



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

February 13, 2024

Canvas Development
PO Box 7075
Richmond, VA 23221

Baker Development Resources
530 East Main Street, Suite 730
Richmond, VA 23219
Attn: Mark Baker

To Whom It May Concern:

RE: BZA 07-2024

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, March 6, 2024 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to construct a new single-family (detached) dwelling at 400 SOUTH STAFFORD AVENUE (Tax Parcel Number W000-1071/010), located in an R-6 (Single-Family Attached Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **193 548 567#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2024 drop-down, click meeting details for March 6, 2024 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

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association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in cursive script that reads "Roy W. Benbow".

Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Altman Stephen T
2400 Rosewood Avenue
Richmond, VA 23220

Brown Diane Marie
2404 Rosewood Ave
Richmond, VA 23220

Byrds Nest Building Llc
3213 Garrett St
Richmond, VA 23221

Carlton Gary L & Rebecca L
2410 Rosewood Avenue
Richmond, VA 23220

City Of Richmond Public Works
900 E Broad St Rm 701
Richmond, VA 23279

Davis Mary Carr
407 S Stafford Ave
Richmond, VA 23220

Desantis Stephen
404 S Stafford Ave
Richmond, VA 23220

Epps George W Sr & Alice B
2322 Rosewood Ave
Richmond, VA 23220

Flinn Rachel S
2402 Rosewood Ave
Richmond, VA 23220

Gibbs Russell Anthony And Lyn O'brien
2406 Grayland Ave
Richmond, VA 23220

Goodman Suttle Elaine
2323 Idlewood Ave
Richmond, VA 23220

Harrison Robert
2324 Rosewood Avenue
Richmond, VA 23220

Hickman Mark P
403 S Stafford Ave
Richmond, VA 23220

Hylar Jeffrey L And James E Westfield
406 S Stafford Ave
Richmond, VA 23220

Johnson Lorraine M
409 S Stafford Ave
Richmond, VA 23220

Law Christopher J And Lindsay
Margaret A
2406 Rosewood Ave
Richmond, VA 23220

Masunu Zeynep A And Chum Rahim
2404 Grayland Ave
Richmond, VA 23220

Mcginley Michael S And Buis Jacqueline
Kelly
2408 Grayland Ave
Richmond, VA 23220

Pierce Sean L
2326 Rosewood Ave
Richmond, VA 23220

Powell Lauren R
2408 Rosewood Ave
Richmond, VA 23220

Robinson Street Properties Llc
Po Box 14612
Richmond, VA 23221

Strayer Bryan M & Stacey L
2412 Rosewood Ave
Richmond, VA 23220

Trzcinski Phillip T And Burkhardt Amber
S
405 S Stafford Ave
Richmond, VA 23220

Property: 400 S Stafford Ave **Parcel ID:** W0001071010

Parcel

Street Address: 400 S Stafford Ave Richmond, VA 23220-
Owner: CANVAS DEVELOPMENT LLC
Mailing Address: PO BOX 7075, RICHMOND, VA 23221
Subdivision Name : NONE
Parent Parcel ID:
Assessment Area: 229 - Lakeview
Property Class: 101 - R Single Family Vacant (R1-R7)
Zoning District: R-6 - Residential (Single Family Attached)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2024
Land Value: \$10,000
Improvement Value:
Total Value: \$10,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 1174
Acreage: 0.027
Property Description 1: 0020.00X0075.00 IRG0000.000
State Plane Coords(?): X= 11780660.500022 Y= 3724519.815891
Latitude: 37.54749435 , **Longitude:** -77.47296129

Description

Land Type: Residential Lot A
Topology:
Front Size: 20
Rear Size: 75
Parcel Square Feet: 1174
Acreage: 0.027
Property Description 1: 0020.00X0075.00 IRG0000.000
Subdivision Name : NONE
State Plane Coords(?): X= 11780660.500022 Y= 3724519.815891
Latitude: 37.54749435 , **Longitude:** -77.47296129

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2024	\$10,000	\$0	\$10,000	Reassessment
2023	\$10,000	\$0	\$10,000	Reassessment
2022	\$10,000	\$0	\$10,000	Reassessment
2021	\$10,000	\$0	\$10,000	Reassessment
2020	\$9,000	\$0	\$9,000	Reassessment
2019	\$9,000	\$0	\$9,000	Reassessment
2018	\$13,000	\$0	\$13,000	Reassessment
2017	\$13,000	\$0	\$13,000	Reassessment
2016	\$13,000	\$0	\$13,000	Reassessment
2015	\$13,000	\$0	\$13,000	Reassessment
2014	\$13,000	\$0	\$13,000	Reassessment
2013	\$13,000	\$0	\$13,000	Reassessment
2012	\$13,000	\$0	\$13,000	Reassessment
2011	\$13,000	\$0	\$13,000	CarryOver
2010	\$13,000	\$0	\$13,000	Reassessment
2009	\$12,500	\$0	\$12,500	Reassessment
2008	\$10,000	\$0	\$10,000	Reassessment
2007	\$10,000	\$0	\$10,000	Reassessment
2006	\$3,800	\$0	\$3,800	Reassessment
2005	\$2,300	\$0	\$2,300	Reassessment
2004	\$2,100	\$0	\$2,100	Reassessment
2003	\$2,100	\$0	\$2,100	Reassessment
2002	\$1,880	\$0	\$1,880	Reassessment
2001	\$1,880	\$0	\$1,880	Reassessment
2000	\$1,500	\$0	\$1,500	Reassessment
1998	\$1,500	\$0	\$1,500	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
04/06/2021	\$0	JOHNSTON KYLE H	ID2021-9709	2 - INVALID SALE-Relation Between Buyer/Seller
05/01/2018	\$9,000	SORRELL KAREN W	ID2018-8500	1 - VALID SALE-Valid, Use in Ratio Analysis
09/08/2003	\$2,000	NOWLAN CHRISTOPHER	ID2003-34468	
02/04/2003	\$140,000	THIS PART OF TOWN LLC	ID2003-4508	
10/02/2001	\$90,000	CHEATHAM HOBART D & PEARLIE M	ID2001-26288	
06/22/1979	\$400	.	ID2001-26287	

Planning

Master Plan Future Land Use: NH-MU
Zoning District: R-6 - Residential (Single Family Attached)
Planning District: Near West
Traffic Zone: 1131
City Neighborhood Code: BYDP
City Neighborhood Name: Byrd Park
Civic Code: 0130
Civic Association Name: Byrd Park Civic League
Subdivision Name: NONE
City Old and Historic District:
National historic District:
Neighborhoods in Bloom:
Redevelopment Conservation Area: Randolph

Economic Development

Care Area: -
Enterprise Zone:

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	1004	0414001	041400
1990	130	0414001	041400

Schools

Elementary School: Cary
Middle School: Hill
High School: Jefferson

Public Safety

Police Precinct: 3
Police Sector: 313
Fire District: 12
Dispatch Zone: 039A

Public Works Schedules

Street Sweep: TBD
Leaf Collection: TBD
Refuse Collection: Wednesday
Bulk Collection: TBD

Government Districts

Council District: 5
Voter Precinct: 503
State House District: 78
State Senate District: 14
Congressional District: 4

Property Images

Name:W0001071010 Desc:



[Click here for Larger Image](#)

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



**THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340**

TO BE COMPLETED BY THE APPLICANT

PROPERTY

OWNER: Canvas Development

PHONE: (Home) () _____ (Mobile) () _____

ADDRESS PO Box 7075

FAX: () _____ (Work) () _____

Richmond, VA 23221

E-mail Address: _____

PROPERTY OWNER'S

REPRESENTATIVE: Baker Development Resources

PHONE: (Home) () _____ (Mobile) (804) 874-6275

(Name/Address) 530 East Main Street, Suite 730

FAX: () _____ (Work) () _____

Richmond, VA 23219

E-mail Address: markbaker@bakerdevelopmentresources.com

Attn: Mark Baker

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 400 South Stafford Avenue

TYPE OF APPLICATION: **VARIANCE** **SPECIAL EXCEPTION** **OTHER** _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-412.5(1)(a) & (b)

APPLICATION REQUIRED FOR: A building permit to construct a new single-family detached dwelling.

TAX PARCEL NUMBER(S): W000-1071/010 **ZONING DISTRICT:** R-6(Single-Family Attached Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The front and side yard (setback) requirements are not met. A front yard with a depth of fifteen feet (15') is required along Grayland Avenue; 0.5'± is proposed. A front yard with a depth of fifteen feet (15') is required along South Stafford Avenue; 8.9'± is proposed. A side yard of three feet (3') is required; 1.59'± is proposed for the single-family detached dwelling along the southern property line.

DATE REQUEST DISAPPROVED: 1/19/2024

FEE WAIVER: YES NO:

DATE FILED: 01/19/2024 **TIME FILED:** 2:35 p.m. **PREPARED BY:** Colleen Dang **RECEIPT NO.** BZAR-142596-2024

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) _____ **OF THE CHARTER OF THE CITY OF RICHMOND**

SECTION 15.2 -2309.2 **OF THE CODE OF VIRGINIA** **[OR]**

SECTION 1040.3 PARAGRAPH(S) _____ **OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND**

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] **DATE:** 2/7/2024

***** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS *****

CASE NUMBER: BZA 07-2024 **HEARING DATE:** March 6, 2024 **AT** 1:00 **P.M.**

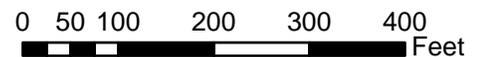
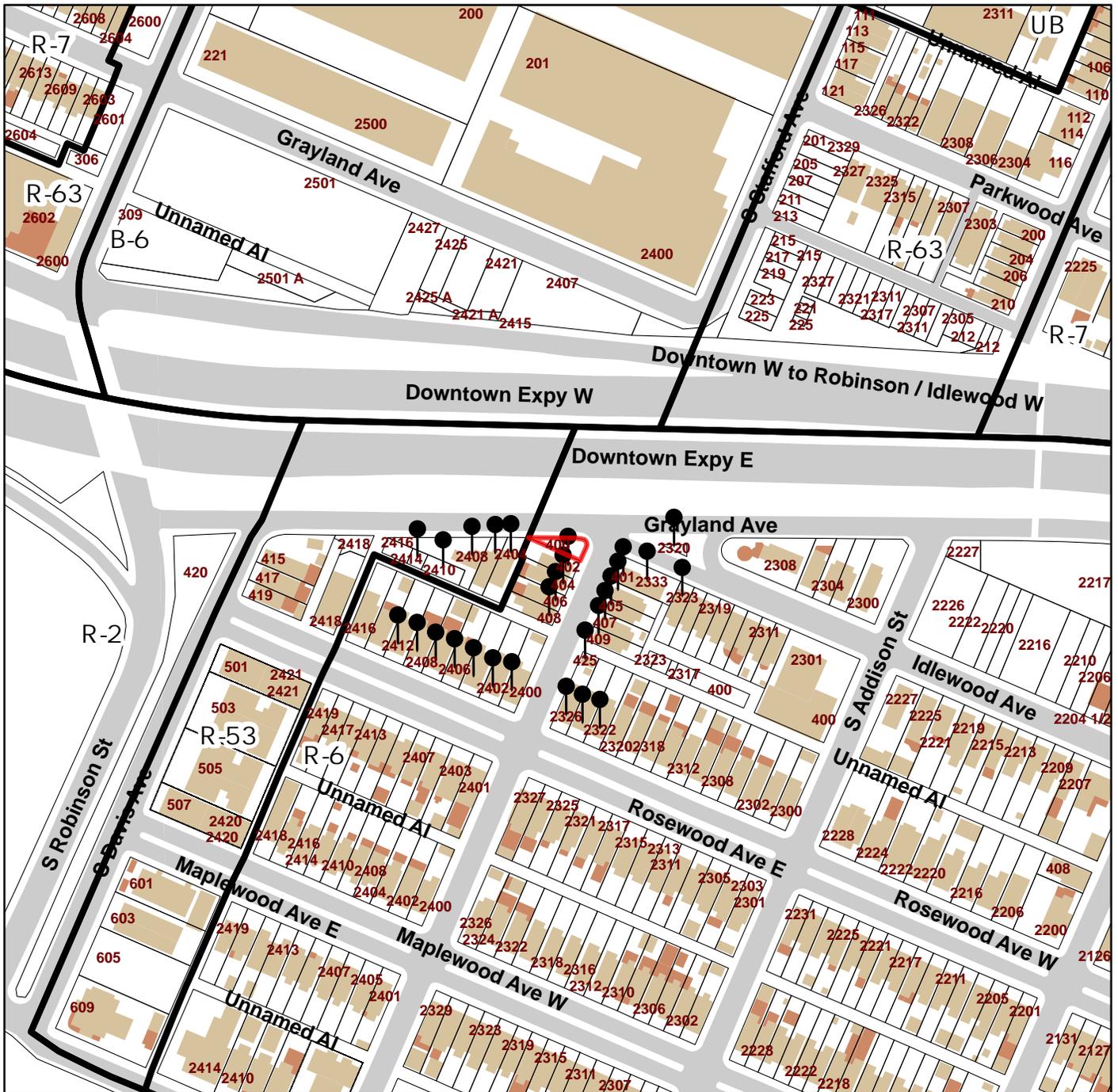
BOARD OF ZONING APPEALS CASE BZA 07-2024
150' Buffer

APPLICANT(S): Canvas Development

PREMISES: 400 South Stafford Avenue
(Tax Parcel Number W000-1071/010)

SUBJECT: A building permit to construct a new single-family (detached) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-412.5(1)(a) & (b)
of the Zoning Ordinance for the reason that:
The front and side yard (setback) requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. [The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.](#)
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing.** The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: _____



January 18th, 2024

Mr. Roy Benbow
Secretary to the Board of Zoning Appeals
Department of Planning and Development Review
900 East Broad Street, Room 508
Richmond, Virginia 23219

RE: BZA Variance Request – 400 South Stafford Avenue (W000-1071/010)

Dear Mr. Benbow,

The property owner is requesting a variance for 400 S Stafford Avenue (“the Property”) in order to permit the construction of a three-story single-family detached dwelling. The Property is located the southwestern corner of the intersection of S Stafford and Grayland Avenues and includes 0.027 acres of land area. The Property is zoned R-6 Single-Family Attached Residential District and the owner is proposing to develop the vacant site with a three-story single-family detached dwelling fronting onto S Stafford Avenue.

The Property consists of a residual parcel which was made irregular in shape and reduced in size by the Commonwealth of Virginia in conjunction with the creation of the Downtown Expressway (Va State Route 195). The 1952 Sanborn Map shows the Property as a rectangular parcel improved with a two-story detached dwelling fronting S Stafford Avenue. As a result of the creation of the Downtown Expressway the property is now triangular in shape and retains only 20’ of frontage along S Stafford Avenue and 70.83’ of frontage along Grayland Avenue. Based on that irregular shape and site conditions, a variance is needed from two provisions of the zoning ordinance: (1) Sec. 30-630.1.a(1) concerning the front yard requirement along the Grayland Avenue frontage and (2) Sec. 30-412.5.b concerning the side yard setback along the internal property line with the adjacent parcel at 402 S Stafford Avenue.

Where the above items are concerned, the strict application of the zoning regulations in conjunction with the site context would deny any reasonable use of the Property. To take advantage of the Property’s irregular triangular shape and the historic lot pattern of the area, the proposed dwelling has been sited fronting along S Stafford Avenue. In order to do that, an 0.5’ setback is proposed along the Property’s Grayland Avenue frontage. In this specific context, Sec. 30-630.1.a(1) of the Zoning Ordinance (Supplemental Regulations) requires “[t]here shall be a front yard along any street frontage adjacent to or across from a side lot line of another lot located in any district in which a front yard is required.” As the adjacent parcel to the west at 2404 Grayland Avenue is located in the R-6 Zoning District, which requires a front yard of not less than 15 feet, this front yard requirement is applicable to the Property along the Grayland Avenue frontage. When combined with the second item, Sec. 30-412.5.b concerning the side yard setback along the internal property line, the strict application of the provisions in question would prohibit the development of the lot by limiting the buildable width of the

parcel to a small triangle with 5' of width closest to the Stafford street frontage and narrowing to a point at the rear of the property to the west.

The design of the proposed dwelling is compatible with the adjacent dwellings which consist of both two- and three-story dwellings in a range of forms and materials. The dwelling was thoughtfully designed by a firm whose owner resides in the neighborhood and who conceived a modern dwelling concept, the design of which is 'of the day' while meeting the needs of today's homebuyers and reflecting the existing homes in the vicinity. A nearby dwelling to the east at 2308 Idlewood Avenue was constructed in 2020 and is of a similar, modern three-story design. It also required a special approval from the Board of Zoning Appeals (BZA-008-2018) to permit its construction based on the triangular shape of the parcel and 15' front yard requirements. Likewise, to the rear (west) of the Property lies a modern three-story dwelling constructed in 2021 and also configured in order to respond to a triangular shaped parcel.

The proposed building location addresses sound planning practices, as outlined in the Richmond 300 Plan, where properly addressing corners and the pedestrian realm while activating the street are concerned. The building "holds the corner" at S Stafford and Grayland Avenues while retaining the historic siting along S Stafford Avenue of the dwelling on the Property. In addition, this location on the Property allows for a more efficient development footprint. As the property depth tapers from 20' in width at S Stafford Avenue to 0' at its western edge, utilizing the S Stafford Avenue frontage of the Property allows for the use of the deepest portion of the lot to be maximized. As the site narrows from west to east, so too must the proposed building. Siting it as proposed allows for a reasonable building depth at the dwelling's western, narrow end. As it stands, the site is effectively unbuildable due to the front yard setback requirement in question. Therefore, a variance is requested from this requirement in order to permit the construction of the building as proposed.

The evidence shows that this request meets the standards for a variance as defined in §15.2-2201 of the Code of Virginia. The strict application of the ordinance would unreasonably restrict the utilization of the property, the need for a variance would not be shared generally by other properties, and the variance would not be contrary to the purpose of the ordinance. The request meets the evidentiary requirements of §15.2-2201(2.) of the code of Virginia. A variance may be granted if the evidence shows "that the strict application of the terms of the zoning ordinance would unreasonably restrict the utilization of the property or that granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance..." It is the applicant's position in this case that both of these standards are met.

The strict application of the 15' front yard setback along the Grayland Avenue frontage and applicable to Property under Section 30-630.1.a(1) and Sec. 30-412.5.b concerning the 3' side yard setback along the internal property line would unreasonably restrict the utilization of the property. These requirements combined with the Property's irregular shape results in a situation that is not conducive to achieving the reasonable development of the property meeting the general intent of the district. In addition, the granting of the variance would alleviate a hardship due to a physical condition relating to the Property, specifically the diminished size of the site resulting from the creation of the Downtown Expressway.

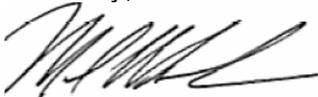
The overall use of the site and design of the building is as envisioned by the code. The requested variance would merely enable the reasonable use of the site in its current configuration. The resulting development form would provide the urban streetscape character that is envisioned by the underlying zoning and the Richmond 300 Plan.

Finally, the request meets the following tests:

- The Property was acquired in good faith and the hardship was not created by the applicant. The hardship was not created by the applicant. Self-inflicted hardship must pertain to a violation of the zoning ordinance by the owner. Spence v. Board of Zoning Appeals for City of Virginia Beach, 255 Va. 116, 496 S.E.2d 61 (1998).
- Granting the variance will not be of substantial detriment to adjacent property and nearby properties in the proximity of that geographical area. The variance would not be of any detriment. While relief is requested from the Grayland Avenue front yard setback and internal side yard setback, the overall use and siting of the building is in line with the R-6 district use requirements, the recommendations of the Richmond 300 plan, and the development pattern in the area. Many properties in the vicinity are attached or provide substandard internal side yard setbacks. Similarly, in instances where other corner lots in the vicinity are subject to two front yards (for instance 2326 and 2400 Rosewood to the south) it is not uncommon for them to have been historically developed in a manner where the front yard requirement along the longer frontage is not met.
- The condition or situation of the property concerned is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the ordinance. The issue is unique and is not generally shared by other properties in the district. The diminished size and irregular shape of the parcel, caused by the creation of the Downtown Expressway, are unique to the Property.
- Granting the variance does not result in a use that is not otherwise permitted on the property or a change in the zoning classification of the property. The proposed single-family residential use is permitted by the R-6 zoning classification.
- The relief or remedy sought by the variance application is not available through a special exception or a zoning modification at the time of the filing of the variance application. There is no special exception, as contemplated by this section, available to address this feature requirement.
- The variance is not contrary to the purpose of the ordinance. The proposal is not contrary to the purpose outlined in Section 30-100 of the zoning ordinance as it relates to: lessening congestion in streets; securing safety from fire, flood, etc.; promoting health, sanitation and general welfare, providing adequate light and air and convenience of access; preventing the overcrowding of land; avoiding undue concentration of population; facilitating the creation of a convenient, attractive and harmonious community; protect against destruction of or encroachment upon historic areas; encouraging economic development activities that provide desirable employment and enlarge the tax base; and expediting the provision of adequate police and fire protection, etc.

Thank you in advance for your assistance. Should you have any questions after reviewing this request, please feel free to contact me at 874-6275.

Sincerely,



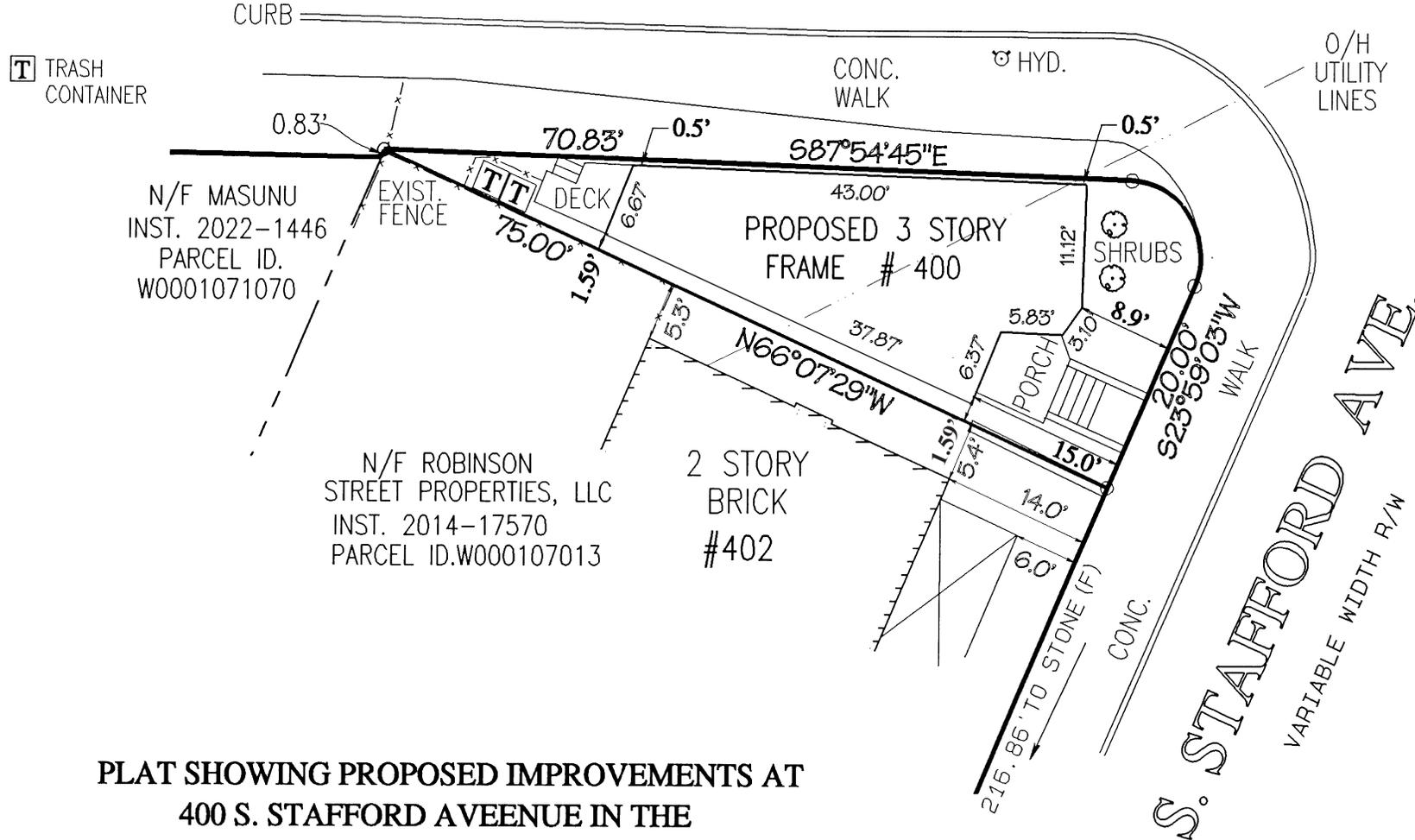
Mark R. Baker
Baker Development Resources, LLC

NOTES: THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A F.E.M.A. DEFINED FLOOD HAZARD AREA. FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS, CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. CURRENT OWNER(S): CANVAS DEVELOPMENT, LLC. INST.210009709 PARCEL ID.W0001071010

ADDRESS: 400 S. STAFFPRD AVENUE
 LOT AREA 1102 SQ. FT.

PUBLIC WORKS
 DRAWING # N-19850-A
 INST. 01-26287

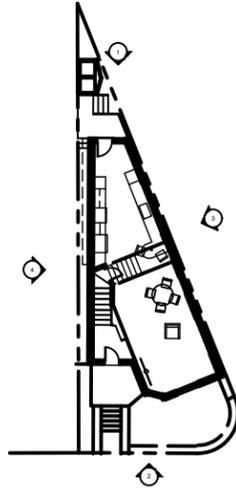
IDLEWOOD AVE.



**FREDERICK A. GIBSON
 & ASSOCIATES, P.C.**
 LAND SURVEYORS
 2361 JUDES FERRY ROAD
 POWHATAN, VIRGINIA 23139
 PHONE 804 378-4485

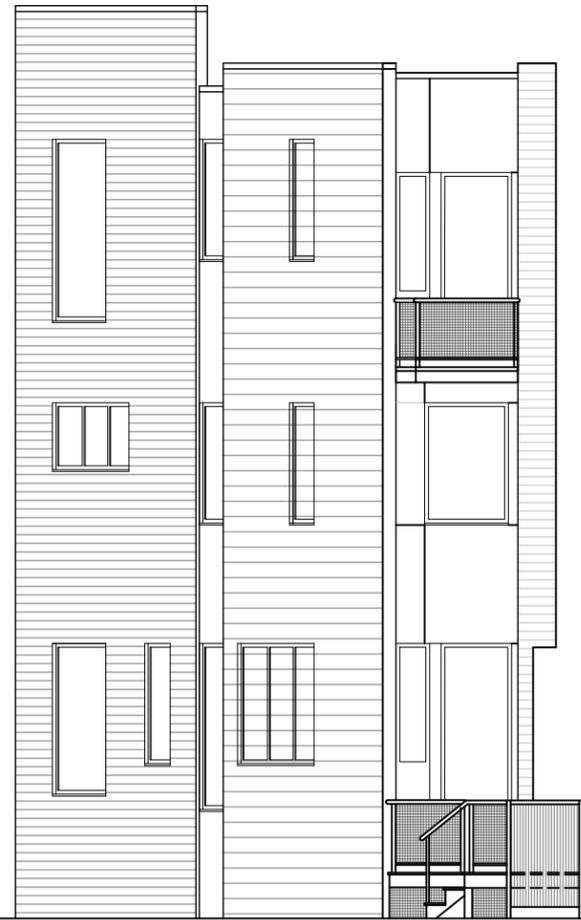
**PLAT SHOWING PROPOSED IMPROVEMENTS AT
 400 S. STAFFORD AVEENUE IN THE
 CITY OF RICHMOND, VIRGINIA**

SCALE: 1" = 15'

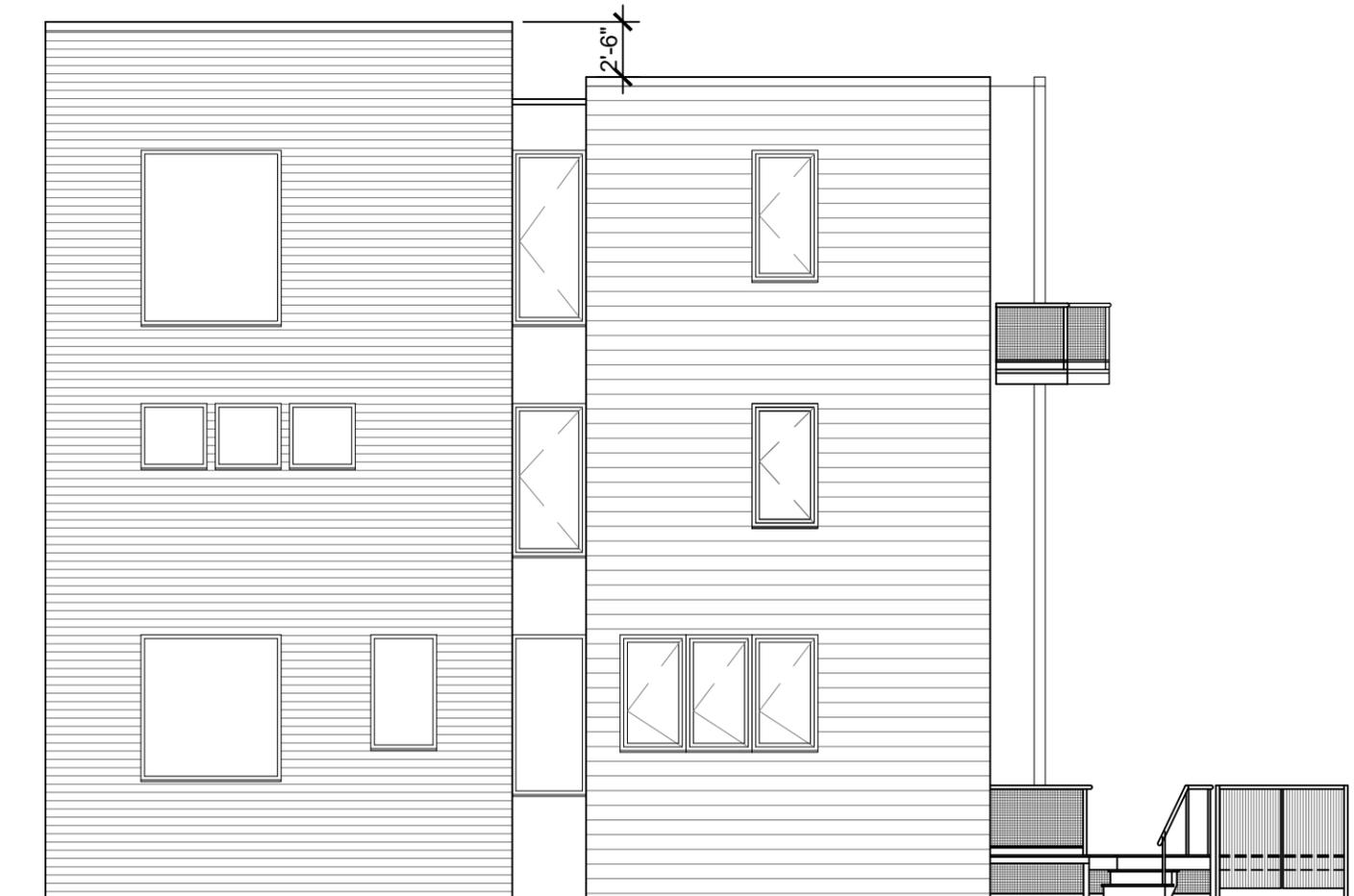


Exterior Materials

- Prefinished metal siding
- Composite wood
- Cementitious siding
- Cementitious panels
- Wood
- Masonry
- Prefinished or stainless steel woven wire mesh or sim



1 West Elevation
1/8"



3 North Elevation @ Grayland Ave
1/8"

J O H A N N A S D E S I G N G R O U P 1901 WEST CARY STREET RICHMOND, VA 23220 P 804.358.4993 F 804.358.8211

REVISIONS

400 SOUTH STAFFORD AVENUE
NEW RESIDENCE

SHEET TITLE

ELEVATIONS

PROJECT NO.

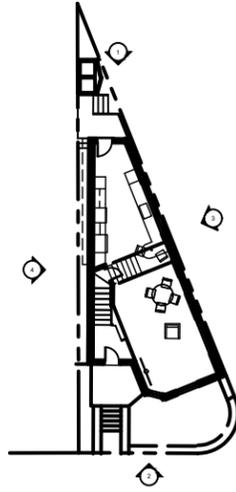
2319

DATE

1.18.2024

SHEET NO.

BZA 1



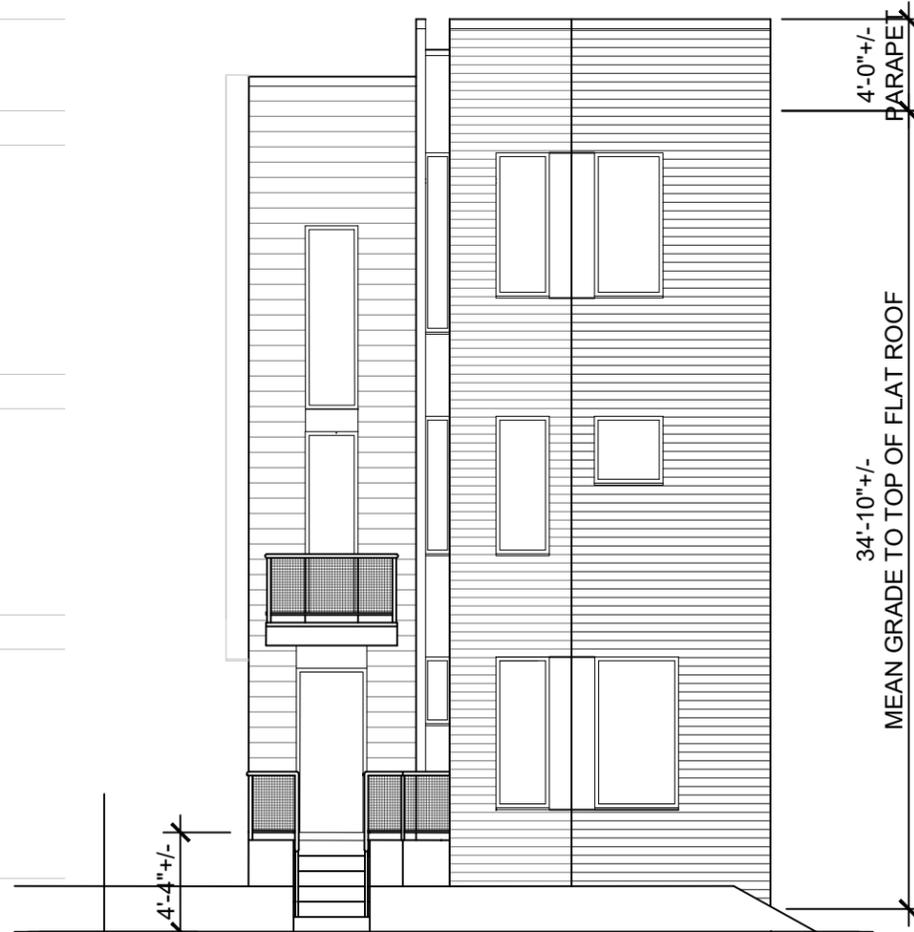
Exterior Materials

- Prefinished metal siding
- Composite wood
- Cementitious siding
- Cementitious panels
- Wood
- Masonry
- Prefinished or stainless steel woven wire mesh or sim



4 West Elevation
1/8"

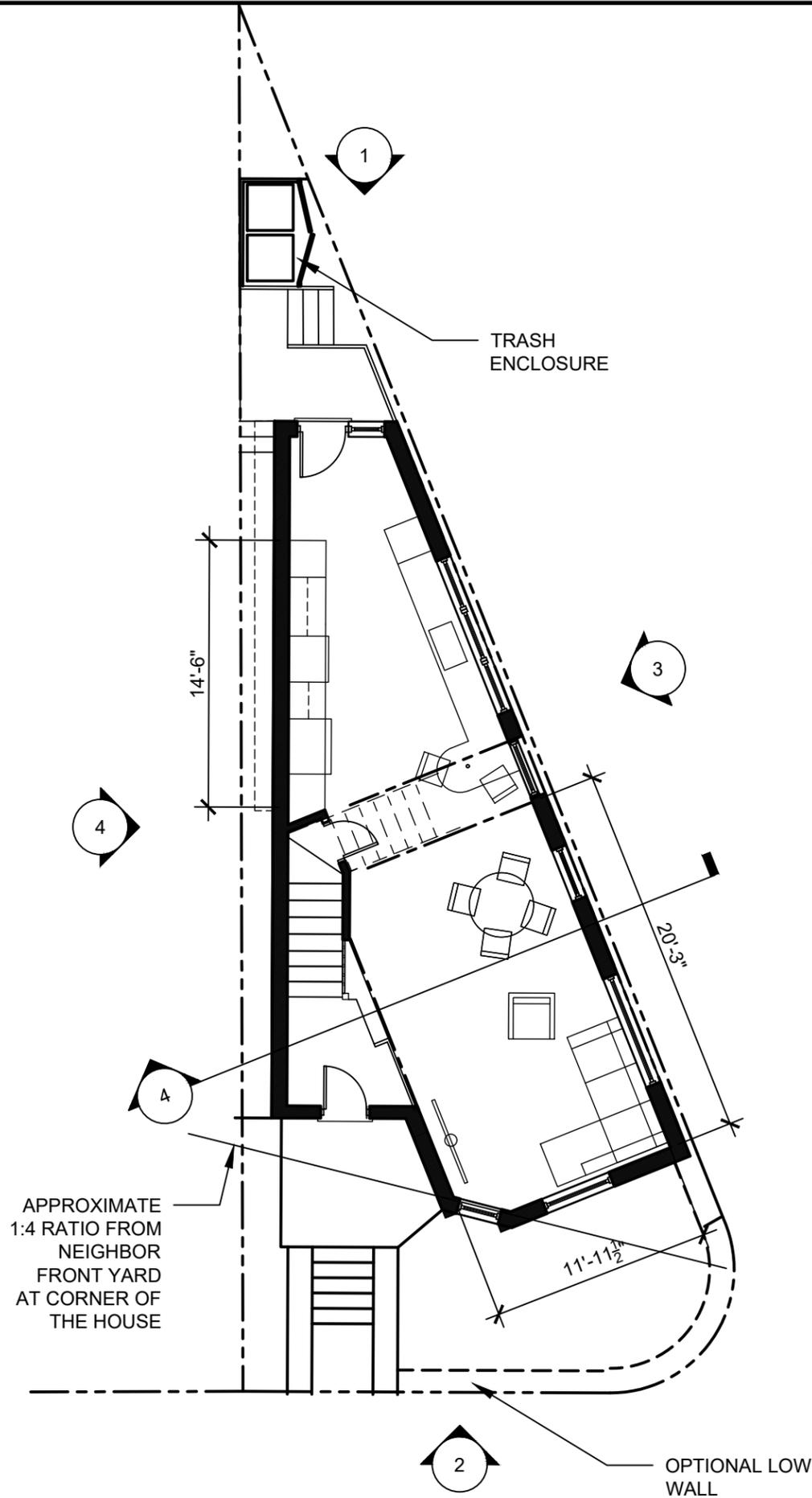
RECESSED OPENING



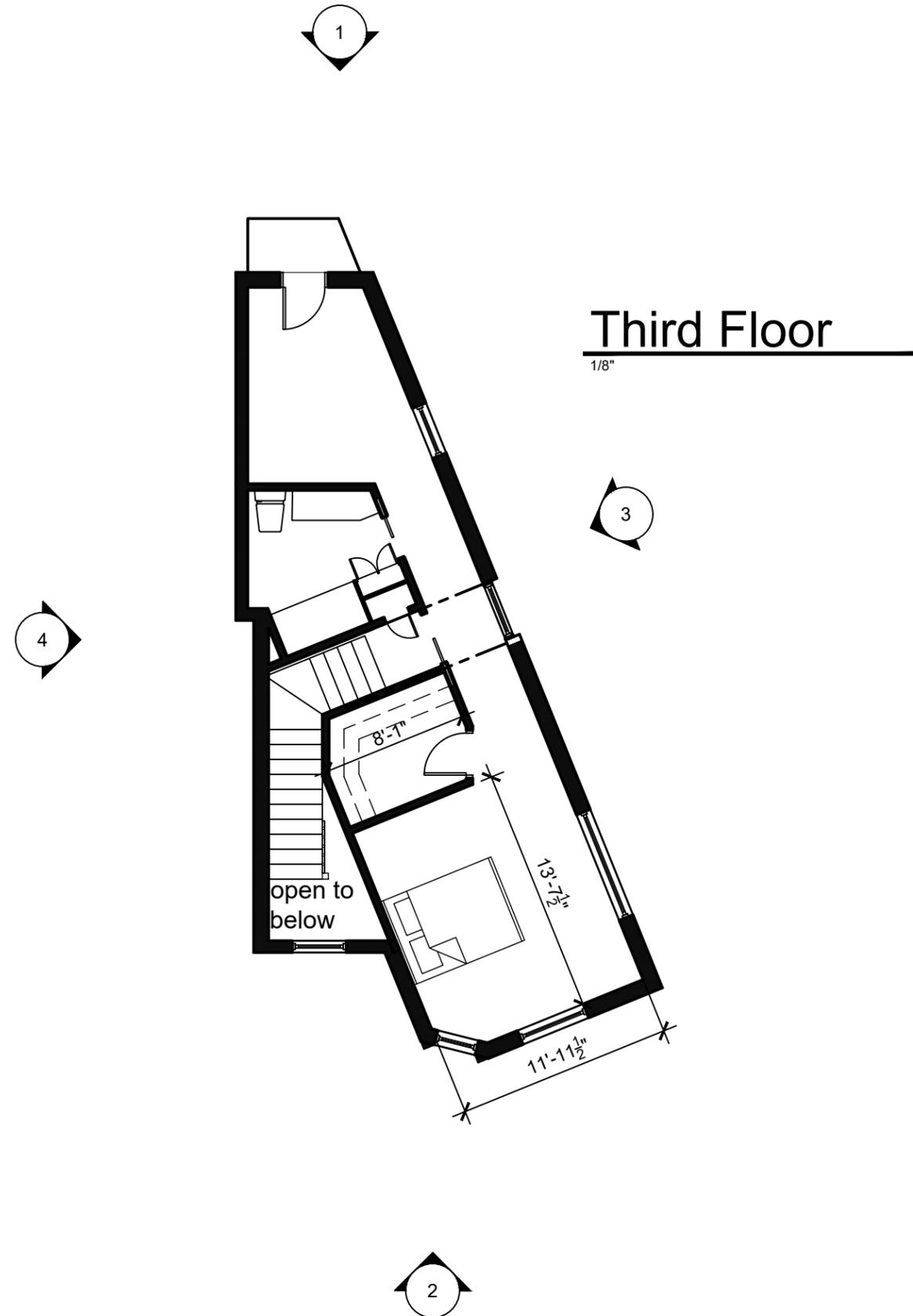
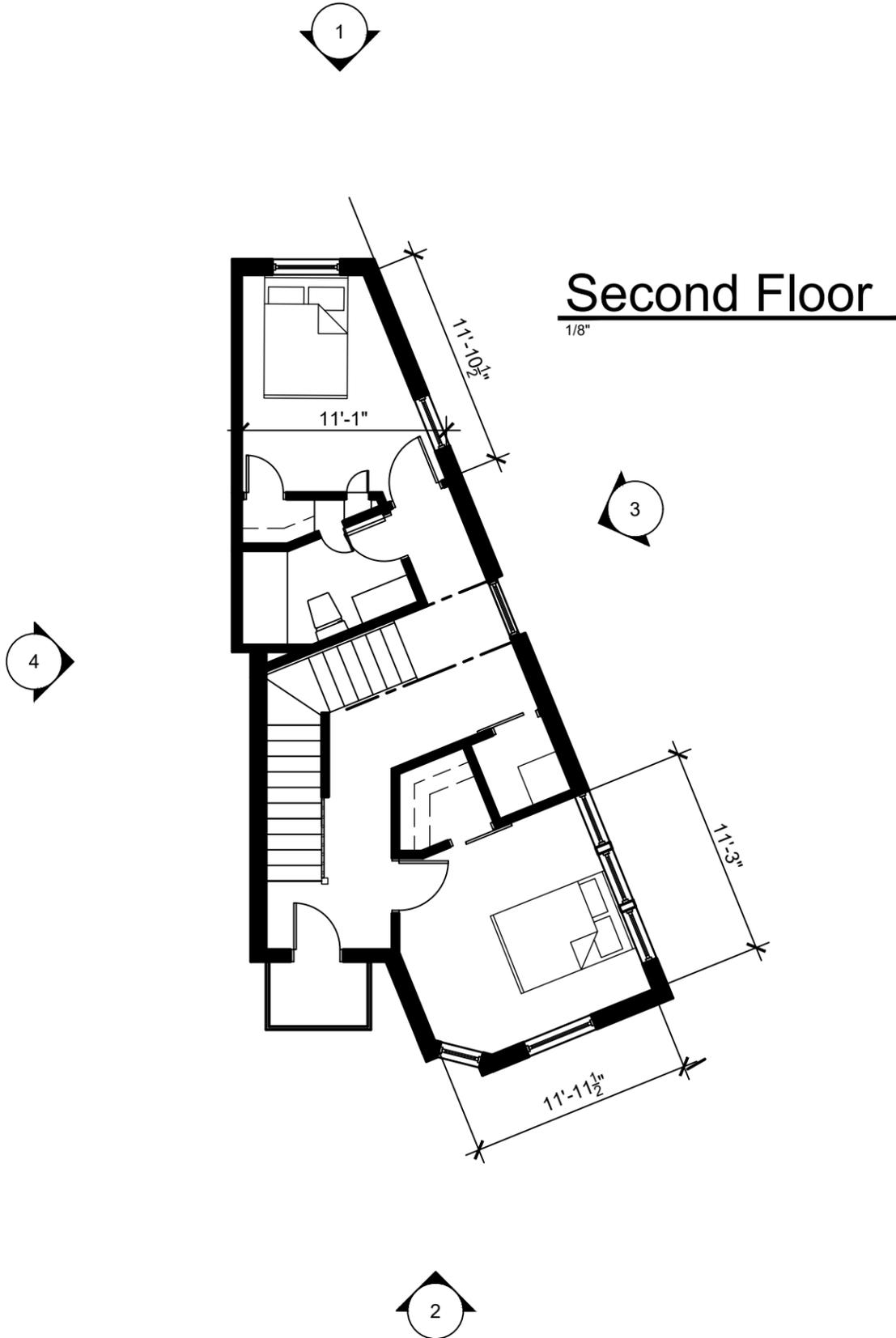
2 North Elevation @ Grayland Ave
1/8"

BUILDING AREAS

First Floor:	585 Sq/Ft
Second Floor:	607 Sq/Ft
Third Floor:	607 Sq/Ft
Total:	1,799 Sq/Ft



○ First Floor
1/8"



J O H A N N A S DESIGN GROUP 1901 WEST CARY STREET RICHMOND, VA 23220 P 804.358.4993 F 804.358.8211

REVISIONS	
400 SOUTH STAFFORD AVENUE NEW RESIDENCE	
SHEET TITLE	PLANS
PROJECT NO.	2319
DATE	1.18.24
SHEET NO.	BZA-4



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
ZONING ADMINISTRATION

July 22, 2014

Allison Davies
10103 Sachs Court
Fredericksburg, Virginia 22408

RE: 400 SOUTH STAFFORD AVENUE (Tax Map: W000-1071/010)

Dear Ms. Davies:

Thank you for your request for a *Zoning Confirmation Letter* regarding the above referenced property. In response to your letter, be advised of the following:

The property is located within an R-6 (Single-Family Attached Residential) zoning district. The R-6 district requires a minimum lot area of not less than five thousand (5,000) square feet and a minimum lot width of not less than fifty feet (50') for single-family detached dwellings.

According to City Assessor's records and deeds, the subject property is irregularly-shaped and has a lot frontage of twenty feet (20') along South Stafford Avenue and lot frontage of 70.83' along Grayland Avenue, which results in a lot area of 1,174 square feet. The lot is deeded as an independent lot of record and has been since, at least 1942. The lot previously contained a single-family detached dwelling that was demolished after the Richmond Metropolitan Authority (RMA) acquired a portion of the property for the construction of improvements for the Downtown Expressway. As this public action reduced the size of the lot, the current lot area and lot width are deemed to be nonconforming (grandfathered).

In summary, based on the information available to me at this time, it is my determination from a zoning perspective that the subject property is a legal lot of record for the construction of a single-family detached dwelling.

However, zoning requirements that would affect the potential development of the site are as follows:

1. Front yard – As this lot is considered a corner lot, it requires two (2) front yards along South Stafford Avenue & Grayland Avenue. Front yards (setbacks) with a depth of fifteen feet (15') are required.
2. Side yard – The property line to the south is considered a side yard and the side yard (setback) requirement of not less than three feet (3') is required.

3. Rear yard – When more than one front yard is required on a corner lot, yards other than those along street frontages shall be considered side yards; no rear yard exists or shall be required.
4. Lot coverage – Lot coverage shall not exceed fifty-five percent (55%) of the area of the lot.
5. Building height – The main building may not exceed thirty-five feet (35') in height. No accessory building shall exceed twenty feet (20') in height.
6. Parking – A minimum of one (1) on-site parking space is required.

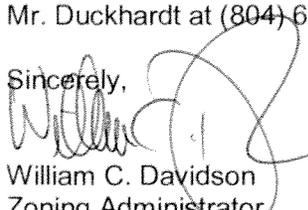
As the lot is of such minimal size and irregular shape, the development potential is severely limited. Development would, most likely, necessitate waivers of front yard (setback), lot coverage and parking requirements. However, even if such waivers were granted, the development potential is still restricted.

Special approval could be granted by the approval of a Special Exception by Board of Zoning Appeals (BZA) or a Special Use Permit (SUP) by City Council. Should you desire to proceed, please contact David Duckhardt, Planner II, at (804) 646-6917.

You are hereby advised that you have thirty (30) days from this notice in which to appeal this decision to the Board of Zoning Appeals, in accordance with §15.2-2311 of the Code of Virginia and §17.19 of the Richmond City Charter, or this decision shall be final and unappealable. Such appeal must be in writing and must be filed with the Secretary to the Board of Zoning Appeals. Said appeal shall indicate in specific terms the grounds for the appeal and must be accompanied by a filing fee of two hundred fifty dollars (\$250.00).

I hope this information is sufficient. Should you have additional questions, please contact Mr. Duckhardt at (804) 646-6917 or via E-mail at: David.Duckhardt@Richmondgov.com.

Sincerely,



William C. Davidson
Zoning Administrator