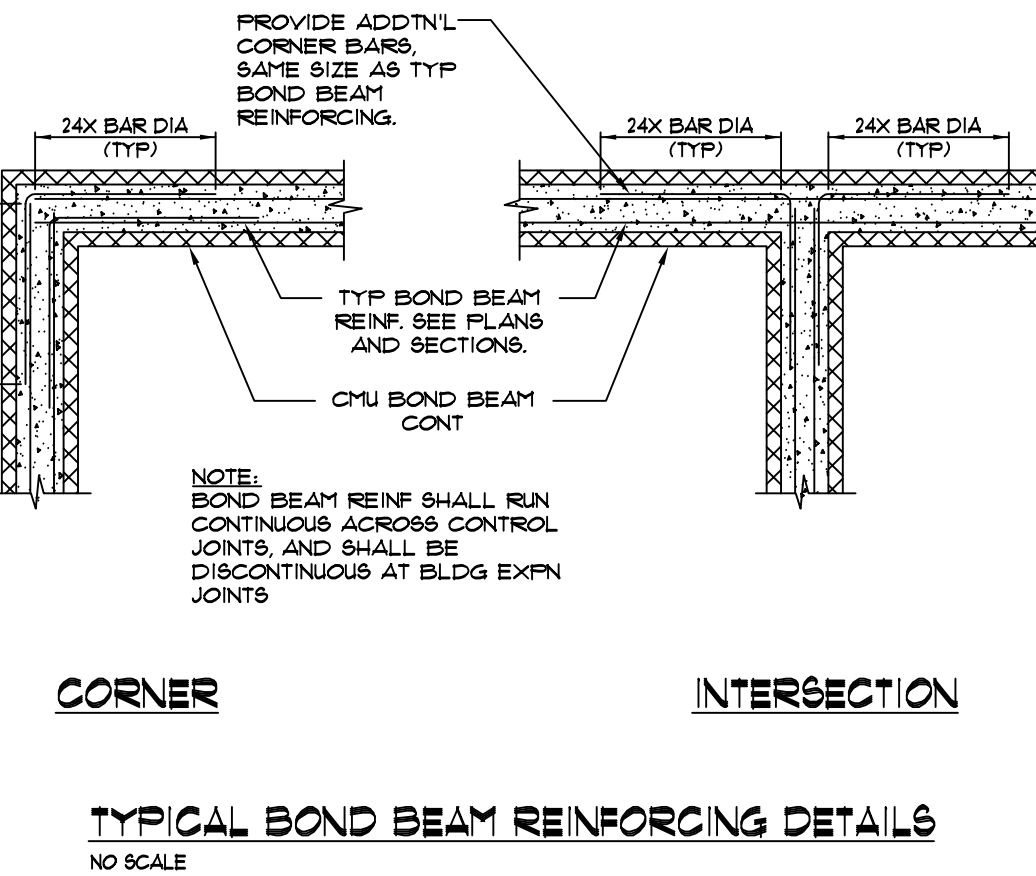
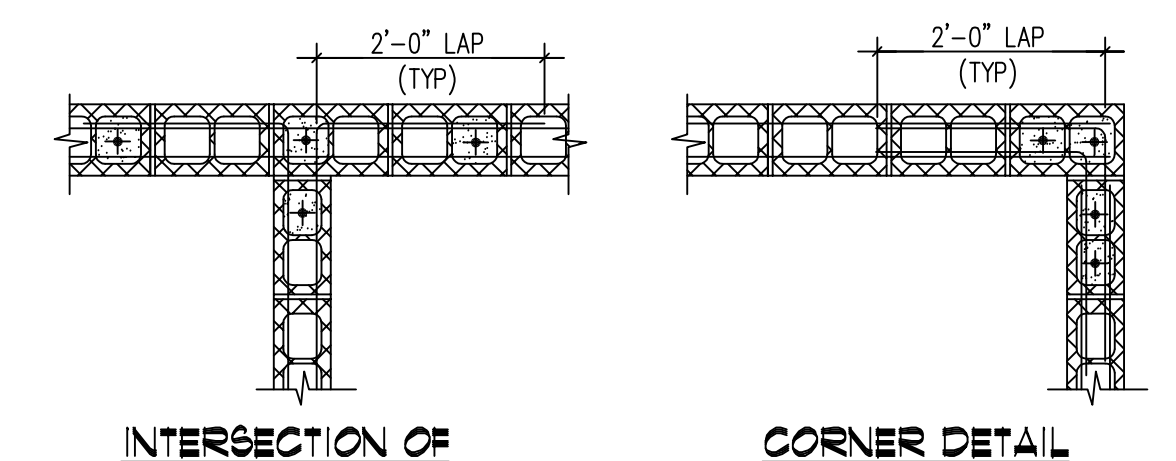
CMU-BOND BEAM / LINTEL SCHEDULE

NOMINAL WALL WIDTH	TOP & BOTTOM REINFORCING (2" CLR TOP & BOT)		
	CLEAR SPAN 1'-0" OR LESS	CLEAR SPAN OVER 1'-0" TO 10'-0"	CLEAR SPAN OVER 10'-0" TO 13'-0"
6"	(2) #5	(2) #5	N/A
8"	(2) #5	(2) #5	N/A
10"	(2) #5	(2) #5	(2) #1
12"	(2) #5	(2) #5	(2) #1

LOOSE STEEL ANGLE / LINTEL SCHEDULE

CLEAR SPAN	SIZE
5'-0" OR LESS	L3 1/2"x3 1/2"x5/8"
OVER 5'-0" TO 7'-0"	L4x3 1/2"x5/8" (LLV)
OVER 7'-0" TO 9'-0"	L5x3 1/2"x3/4" (LLV)

- NOTES:**
- SEE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS.
 - SEE ARCHITECTURAL DRAWINGS FOR HEADER DETAILS.
 - LINTELS WITH 1'-0" CLEAR SPAN OR LESS, SHALL BE 8" IN DEPTH. FOR CLEAR SPANS GREATER THAN 1'-0", LINTELS SHALL BE 16" IN DEPTH.
 - PROVIDE 8" BEARING ON EACH END FOR LINTELS 8" DEEP. PROVIDE 16" BEARING ON EACH END, FOR LINTELS 16" DEEP. EACH SHALL BEAR ON A MINIMUM OF (2) TWO COURSES SOLID CMU, OR GROUTED SOLID.
 - REINFORCING FOR LINTELS SHALL BE "ASTM A63, GRADE 60". UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F_{cu}) OF 1500 PSI AT 28 DAYS.
 - CONTRACTORS SHALL SUBMIT FOR APPROVAL, SHOP DRAWINGS AND SCHEDULES SHOWING LOCATION, DETAILS, SIZES, ETC. FOR ALL LINTELS IN CMU WALLS.



ABBREVIATIONS

SYMBOLS USED AS ABBREVIATIONS

A
 AFF ABOVE FINISHED FLOOR
 AC ACCELS
 ACT ACCELS CEILING TILE
 ADJ ADJACENT
 AC AIR CONDITIONING
 ALT ALTERNATE
 ALUM ALUMINUM
 I AND
 ANOD ANODIZED
 APX APPROXIMATE
 ARCH ARCHITECTURE (URAL)
 AD AREA DRAIN
 AUTO AUTOMATIC

B
 BMNT BASEMENT
 BRG BEARING
 BET BETWEEN
 BVL BEVELED
 BLK BLOCK
 BLKG BLOCKING
 BD BOARD
 BRK BRICK
 BLDG BUILDING
 BUR BUILT UP ROOFING

C
 CAB CABINET
 CRT CARPET (ED)
 CBMT CABINET
 CK CAULK (NG) CAULK (NG)
 CLG CELING
 CHT CEILING HEIGHT
 CT CENTIMETER (S)
 CT CERAMIC TILE
 CSTN-IN-PLACE
 CHT CERAMIC MOSAIC TILE
 CHBD CHALK BOARD
 CHAF CHAMFER
 CIR CIRGLE
 CLR CLEAR
 COL COLUMN
 CONC CONCRETE
 CMU CONCRETE MASONRY UNIT
 CNST CONSTRUCTION
 CONT CONTINUOUS OR CONTINUE
 C.O.R. CONTRACTING OFFICE REPRESENTATIVE
 CONTR CONTRACTOR
 CJ CONTROL JOINT
 CG CORNER GUARD
 CORR CORRUGATED
 CRTT CARPET TILE
 CRS COURSE (S)
 CFT CUBIC FEET
 CTD CUBIC YARD

D
 DEMO DEMOLITION
 LH LEFT HAND
 CL CENTER LINE
 DIA DIAMETER
 DIM DIMENSION
 DIV DIVISION
 DR DOOR
 DN DOWN
 DS DOWN SPOUT
 DLHR DOUBLE LEFT HAND REVERSE
 DLHR DOUBLE RIGHT HAND REVERSE

E
 EA EACH
 ERS EXTERIOR INSULATION
 ERS EXTERIOR FINISH SYSTEM
 EL ELEVATION
 EL ELECTRIC (AL)
 ELEV ELEVATOR
 EQ EQUAL
 EXIST EXISTING
 EXP EXPANSION
 EXT EXTERIOR

F
 FD FLOOR DRAIN
 FN FINISH (ED)
 FL FLOOR
 FON FOUNDATION
 FLUR FLUORESCENT

G
 GA GAUGE
 GALV GALVANIZED
 GFCI GOVT FURNISHED/ CONTRACTOR INSTALLED
 GFSI GOVT FURNISHED/ GOVERNMENT INSTALLED
 GFRG GLASS FIBER REINFORCED CEMENT
 GFRG GLASS FIBER REINFORCED GYPSUM
 GL GLASS/LAMINATING
 GOVT GOVERNMENT
 GYP GYPSUM
 GIB GYPSUM WALL BOARD

H
 HC HANDICAPPED COMPLIANT
 HR HOUR
 HHT HOLLOW METAL
 HORIZ HORIZONTAL
 HR HOUR
 HT HEIGHT

I
 INT INTERIOR
 INSUL INSULATION

J
 JAN JANITOR
 JT JOINT

L
 LAV LAVATORY
 SHILAR
 LHR LEFT HAND REVERSE

M
 MACH MACHINE
 MAX MAXIMUM
 MFD MEDIUM DENSITY FIBERBOARD
 MECH MECHANICAL

N
 NIC NOT IN CONTRACT
 NO NUMBER

O
 OC ON CENTER
 OD OUTSIDE DIAMETER
 OPP OPPOSITE

P
 PERFORATED
 PL PLATE
 PLAM PLASTIC LAMINATE
 PLY PLYWOOD
 PTD PAINTED
 PVC POLYVINYL CHLORIDE

Q
 QTY QUANTITY

R
 R RISER/RADIUS
 RA RETURN AIR
 RD ROOF DRAIN
 RENF REINFORCED/REINFORCING
 REGD REQUIRED
 RH ROOM
 RO ROUGH OPENING
 RH RIGHT HAND
 RHR RIGHT HAND REVERSE

S
 SCHED SCHEDULE
 SHILAR
 SQ SQUARE
 STOR STORAGE
 SUSP SUSPENDED
 SS STAINLESS STEEL

T
 T TREAD
 TAG TONGUE AND GROOVE
 TEL TELEPHONE
 T&P TEMPERED
 THK THICK
 THOLD THRESHOLD
 TO, TOP OF
 TYP TYPICAL

U
 UN UNLESS OTHERWISE NOTED

V
 VCT VINYL COMPOSITION TILE
 VERT VERTICAL
 VFP VERIFY IN FIELD

W
 W WIDEWIDTH
 W WITH
 WD WOOD
 WH WATER HEATER
 WP WATERPROOF (ING)
 WUF WELDED WIRE FABRIC

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 (A Virginia Corporation)
 P.O. Box 7218
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 PH: 804/673-0842

GENERAL DETAILS

BURFOOT COMMONS, LLC.
 3303A-E LAWSON ST.
 RICHMOND, VA 23224
 (804) 912-4074

REV DATE NOTE

3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE 12.30.2015
 HRD PROJECT NO. 15-0409
 CLIENT PROJECT NO. NEW RESIDENCE
 SCALE 3/4" = 1'-0"
 APPROVED BY RSM

A5.1

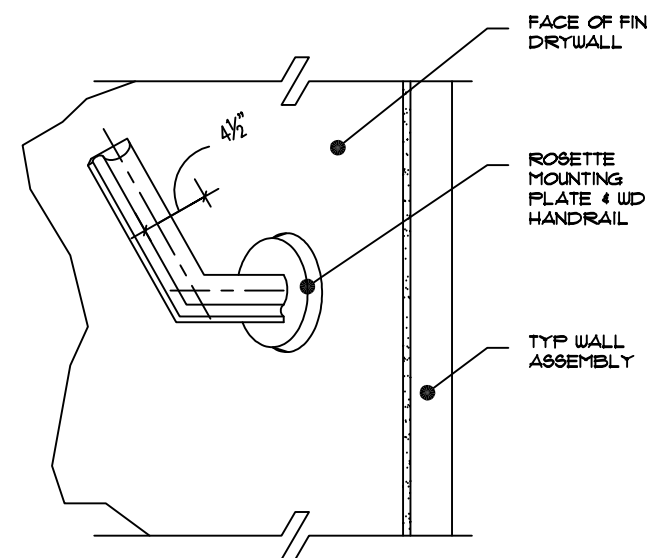
Door Schedule

Mark	Family	Width	Height	Header
First Floor				
143	Bifold-4 Panel	4'-0"	6'-8"	(2) 2 x 8
144	Single-Panel 4	2'-8"	6'-8"	(2) 2 x 4
145	Sliding-Closet	4'-0"	6'-8"	(2) 2 x 6
146	Single-Panel 4	2'-10"	6'-8"	(2) 2 x 6
147	Bifold-4 Panel	6'-0"	6'-8"	(2) 2 x 6
148	Single-Panel 4	3'-0"	6'-8"	(2) 2 x 6
159	Double Pocket Door	3'-0"	6'-8"	(2) 2 x 6
160	Sliding-2 panel	6'-0"	6'-10"	(2) 2 x 10
Second Floor				
149	Single-Panel 4	2'-10"	6'-8"	(2) 2 x 4
150	Bifold-4 Panel	4'-0"	6'-8"	(2) 2 x 4
151	Bifold-4 Panel	4'-0"	6'-8"	(2) 2 x 4
152	Single-Panel 4	2'-10"	6'-8"	(2) 2 x 4
154	Single-Panel 4	2'-10"	6'-8"	(2) 2 x 4
155	Single-Panel 4	2'-10"	6'-8"	(2) 2 x 4
156	Single-Panel 4	2'-10"	6'-8"	(2) 2 x 4
157	Single-Panel 4	2'-10"	6'-8"	(2) 2 x 4
158	Double-Glass 1	4'-0"	6'-8"	(2) 2 x 6

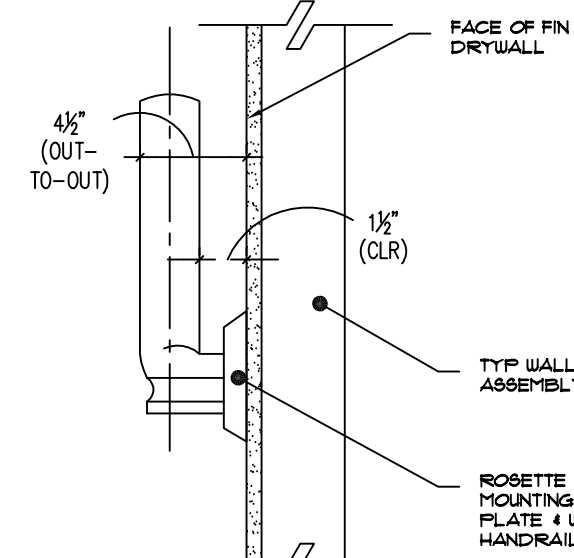
Window Schedule

Mark	Family	Width	Height	Head Height	Header
First Floor					
7	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	6'-8"	(2) 2 x 12
8	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	6'-8"	(2) 2 x 12
9	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	6'-8"	(2) 2 x 12
10	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	6'-8"	(2) 2 x 8
11	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	6'-8"	(2) 2 x 8
15	Transom with Trim	2'-4"	1'-0"	7'-11"	(2) 2 x 12
16	Transom with Trim	2'-4"	1'-0"	7'-11"	(2) 2 x 12
17	Transom with Trim	2'-4"	1'-0"	7'-11"	(2) 2 x 12
18	Transom with Trim	2'-4"	1'-0"	7'-11"	(2) 2 x 8
19	Transom with Trim	2'-4"	1'-0"	7'-11"	(2) 2 x 8
20	Transom with Trim	3'-0"	1'-0"	7'-11"	(2) 2 x 6
22	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	6'-8"	(2) 2 x 8
23	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	6'-8"	(2) 2 x 8
24	Double Hung with Trim 1 bottom light	2'-0"	3'-0"	6'-8"	(2) 2 x 6
25	Double Hung with Trim 1 bottom light	2'-0"	3'-0"	6'-8"	(2) 2 x 6
26	Double Hung with Trim 1 bottom light	2'-0"	5'-0"	7'-0"	(2) 2 x 8
27	Double Hung with Trim 1 bottom light	2'-0"	5'-0"	7'-0"	(2) 2 x 8
28	Double Hung with Trim 1 bottom light	2'-0"	5'-0"	7'-0"	(2) 2 x 4
42	Transom with Trim	2'-0"	1'-6"	9'-10"	(2) 2 x 4
43	Transom with Trim	3'-0"	1'-0"	6'-8"	(2) 2 x 6
44	Transom with Trim	2'-0"	1'-0"	8'-1"	(2) 2 x 8
45	Transom with Trim	2'-0"	1'-0"	8'-1"	(2) 2 x 8
46	Transom with Trim	2'-0"	1'-0"	8'-1"	(2) 2 x 4
47	Transom with Trim	6'-0"	1'-0"	8'-1"	(2) 2 x 10

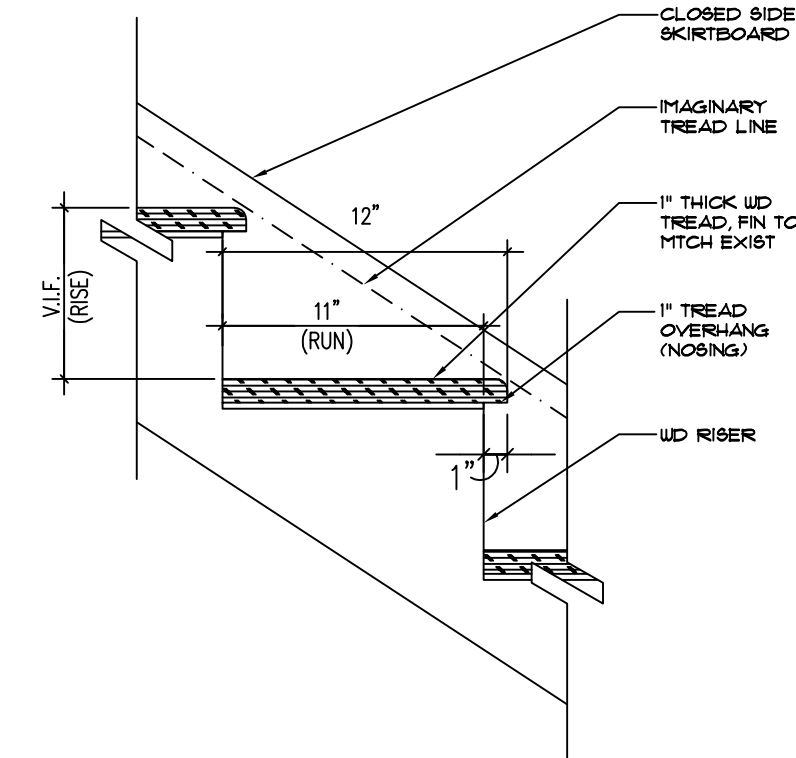
Mark	Family	Width	Height	Head Height	Header
Second Floor					
12	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 6
13	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 6
14	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 6
29	Transom with Trim	3'-0"	1'-0"	7'-0"	(2) 2 x 4
30	Transom with Trim	3'-0"	1'-0"	7'-0"	(2) 2 x 4
31	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 8
32	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 8
33	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 6
34	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 6
35	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 6
36	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 6
37	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 8
38	Double Hung with Trim 1 bottom light	2'-4"	5'-0"	7'-0"	(2) 2 x 8
39	Transom with Trim	3'-0"	1'-0"	7'-0"	(2) 2 x 4
40	Transom with Trim	2'-6"	1'-6"	7'-0"	(2) 2 x 8
41	Transom with Trim	2'-6"	1'-6"	7'-0"	(2) 2 x 8



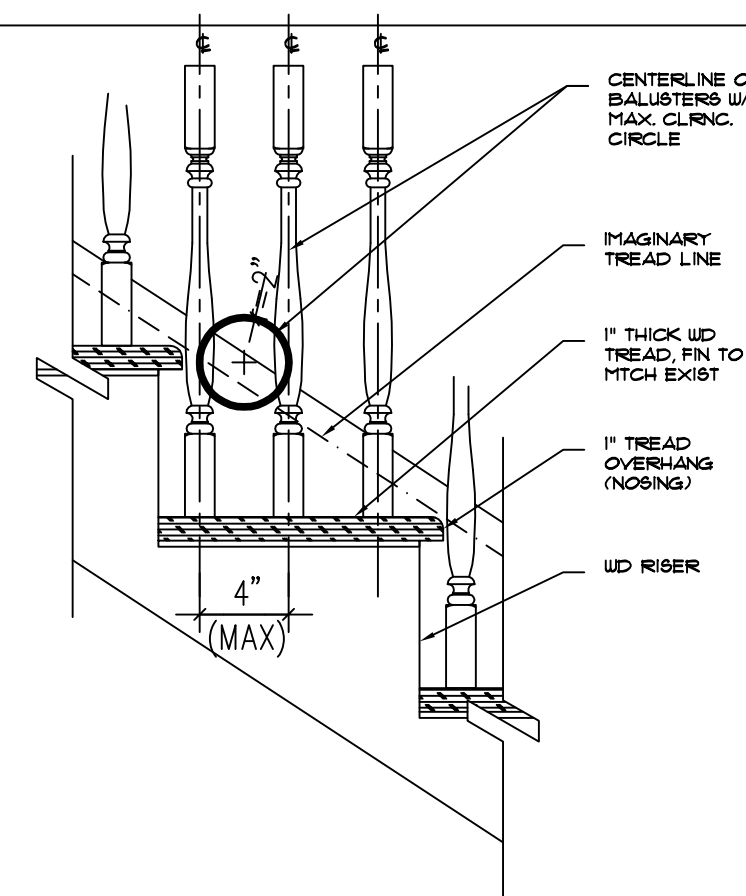
01 | STAIR "HANDRAIL
PROJECTION" TYP DTL
A5.2 | 3/4"x1'-0"



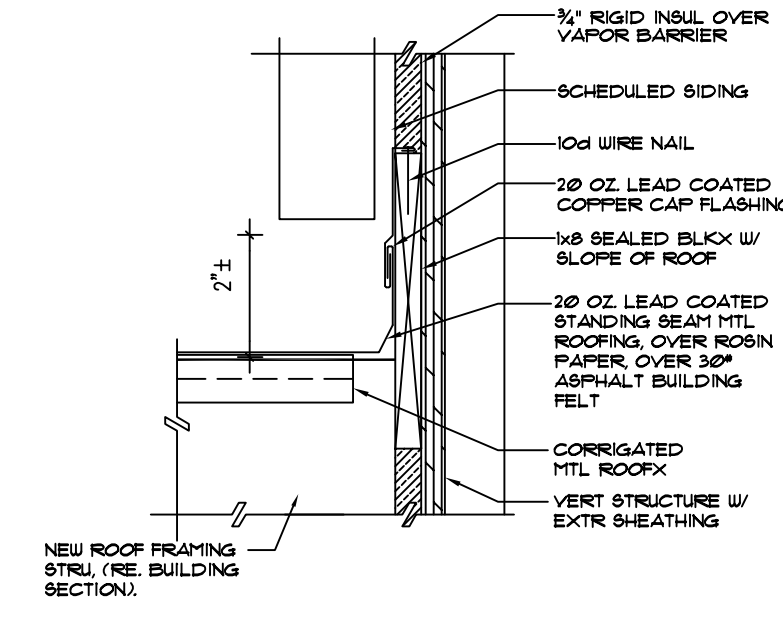
02 | STAIR "HANDRAIL
CLEARANCE" TYP DTL
A5.2 | 3/4"x1'-0"



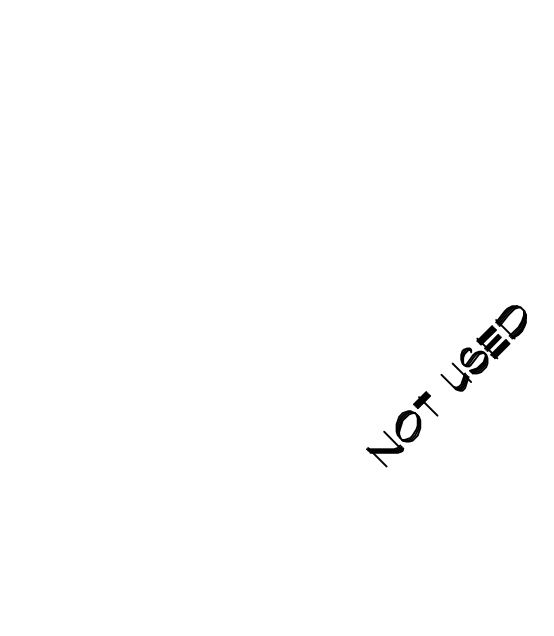
03 | STAIR RISE/RUN
SPACING TYP DTL
A5.2 | 3/4"x1'-0"



04 | STAIR BALUSTER
SPACING TYP DTL
A5.2 | 3/4"x1'-0"

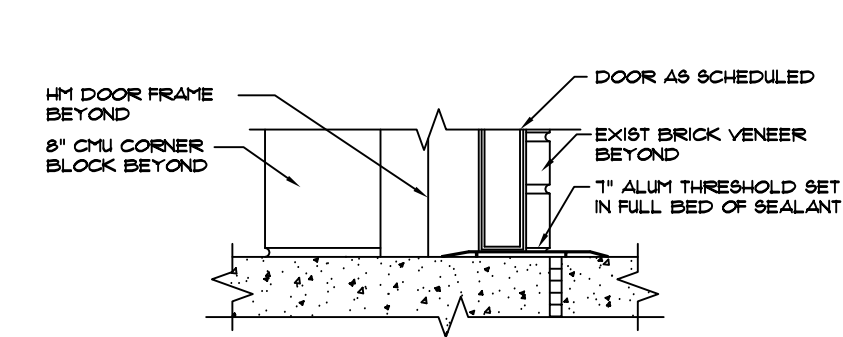


05 | VERT FLASHING, AT LOWER
ROOF TYP DTL
A5.2 | 3/4"x1'-0"

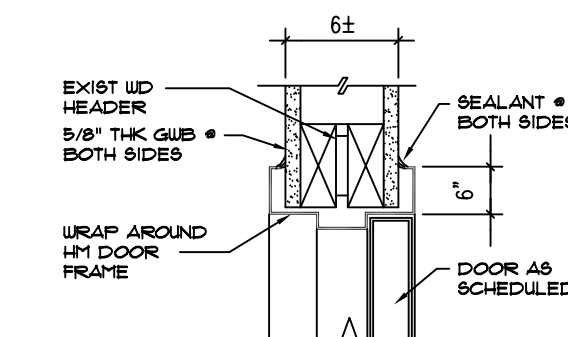


06 | TYP INTR DETAIL
A5.2 | 3/4"x1'-0"

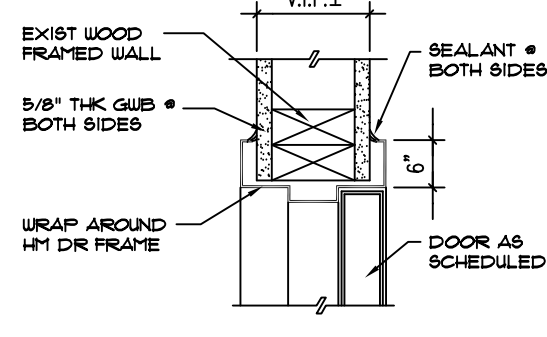
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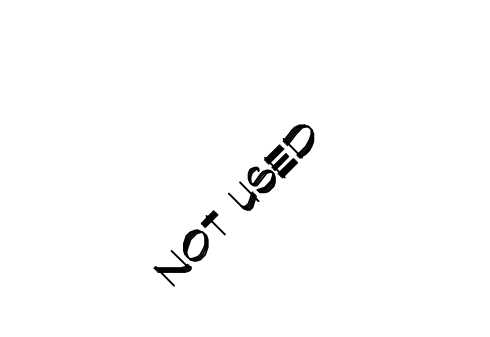
07 | EXTERIOR DOOR SILL
TYP DTL
A5.2 | 3/4"x1'-0"



08 | INTERIOR DOOR HEAD
TYP DTL
A5.2 | 3/4"x1'-0"

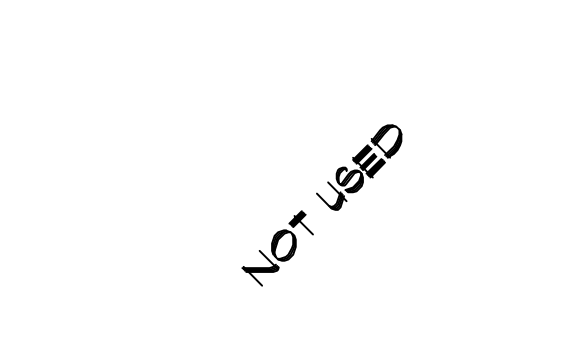


09 | INTERIOR DOOR JAMB
TYP DTL
A5.2 | 3/4"x1'-0"



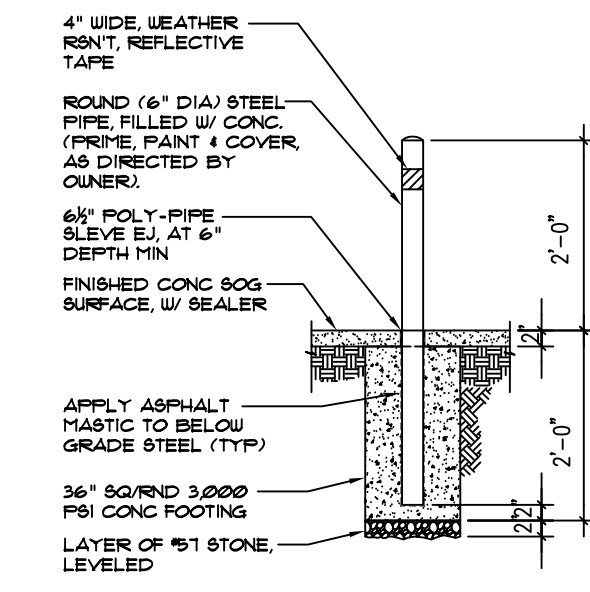
10 | TYP INTR DETAIL
A5.2 | 3/4"x1'-0"

NOT USED

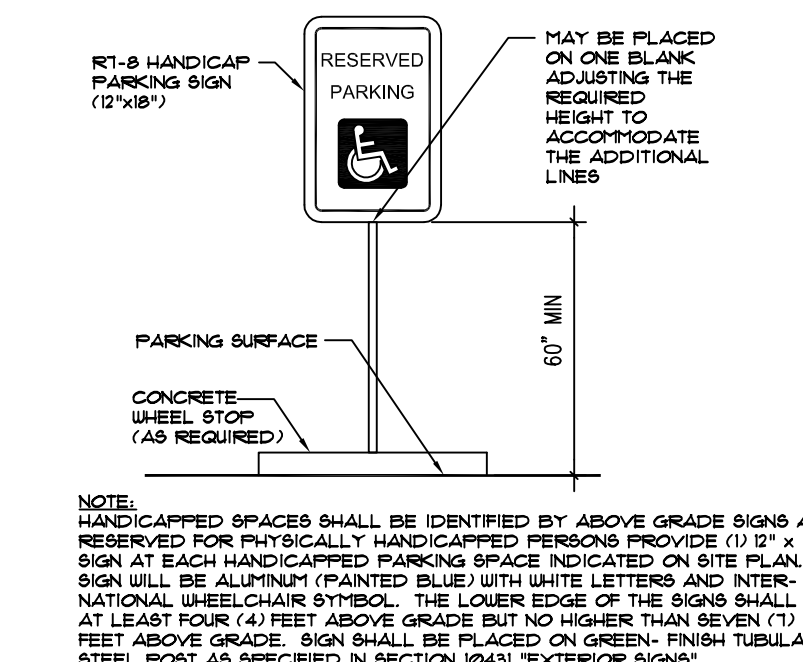


11 | TYP INTR DETAIL
A5.2 | 3/4"x1'-0"

NOT USED

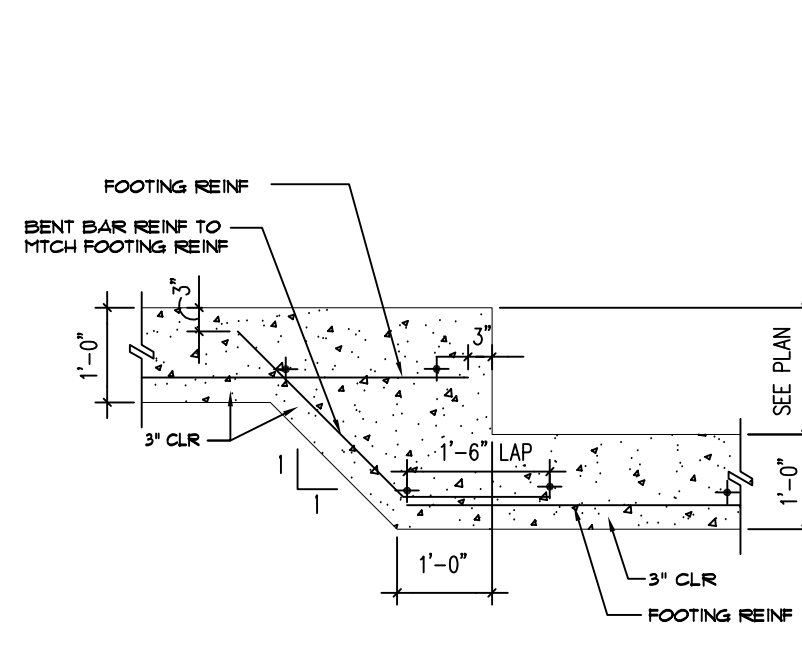


12 | METAL BOLLARD/ ROUND
CONC FILLED & ANCHORED
A5.2 | 3/4"x1'-0"

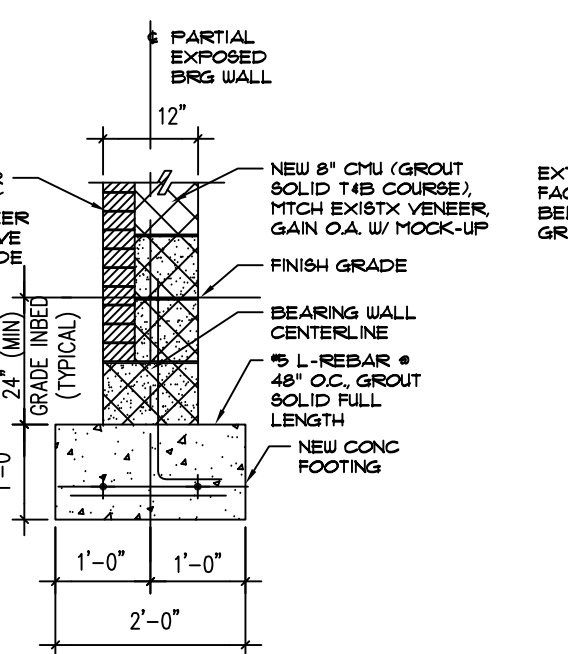


18 | TYPICAL PARKING SIGN/
HANDICAPPED SPACE
A5.2 | 3/4"x1'-0"

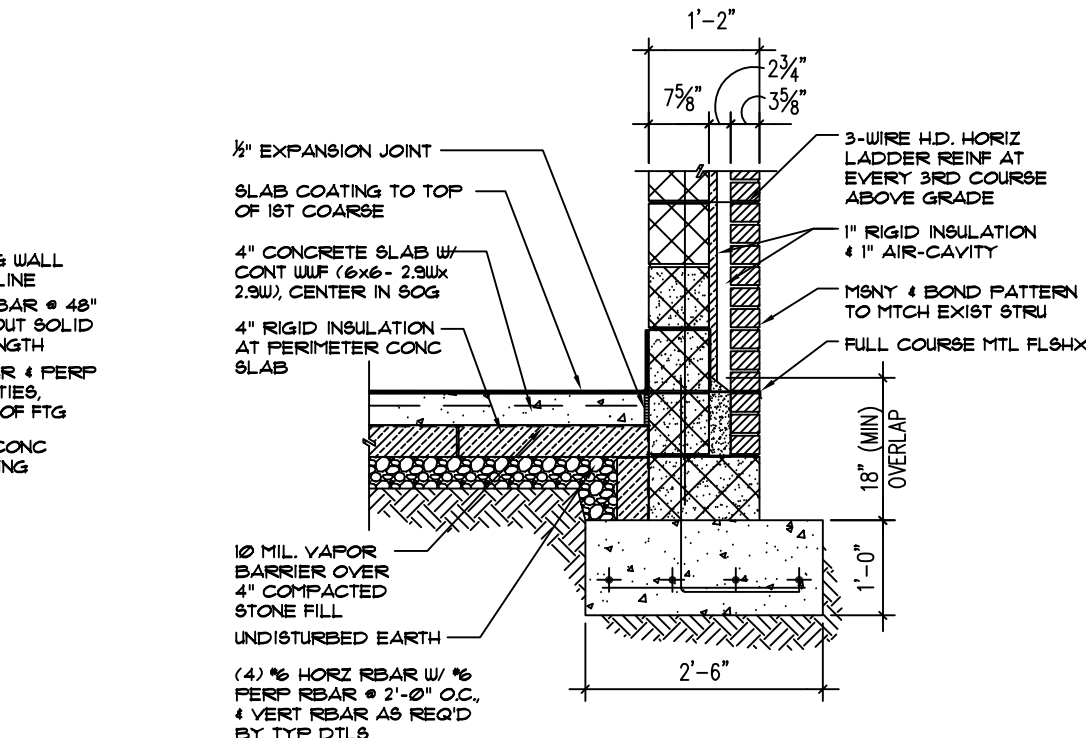
NOTE: HANDICAPPED SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS AS RESERVED FOR PHYSICALLY HANDICAPPED PERSONS PROVIDE (1) 2' x 8' SIGN AT EACH HANDICAPPED PARKING SPACE INDICATED ON SITE PLAN. SIGN SHALL BE ALUMINUM PRINTED BLUE WITH WHITE LETTERS AND INTERNATIONAL WHEELCHAIR SYMBOL. THE LOWER EDGE OF THE SIGN SHALL BE AT LEAST FOUR (4) FEET ABOVE GRADE BUT NO HIGHER THAN SEVEN (7) FEET ABOVE GRADE. SIGN SHALL BE PLACED ON GREEN-FINISH TUBULAR STEEL POST AS SPECIFIED IN SECTION 0431 "EXTERIOR SIGNS".



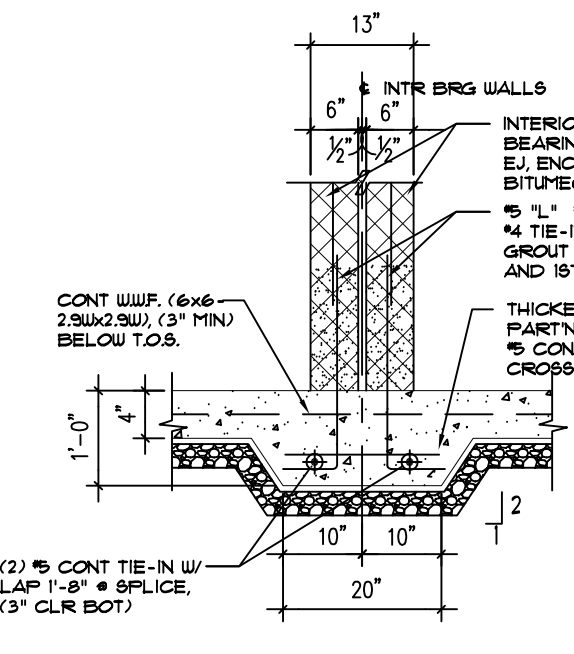
13 | CONC STEP FOOTING
TYP DTL
A5.2 | 3/4"x1'-0"



14 | TYP FOUNDATION TYPES
A5.2 | 3/4"x1'-0"

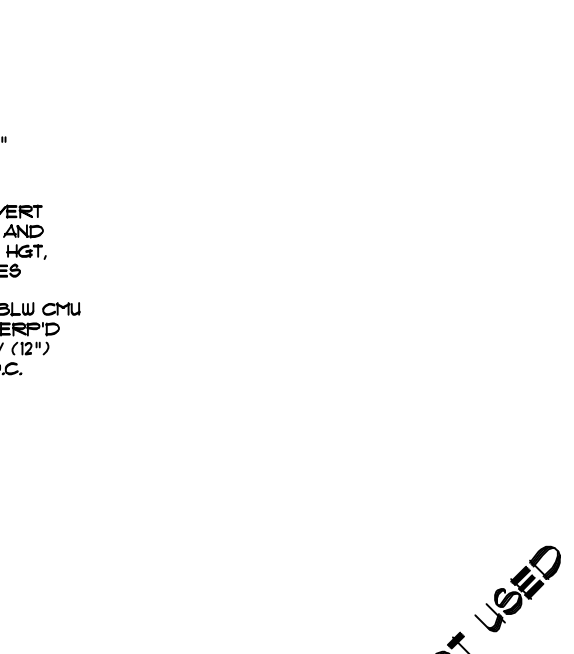


15 | BEARING WALL W/ INTR
SLAB TYP DTL
A5.2 | 3/4"x1'-0"



16 | INTR NON-BEARING
WALL TYP DTL
A5.2 | 3/4"x1'-0"

NOTE: FOR MASONRY PARTITIONS) GREATER THAN 6" THICK



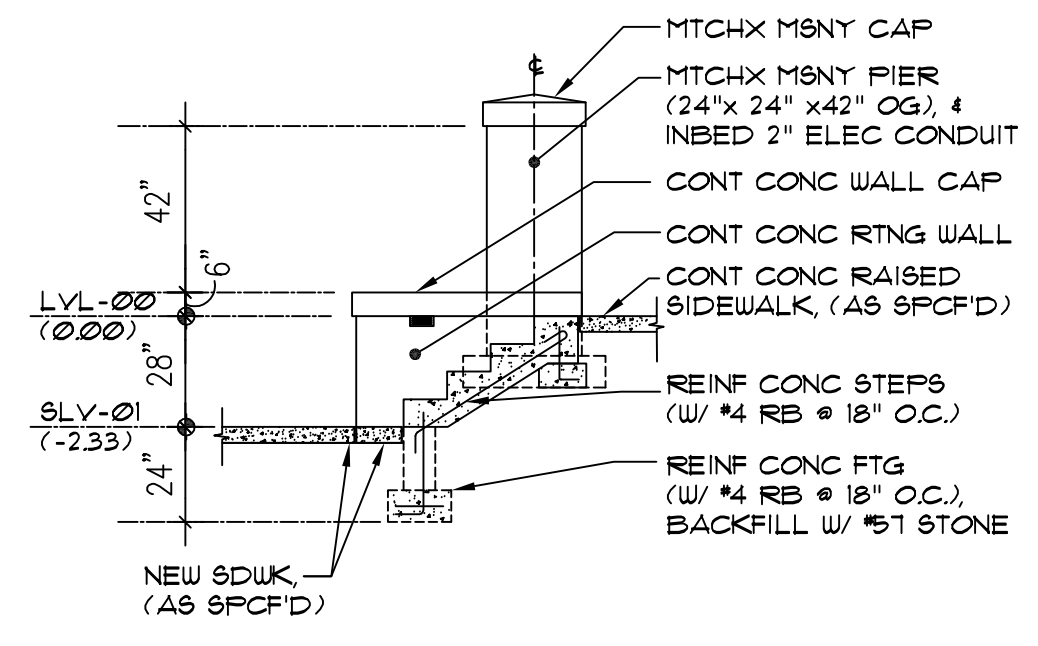
17 | TYP INTR DETAIL
A5.2 | 3/4"x1'-0"

NOT USED

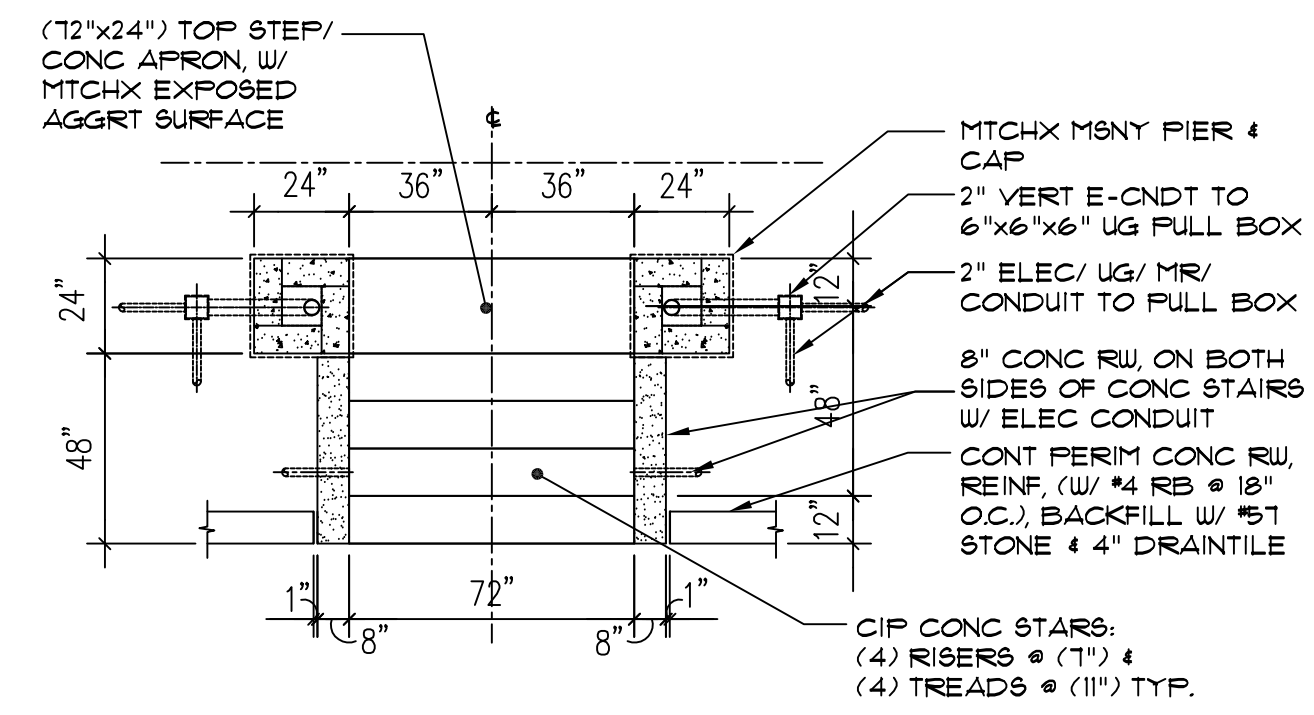
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1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: 1-1/2" = 1'-0"
APPROVED BY: RSM

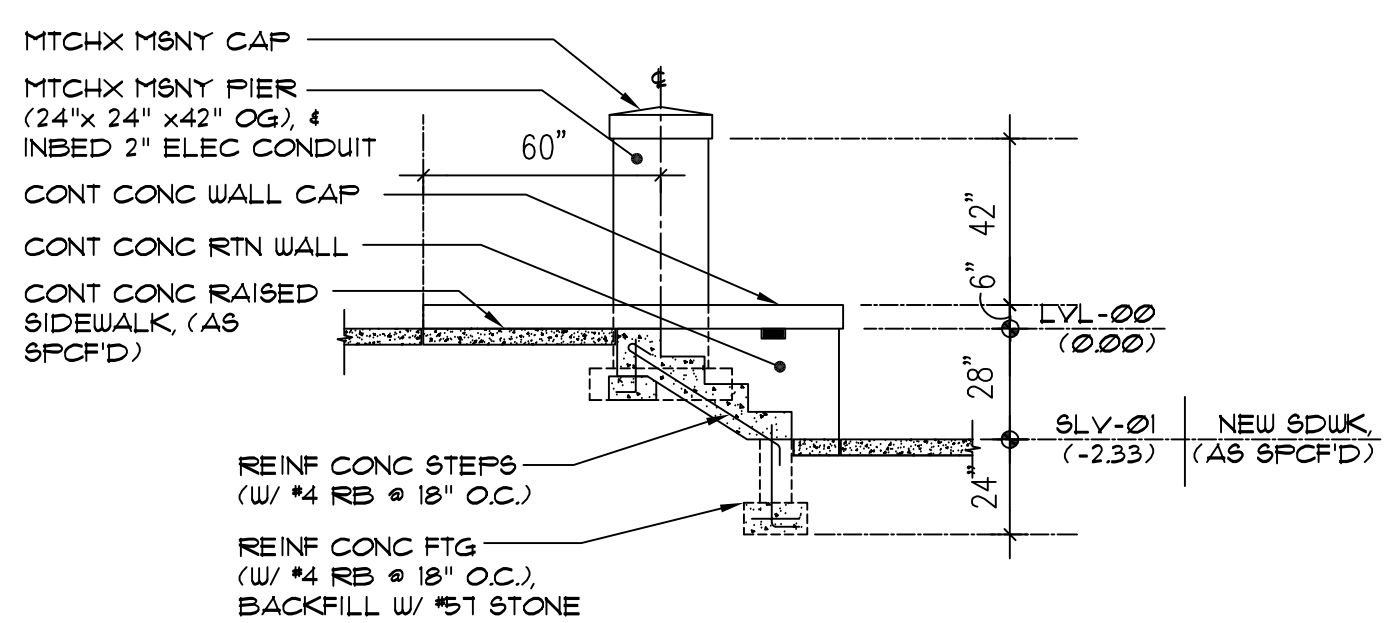
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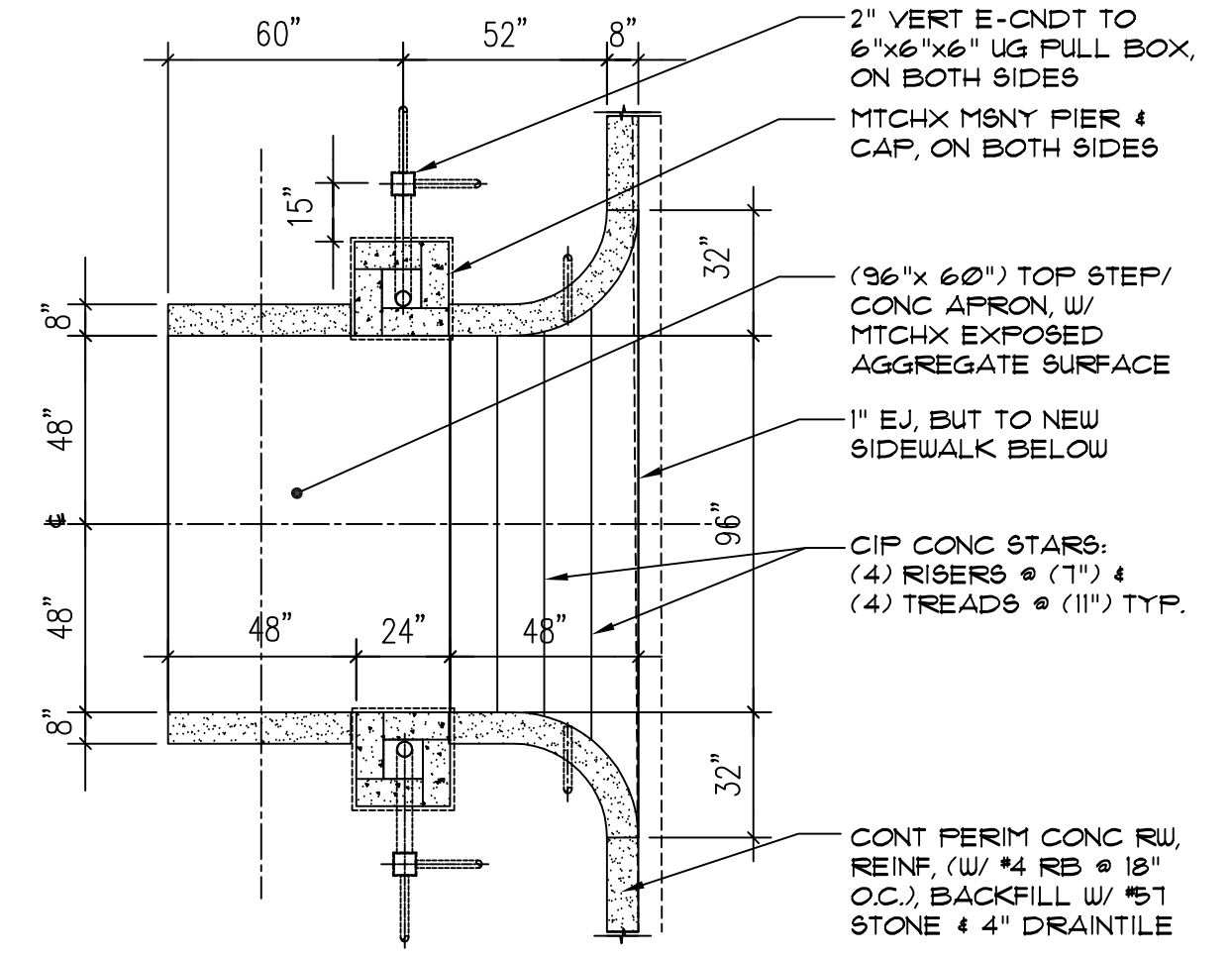
01 STAIR-01 SECTION
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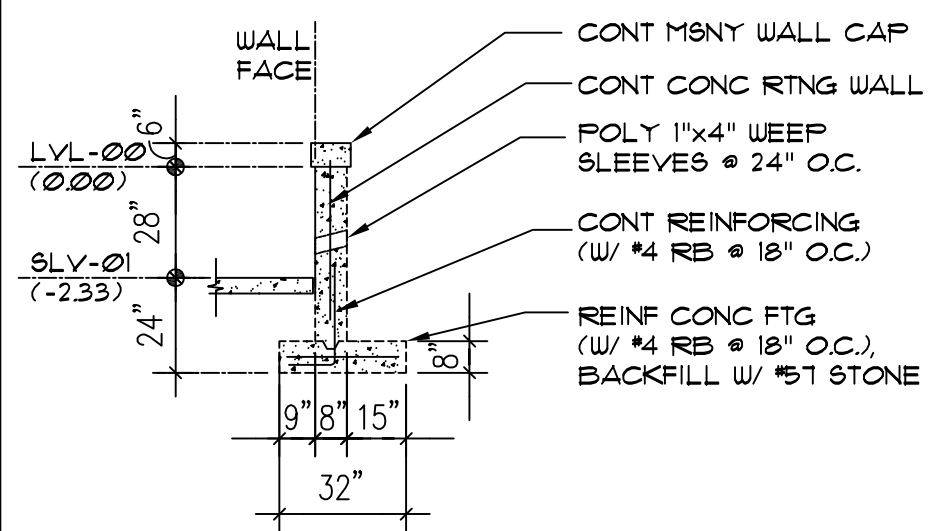
02 STAIR-01 PLAN
SCALE: 1/4"=1'-0"



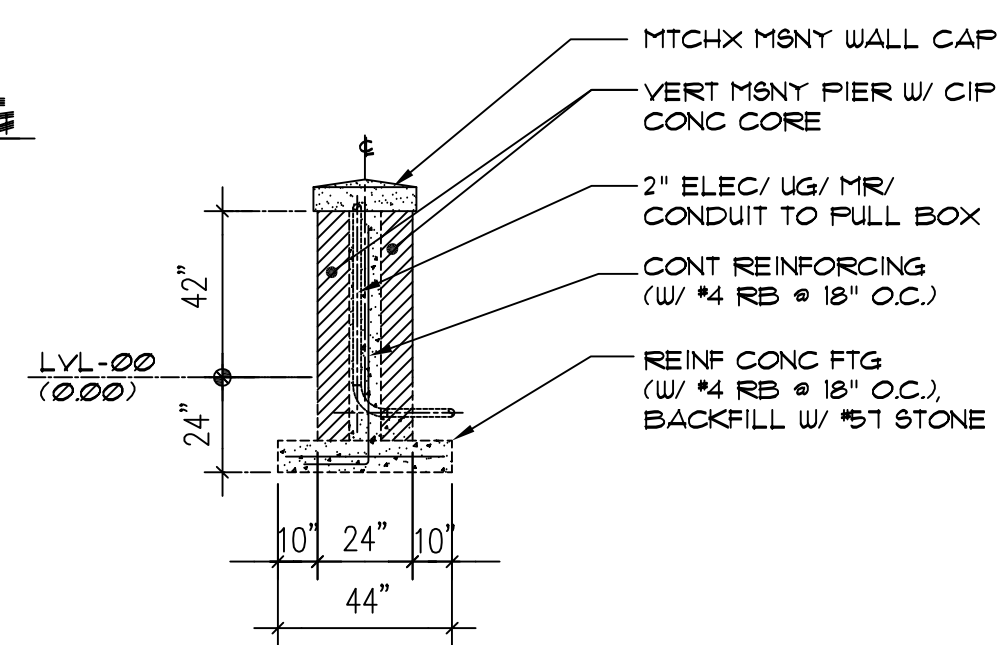
03 STAIR-02 SECTION
SCALE: 1/4"=1'-0"



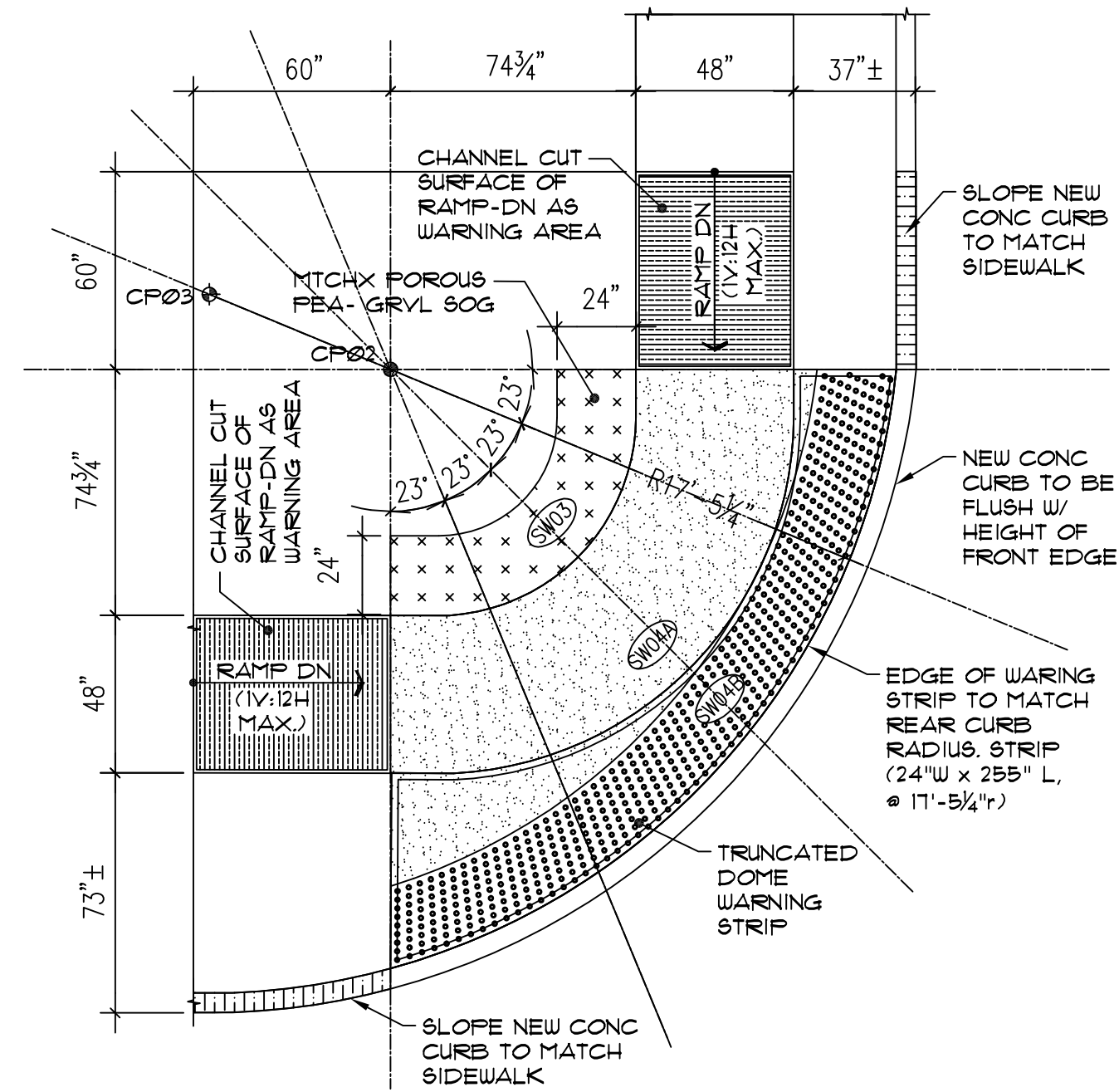
04 STAIR-02 PLAN
SCALE: 1/4"=1'-0"



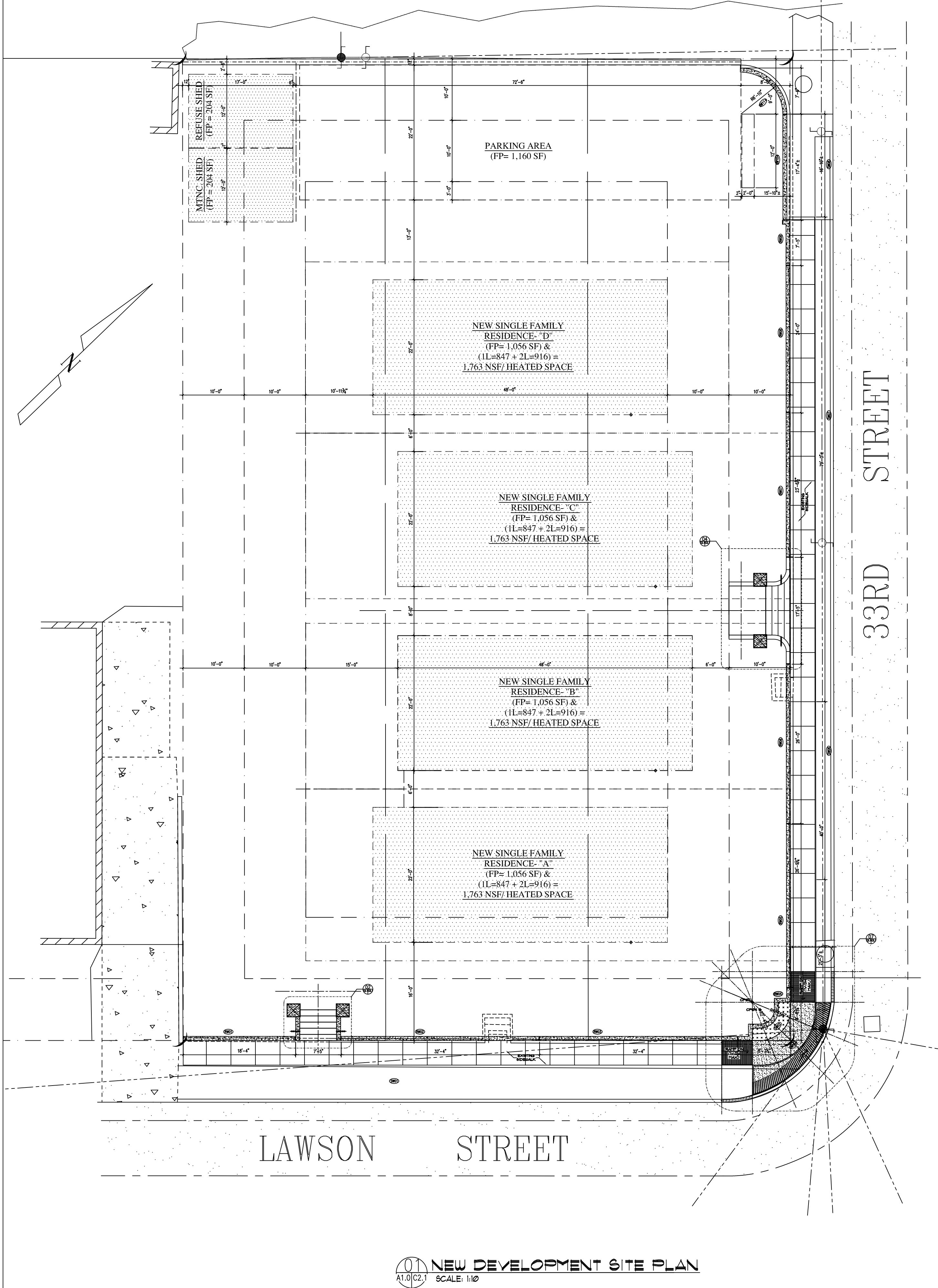
05 TYP. RETAINING WALL SECTION
SCALE: 1/4"=1'-0"



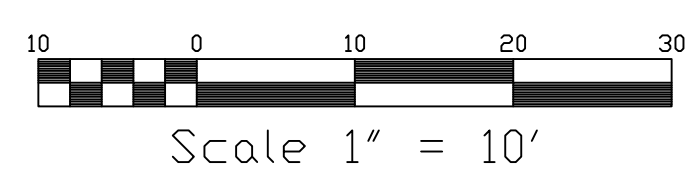
06 TYP. PIER SECTION
SCALE: 1/8"=1'-0"



07 FULL APEX PARALLEL CURB/ NEW ADA SIDEWALK DETAIL
SCALE: 1/8"=1'-0"



08 NEW DEVELOPMENT SITE PLAN
SCALE: 1/8"=1'-0"



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Richmond, VA 23221-0218
PH: 804/673-6842

**NEW RETAINX WALL,
SIDEWALK & E-STAIR
PLANS & DETAILS**

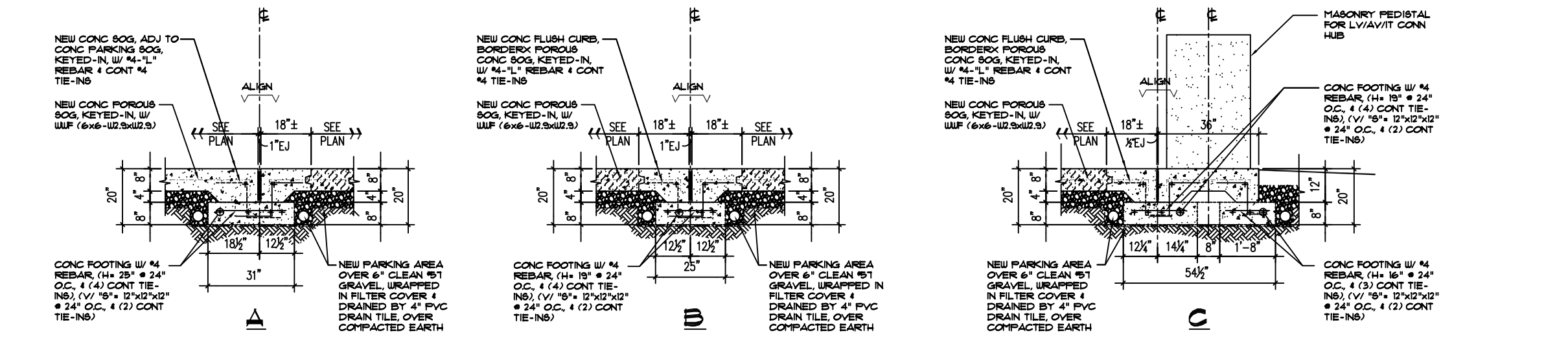
BURFOOT COMMONS, LLC.
3303A-E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
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2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

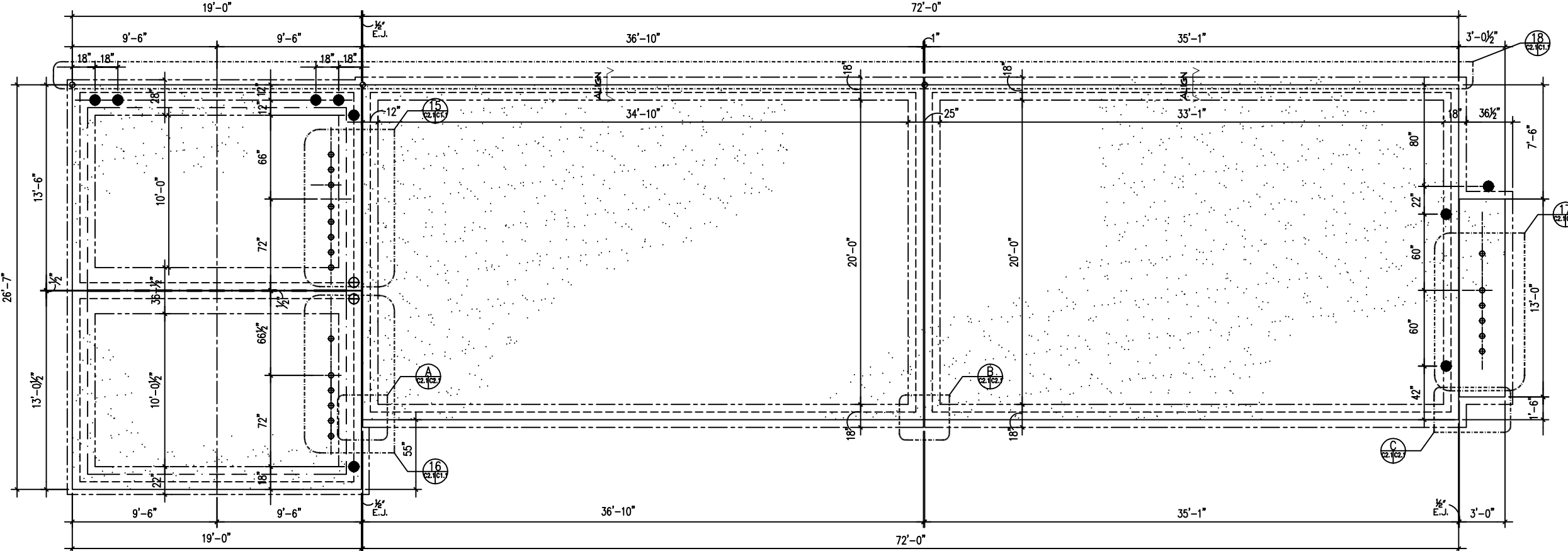
DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: AS NOTED
APPROVED BY: RSM

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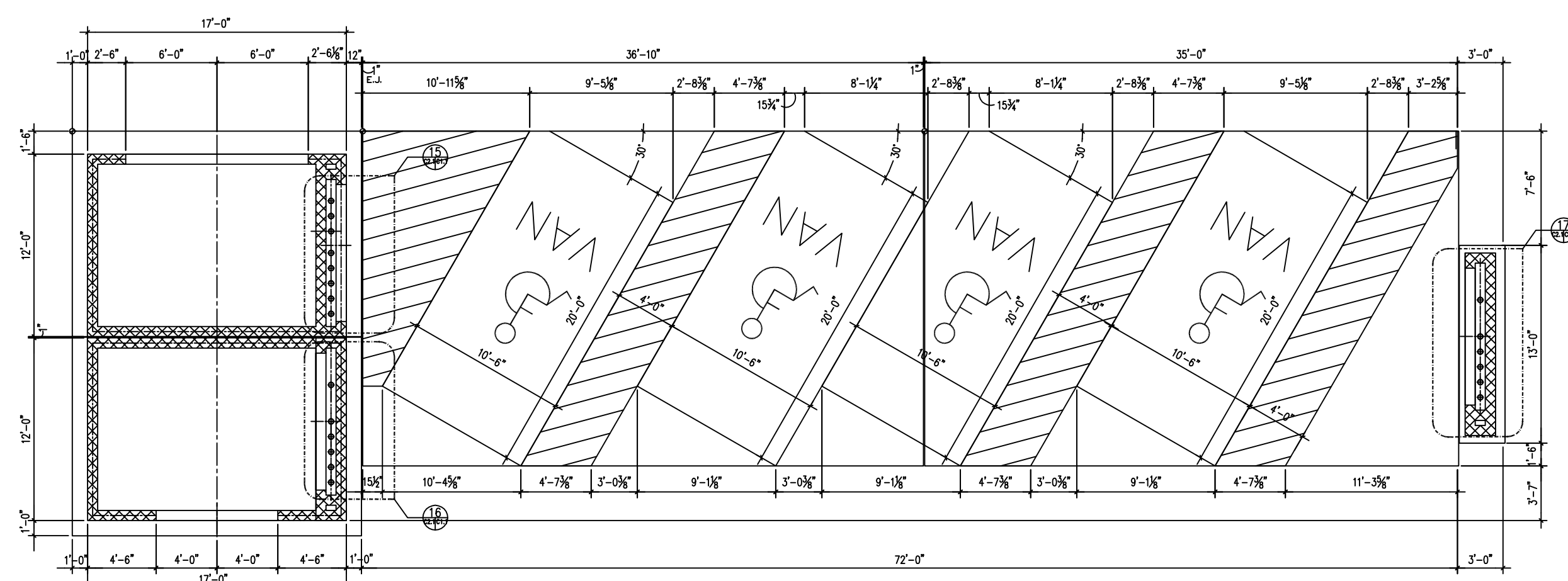
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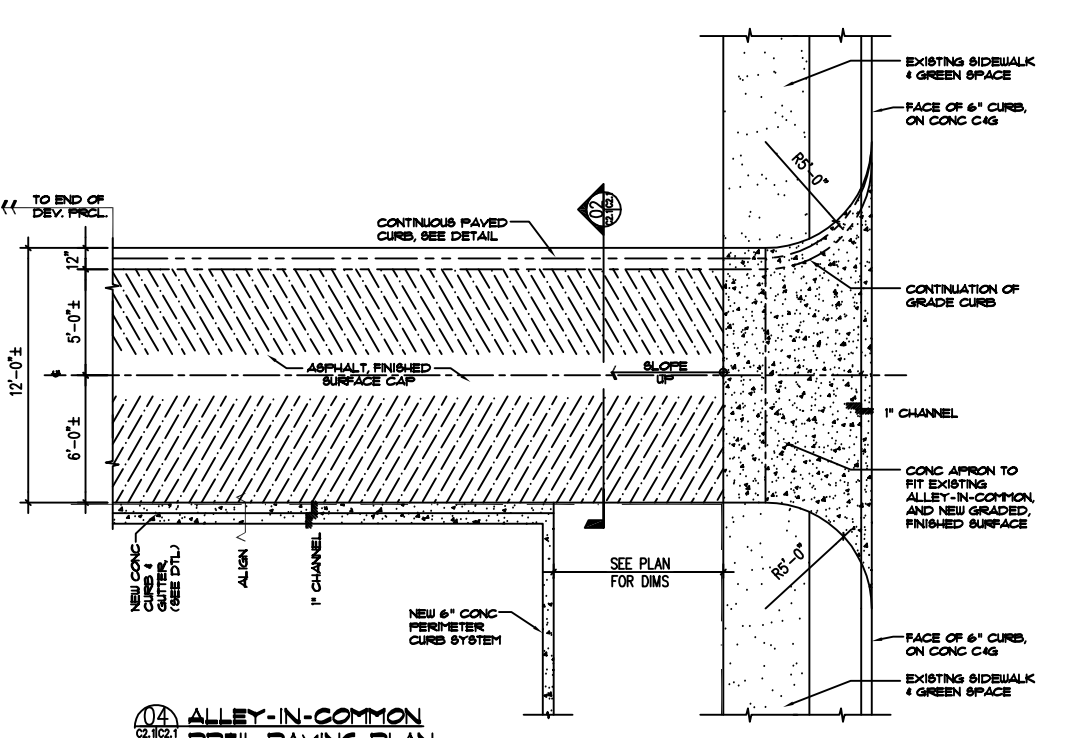
112 PARKING AREA / PARTIAL SECTIONS
SCALE: 1/4"=1'-0"



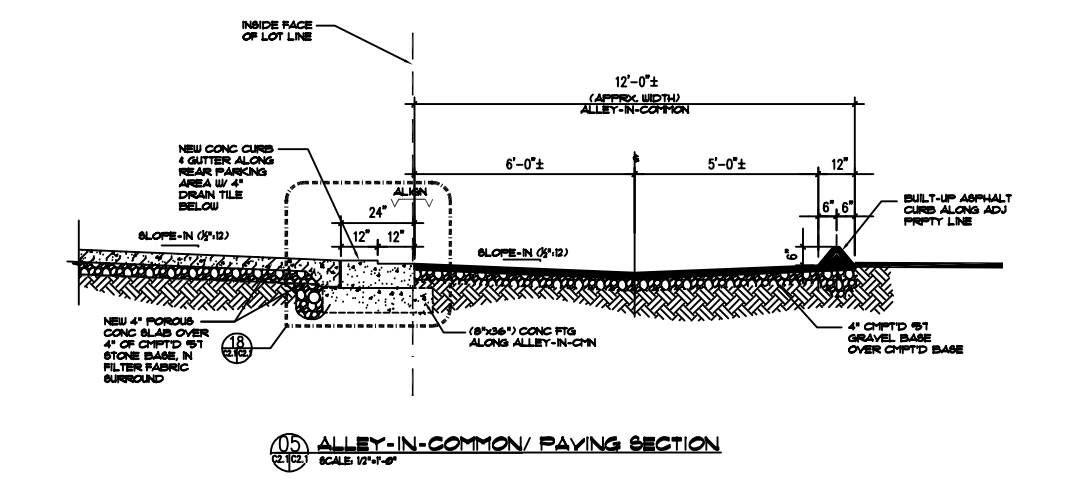
113 PARKING AREA / PAVING PLAN
SCALE: 1/4"=1'-0"



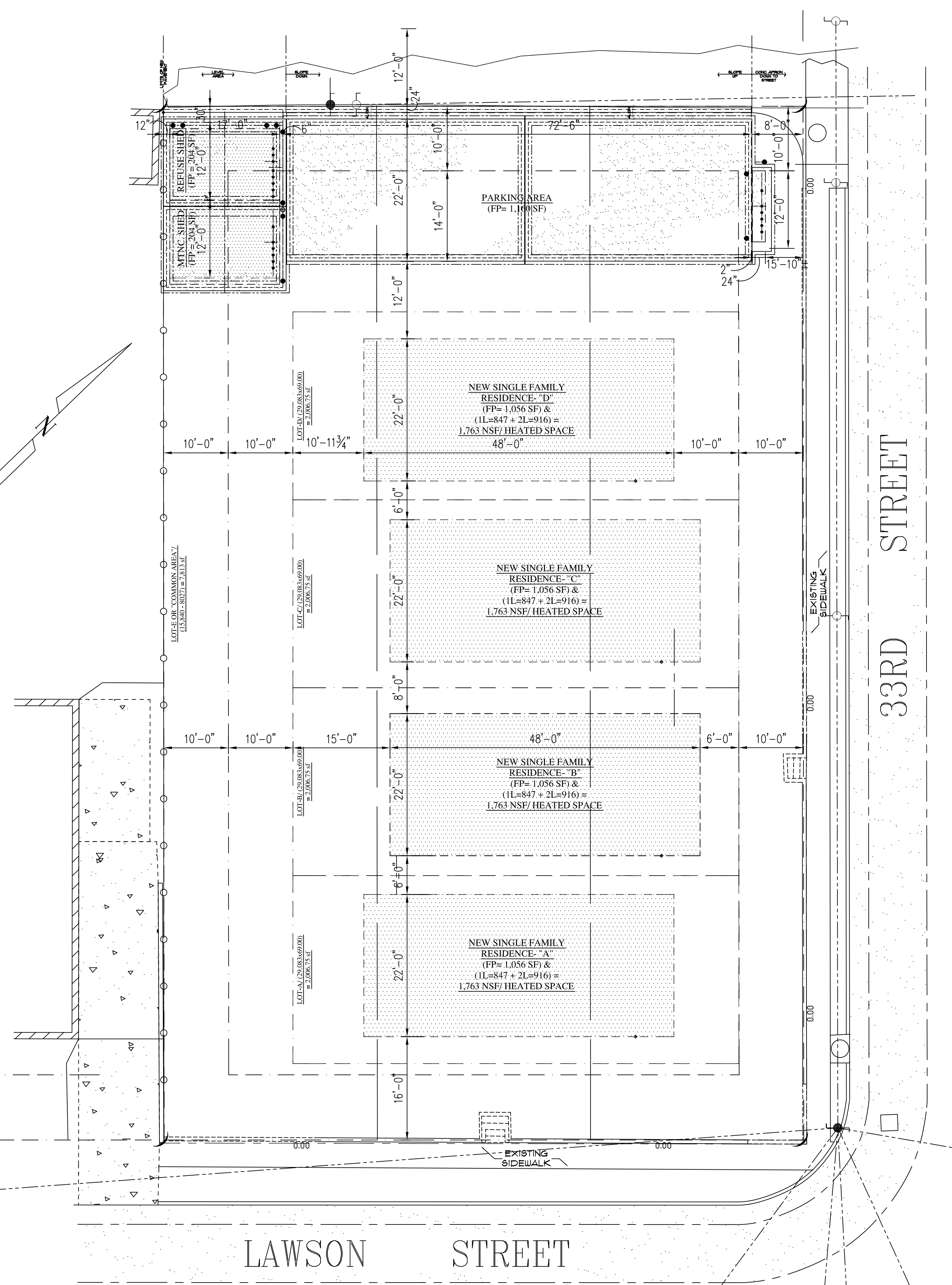
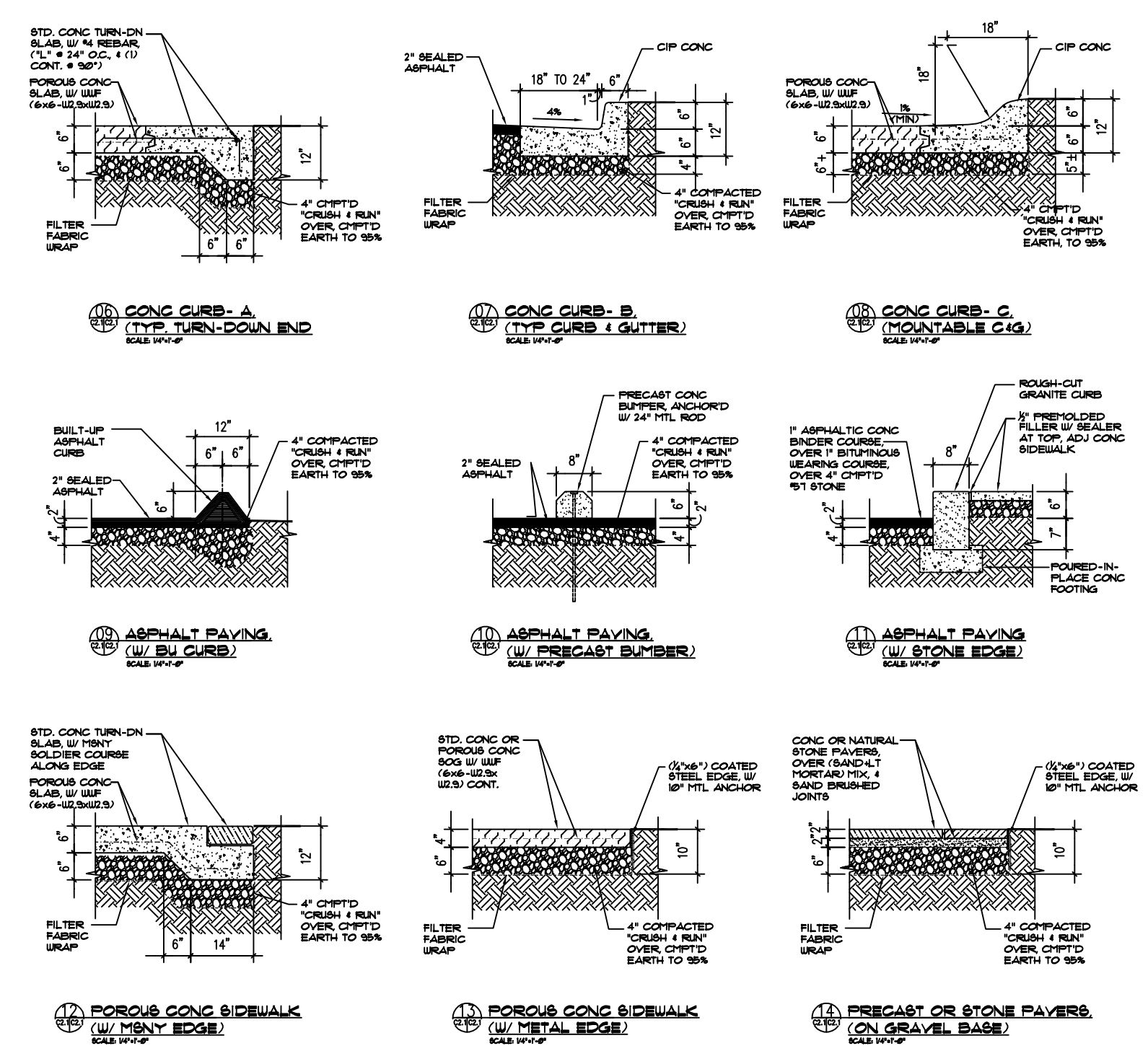
114 PARKING AREA / BUILDING LAYOUT PLAN
SCALE: 1/4"=1'-0"



115 ALLEY-IN-COMMON / PAVING PLAN
SCALE: 1/4"=1'-0"



116 ALLEY-IN-COMMON / PAVING SECTION
SCALE: 1/4"=1'-0"



117 NEW DEVELOPMENT SITE PLAN
SCALE: 1/8"=1'-0"

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Richmond, VA 23221-0218
PH: 804/673-6842

**NEW PARKING
PLAN, SECTION
& DETAILS**

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RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: As Noted
APPROVED BY: RSM

C2.1

3303 LAWSON STREET, RICHMOND, VA 23224

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Richmond, VA 23221-0218
PH: 804/673-6842

CITY OF RICHMOND GENERAL NOTES

- Permanent or temporary soil stabilization shall be applied to denuded areas with seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied with seven days to denuded areas that may not have received final grade, but will remain dormant (undisturbed) for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- Excess excavation disposed of off-site shall be disposed of in accordance with the Virginia Erosion & Sediment Control Handbook, Ed. 2009, (E45C-HB'09).
- Erosion and sediment controls shall be installed in accordance with (E45C-HB'09), and shall be placed prior to or as the first step of the land disturbing activity.
- Erosion and sediment controls shall be installed so that sediment carrying runoff from the site will not enter storm drainage facilities.
- Erosion and sediment controls shall be maintained until the disturbed area is stabilized.
- Properties adjoining the site shall be kept clean of mud or silt carried from the site by vehicular traffic or runoff.
- The disposal of waste material removed from the erosion and sediment control facilities and the disposal of these facilities shall be in accordance with, (E45C-HB'09).
- Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.
- During construction of the project, soil stock piles shall be stabilized or protected with the sediment trapping measures. The Contractor-of-Record is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project.
- It is the Contractor-of-Record's responsibility to periodically inspect all erosion and sediment control devices and insure that they are in good working order. At a minimum, all devices shall be inspected weekly and after major rainfall events. Any device requiring repairs, shall be repaired within 24 hours, of the identification.
- The Contractor-of-Record shall install additional erosion and sediment control devices if during the course of construction, the City of Richmond or the City's Engineer determines that they are required.
- Silt shall be removed from silt fences when the silt fences when the silt reached approximately one-half the height of the barrier.
- The Contractor-of-Record shall periodically top dress the construction entrance with clean stone. The vehicle tires shall be washed if the construction entrance fail to remove dirt from the tires of the vehicles entering a paved street. Dirt tracked onto paved streets shall be removed immediately by the Contractor.
- Every storm inlet shall be provided with inlet protection to prevent sediment from entering the storm sewer system.
- The Contractor-of-Record shall be responsible for maintaining all erosion and sediment control devices until all of the work is accepted by the Owner.
- The Contractor-of-Record shall be responsible for appointing a designated "Responsible Land Disturber" (RLD), who shall be responsible for inspecting and maintaining all erosion and sediment control measures. The RLD shall be certified in Virginia.
- If land disturbance exceeds (1) acre (or 2,500 sf in a Chesapeake Bay Area of Influence), an OCR VSMP permit is required prior to construction. The Contractor-of-Record is responsible for obtaining all necessary permits, and displaying same.



VICINITY MAP
SCALE: 1" = 2000'

E&SC MAINTENANCE & SEEDING SCHEDULE

Silt Fence-	Inspect monthly and after every rainfall. Repair and/or replace as necessary.
Straw Bales- Waddles-	Inspect monthly and after every rainfall. Remove silt on an as needed basis.
CEM's-	Inspect monthly and after every rainfall. Clean from caked debris, so not to transfer to Street, on an as needed basis.
Permanent Seeding-	Inspect on monthly basis, and reseed bare areas as necessary. Mow and maintain curb appeal, as required to prevent growth over 12" height.

SCOPE OF WORK

Scope of work and improvements on this site shall include the construction of four (4), new single-family residences, four (4) off-street parking spaces and two (2) ancillary support buildings. Although there is minor excavation and grading to accommodate all new improvements, found within these plans is the plan requirements for all erosion and sediment control measures.

DEVELOPMENT GENERAL NOTES

- This project is located outside the 100 year flood plain, recorded limits.
- Reference sheet A10, for information concerning the existing site survey, by McKnight & Associates, Inc. (04/23/2015).

CONTENTS

- C3.0 E&SC Cover Page,**
(incl. Owner, Site Info & CoR Gen Notes)
- C3.1 E&SC Existing Drainage Plan,**
(incl. Narrative, Cales & Practices)
- C3.2 E&SC New Detail Plan,**
(incl. Details & Notes)
- C3.3 E&SC Soil Map & Legend,**
(incl. Notes, Quantities & Min. Standards)

CONSTRUCTION SEQUENCE

- Construction shall be sequenced so that grading operations will begin and end as quickly as possible.
- Silt-fence, Straw Bales, waddles and construction entrance will be installed as the first step in the project.
- Permanent seeding and other stabilization will follow immediately after the finish grading has been completed.
- The development superintendent shall be a registered land disturber, and shall be responsible for the installation and maintenance of all erosion and sediment control practices.
- After achieving adequate stabilization, the temporary erosion and sediment controls will be removed, cleaned and stored. And, the sediment control basins (if any), will be cleaned out and converted to stormwater management basins.

E&SC QUANTITIES

• Silt Fence-	(3x100) =	300	lf
• Straw Bales-	(4 x 13) =	52	lf
• Waddles-	(4 x 9) =	36	lf
• Cnstr. Entrance Mats	(1x5) =	5	ea

LOCATION MAP- 1:200

PRINCIPAL DATA:

SITE

BURFOOT COMMONS, LLC.
(A VIRGINIA LIMITED LIABILITY CORPORATION)

OWNER

MR. ROBERT S. MCCrackEN, MB, COO
1111 COMANCHE DR, RICHMOND, VA 23225
PH: (804-912-4074)
EM: (robertmcc11@hotmail.com)

PROFESSIONALS:

DEVELOPER

ECEC, LLC.
(A VA LIMITED LIABILITY CORPORATION)
MR. ROBERT S. MCCrackEN, MB, COO, SR PM
1111 COMANCHE DR,
RICHMOND, VA 23225-1005
PH: (804/ 912-4074)
EM: (ROBERTMCC11@HOTMAIL.COM)

GENERAL CONTRACTOR

HRD, INC.
(A VA C-CORPORATION)
(VA CONTRACTOR'S "A" LIC# 2705-20046)
MR. ROBERT S. MCCrackEN, MB, COO, SR PM
1111 COMANCHE DR,
RICHMOND, VA 23225-1005
PH: (804/ 912-4074)
EM: (ROBERTMCC11@HOTMAIL.COM)

STRUCTURAL ENGINEER

OBSDIAN ENGINEERING, INC.
(A VIRGINIA CORPORATION)
(VA PE LIC# 6427-24489)
MR. CHARLES R. FIELD, PE, PRES.
515 N 22nd STREET
RICHMOND, VA 23233
PH: (804/ 641-1589)
EM: (CRFIELD@OBSIDIANPRO)

CIVIL ENGINEER

OBSDIAN ENGINEERING, INC.
(A VIRGINIA CORPORATION)
(VA PE LIC# 21973)
MR. CHARLES R. FIELD, PE, PRES.
515 N 22nd STREET
RICHMOND, VA 23233
PH: (804/ 641-1589)
EM: (CRFIELD@OBSIDIANPRO)

ELECTRICAL ENGINEER

VLMK ENGINEERING & DESIGN, INC.
(A OREGON CORPORATION)
(OREGON PE LIC# 0462-24489)
MR. KEVIN KAPLAN, PE, SE, VP
3333 SW KELLY AV
PORTLAND, OR 97239
PH: (503/ 222-4453)
EM: (KEYINK@VLMK.COM)

IT/ LV CONTRACTOR

MATRIX SYSTEM, INC.
(A VA C-CORPORATION)
(VA CONTRACTOR'S "C" LIC# 2705-36226)
MR. ROBERT E. WARD, PRES.
816 BLANTON AV
RICHMOND, VA 23230
PH: (804/ 402-4250)
EM: (REWARD@MATRIXSYSTEMS.COM)

GOVERNING BODY

CITY OF RICHMOND, PERMITS & INSPECTIONS DEPT.
MR. DAVID E. DUCKHARDT, SR PLNR
900 E BROAD ST, RM 110
RICHMOND, VA 23219
PH: (804/ 646-6948)
EM: (DAVID.DUCKHARDT@RICHMONDGOV.COM)
URL: (WWW.RICHMONDGOV.COM)

CODE REFERENCES

IBC-2011, INTERNATIONAL BUILDING CODE, 2011
IEC-2011, INTERNATIONAL ELECTRICAL CODE, 2011
IRC-2011, INTERNATIONAL RESIDENTIAL CODE, 2011
USBC-2006, UNIFORM STATEWIDE BUILDING CODE, 2006
NEC-2011, NATIONAL ELECTRIC CODE, 2011
IEBC-2011, INTERNATIONAL BUILDING CODE, 2011
IBC-2011, INTERNATIONAL BUILDING CODE, 2011

SHEET TITLE
E&SC
COVER PAGE

PROJECT TITLE
BURFOOT COMMONS, LLC.
3303A-E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
3	15-1230	CD.01
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1	15-0930	DD.01
0	15-0612	90% DD

DATE 12.30.2015

HRD PROJECT NO. 15-0409

CLIENT PROJECT NO. NEW RESIDENCE

SCALE N.T.S.

APPROVED BY RSM

C3.0

E+SC NARRATIVE

- 1) **Project Description:**
The purpose of this project is to construct four (4) new single-family residences, four (4) off-street parking spaces and two (2) ancillary support buildings, on an existing vacant lot, within the City of Richmond limits. The disturbed area is 4,632 sf in total. And, land disturbing activities include the construction of new buildings, stairs, sidewalk- areas and parking spaces.
 - 2) **Existing Site Conditions:**
The land is raised approximately 24" above the existing sidewalk (located on two sides of the site). Parcel grade is general flat and slopes mildly to the street exposure on two sides. This site does not have a respective drainage pattern. The rear of this parcel is along the alley-in-common and the south-west side is adjacent to the parcel next door. There is one (1) mature tree on site and is covered with common ryegrass. The main parcel and existing original lots have been previously disturbed with original home construction.
 - 3) **Adjacent Site(s):**
The 8W-adjacent parcel runs along the fence line from Lawson Street to the Alley-in-common. And, there is an adjacent parcel, along the opposite side (N view), of the Alley-in-common. Both adjacent sites are improved with one (1) single-family structure each. And, each adjacent site maintain yards, trees and vegetation typical of an urban neighborhood. Project site areas located adjacent to other home sites.
 - 4) **Off-Site Areas:**
There are no "off-site areas" that shall be included in this design package, for this parcel and the respective fee-simple/ residential lots and buildings planned.

Excavation will be necessary for each new improvement on this site, and all excess soil will be removed. Each load of spoils will be removed by dump vehicle and disposed of at a Subtitle-D landfill licensed to receive soil.
 - 5) **Soils:**
The soil on this site that is to be cleared is listed as . This soil is described as " ", and is described fully in the respective "soil report", (ref. C33) of this set.
 - 6) **Critical Erosion Areas:**
The entire site slope is less-than 1-2%, so there are no critical erosion control areas. The majority of ground disturbance may take place on moderately sloping land/areas that have been previously disturbed.
 - 7) **E49C Measures:**
Unless otherwise indicated, all "Structural" and "Vegetative" erosion and sediment control measures will be constructed and maintained according to minimum standards and specifications of the "Virginia Erosion & Sediment Control Handbook" (VE49C- HB) latest edition. When handbook regulations conflict with local regulations, local regulations will take precedence.
 - 8) **Permanent Stabilization:**
All areas disturbed by construction shall be stabilized with permanent seeding immediately following finish grading. Seeding shall be done in accordance to "Std. & Spec. 335, Permanent Seeding" of the VE49C- HB. Mulch, straw or fiber materials will be used on relatively flat areas. In all seeding operations, seed, fertilizer and lime will be applied prior to mulching. Consequently, erosion & sediment control measures will protect the existing parcel, adjacent land and driveways.
 - 9) **Stormwater Run-off Considerations:**
The entire site was previously cleared, before construction is scheduled to begin. No increased runoff is expected, before excavation and/or new construction is permitted, as the entire site is covered in grass. And, stabilization of the raw-earth alley-in-common, is to be controlled by a new 5T gravel layer, covered by construction entrance mat (CEM).
 - 10) **Calculations:**

Existing Impervious Area:	(0)	sf	0.0%
Proposed Impervious Area:	4,632	sf	29.2%
Remaining Pervious Area:	11,208	sf	10.8%
Total Site Area:	15,840	sf	100%

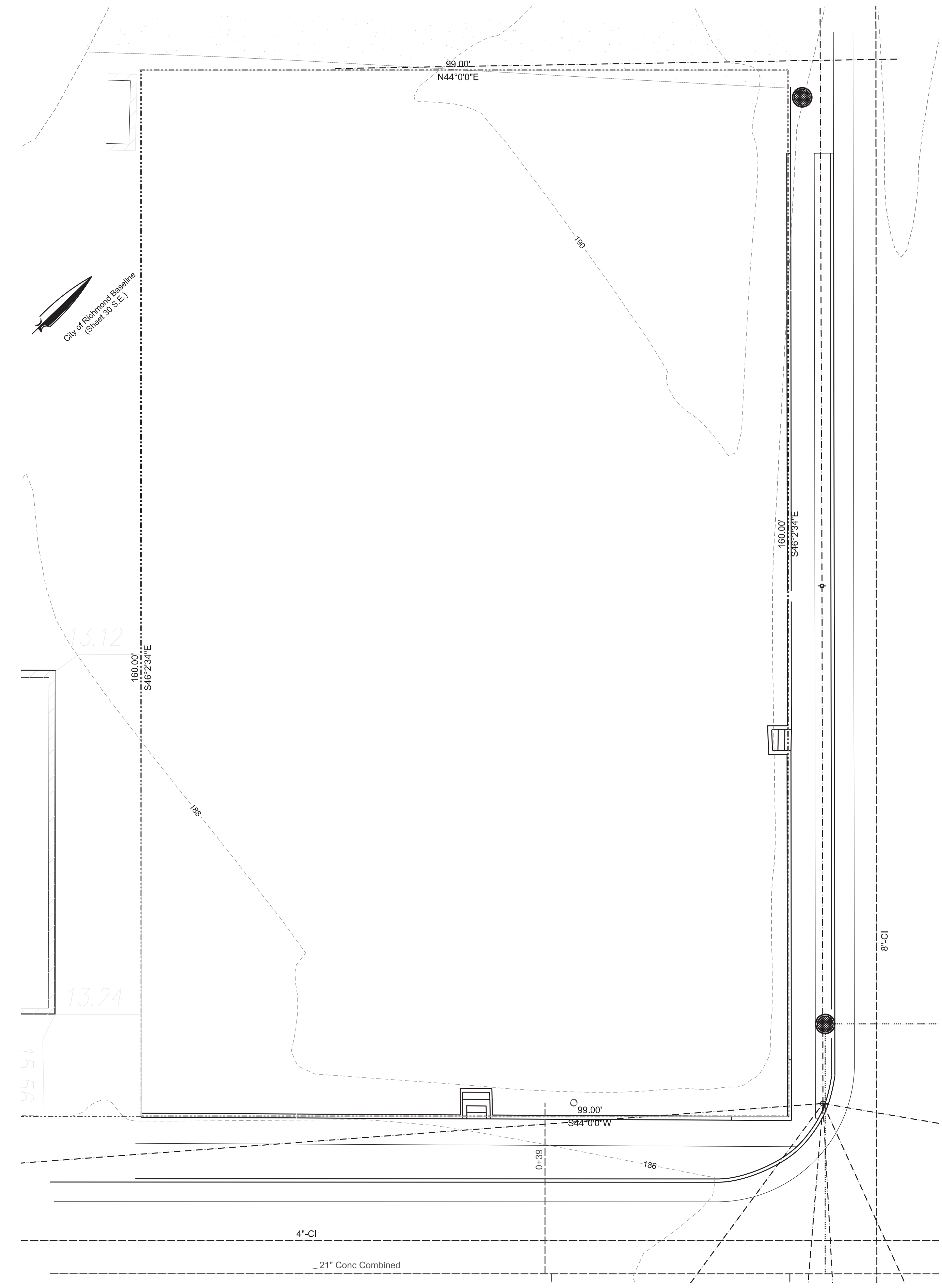
(Ref. Site Spatial Schedule on A10)
 - 11) **Structural Practices:**

Construction Entrance-	(CE)	3.02
Fiber Rolls/ 4 Saddles	(FR)	
Straw Bales	(SB)	
Silt Fence	(SF)	3.05
Inlet Protection/ Storm Drains	(IPB)	3.01
Inlet Protection/ Culverts	(IPC)	3.06
Soil Stabilization/ Blankets & Mats	(SM)	3.36
Tree Preservation & Protection	(TP)	3.38
 - 12) **Vegetative Practices:**

Topsail/ Improvement	(T)	3.30
Seeding/ Temporary**	(TS)	3.31
Seeding/ Permanent**	(PS)	3.32
Sodding	(SO)	3.33
Mulching/ Improvement	(M)	3.35
Ground Cover/ (Trees, Shrubs, Vines & other)	(GC)	3.37
- **All disturbed areas that do not receive impervious improvements, will be seeded or receive mulch to ensure a positive stand of grass.

APPLICABLE MINIMUM STANDARDS

- 1) Permanent or temporary soil stabilization shall be applied to denuded areas with seven days after final grade is reached, on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain dormant for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- 2) During construction of the project, soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protect and permanent stabilization of all transported from the project site.
- 3) A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that is uniform, mature enough to survive and will inhibit erosion.
- 4) Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilization measures until the problem is corrected.
- 5) Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.
- 6) Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
- 7) All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system, without first being filtered or otherwise treated to remove sediment.
- 8) Before newly constructed stormwater conveyance channels or pipes are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.
- 9) All applicable federal, state, and local regulations pertaining to working in or crossing live water courses shall be met.
- 10) Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
 - a) No more than 500 linear feet of trench may be opened at one time.
 - b) Excavated material shall be placed on the uphill side of trenches.
 - c) Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.
 - d) Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
 - e) Restoration shall be accomplished in accordance with these regulations.
 - f) Applicable safety regulations shall be complied with.
- 11) Where construction vehicles access routes intersect paved or public roads, provisions shall be made to minimize the transport of sediment by vehicular tracking into paved surfaces. Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the road by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. The provision shall apply to individual development lots as well as the larger land-disturbing activities.
- 12) All temporary erosion and sediment control measures shall be removed with 30 days after final site stabilization, or after the temporary measures are no longer needed, unless otherwise authorized by the local program authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sedimentation.
- 13) Properties and waterways downstream from the development sites shall be protected from sediment deposition, erosion and damage due to increases in volume, velocity and peak flow rate of stormwater runoff for the stated frequency storm 24-hour duration in accordance with the following standards and criteria:
 - A) Concentrated stormwater runoff leaving a development site shall be discharged directly in an adequate natural or man-made receiving channel, pipe or storm sewer system. For those sites where runoff is discharged into a pipe or pipe system, downstream stability analyses at the outfall of the pipe or pipe system shall be performed.
 - B) Adequacy of all channels and pipes shall be verified in the following manner:
 - (i) The applicant shall demonstrate that the total drainage area to the point of analysis with the channel is one hundred times greater than the contributing drainage area of the project in question or
 - (ii) Natural channels shall be analyzed by the use of a two-year storm to verify that stormwater will not overtop channel banks, nor cause erosion of channel bed or banks and
 - (iii) All previously constructed man-made channels shall be analyzed by the use of a ten-year storm to verify the stormwater will not overtop its banks and by the use of a two-year storm to demonstrate that stormwater will not cause erosion of channel bed or banks and
 - (iv) Pipes and storm sewer systems shall be analyzed by the use of a ten-year storm to verify that stormwater will be contained within the pipe system channels. If existing natural receiving channels or previously constructed man-made channels or pipes are not adequate, the applicant shall:
 - (a) Improve the channel to a condition where a ten-year storm will not overtop the banks and a two-year storm will not cause erosion to the channel bed or banks, or
 - (a) Improve the pipe or pipe system to a condition where the ten-year storm is contained within the appurtenances, or
 - (a) Develop a site design that will not cause the pre-development peak runoff rate from a two-year storm to increase when runoff outfalls into a natural channel or will not cause the predevelopment peak runoff rate from a ten-year storm to increase when runoff outfalls into a man-made channel, or
 - (a) Provide a combination of channel improvement, stormwater detention or other measures which is satisfactory to the plan-approving authority to prevent downstream erosion.
 - (v) The applicant shall provide evidence of permission to make the improvements.
 - (v) All hydrologic analyses shall be based on the existing watershed characteristics and the ultimate development of the subject project.
 - (vi) If the applicant chooses an option that includes stormwater detention he shall obtain approval from the locality of the plan for maintenance of the detention facilities. The plan shall set forth the maintenance requirements of the facility and the person responsible for performing the maintenance.



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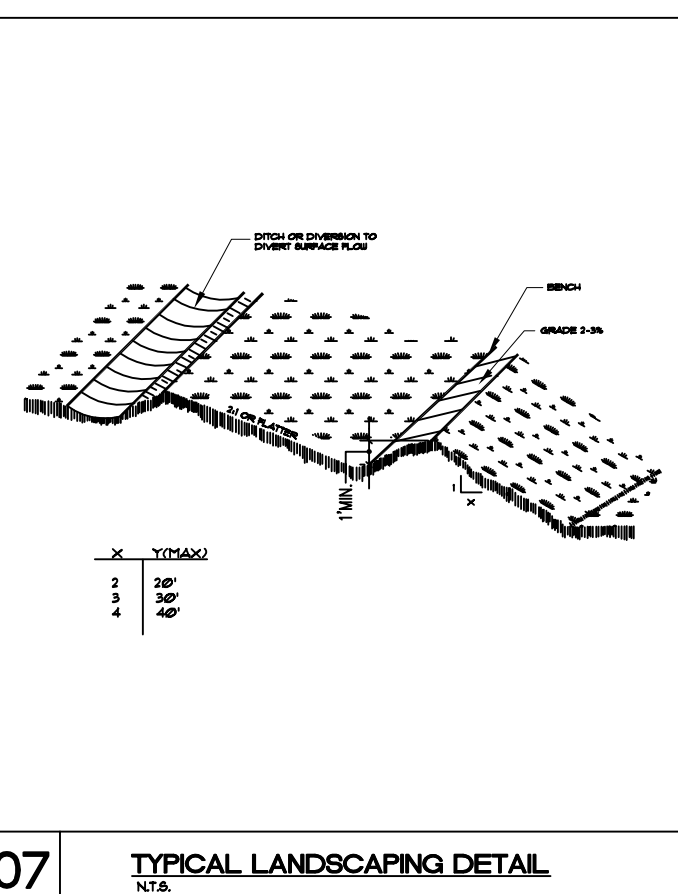
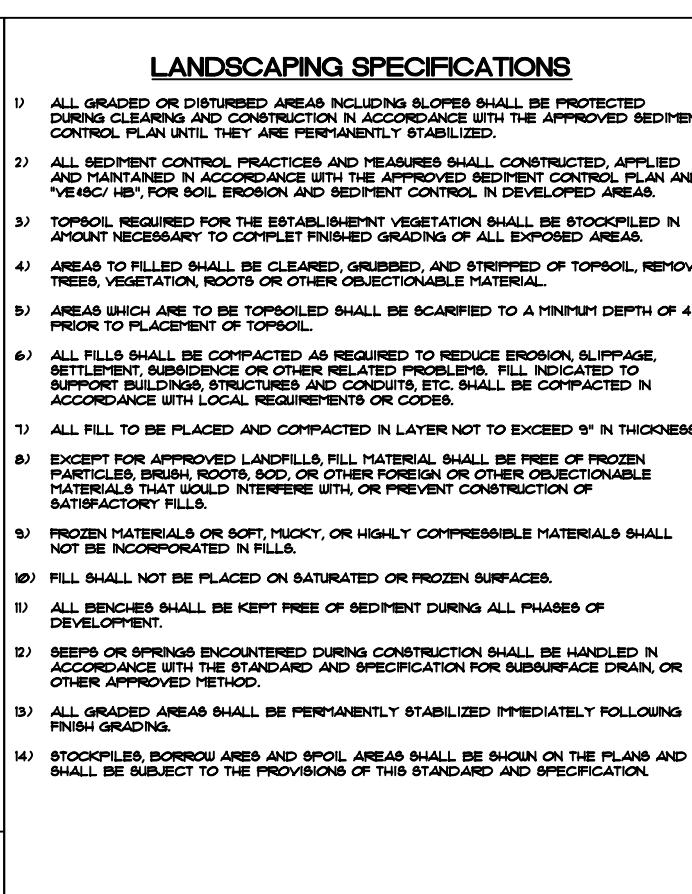
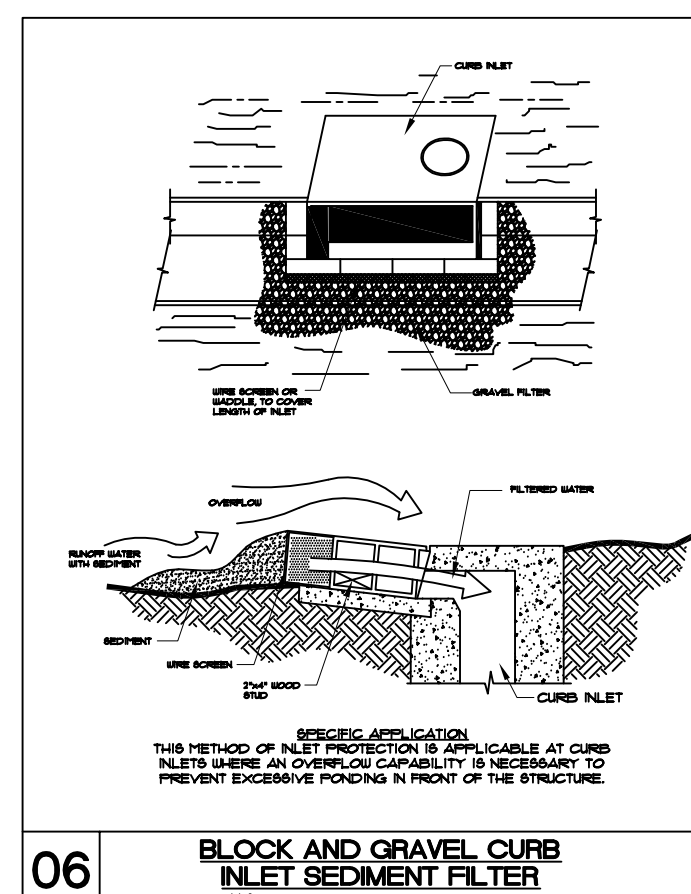
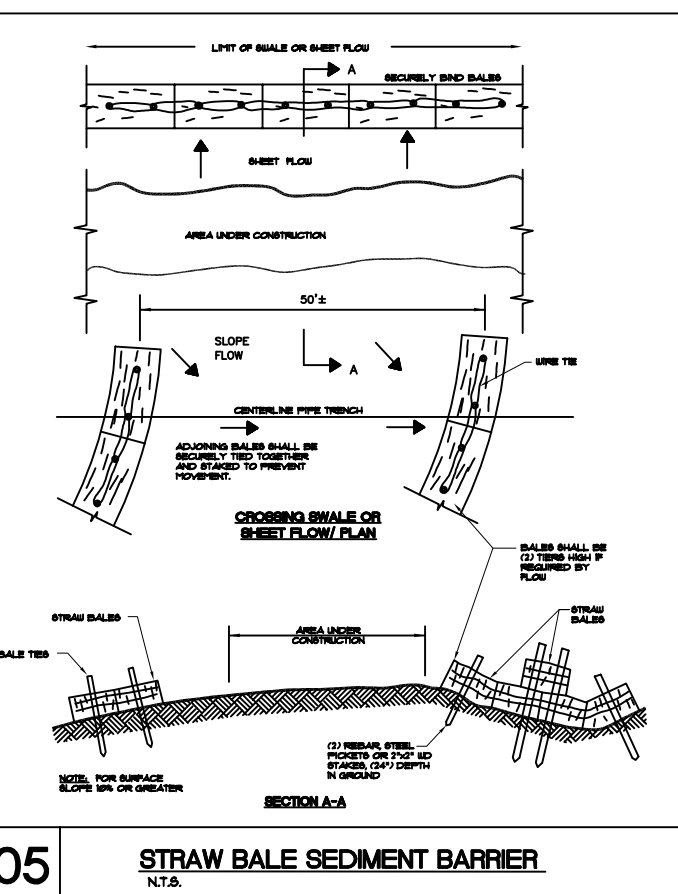
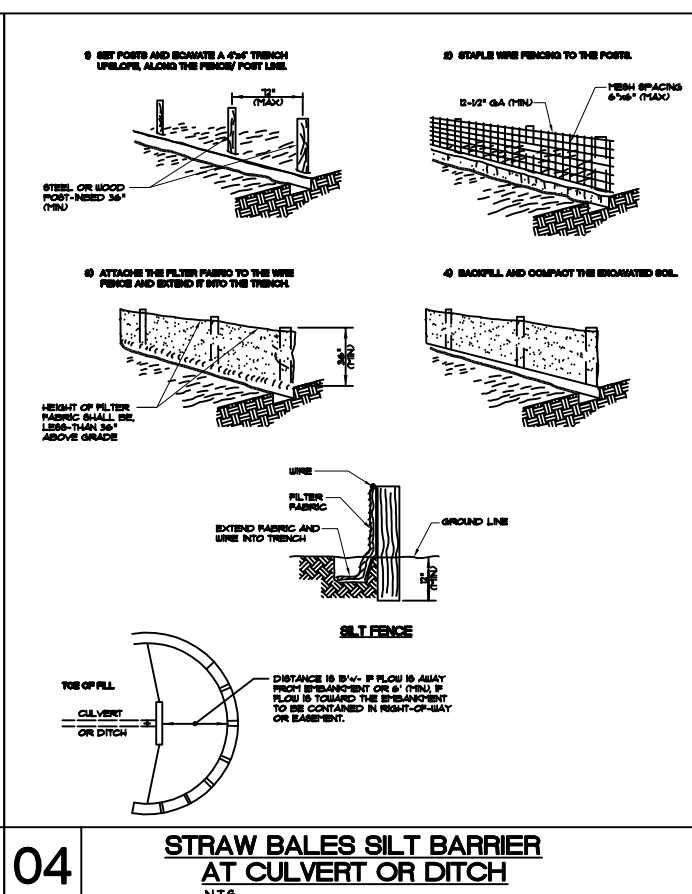
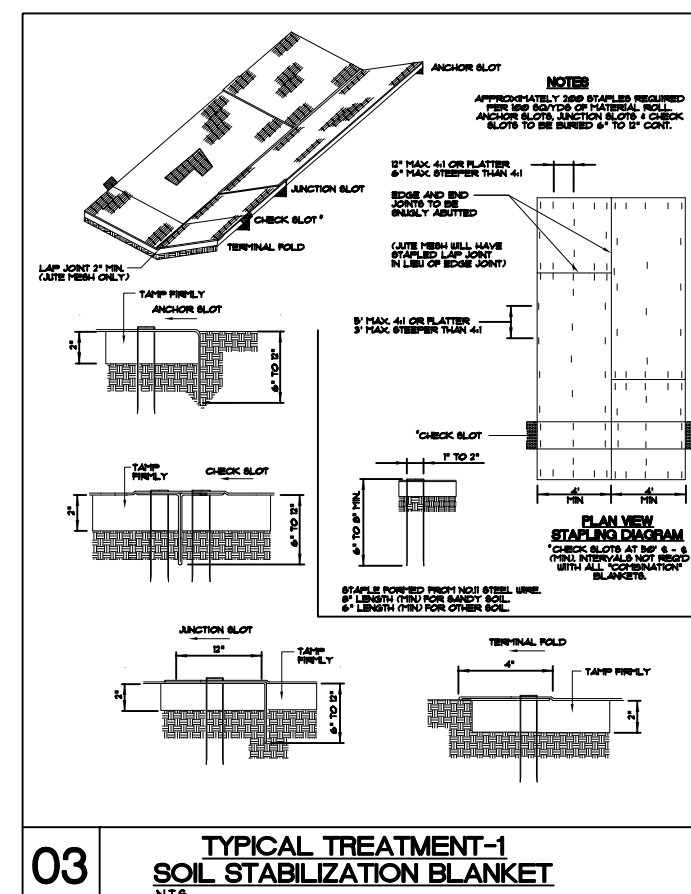
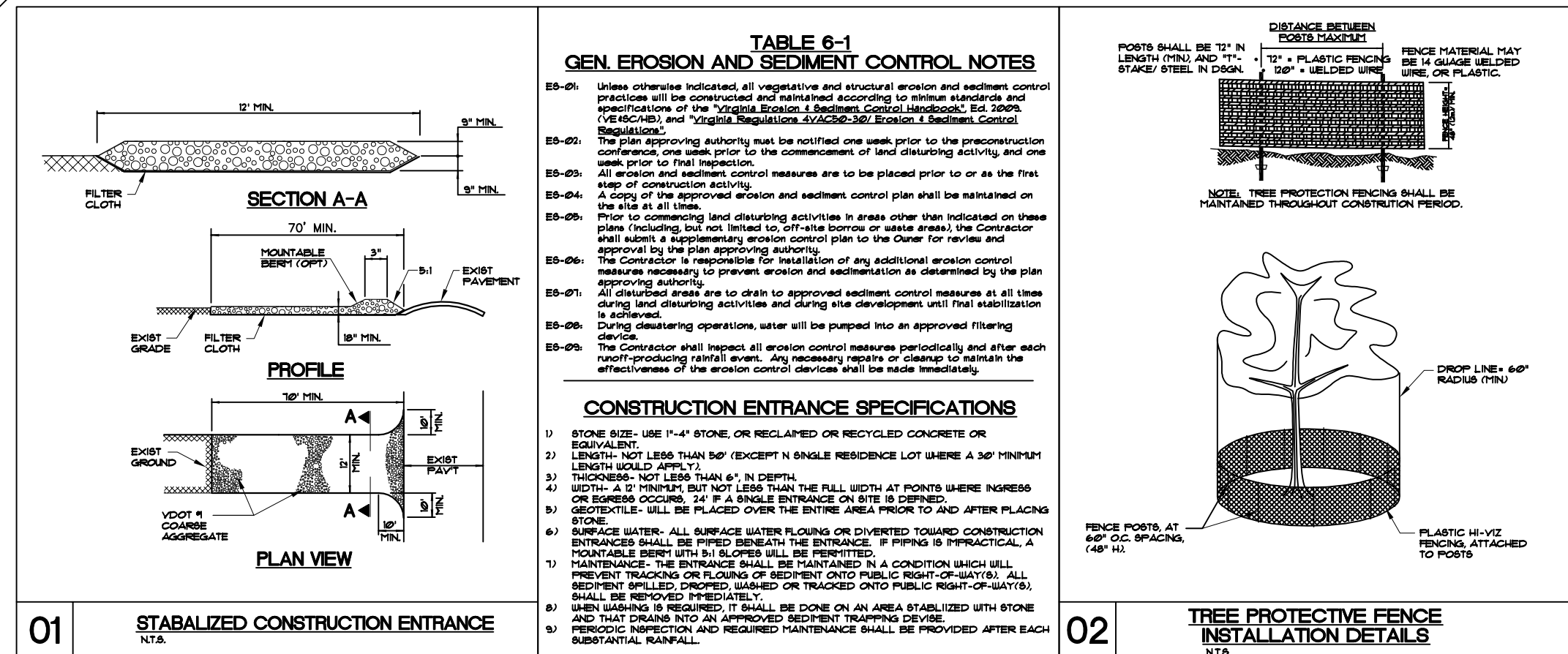
**E+SC EXISTING
DRAINAGE PLAN
& NARRATIVE**

BURFOOT COMMONS, LLC.
3303A -E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: As Noted
APPROVED BY: RSM

C3.1



E&C LEGEND:

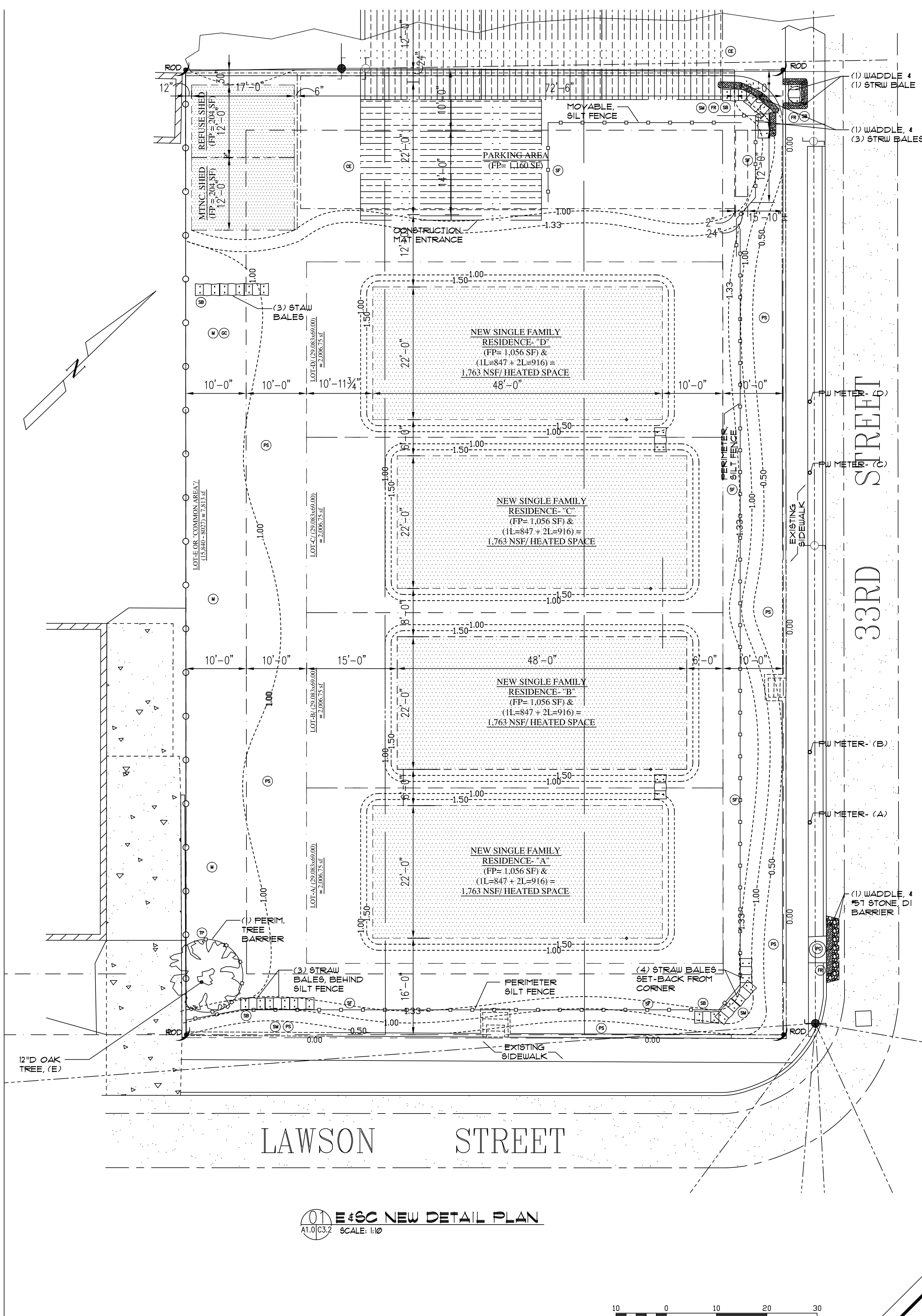
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[Symbol]	GRAVEL	[Symbol]	EASEMENT, ROAD
[Symbol]	CONCRETE	[Symbol]	EASEMENT, DRAINAGE
[Symbol]	CONC MASONRY UNIT	[Symbol]	PARCEL OUTLINE
[Symbol]	BRICK	[Symbol]	BUILDING OUTLINE
[Symbol]	NEW STRUCTURE	[Symbol]	STRUCTURE DESIGNATION
[Symbol]	EXISTING STRUCTURE	[Symbol]	CHAIN FENCE/ EXIST.
[Symbol]		[Symbol]	SEDIMENT CONTROL FENCE/IN/ TEMP.

STRUCTURAL PRACTICES LEGEND

TAG	IMPROVEMENTS	SECT. SEE.
(1)	CONSTRUCTION ENTRANCE	3.02
(2)	FIBER ROLL/ WADDLES	3.03
(3)	STRAW BALES	3.05
(4)	SILT FENCE	3.06
(5)	NILET PROTECTION (STORY DRAIN)	3.31
(6)	NILET PROTECTION (CULVERT)	3.32
(7)	SOIL STABILIZATION BLANKETS & MATS	3.33
(8)	TREE PRESERVATION & PROTECTION	3.34

VEGETATIVE PRACTICES LEGEND

TAG	IMPROVEMENTS	SECT. SEE.
(1)	TOPSOIL/ IMPROVEMENT	3.35
(2)	SEEDING/ TEMPORARY	3.31
(3)	SEEDING/ PERMANENT	3.32
(4)	SOODING	3.33
(5)	MULCHING/ IMPROVEMENT	3.34
(6)	GRASS/ COVER/ TREES/ SHRUBS/ VINES/ OTHER	3.31



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E&C NEW
DETAIL PLAN
& DETAILS

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 (804) 912-4074

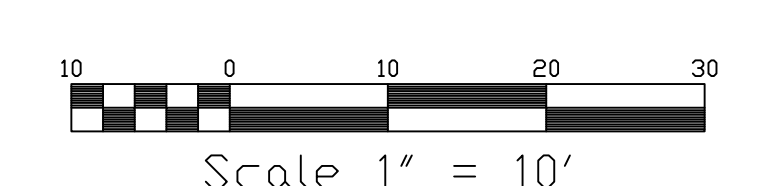
REVISIONS

REV	DATE	NOTE
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2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015
 HRD PROJECT NO.: 15-0409
 CLIENT PROJECT NO.: NEW RESIDENCE
 SCALE: As Noted
 APPROVED BY: RSM

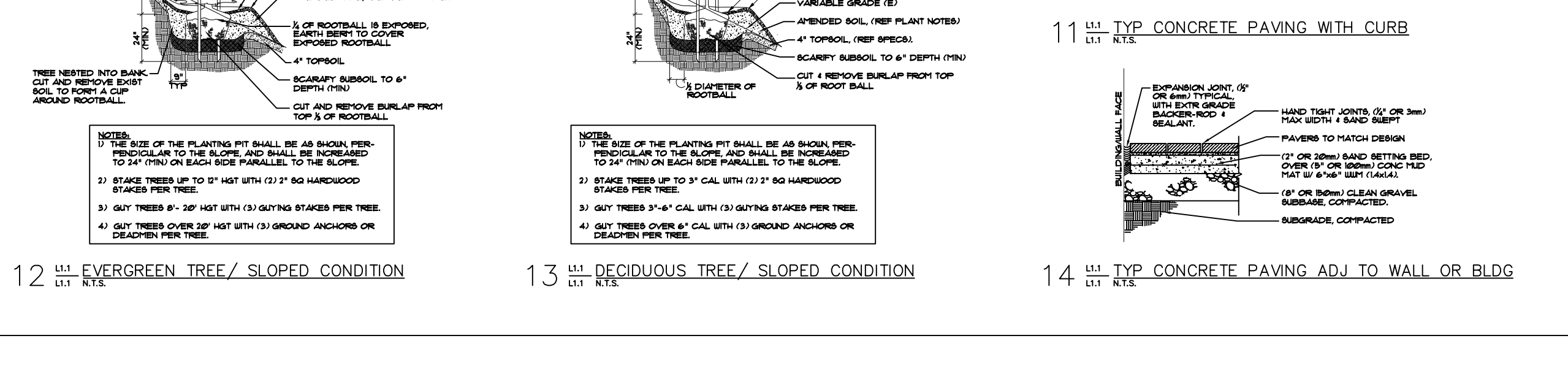
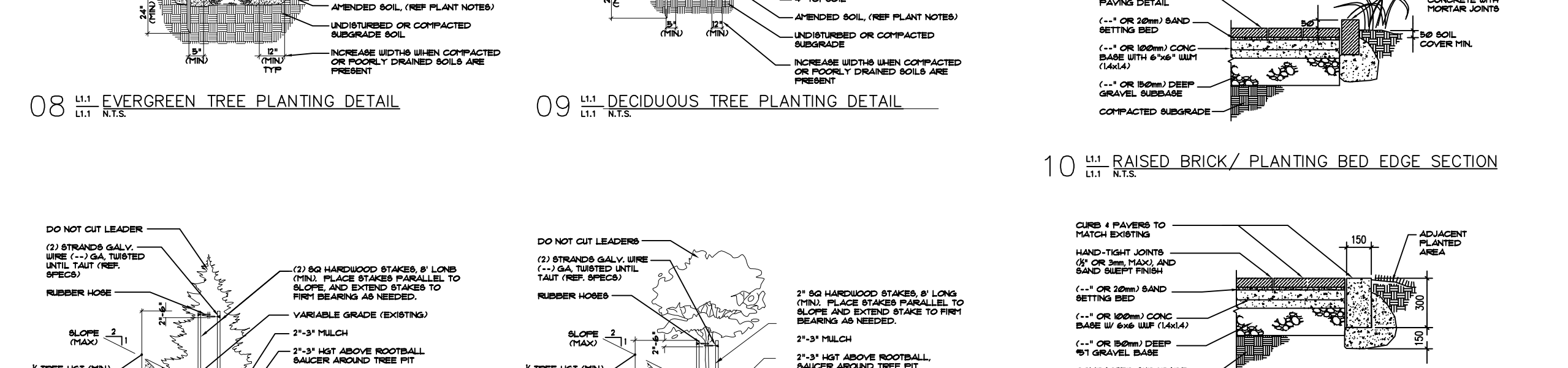
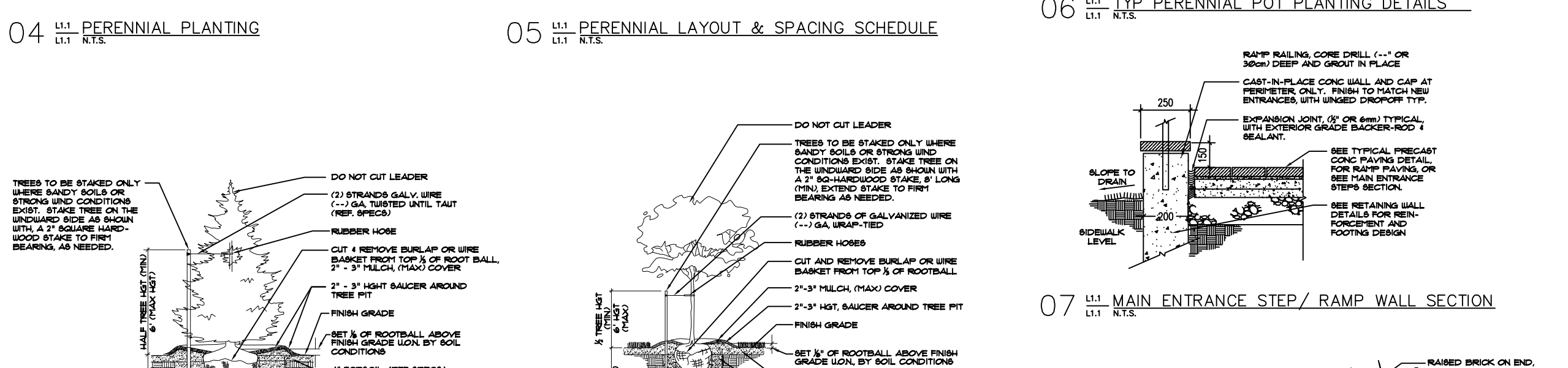
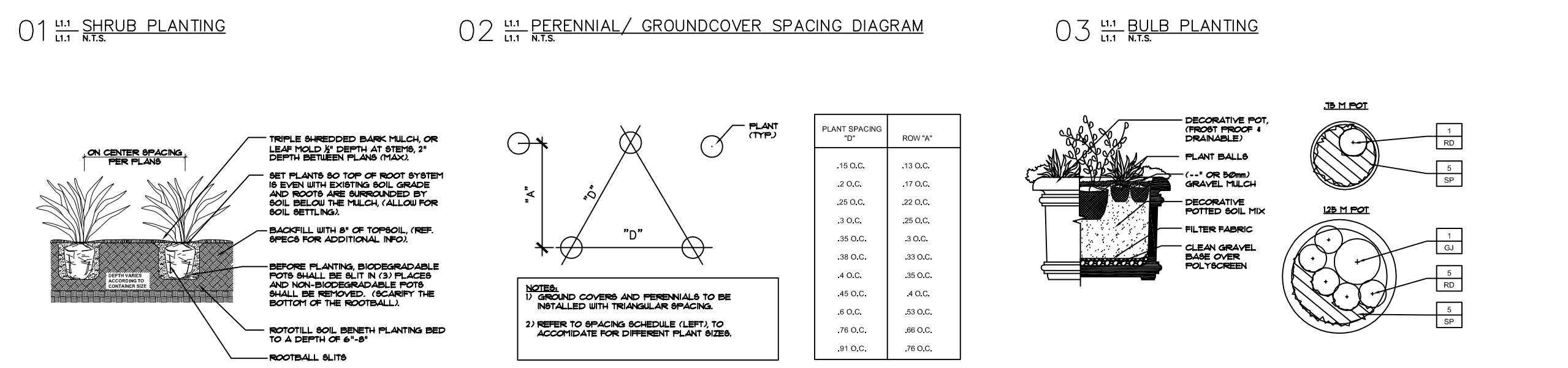
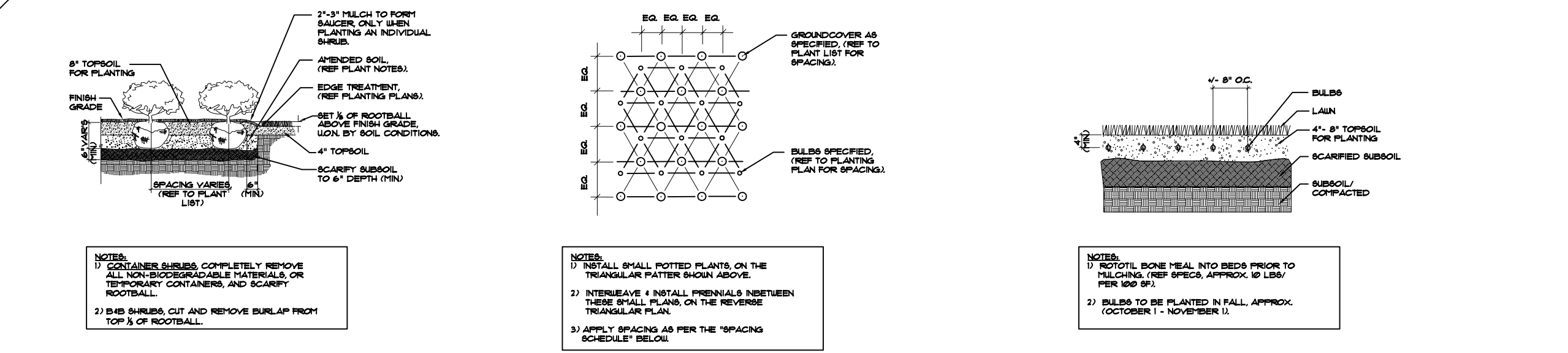
C3.2

E&C NEW DETAIL PLAN
 1/0/03.2 SCALE: 1/8"

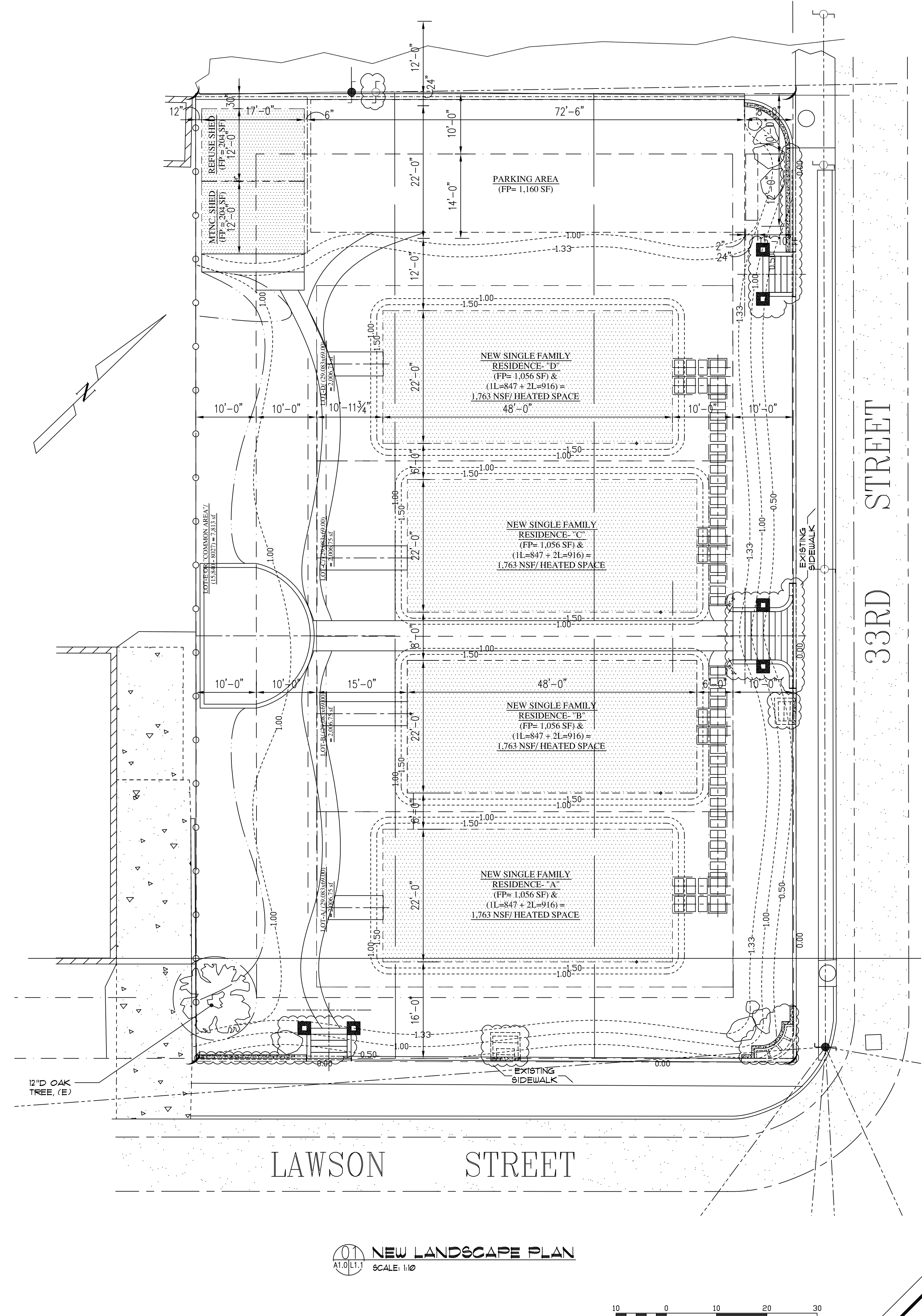


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1	15-0930	DD.01
0	15-0612	90% DD

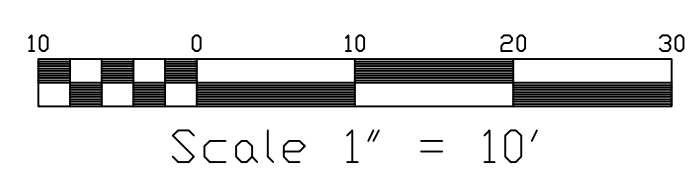
DATE: 12.30.2015
 HRD PROJECT NO.: 15-0409
 CLIENT PROJECT NO.: NEW RESIDENCE
 SCALE: As Noted
 APPROVED BY: RSM



PLANT SCHEDULE					
PROVIDE QUANTITIES SHOWN ON PLAN					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME OR LOCAL NAME	SIZE	REMARKS
CANOPY TREES					
CA	1	AA	xx	xx	PER PLAN xxx
FLOWERING TREES					
B	1	AA	xx	xx	SPECIMEN QUALITY: xx
EVERGREEN TREES					
AR	1	AA	Queen Palm	3 M CT	PER PLAN B&B
SHRUBS					
GJ	1	AAA	Fragrant Gardenia	.75 M HT	.5 M CONTAINER
GROUNDCOVER / ACCENT PLANT / VINE					
HE	1	AAA	Yellow Daylily	.35 M HT	.4 M CONTAINER
LAWN					
	1966.5 SM	AAA	Zoichia		LAWN SPRIGS SPACED TO ACHIEVE COMPLETE COVERAGE IN ONE GROWING SEASON



01 NEW LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"





Map Unit Legend

City of Richmond, Virginia (VA760)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
37B	Turbeville-Urban land complex, 2 to 6 percent slopes	0.4	100.0%
Totals for Area of Interest		0.4	100.0%

Soil Map—City of Richmond, Virginia (3303 Lawson Street)

MAP LEGEND

- Area of Interest (AOI)**
 - Area of Interest (AOI)
- Soils**
 - Soil Map Unit Polygons
 - Soil Map Unit Lines
 - Soil Map Unit Points
- Special Point Features**
 - Blowout
 - Borrow Pit
 - Clay Spot
 - Closed Depression
 - Gravel Pit
 - Gravelly Spot
 - Landfill
 - Lava Flow
 - Marsh or swamp
 - Mine or Quarry
 - Miscellaneous Water
 - Perennial Water
 - Rock Outcrop
 - Saline Spot
 - Sandy Spot
 - Severely Eroded Spot
 - Sinkhole
 - Slide or Slip
 - Sodic Spot
- Water Features**
 - Spoil Area
 - Stony Spot
 - Very Stony Spot
 - Wet Spot
 - Other
 - Special Line Features
- Water Features**
 - Streams and Canals
- Transportation**
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background**
 - Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: City of Richmond, Virginia
 Survey Area Data: Version 12, Dec 11, 2013

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 31, 2013—Oct 1, 2013

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

USDA Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

1/7/2016 Page 2 of 3

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 PH: 804/673-6842

SHEET TITLE
E&SC EXISTING SOIL MAP & LEGEND

PROJECT TITLE
**BURFOOT COMMONS, LLC.
 3303A-E LAWSON ST.
 RICHMOND, VA 23224
 (804) 912-4074**

REV	DATE	NOTE
3	15-1230	CD.01
2	15-1201	DD.02
1	15-0930	DD.01
0	15-0612	90% DD

DATE: 12.30.2015

HRD PROJECT NO. 15-0409

CLIENT PROJECT NO. NEW RESIDENCE

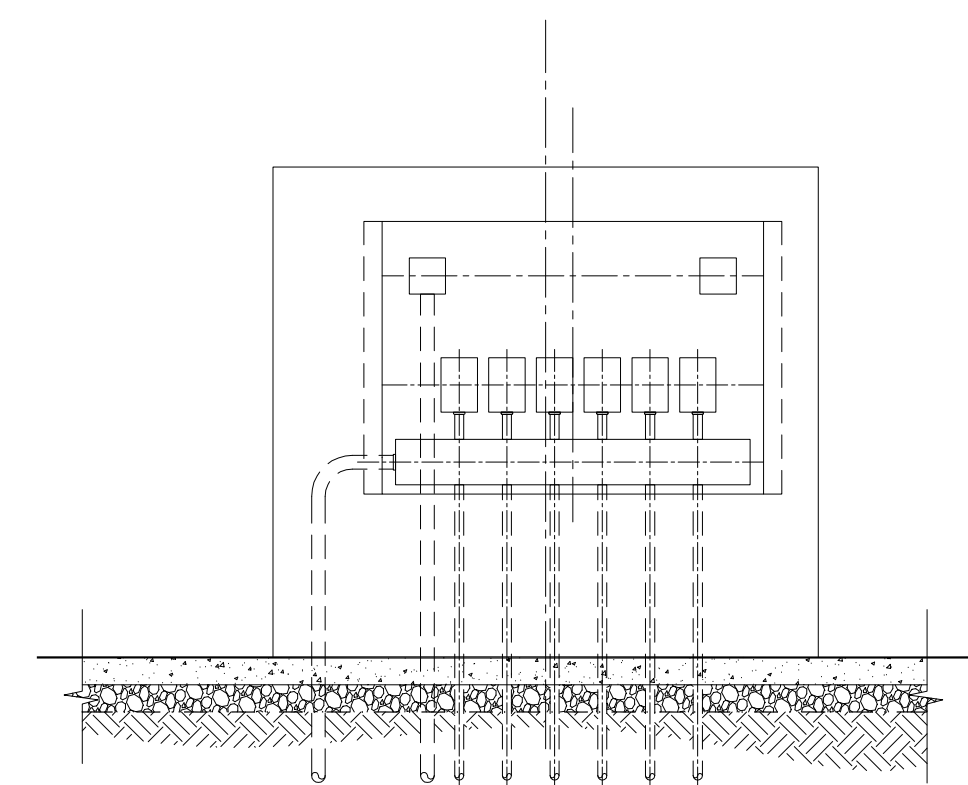
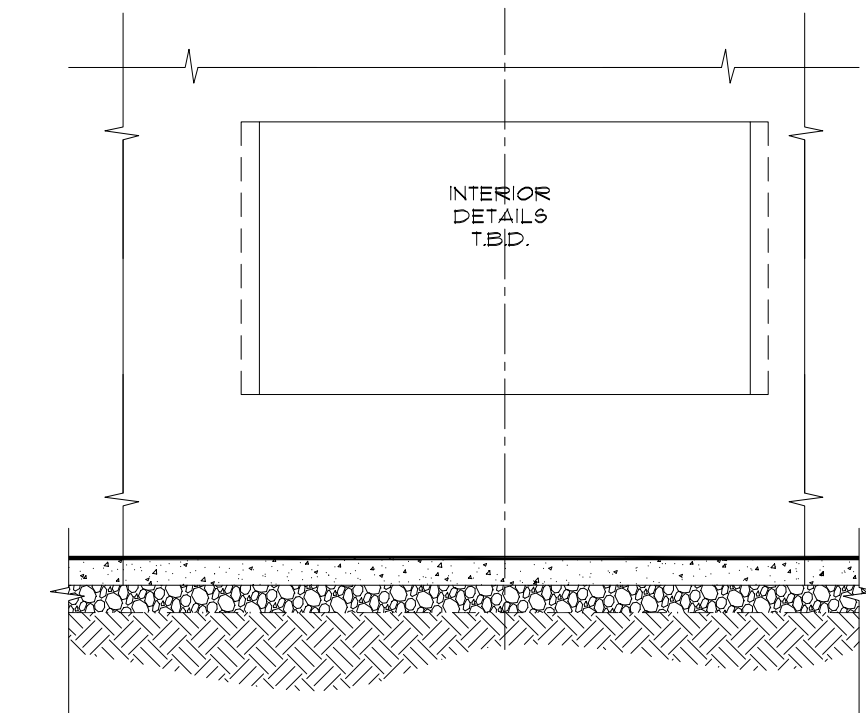
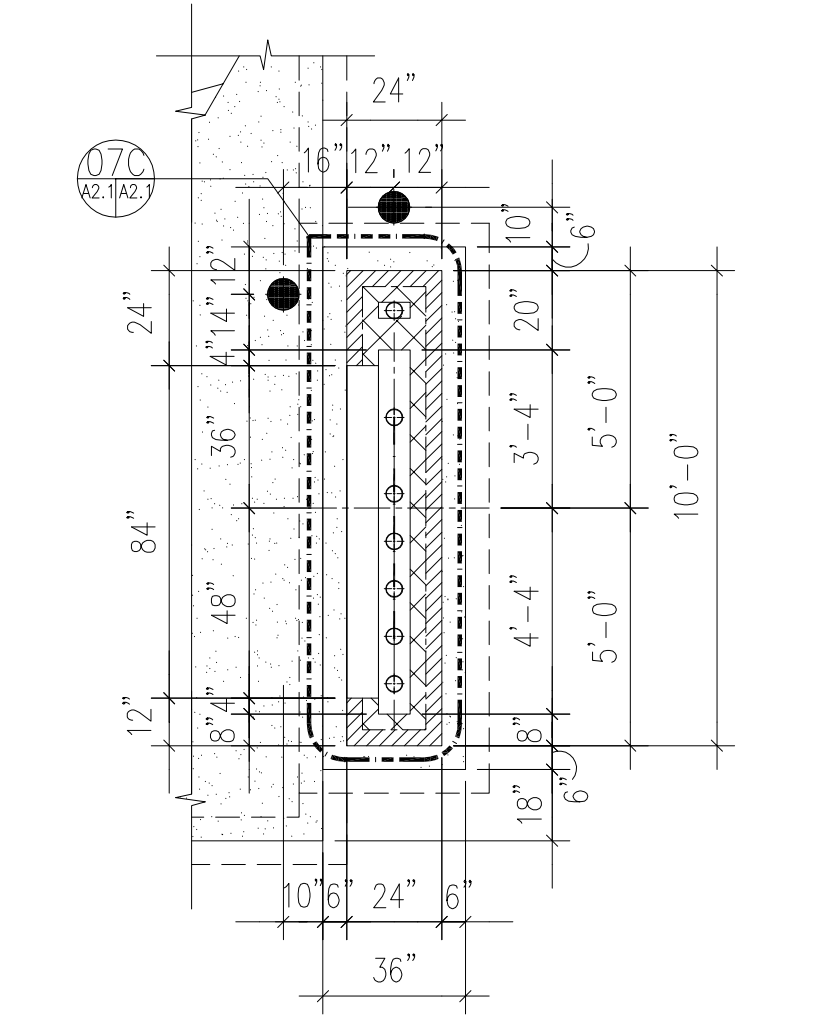
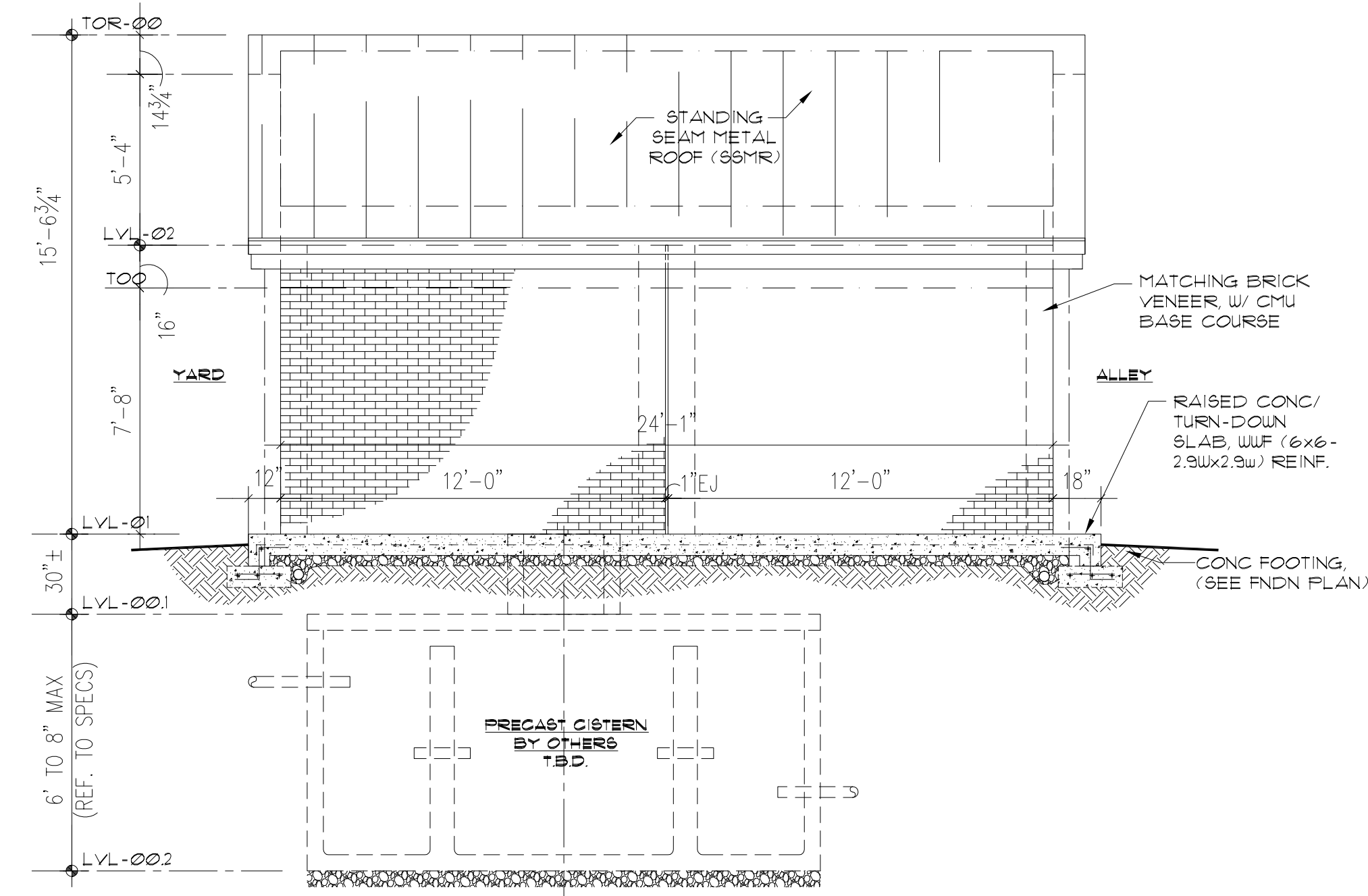
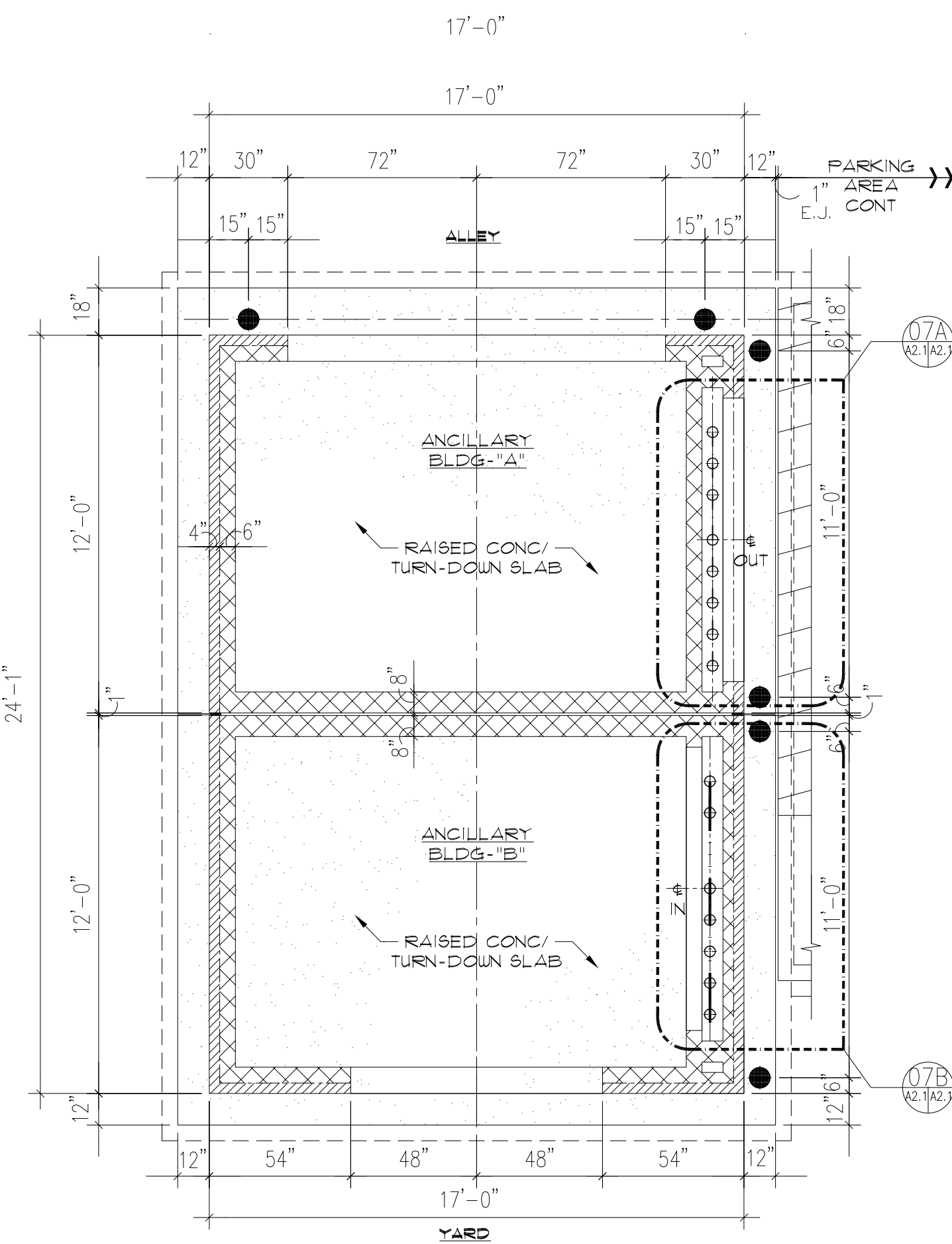
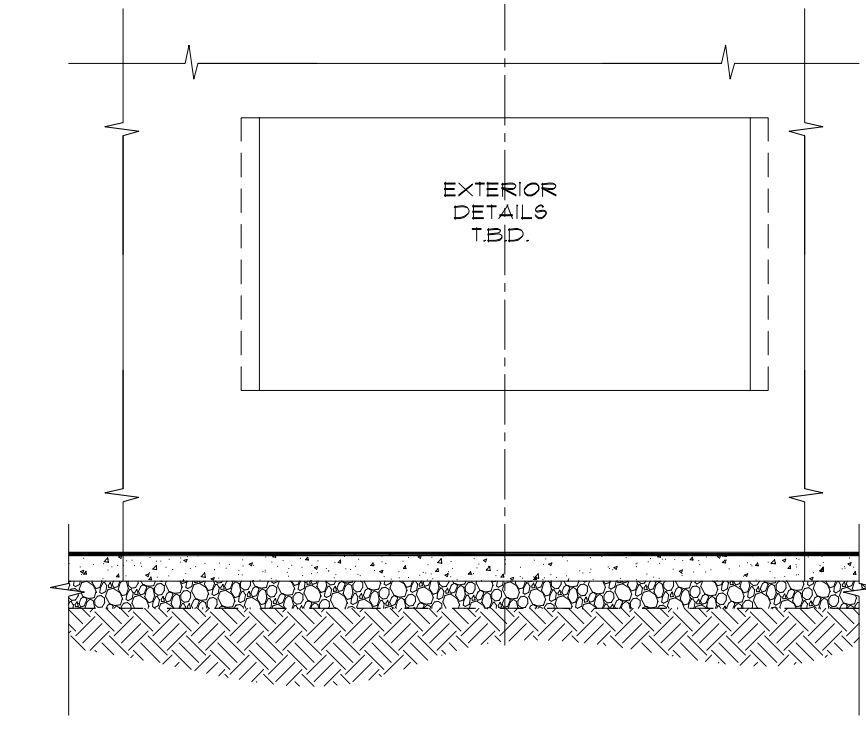
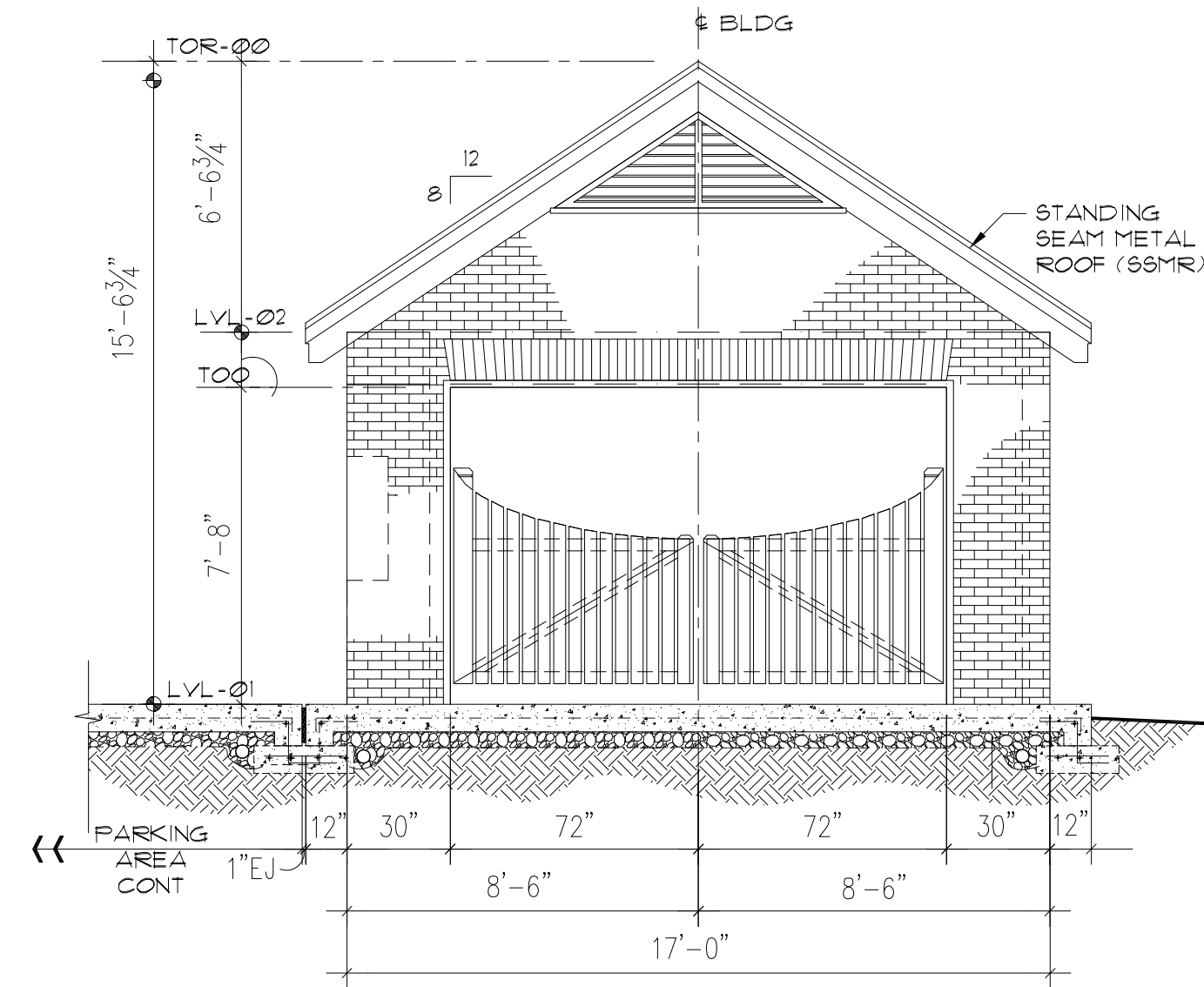
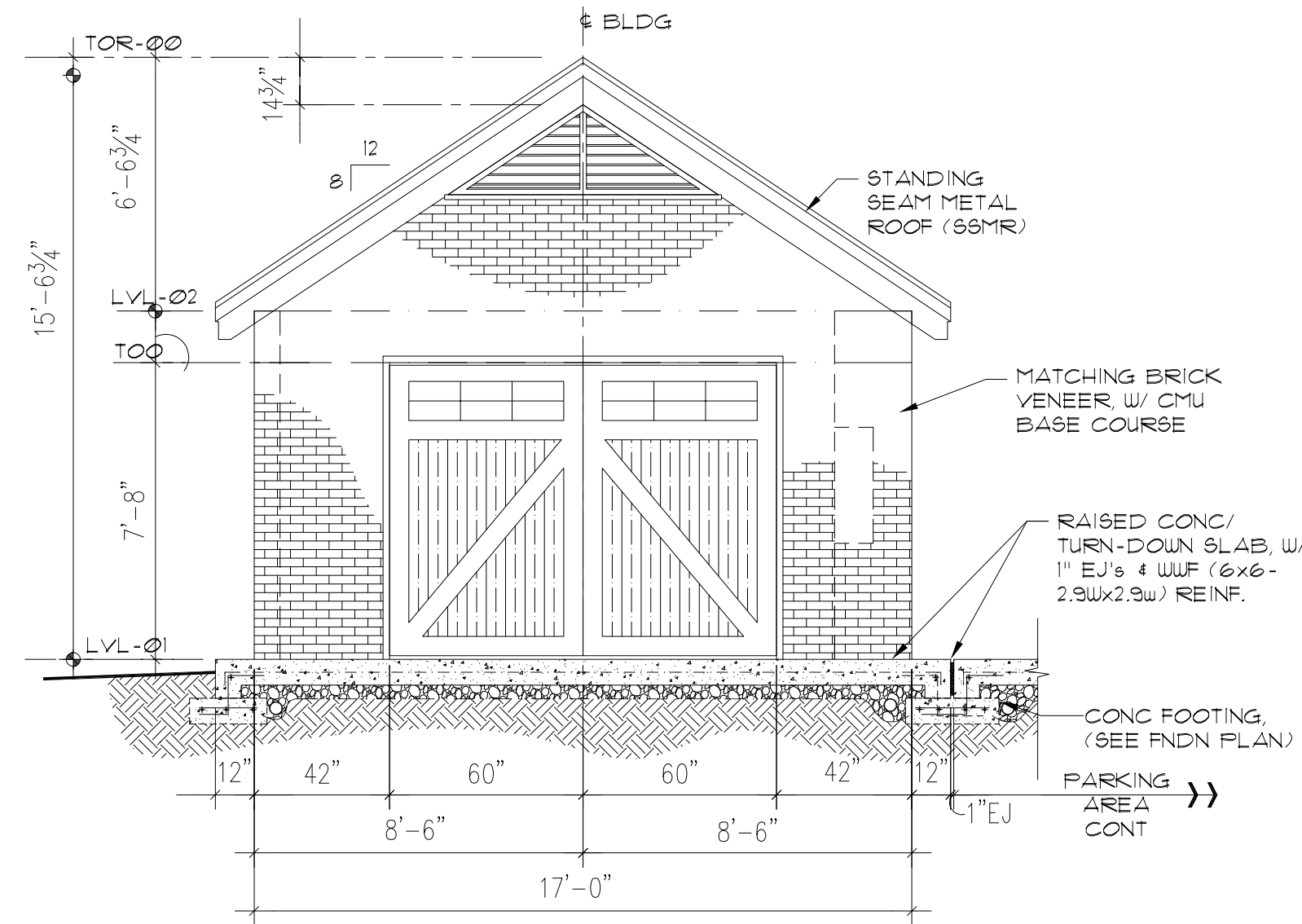
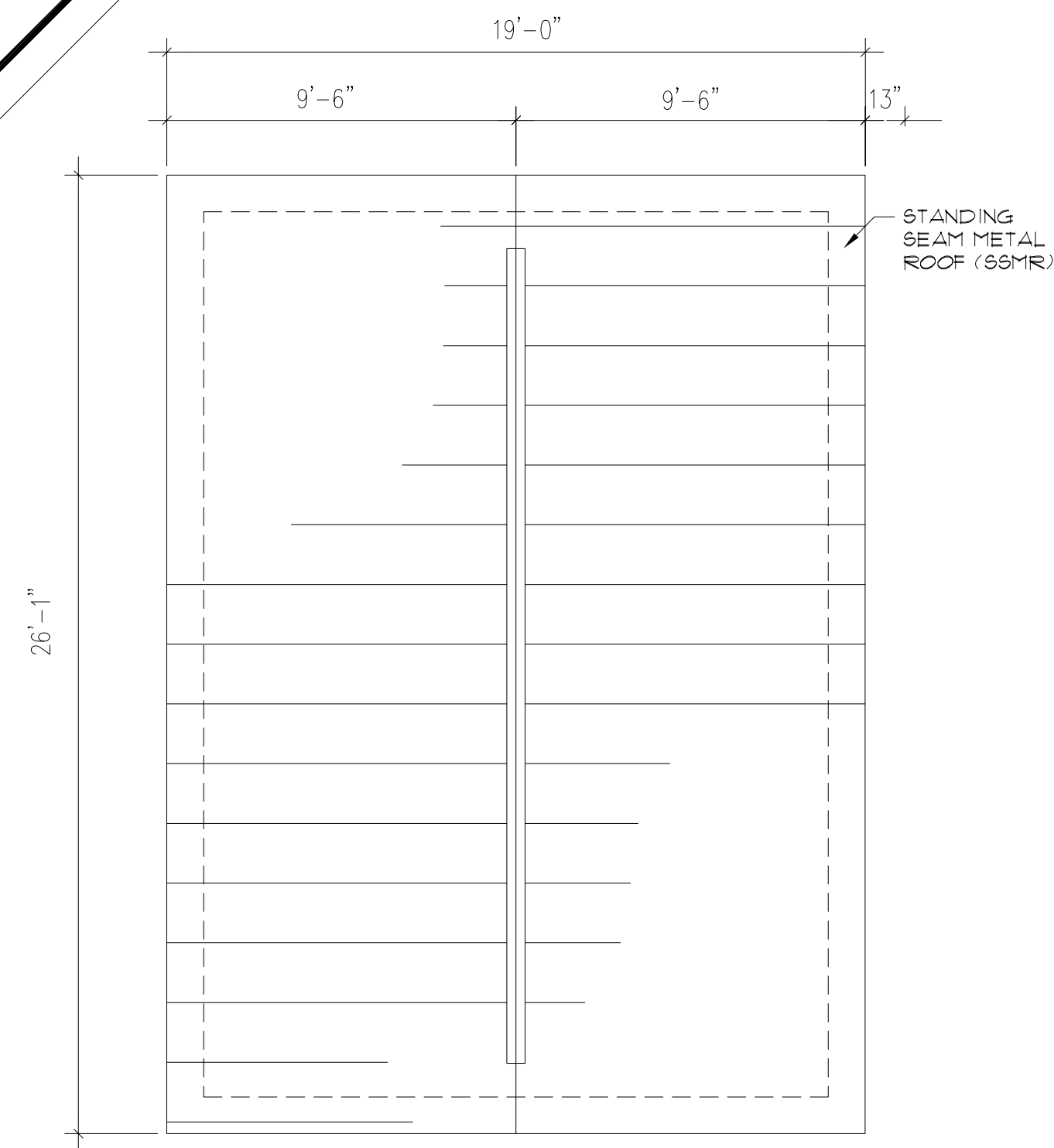
SCALE: As Noted

APPROVED BY: RSM

01 SOIL MAP/ CITY OF RICHMOND, VA
 03.3/03.3 SCALE: 1:10

C3.3

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NEW ANCILLARY
PLANS, ELEVATIONS,
SECTIONS & DTLS.

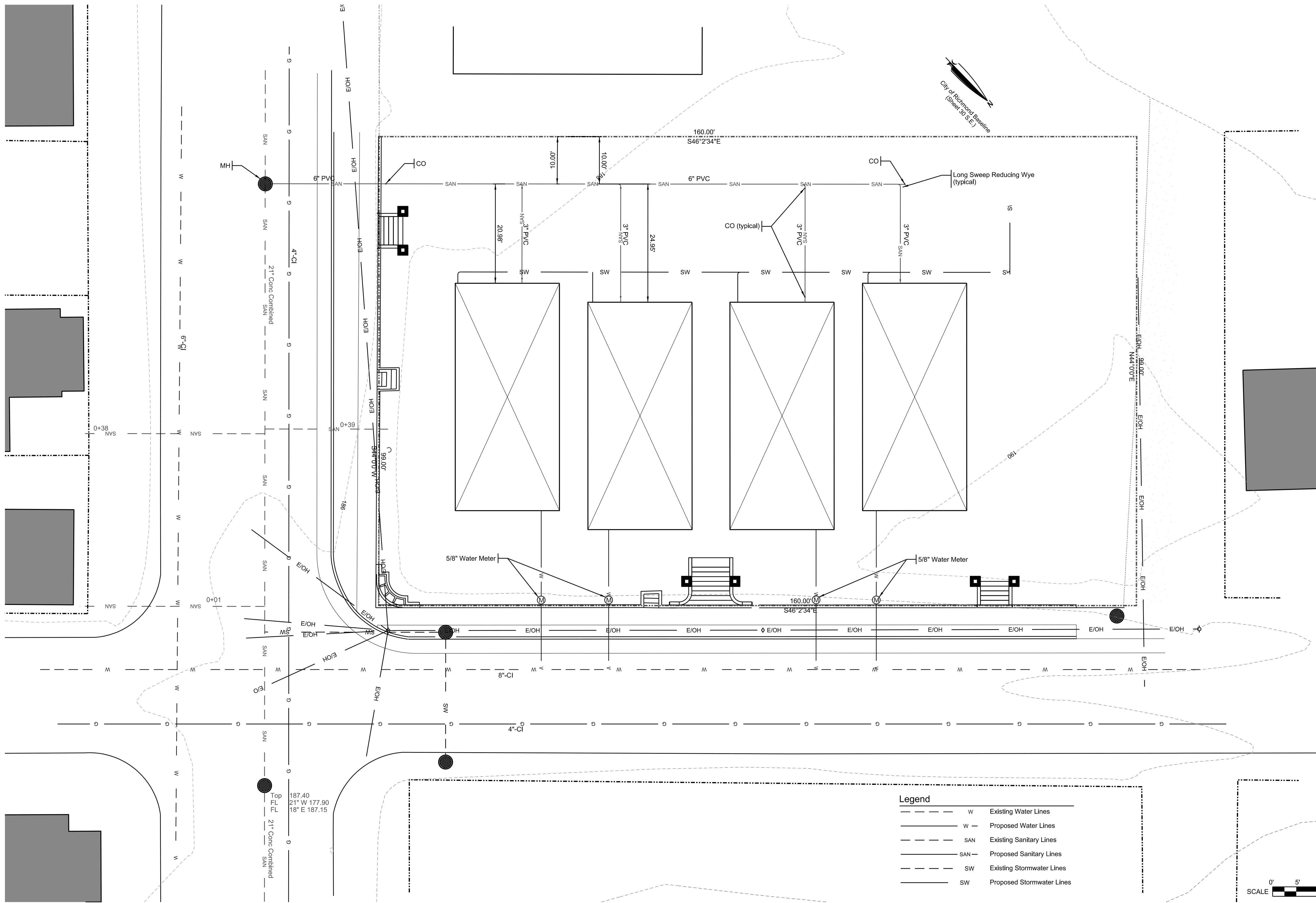
PROJECT TITLE
BURFOOT COMMONS, LLC.
3303A-E LAWSON ST.
RICHMOND, VA 23224
(804) 912-4074

REV	DATE	NOTE
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0	15-0612	90% DD

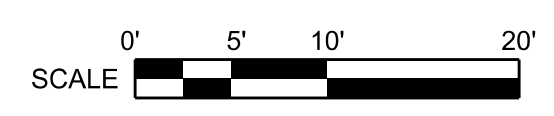
DATE: 12.30.2015
HRD PROJECT NO.: 15-0409
CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: AS NOTED
APPROVED BY: RSM



A2.2



- Legend**
- W --- Existing Water Lines
 - - - W - Proposed Water Lines
 - SAN --- Existing Sanitary Lines
 - - - SAN - Proposed Sanitary Lines
 - · - SW Existing Stormwater Lines
 - · - SW Proposed Stormwater Lines



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**NEW UG-PWATER
 & SAN SEWER
 SITE PLANS**

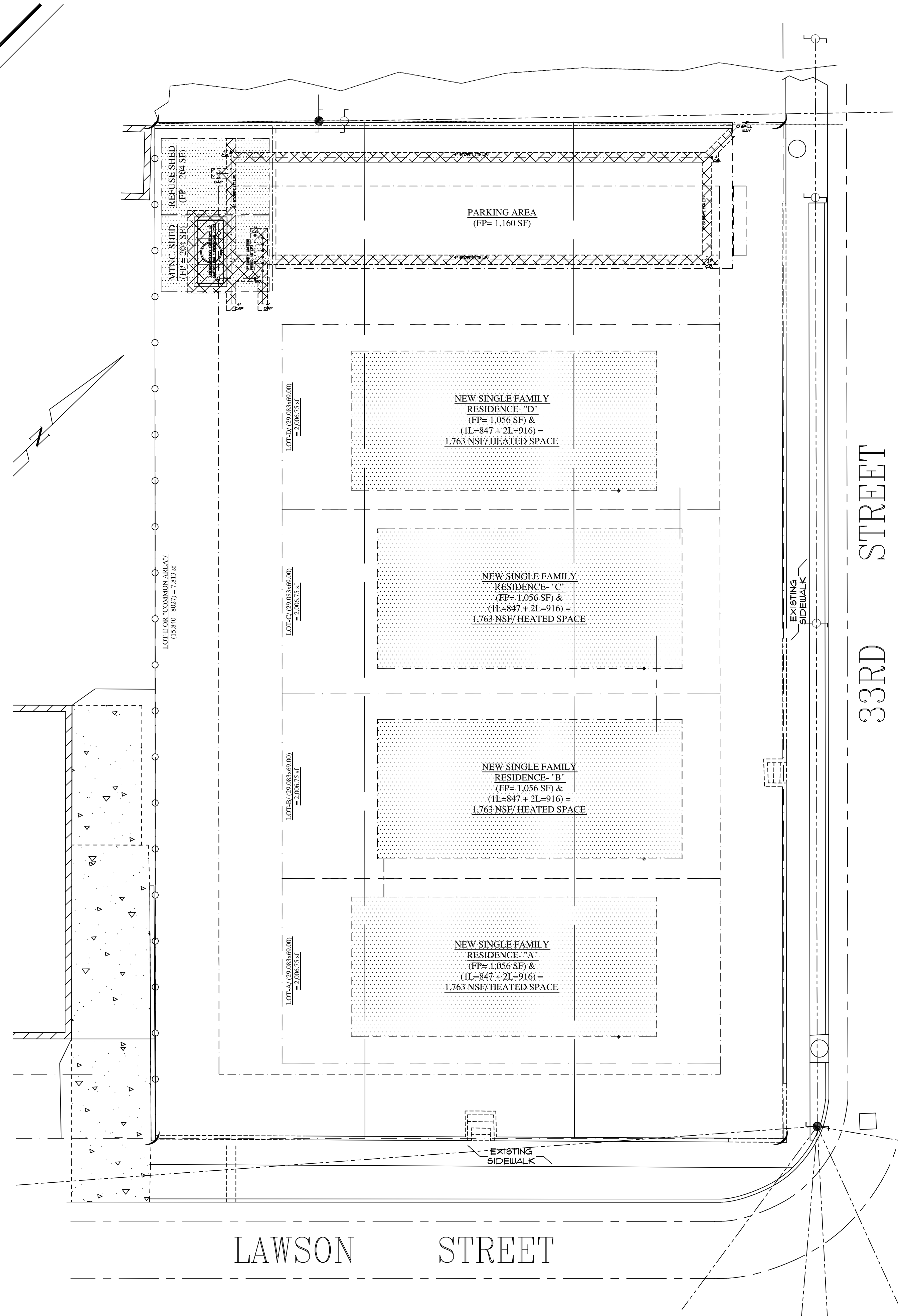
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 3303A-E LAWSON ST.
 RICHMOND, VA 23224
 (804) 912-4074

REV	DATE	NOTE
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2	15-1201	DD.02
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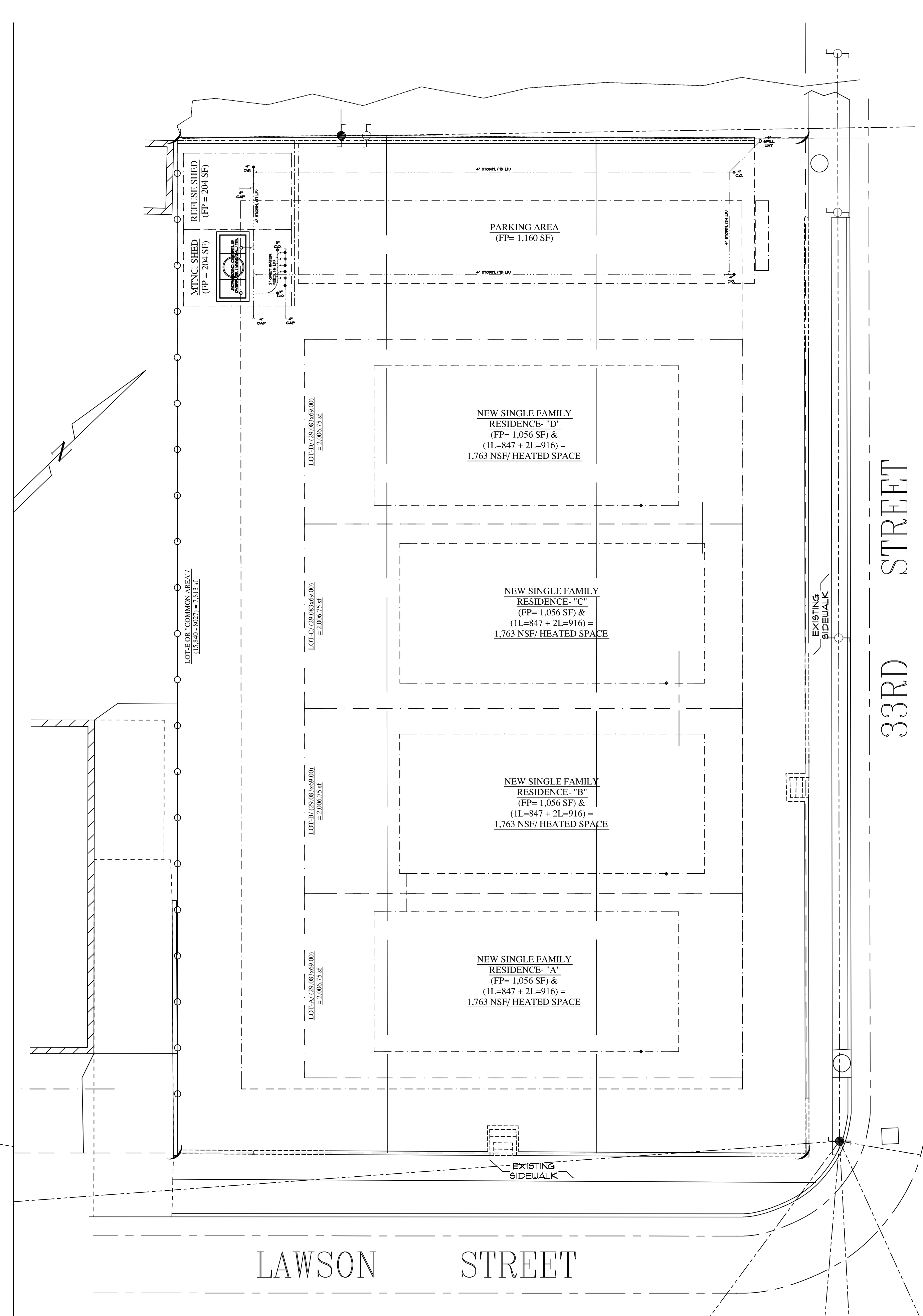
DATE 12.30.2015
 HRD PROJECT NO. 15-0409
 CLIENT PROJECT NO. NEW RESIDENCE
 SCALE AS NOTED
 APPROVED BY RSM

U1.1

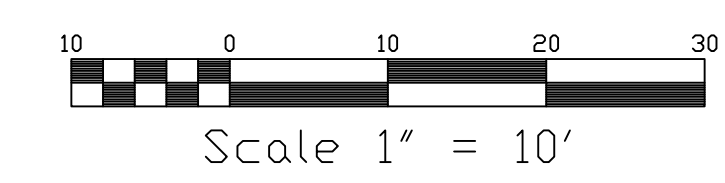
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01 UG-CISTERN & STORMWATER
A1.0/A1.2 SYSTEM/ EXCAVATION PLAN
SCALE: 1:10



02 UG-CISTERN & STORMWATER
A1.0/A1.2 SYSTEM/ LAYOUT PLAN
SCALE: 1:10



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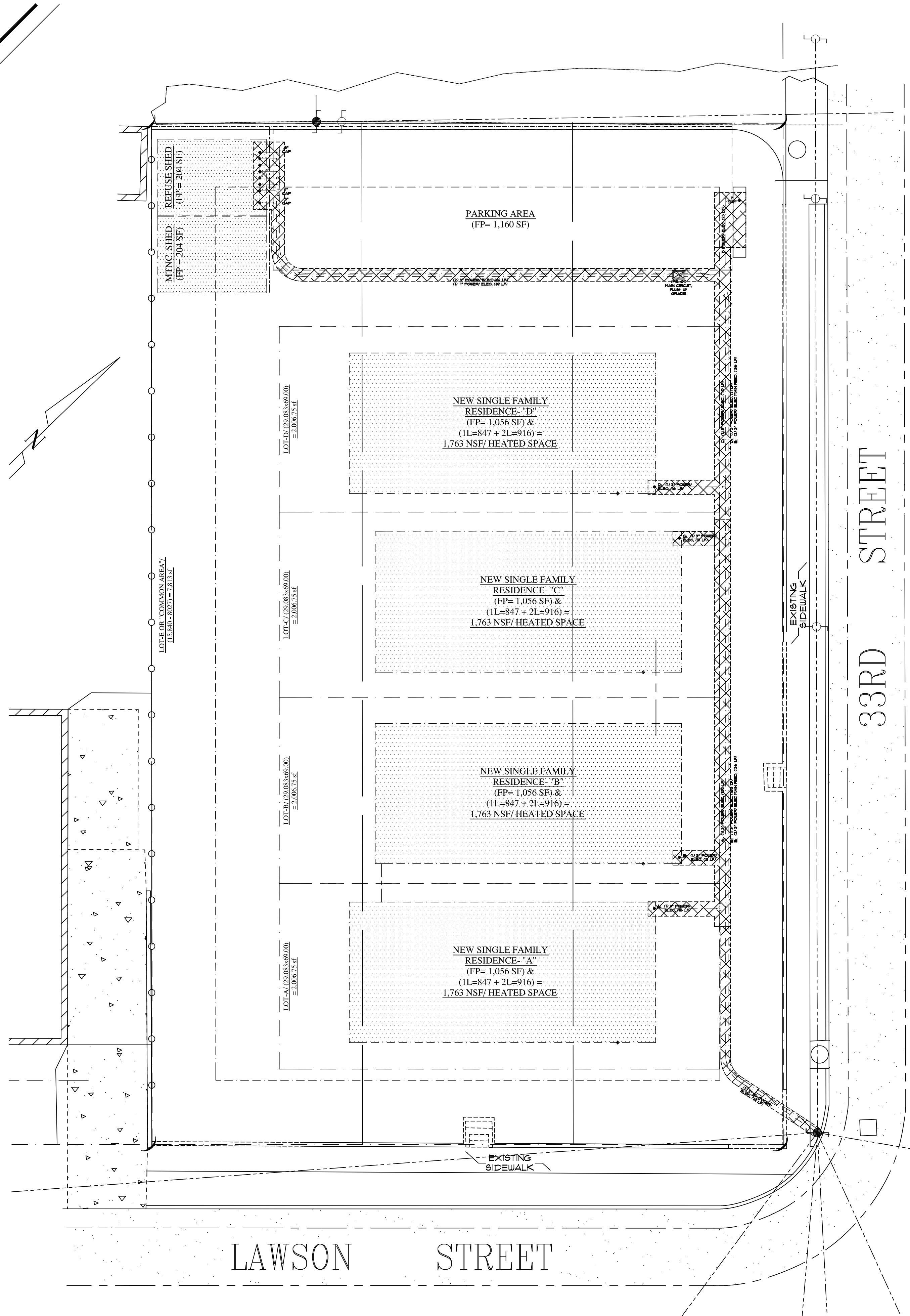
**NEW CISTERN &
STORMWATER
SYSTEMS PLANS**

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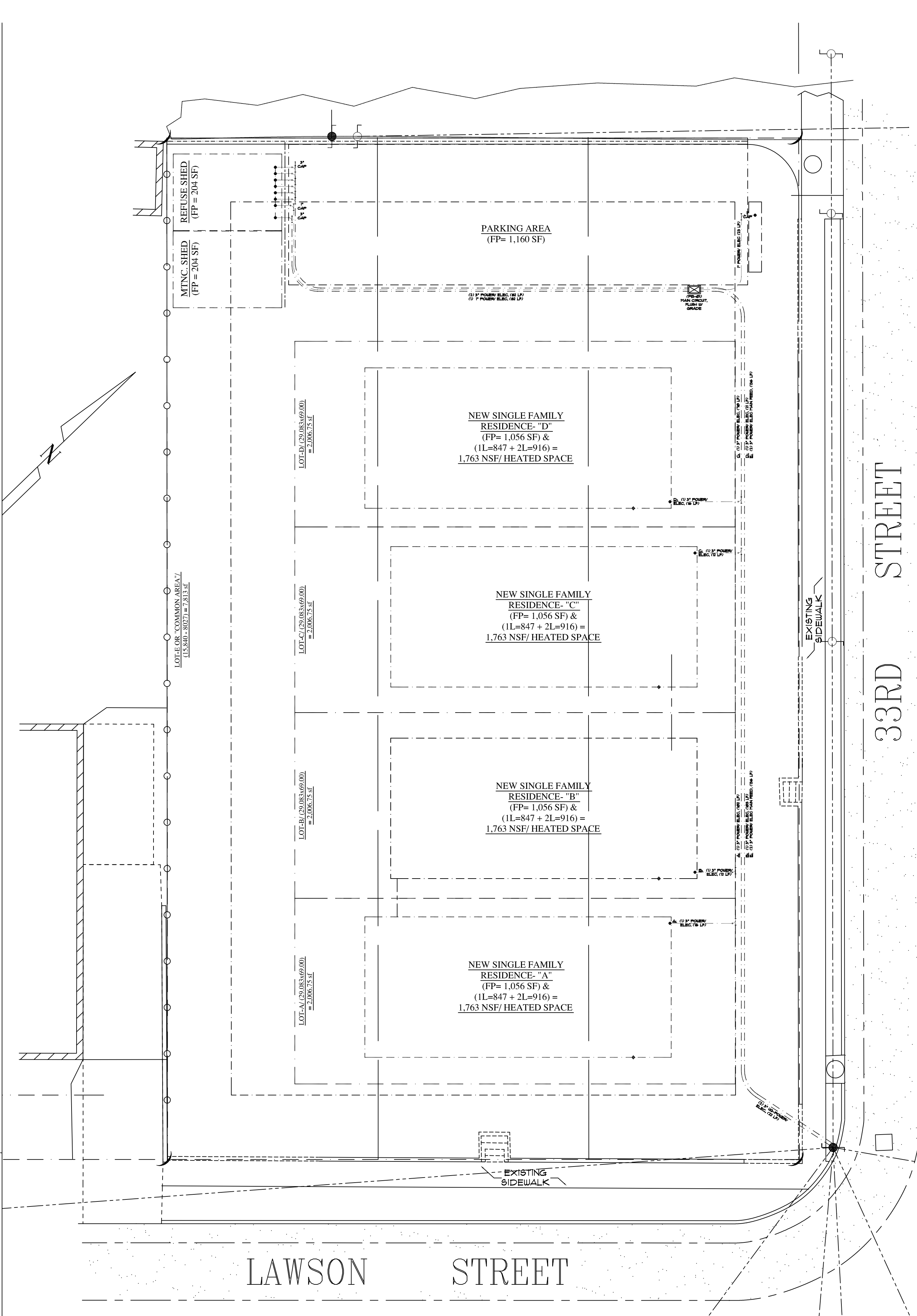
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DATE: 12.30.2015
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CLIENT PROJECT NO.: NEW RESIDENCE
SCALE: 1:10
APPROVED BY: RSM

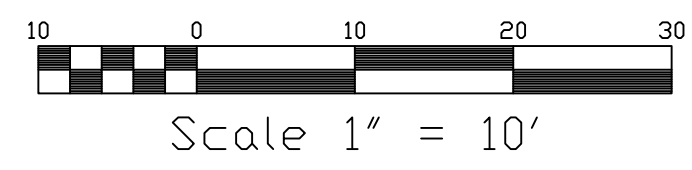
U1.2



**01 UG-ELECTRICAL FEEDER/
EXCAVATION PLAN**
SCALE: 1:10



**02 UG-ELECTRICAL FEEDER/
CONDUIT LAYOUT PLAN**
SCALE: 1:10



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**NEW UG-ELECTRICAL
FEEDER/ EXCAVATION
& SITE PLANS**

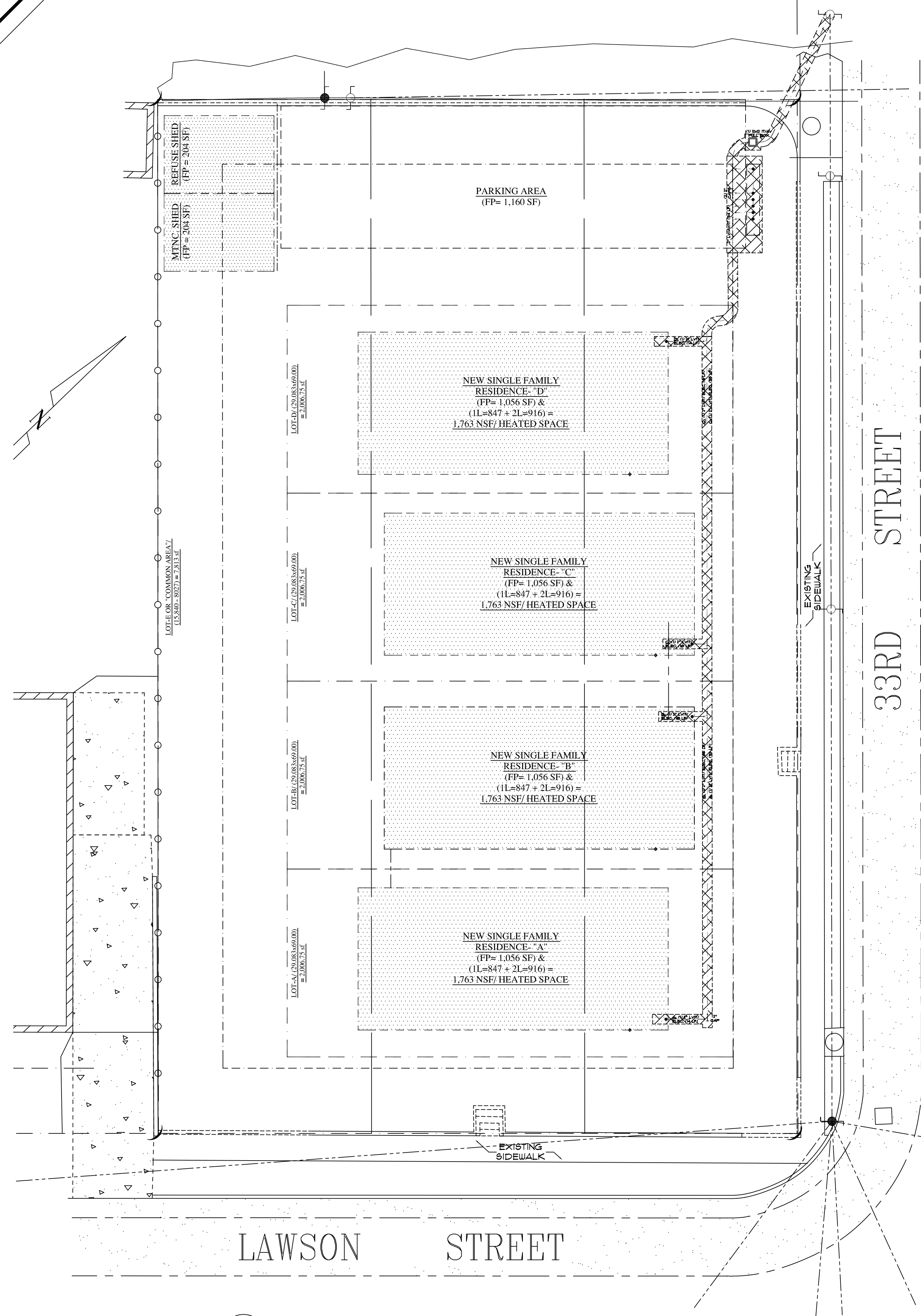
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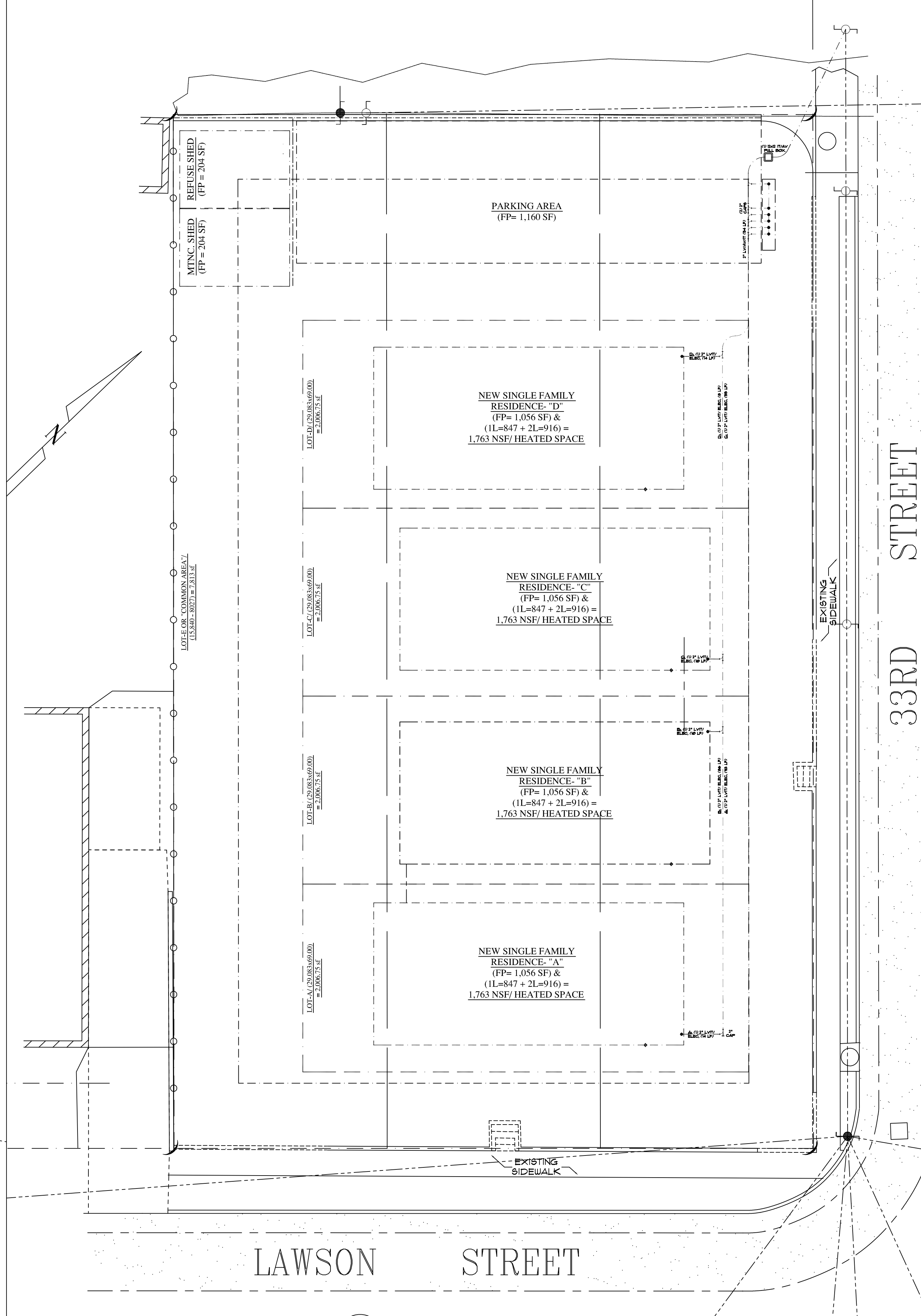
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CLIENT PROJECT NO.: NEW RESIDENCE
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APPROVED BY: RSM

U1.3

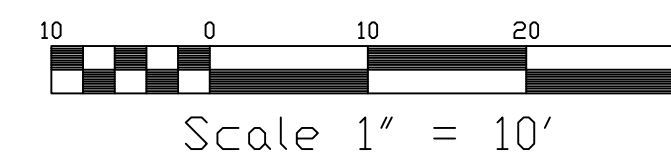
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01 UG-LV/IT/AV SITE/
A1.0/A1.4 EXCAVATION PLAN
SCALE: 1:10



02 UG-LV/IT/AV CONDUIT
A1.0/A1.4 LAYOUT PLAN
SCALE: 1:10



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NEW UG-LV/IT/AV
EXCAVATION &
SITE PLANS

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RICHMOND, VA 23224
(804) 912-4074

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DATE
12.30.2015

HRD PROJECT NO.
15-0409

CLIENT PROJECT NO.
NEW RESIDENCE

SCALE
1:10

APPROVED BY
RSM

U1.4