

INTRODUCED: August 7, 2024

AN ORDINANCE No. 2024-210

To authorize the special use of the property known as 4000 North Huguenot Road for the purpose of a single-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: SEP 9 2024 AT 6 P.M.

WHEREAS, the owner of the property known as 4000 North Huguenot Road which is situated in a R-2 Single-Family Residential District, desires to use such property for the purpose of a single-family detached dwelling, which use, among other things, is not currently allowed by section 30-404.4, concerning lot area and width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN:

ADOPTED: SEP 9 2024 REJECTED: STRICKEN:

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 4000 North Huguenot Road and identified as Tax Parcel No. C001-0427/020 in the 2024 records of the City Assessor, being more particularly shown on the survey entitled “Plat Showing a Minor Site Plan, Survey of Lot 1 & Lot 1A, Huguenot Manor,” prepared by Timmons Group, and dated January 10, 2024, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a single-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “The Yavalar, E. Residence,” prepared by Mitchell Homes, Inc., and dated May 20, 2024, and the survey entitled “Plat Showing a Minor Site Plan, Survey of Lot 1 & Lot 1A, Huguenot Manor,” prepared by Timmons Group, and dated January 10, 2024, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a single-family detached dwelling, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(c) All elevations and site improvements, including landscaping, shall be substantially as shown on the Plans. Brick, brick veneer, stone, stone veneer, masonry, vinyl, fiber cement, and

engineered wood shall be permitted building siding materials. Vinyl siding shall have a minimum wall thickness of 0.044 inches, as evidenced by the manufacturer's printed literature.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory

evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

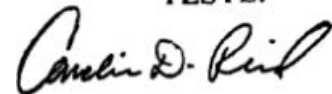
§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

APPROVED AS TO FORM:

CITY ATTORNEY'S OFFICE

A TRUE COPY:

TESTE:



City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Master

File Number: Admin-2024-0524

File ID: Admin-2024-0524

Type: Request for Ordinance or Resolution

Status: Regular Agenda

Version: 1

Reference:

In Control: City Clerk Waiting Room

Department: Richmond Dept of Planning & Development. Review

Cost:

File Created: 05/23/2024

Subject:

Final Action:

Title:

Internal Notes:

Code Sections:

Agenda Date: 09/09/2024

Indexes:

Agenda Number:

Patron(s):

Enactment Date:

Attachments: Admin-2024-0524 - APPLICATION DOCUMENTS, Admin-2024-0524 - AATF Ordinance

Enactment Number:

Contact:

Introduction Date:

Drafter: jonathan.brown@richmondgov.com

Effective Date:

Related Files:

Approval History

Version	Seq #	Action Date	Approver	Action	Due Date
1	1	7/15/2024	Matthew Ebinger	Approve	7/17/2024
1	2	7/15/2024	Kris Daniel-Thiem - FYI	Notified - FYI	
1	3	7/15/2024	Kevin Vonck	Disapprove	7/22/2024
Notes: Too late for this intro. Also needs Sharon on the transmittal.					
1	4	7/16/2024	Matthew Ebinger	Approve	7/18/2024
1	5	7/16/2024	Kris Daniel-Thiem - FYI	Notified - FYI	
1	6	7/17/2024	Kevin Vonck	Approve	7/23/2024
1	7	7/17/2024	Alecia Blackwell - FYI	Notified - FYI	
1	8	7/17/2024	Sharon Ebert	Approve	7/19/2024
1	9	7/17/2024	Caitlin Sedano - FYI	Notified - FYI	
1	10	7/19/2024	Jeff Gray	Approve	7/19/2024
1	11	7/24/2024	Lincoln Saunders	Approve	7/23/2024
1	12	7/26/2024	Mayor Stoney	Approve	7/26/2024

History of Legislative File

Ver- sion:	Acting Body:	Date:	Action:	Sent To:	Due Date:	Return Date:	Result:
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Text of Legislative File Admin-2024-0524

City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: July 16, 2024

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (by request)
(This is no way reflects a recommendation on behalf of the Mayor)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic
Development and Planning

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the property known as 4000 North Huguenot Road for
the purpose of a single-family detached dwelling, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: The applicant is requesting a Special Use Permit for the purpose of a single-family detached residential use which, among other things, is not currently allowed by section 30-404.4, concerning lot area, of the Code of the City of Richmond (2020), as amended. A Special Use Permit is therefore required.

BACKGROUND: 4000 North Huguenot Road is currently a vacant, 14,283 sq. ft. (.32 acre) lot located in the Huguenot Manor neighborhood, at the corner of Burgundy and Southampton Roads.

The City’s Richmond 300 Master Plan designates a future land use for the subject property as Residential which is defined as “Neighborhood consisting primarily of single-family houses on large- or

medium-sized lots more homogeneous in nature. Houses on medium-sized and large-sized lots in a largely auto-dependent environment.”

Intensity:

Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000+ sq. ft. Residential density of 2 to 10 housing units per acre.

Primary Uses:

Single-family houses, accessory dwelling units, and open space.

Secondary Uses:

Duplexes and small multi-family buildings (typically 3-10 units), institutional, and cultural. Secondary uses may be found along major streets.

The current zoning for this property is R-2 Single-Family Residential Zoning District. Adjacent properties are located within the same R-2 Zone.

COMMUNITY ENGAGEMENT: The Cherokee Area Neighbors and the Greater Oxford Civic Associations were contacted; additional community notification will take place after introduction.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: None

FISCAL IMPACT: The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: Special Meeting, August 2024

CITY COUNCIL PUBLIC HEARING DATE: September 9, 2024

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission, September 3, 2024

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant’s Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 4000 NORTH HUGUENOT RD Date: 3/15/2024
Parcel I.D. #: C0010427020 Fee: _____
Total area of affected site in acres: 0.32 acres

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-2

Richmond 300 Land Use Designation: RESIDENTIAL

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

To build a single family residential home of 2,037 square feet
Existing Use: Vacant lot

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: EMRE YAVALAR

Company: SOUTHAMPTON RD LLC
Mailing Address: 4015 SOUTHAMPTON RD
City: RICHMOND State: VA Zip Code: 23235
Telephone: (410) 294-0654 Fax: ()
Email: eyavalara@gmail.com

Property Owner: SOUTHAMPTON RD LLC

If Business Entity, name and title of authorized signee: EMRE KAN YAVALAR - OWNER

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 4015 SOUTHAMPTON RD
City: RICHMOND State: VA Zip Code: 23235
Telephone: (410) 294-0654 Fax: ()
Email: eyavalara@gmail.com

Property Owner Signature: *Emre Yavalar*

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Applicant's Report for Special Use Permit Application

Author/Applicant: Emre Yavalar

Location of Proposed Development: 4000 N Huguenot Rd, Richmond, VA 23235

Proposed Use: Construction of a Single Family Residential Home

Contractor: Mitchell Homes

Date: 3/15/2024

I am proposing the construction of a single-family home on a 14,283 square-foot plot located in a residential neighborhood near the James River and within close proximity to Richmond City's educational institutions and city amenities. The proposed residence is designed to be a 2,037 square-foot, two-story building with 4 bedrooms and 4.5 bathrooms, reflecting the standard model offered by Mitchell Homes, a highly reputable building company known for its quality and trustworthiness. The proposed construction aligns with the architectural styles and residential use characterizing the neighborhood. The design and size of the proposed home are consistent with existing residences, ensuring aesthetic harmony and maintaining the character of the area. The land, previously unused and overgrown, will be significantly improved, contributing to the overall enhancement of the locality and supporting the trend of increasing desirability due to its strategic location near the James River.

A. Safety, Health, Morals, and General Welfare

The construction of a single-family home on the specified plot will not be detrimental to the community's safety, health, morals, or general welfare. Mitchell Homes adheres to all building codes and regulations, ensuring a safe and healthy living environment. The project will utilize modern construction techniques and materials, reducing any potential hazards and contributing positively to the community's moral and general welfare.

B. Congestion in Public Ways

The proposed use will not negatively impact congestion in streets, roads, alleys, or other public ways. The development is a single family residence, which minimally impacts traffic flow and parking. Adequate onsite parking will be provided to accommodate the resident's vehicles, mitigating any potential congestion.

C. Fire, Panic, or Other Dangers

The construction plan includes comprehensive safety features to mitigate hazards from fire, panic, or other dangers. Fire-resistant materials and modern fire suppression systems will be incorporated, exceeding the minimum safety requirements. The design also ensures accessible emergency exits and pathways, enhancing overall safety.

D. Overcrowding and Population Concentration

The proposed development will not cause overcrowding of land or an undue concentration of population. The single-family home is designed for comfortable living without exceeding the area's capacity or significantly altering the population density. The plot size and home layout adhere to local zoning and planning standards, ensuring appropriate land use and population distribution.

E. Adverse Effects on Public Services and Amenities

The development will not adversely affect public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation, or other public requirements and conveniences. The project's scale and nature do not demand additional public services or infrastructure. Furthermore, the development will comply with all environmental and utility standards, ensuring no interference with public amenities or services.

F. Light and Air

The planned construction respects local zoning regulations regarding building height, setbacks, and spacing, ensuring that it does not interfere with adequate light and air for neighboring properties. The thoughtful design promotes a healthy living environment both within the property and in the surrounding community.

The proposed single-family home represents an appropriate and beneficial use of the land, adding value to the community without compromising public welfare, safety, or convenience. We believe that this project meets all conditions set forth by the City Charter for the issuance of a Special Use Permit and respectfully request the City Planning Commission and City Council's approval.

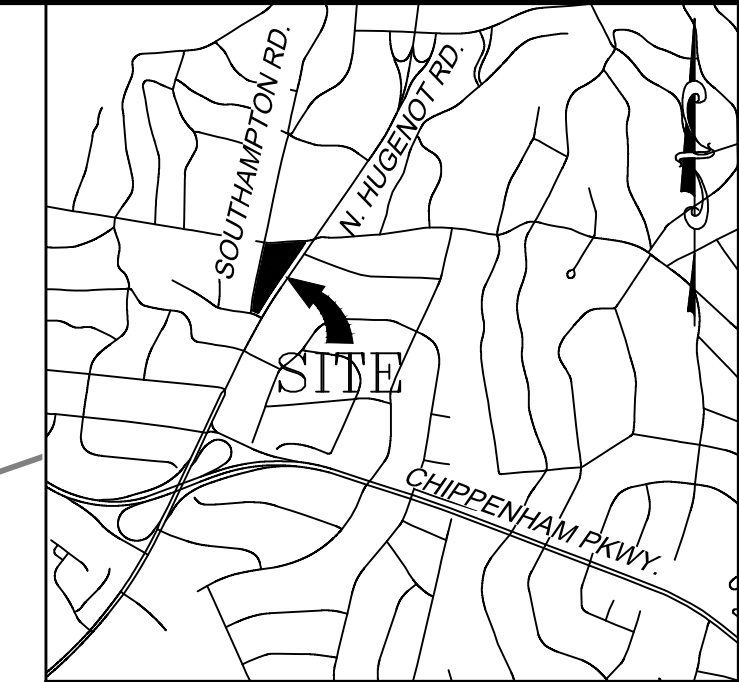
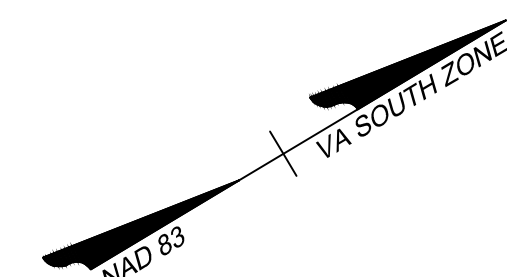
GENERAL NOTES

- OWNER: SOUTHAMPTON ROAD LLC.
4015 SOUTHAMPTON RD
RICHMOND, VA 23235
- PARCEL ID: C0010427020
- LAND BOUNDARY SURVEY SHOWN IS BASED ON A CURRENT FIELD SURVEY.
- ZONING: R-2
- BASED ON GRAPHIC DETERMINATION THIS PROPERTY IS IN ZONE "X" OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #5101290016D DATED APRIL 2, 2009.
- THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE BINDER AND MAY THEREFORE NOT SHOW ALL EXISTING EASEMENTS OR OTHER PERTINENT FACTS WHICH MAY AFFECT THE PROPERTY.
- NO SURFACE INDICATIONS OF A CEMETERY OR GRAVE WERE OBSERVED DURING THE COURSE OF OUR PERIMETER SURVEY. TIMMONS GROUP MAKES NO GUARANTEES CONCERNING THE EXISTENCE OR NON-EXISTENCE OF GRAVES OR CEMETERIES ON THIS SITE OR ADJACENT PROPERTIES.

CALCUALTIONS

IMPERVIOUS AREA: 1072SQ.FT. ASPHALT ROOF
 RUN OFF 1.5" INTENSITY: 16.709965707 GALLONS PER MIN
 0.044711315 CUBIC FT PER SECOND
 RUN OFF 3.5" INTENSITY: 38.989919983 GALLONS PER MIN
 0.104326402 CUBIC FT PER SECOND

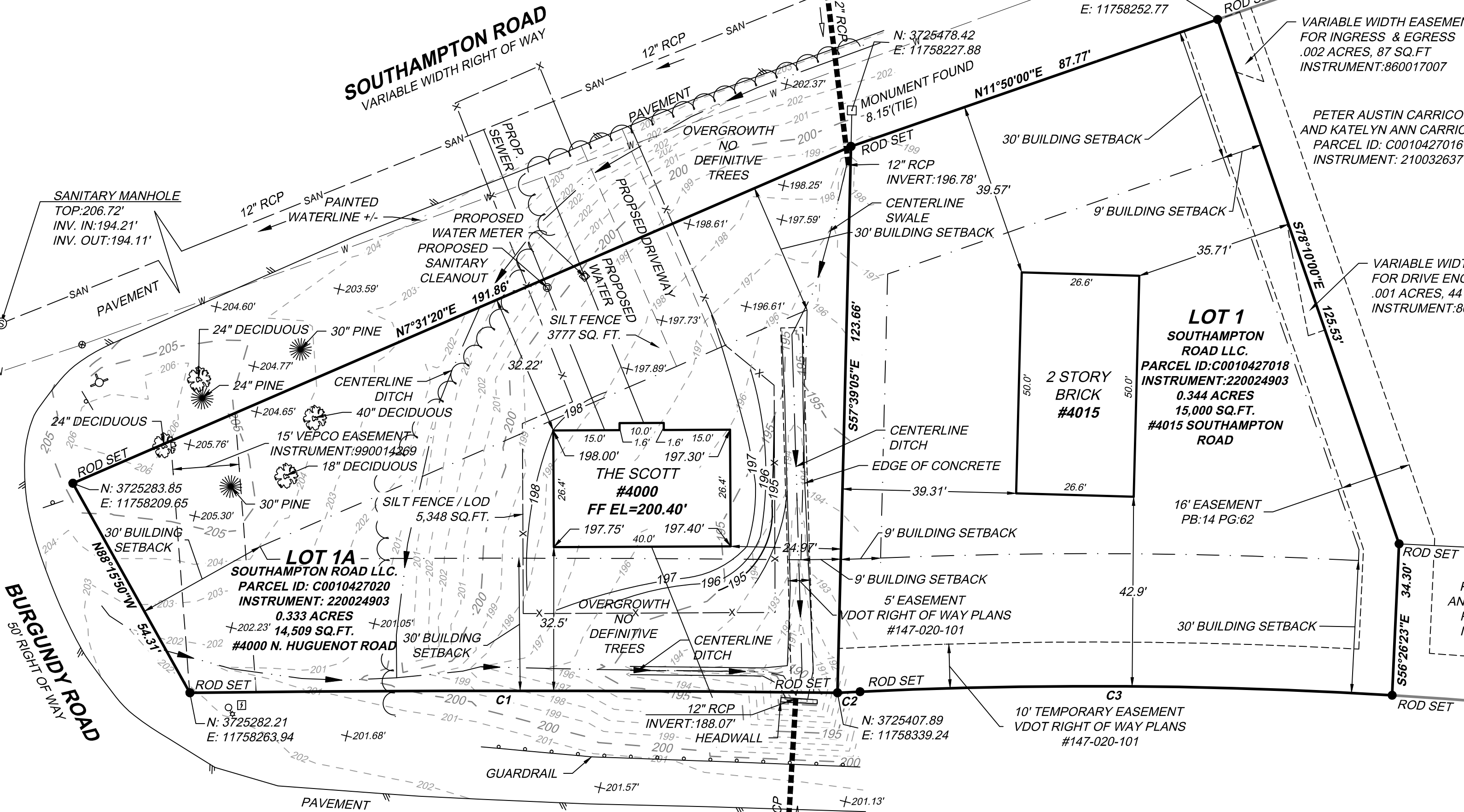
$Q=(C*I*A)/96.23$
 Q= RUN OFF IN GALLONS PER MIN
 C= COEFFICIENT
 I= RAINFALL INTENSITY PER HOUR IN INCHES
 96.23 = CONVERSION FACTOR TO GALLONS PER MIN WITH AREA IN SQUARE FT



ACREAGE TABLE

PARCEL ID: C0010427020	0.333 ACRES 14,509 SQ. FT.
PARCEL ID: C0010427018	0.344 ACRES 15,000 SQ. FT.

- LEGEND**
- LIGHT POLE
 - ELECTRIC PEDESTAL
 - SIGN
 - ⊙ SANITARY MANHOLE
 - ⊙ FIRE HYDRANT
 - ⊙ WATER VALVE
 - CONCRETE MONUMENT FOUND
 - IRON ROD SET
 - RCP REINFORCED CONCRETE PIPE



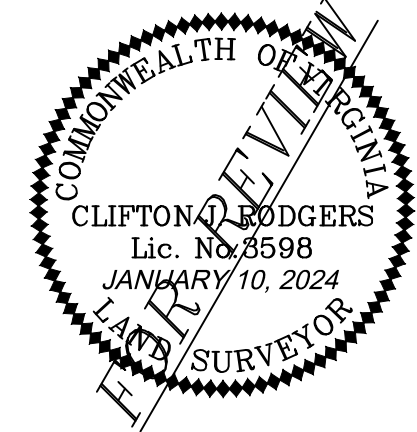
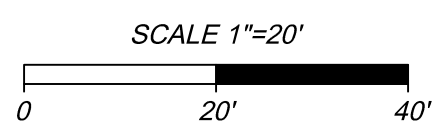
**STATE ROUTE 147
 NORTH HUGUENOT ROAD**
 VARIABLE WIDTH VDOT RIGHT OF WAY
 STATE ROUTE PLANS #147-020-101

CONSTRUCTION NOTES

- 1,072 SQ FT OF IMPERVIOUS AREA ADDED FROM CONSTRUCTION OF HOUSE.
- STORM WATER:
 - CONTRACTOR TO MITIGATE RUN OFF OF SITE DURING CONSTRUCTION WITH SILT FENCE.
 - LDIS PERMIT REQUIRED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 - AIRP REQUIRED.
- PROPOSED WATER CONNECTION TO BE INSTALLED PER CURRENT STANDARDS.
- PROPOSED SANITARY TO BE CONSTRUCTED TO CURRENT STANDARDS.
- CONTRACTOR MUST OBTAIN A MISSUTILITY OR 811 TICKET PRIOR TO DIGGING OR CONSTRUCTING ANY PROPOSED UTILITIES.
- CITY OF RICHMOND REQUEST STORMWATER MANAGEMENT FOR RESIDENTIAL SINGLE FAMILY HOME. EXAMPLES OF THIS WOULD BE RAIN BARRELS OR COLLECTION ITEMS. SPECIFIC CODE REFERENCING THIS WAS NOT MENTIONED. CONTRACTOR IS RESPONSIBLE FOR THE APPROVAL OF STORMWATER MITIGATION SYSTEMS.
- PAVEMENT REPLACEMENT MUST BE GRADED AND RE INSTALLED TO CURRENT STANDARDS.
- 5' BUFFER AROUND ENTIRE SITE FOR E/S CONTROLS.
- ACCESS WILL BE FROM SOUTHAMPTON ROAD ONLY.

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	5789.58'	146.52'	73.26'	1°27'00"	S30°55'39"W	146.51'
C2	1116.18'	5.10'	2.55'	0°15'43"	S28°05'23"W	5.10'
C3	1116.17'	120.46'	60.29'	6°11'01"	S31°18'45"W	120.40'



**PLAT SHOWING
 A MINOR SITE PLAN
 SURVEY OF
 LOT 1 & LOT 1A
 HUGUENOT MANOR**

Middlethian District	Chesterfield County, Va
DATE: January 10, 2024	SCALE: 1"=20'
SHEET 1 OF 1	J.N.:60440
DRAWN BY: J. Wade	CHECK BY: C. Rodgers

Y:\903162447-YavalanMSP\DWG\62447YavalanMSP_903v-XPSURV.dwg | Plotted on 2/21/2024 4:37 PM | by Clifton Rodgers

TIMMONS GROUP

THIS DRAWING PREPARED AT THE
TIMMONS GROUP
 4701 Owens Way, Suite 900 | Prince George, VA 23875
 TEL: 804.541.6600 FAX: 804.458.1511 www.timmons.com
 YOUR VISION ACHIEVED THROUGH OURS.
 Site Development Residential Infrastructure Technology

I acknowledge that I have thoroughly reviewed these floorplans, elevations and Option Selections in their entirety with my New Home Consultant. I acknowledge that any and all changes and/or corrections that I would like made to these floorplans, elevations, and /or Option Selections have been clearly indicated as such. By signing below, I understand that any change made after these floorplans, elevations, and/or Option Selections have been signed today will incur a \$1500.00 late change fee, plus the cost of the change.

Customer _____

Customer _____

Witness _____

Date _____



CUSTOM PRICE REQUESTS:

____ Yes, Waiting for customer confirmation, please hold permit set.

____ No



THE YAVALAR, E. RESIDENCE

SALES PLAN

MAY 20, 2024

MITCHELL HOMES, INC.

14300 SOMMERVILLE COURT MIDLOTHIAN, VA 23113

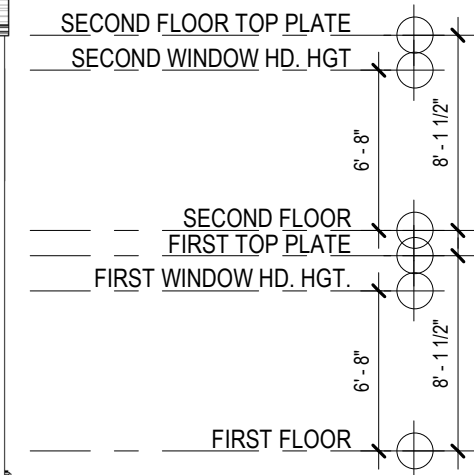
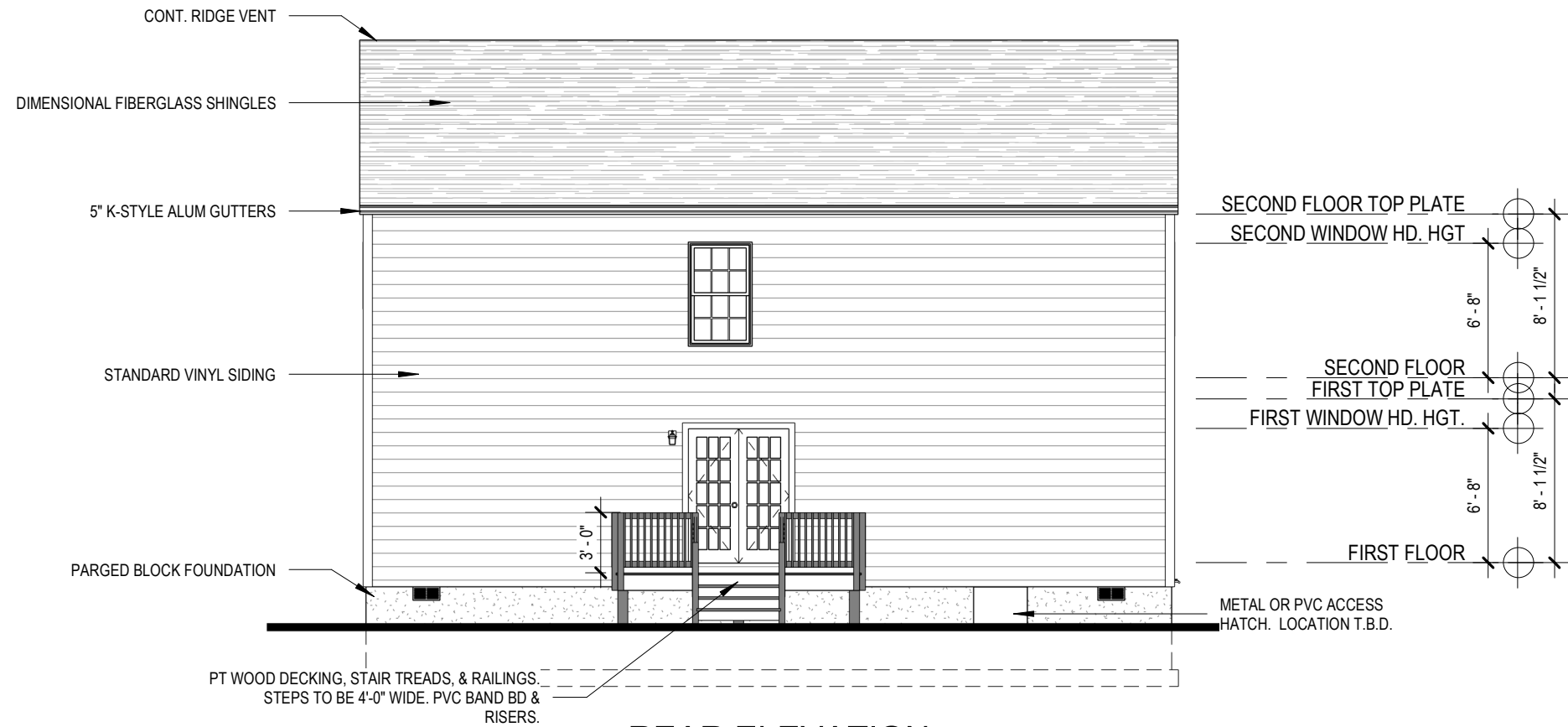
PHONE: 804-378-5211 FAX: 804-378-0811

www.MITCHELLHOMESINC.com

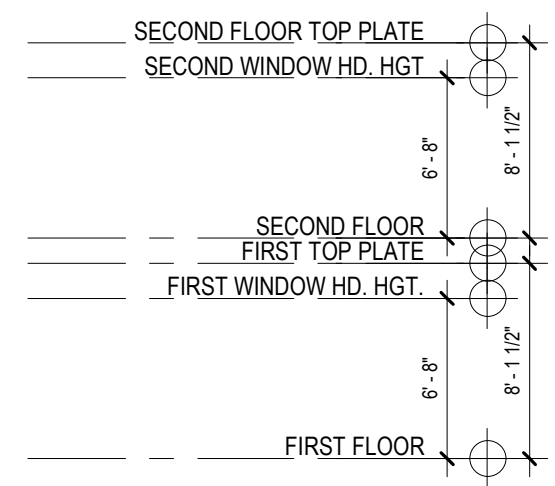
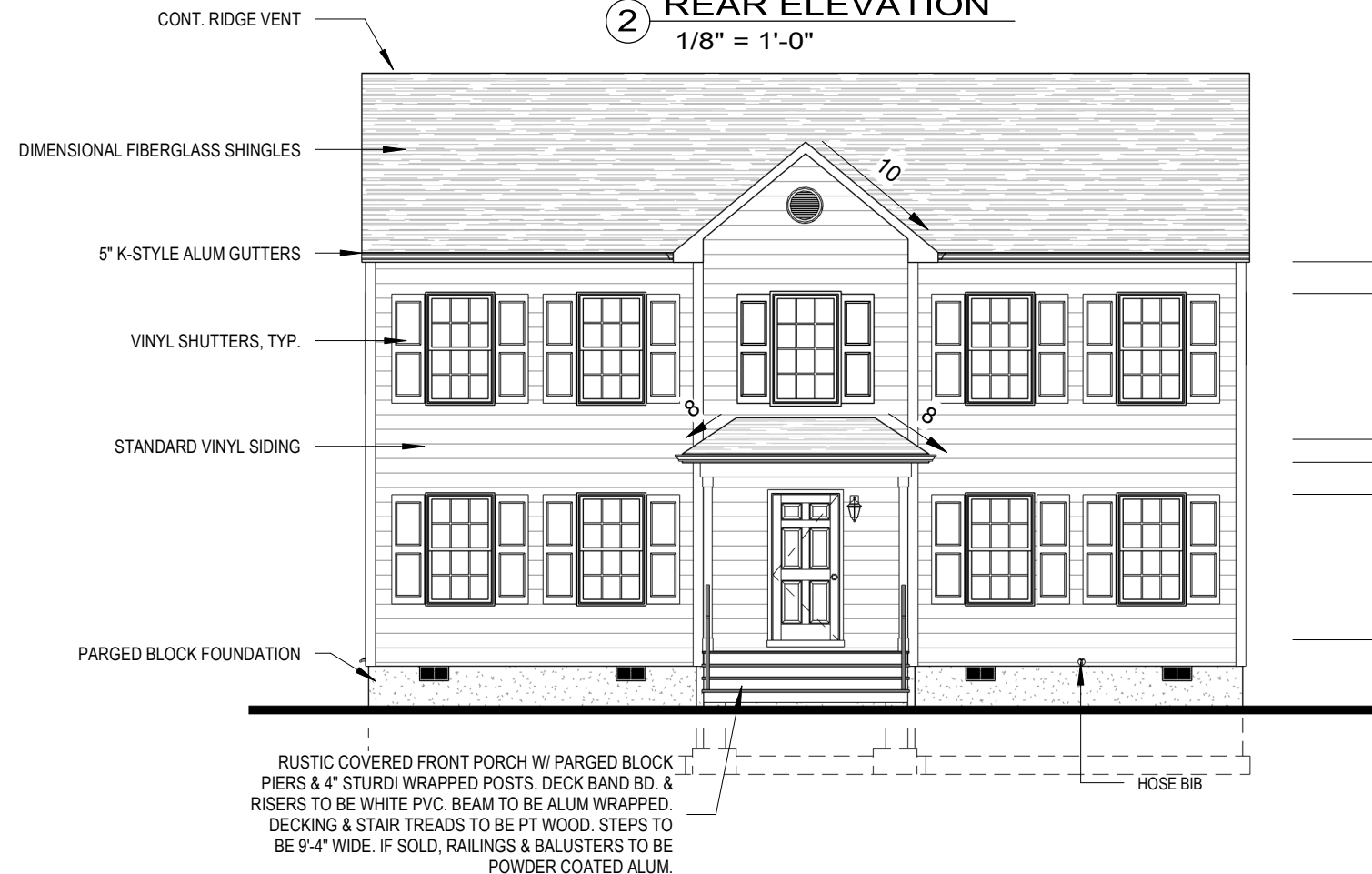
ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA RESIDENTIAL CODE (2018).

ELEVATION NOTES:

1. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXTSITING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.
3. ALL BRACKETS, ETC. MOUNTED ONTO THE EXTERIOR SHALL BE ATTACHED BY MOUNTING BLOCKS OR PVC.
4. ALL EXTERIOR VENTS TO MATCH.
5. ALL FASCIA AND RAKE BOARD TO BE 2X6, WRAPPED ALUMIN., AND INSTALLED BY FRAMERS.
6. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.
7. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.
8. EXTERIOR COACH LIGHT FOR ENTRY DOOR TO BE INSTALLED @ 83" A.F.F.



2 REAR ELEVATION
1/8" = 1'-0"

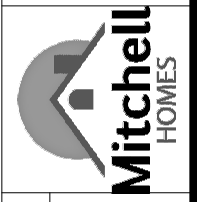


1 FRONT ELEVATION
1/8" = 1'-0"



THE SCOTT PLAN: ELEVATION A	SCALE: 1/8" = 1'-0"	JOB NUMBER: 10001245
	DATE: 05.20.2024	DRAWN BY: permits@mitchellhomesinc.com

MITCHELL HOMES, INC.
14300 SOMMERSVILLE COURT
MIDLOTHIAN, VA 23113
PHONE: 804-378-5211
FAX: 804-378-0811
WWW.MITCHELLHOMESINC.COM



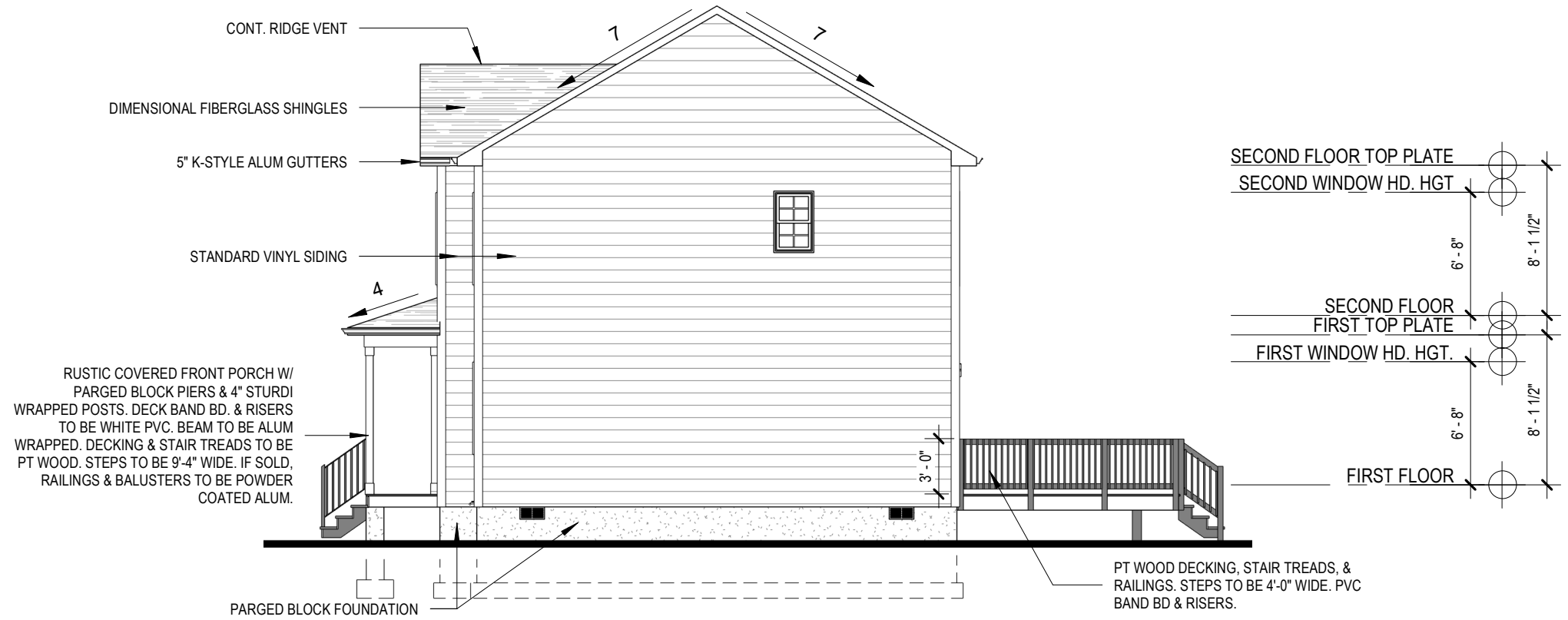
THE YAVALAR, E. RESIDENCE
FRONT & REAR ELEVATIONS
CITY OF RICHMOND, VA

DRAWN BY:	
KQZ	
#	REV. DATE

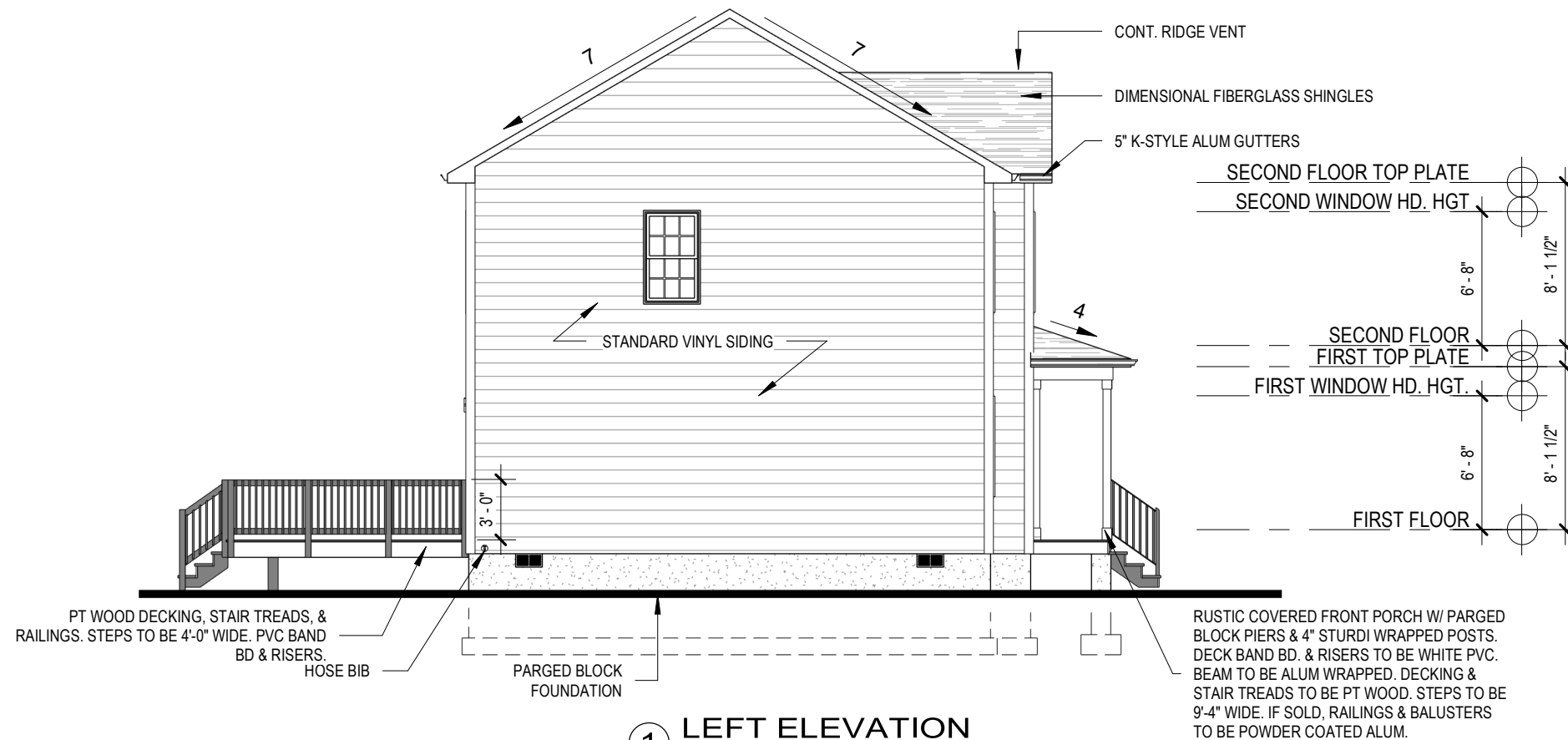
S1

ELEVATION NOTES:

1. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXTSITING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.
3. ALL BRACKETS, ETC. MOUNTED ONTO THE EXTERIOR SHALL BE ATTACHED BY MOUNTING BLOCKS OR PVC.
4. ALL EXTERIOR VENTS TO MATCH.
5. ALL FASCIA AND RAKE BOARD TO BE 2X6, WRAPPED ALUMIN., AND INSTALLED BY FRAMERS.
6. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.
7. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.
8. EXTERIOR COACH LIGHT FOR ENTRY DOOR TO BE INSTALLED @ 83" A.F.F.



2 RIGHT ELEVATION
1/8" = 1'-0"



1 LEFT ELEVATION
1/8" = 1'-0"



THE SCOTT PLAN: ELEVATION A

SCALE: 1/8" = 1'-0"
DATE: 05.20.2024

JOB NUMBER: 10001245
DRAWN BY: permits@mitchellhomesinc.com

MITCHELL HOMES, INC.
14300 SOMMERSVILLE COURT
MIDLOTHIAN, VA 23113
PHONE: 804-378-5211
FAX: 804-378-0811
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THE YAVALAR, E. RESIDENCE

SIDE ELEVATIONS
CITY OF RICHMOND, VA

DRAWN BY:

KQZ

REV. DATE

S2



FOUNDATION PLAN NOTES:

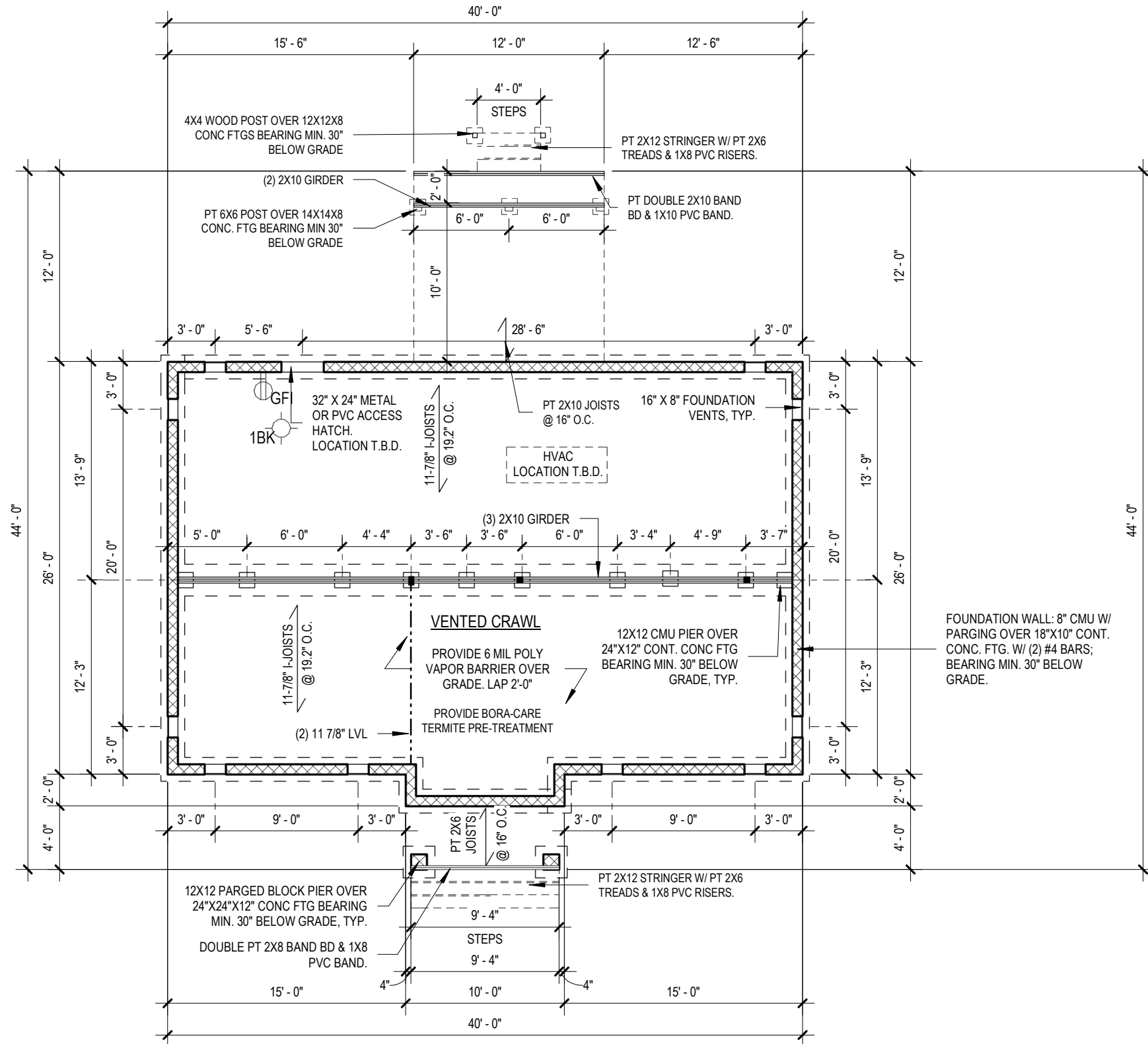
1. MITCHELL HOMES, INC. PROVIDES 4 COURSE FOUNDATION STANDARD. EXTRA FOUNDATION IS NOT INCLUDED. SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES. *IF ADDITIONAL COURSES ARE SOLD ACCESS DOOR TO REMAIN STANDARD SIZE/ MATERIAL W/ (4) BRICK TIES UNLESS AN UPGRADED DOOR IS SOLD.
2. ANCHOR BOLTS TO BE SET FOR 14' MUDSILL.
3. FOOTING CONTRACTOR TO PROVIDE 1 1/2" PVC SLEEVE THROUGH FOOTING.
4. BORA-CARE TERMITE PRE-TREATMENT PROVIDED THROUGHOUT.
5. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
6. INTERIOR GRADE TO BE NO MORE THAN 3" FROM EXTERIOR GRADE.
7. PROVIDE 6 MIL POLY VAPOR BARRIER OVER INSIDE GRADE.
8. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.
9. HVAC LOCATED IN CRAWL SPACE & ATTIC AREA

FOUNDATION VENTILATION:

CRAWL SPACE: 1,060 S.F.
 ACCESS DOOR: 768 S.IN.
 FOUNDATION VENT NFA: 45 S.IN
 NEED APPROX: 7
 TOTAL # OF VENTS: 10

FOUNDATION LEGEND

-  8" CMU PARGED
-  FOOTING BELOW



1 FOUNDATION PLAN
 1/8" = 1'-0"



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THE YAVALAR, E. RESIDENCE
 FOUNDATION PLAN
 CITY OF RICHMOND, VA

DRAWN BY:	
KQZ	
#	REV. DATE

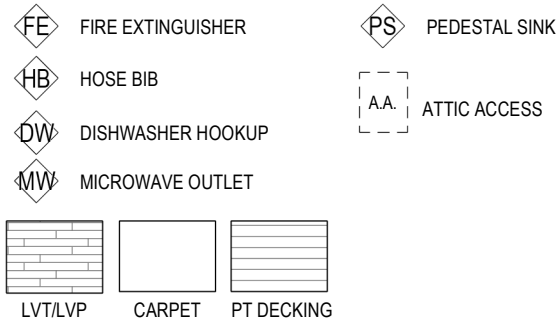
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S3

THE SCOTT PLAN: ELEVATION A	SCALE: 1/8" = 1'-0"	JOB NUMBER: 10001245
	DATE: 05.20.2024	DRAWN BY: permits@mitchellhomesinc.com

COMPONENTS		
TYPE	COUNT	COMMENTS
FIRE EXTINGUISHER	1	2-A: 10-B: C RATED; INSTALLED
HOSE BIB	2	
PEDESTAL SINK	1	

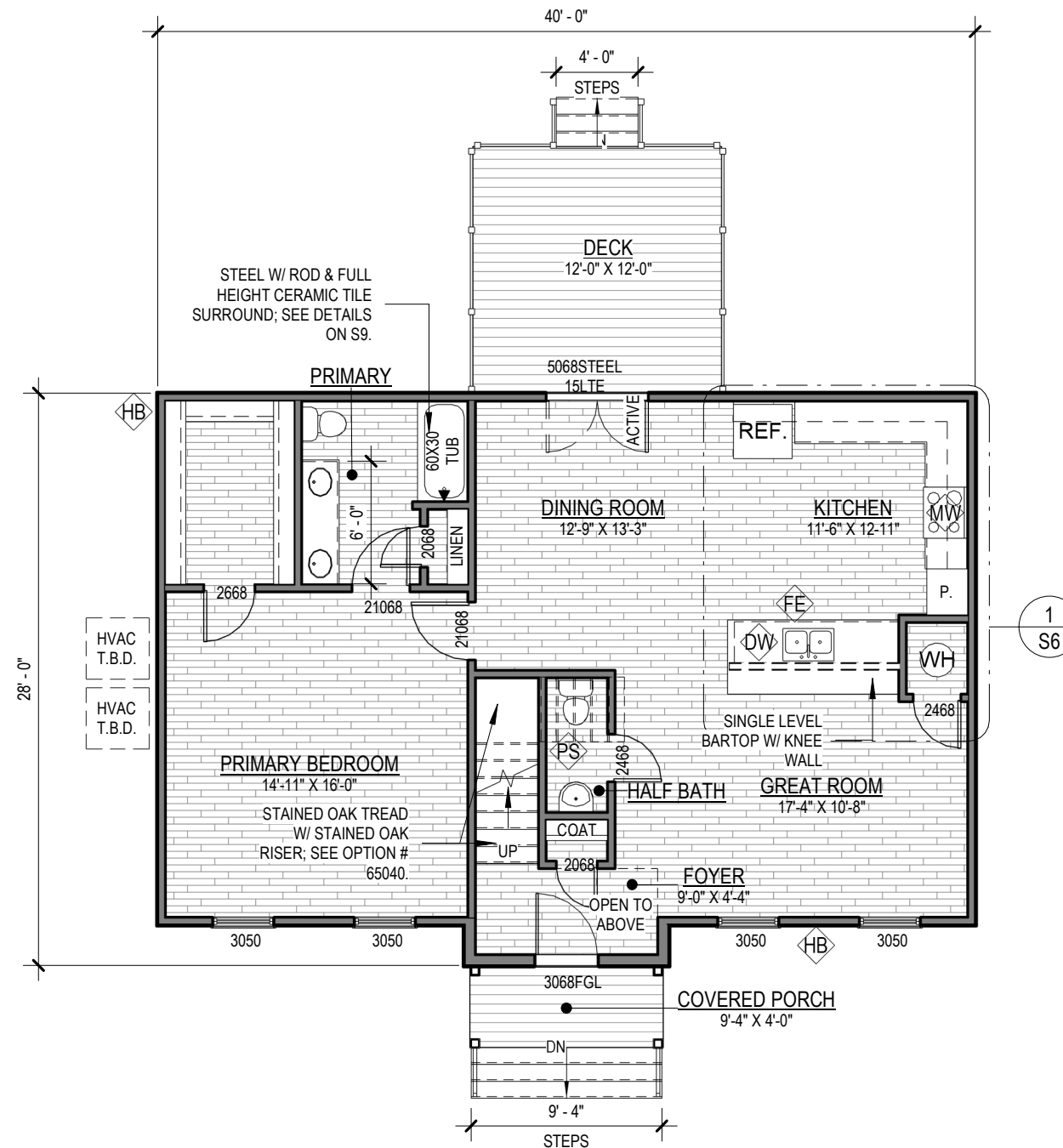
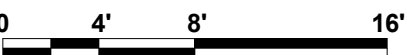
PLAN SYMBOL LEGEND



FINISH PLAN NOTES:

- SEE ELEVATIONS FOR WINDOW AND DOOR GRID PATTERNS.
- # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
- RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.
- 50 GALLON WATER HEATER STANDARD
- 2-ZONE, 2 SYSTEM HVAC SYSTEM.
- WHOLE-HOUSE WATER FILTRATION SYSTEM: 2-STAGE WHOLE-HOUSE WATER FILTER INCLUDED ON EVERY HOME
- STANDARD LEVEL KITCHEN CABINETS - INCLUDES HARDWARE - 42 INCH WALL CABINETS WITH SCRIBE FOR CROWN; SEE OPTION #15061.

FIRST FLOOR: 1060 S.F.
 SECOND FLOOR: 975 S.F.
 TOTAL LIVING AREA: 2,035 S.F.
 COVERED PORCH: 37 S.F.
 TOTAL AREA UNDER ROOF: 2,072 S.F.
 DECK: 144 S.F.
 TOTAL AREA: 2,216 S.F.



① FIRST FLOOR FINISH PLAN
 1/8" = 1'-0"

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THE YAVALAR, E. RESIDENCE
 FIRST FLOOR FINISH PLAN
 CITY OF RICHMOND, VA

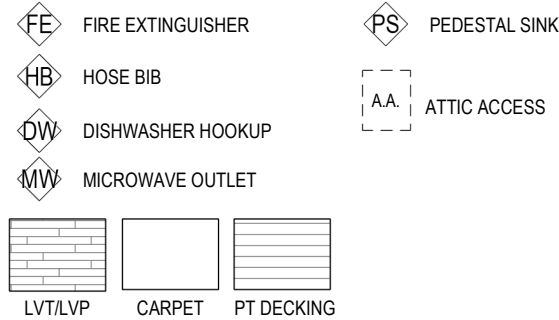
DRAWN BY:	
KQZ	
#	REV. DATE

S4

THE SCOTT PLAN: ELEVATION A	SCALE: 1/8" = 1'-0"	JOB NUMBER: 10001245
	DATE: 05.20.2024	DRAWN BY: permits@mitchellhomesinc.com

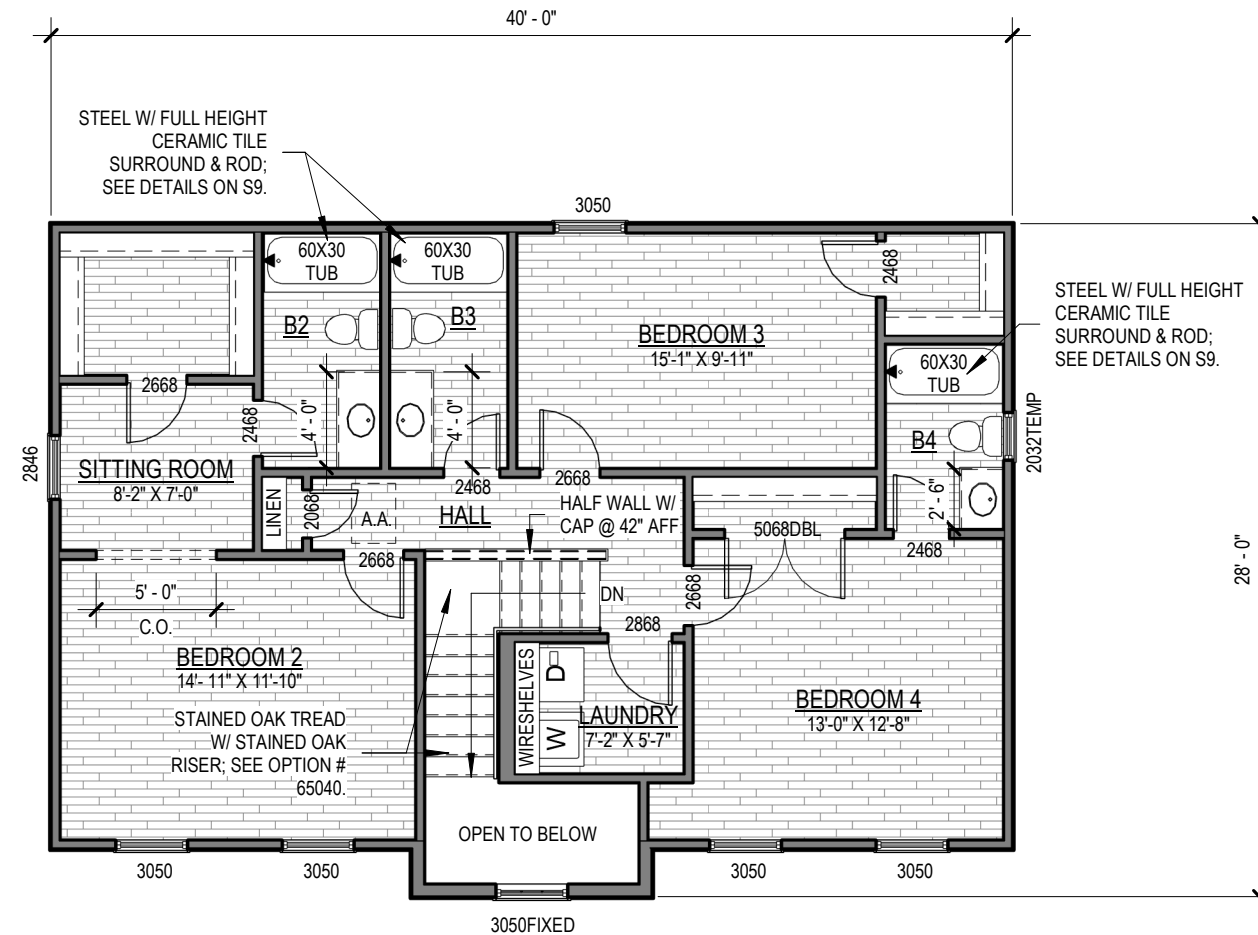
COMPONENTS		
TYPE	COUNT	COMMENTS
FIRE EXTINGUISHER	1	2-A: 10-B: C RATED; INSTALLED
HOSE BIB	2	
PEDESTAL SINK	1	

PLAN SYMBOL LEGEND



FINISH PLAN NOTES:

1. SEE ELEVATIONS FOR WINDOW AND DOOR GRID PATTERNS.
2. 2-ZONE, 2 SYSTEM HVAC SYSTEM.



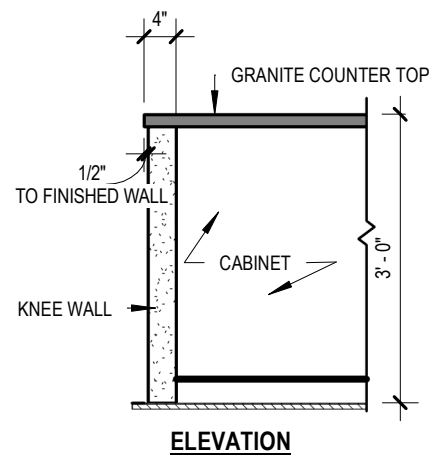
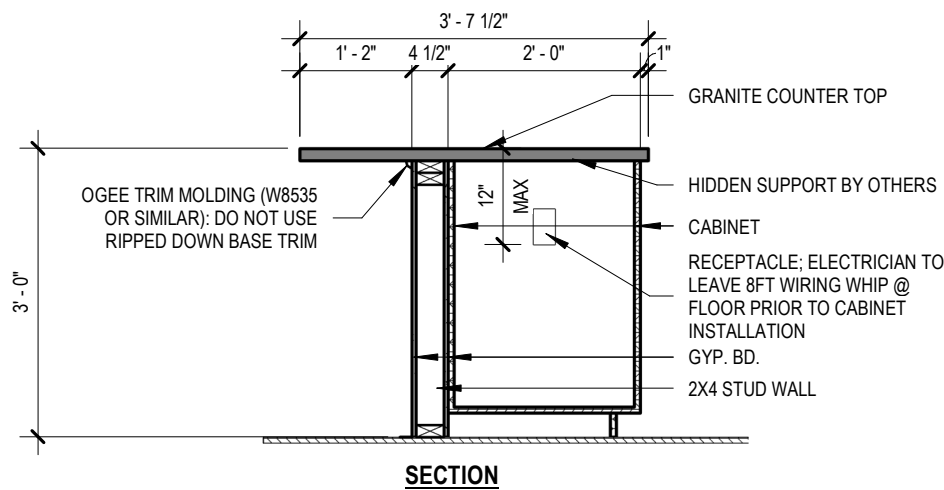
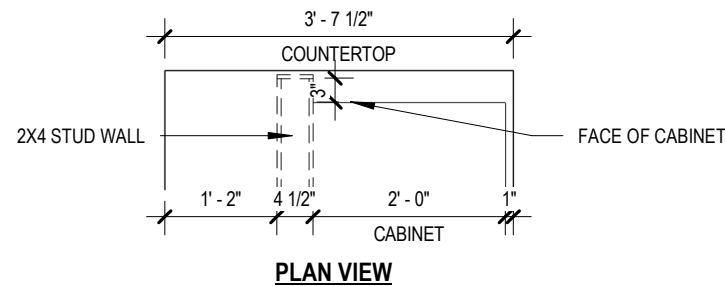
1 SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

FIRST FLOOR: 1060 S.F.
 SECOND FLOOR: 975 S.F.
 TOTAL LIVING AREA: 2,035 S.F.
 COVERED PORCH: 37 S.F.
 TOTAL AREA UNDER ROOF: 2,072 S.F.
 DECK: 144 S.F.
 TOTAL AREA: 2,216 S.F.

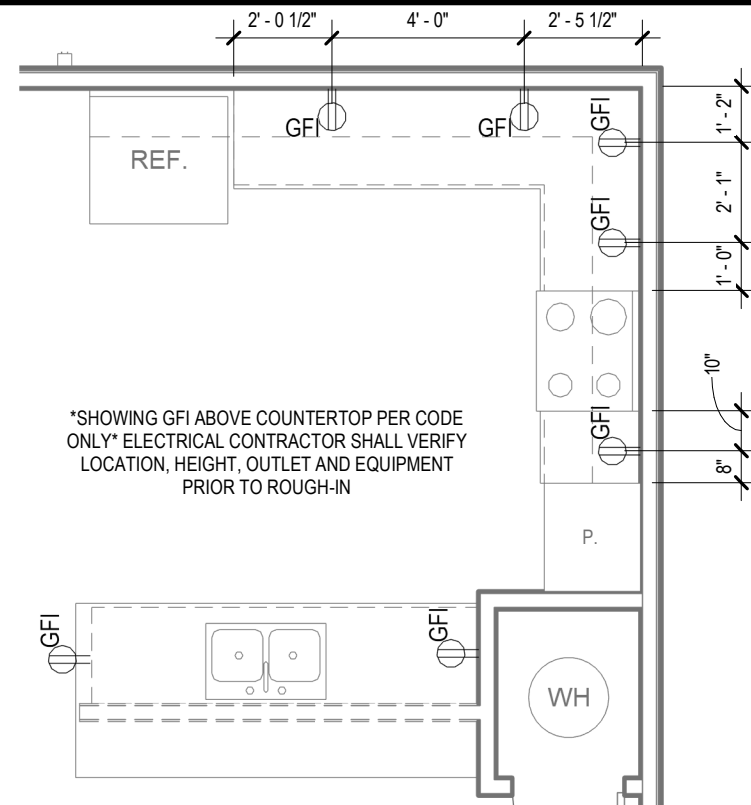


NOTES:

1. DIMS AT KITCHEN ARE FROM FACE OF CABINET TO FACE OF STUD, U.N.O.
2. STANDARD LEVEL KITCHEN CABINETS - INCLUDES HARDWARE - 42 INCH WALL CABINETS WITH SCRIBE FOR CROWN; SEE OPTION #15061.

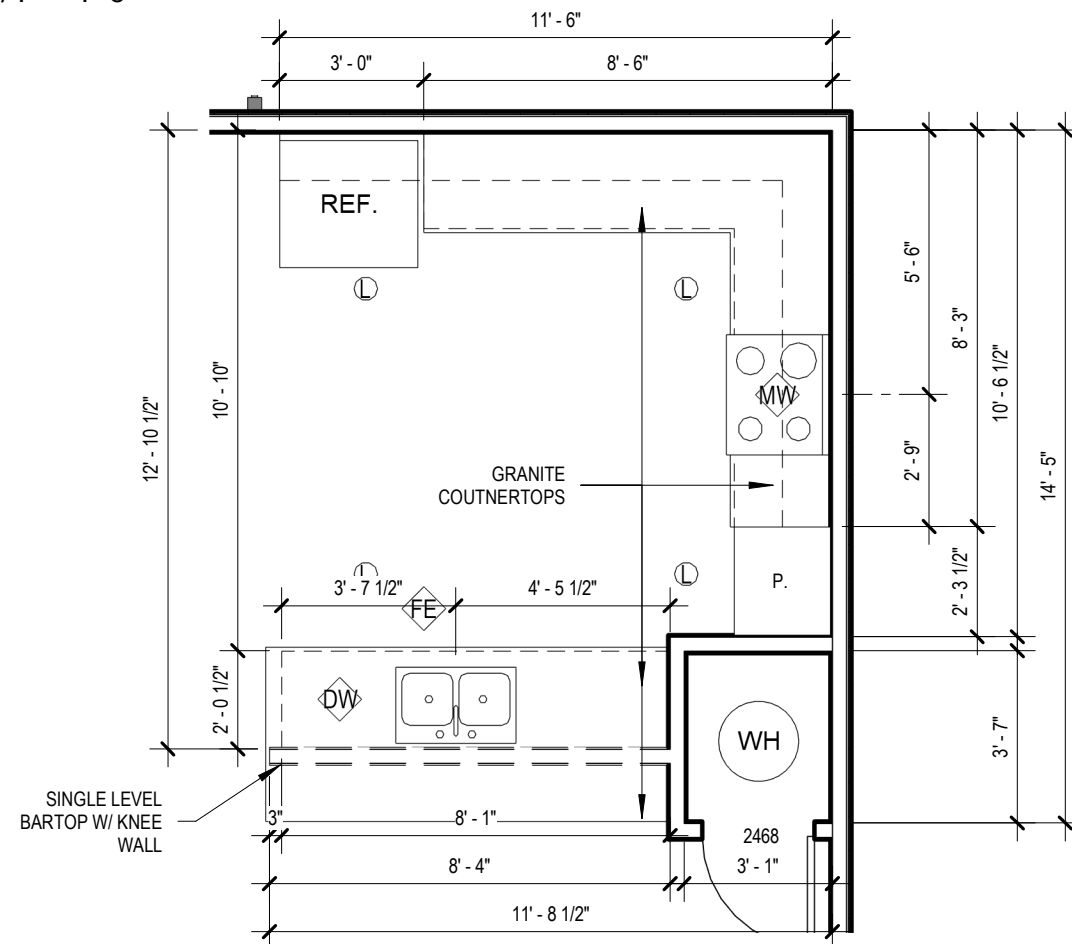


3 TYPICAL BAR TOP DETAIL
1/2" = 1'-0"



SHOWING GFI ABOVE COUNTERTOP PER CODE ONLY ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHT, OUTLET AND EQUIPMENT PRIOR TO ROUGH-IN

2 ENLARGED KITCHEN RECEPTACLE PLAN
1/4" = 1'-0"



1 ENLARGED KITCHEN PLAN
1/4" = 1'-0"

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THE YAVALAR, E. RESIDENCE

ENLARGED FLOOR PLANS
CITY OF RICHMOND, VA

DRAWN BY:

KQZ

REV. DATE

SCALE:	As indicated	JOB NUMBER:	10001245
DATE:	05.20.2024	DRAWN BY:	permits@mitchellhomesinc.com

THE SCOTT PLAN: ELEVATION A

S6

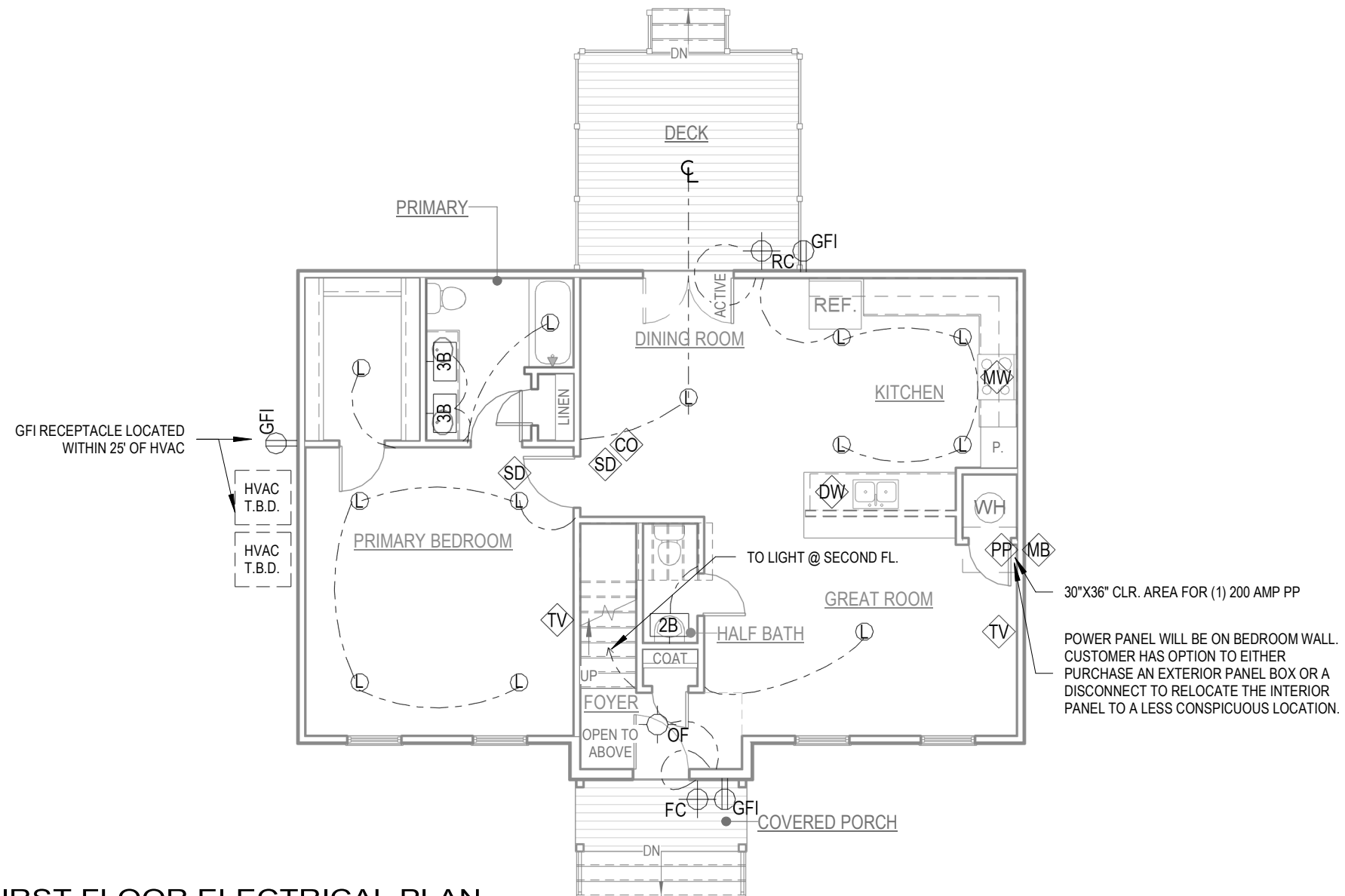
ELECTRICAL COMPONENTS		
TYPE	COUNT	COMMENTS
120 OUTLET	1	(1) STD. IN LAUNDRY
CABLE JACK	3	(1) STD IN GREAT ROOM; (1) STD IN PRIMARY BEDROOM; (1) IN BEDROOM 2
CEILING LIGHT - 1 BULB KEYLESS	2	(1)STD. IN CRAWL SPACE; (1)STD. IN ATTIC AREA
CO DETECTOR	2	
DISHWASHER HOOKUP	1	
FOYER - OPEN	1	
GFI CEILING OUTLET	1	(1) STD. IN ATTIC AREA WITHIN 6' OF HVAC UNIT
GFI OUTLET	4	EXTERIOR; (1) STD. IN CRAWL SPACE
INTERIOR GFI OUTLET	7	ABOVE KITCHEN COUNTERTOP, REQUIRED BY CODE.
LED LIGHT	24	7.5" DIA. LED
METER BASE	1	
MICROWAVE OUTLET	1	
POWER PANEL	1	
SCONCE - 2 BULB	2	
SCONCE - 3 BULB	4	
SMOKE DETECTOR	6	HARDWIRED & INTERCONNECTED
XL FRONT COACH	1	
XL REAR COACH	1	

NOTE:

- 2-ZONE, 2 SYSTEM HVAC UNIT
- (1) 200 AMP. POWER PANEL.
- EXTERIOR COACH LIGHT FOR ENTRY DOOR TO BE INSTALLED @ 83" A.F.F.

ELECTRICAL SYMBOL LEGEND

SMOKE DETECTOR	PENDANT LIGHT ROUGH-IN
CO DETECTOR	EXTERIOR FRONT COACH
PHONE JACK	EXTERIOR REAR COACH
CABLE JACK	CEILING FAN ROUGH-IN
DISHWASHER HOOKUP	CEILING LIGHT - 1 BULB KEYLESS
MICROWAVE OUTLET	WIRING
EXHAUST FAN/LIGHT	SPOT LIGHT
CEILING 120V RECEPTACLE	GFI CEILING OUTLET
120 OUTLET	CAT 6
EXTERIOR 110V OUTLET W/ GROUND FAULT INDICATOR	
METER BASE	
POWER PANEL	
SCONCE - 2 BULB	
SCONCE - 3 BULB	
RECESSED LIGHT	
LED LIGHT	
LED STRIP LIGHT	



1 FIRST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

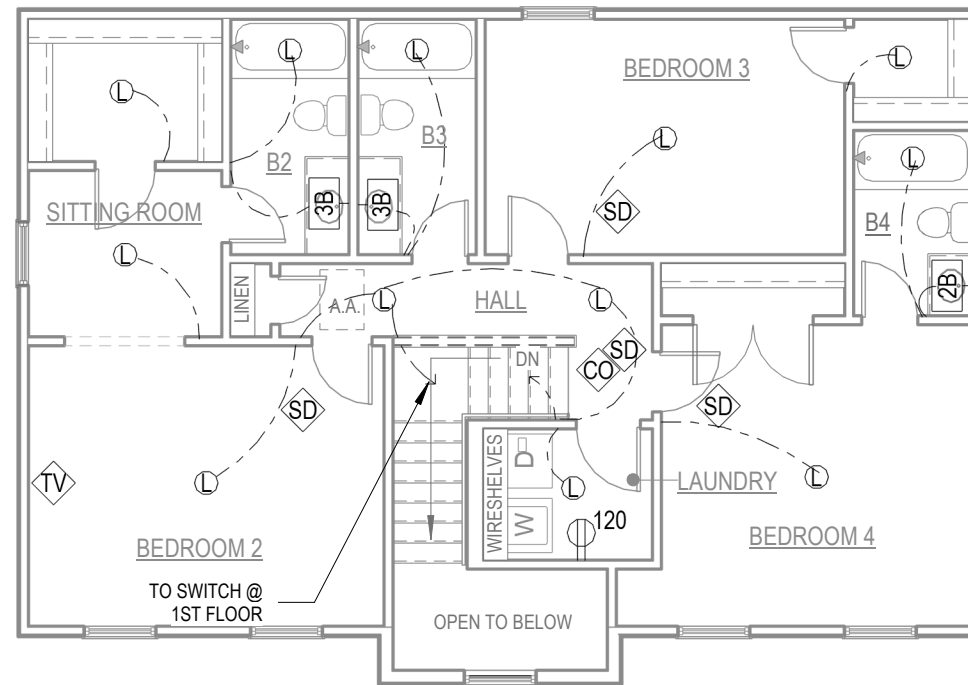
ELECTRICAL COMPONENTS		
TYPE	COUNT	COMMENTS
120 OUTLET	1	(1) STD. IN LAUNDRY
CABLE JACK	3	(1) STD IN GREAT ROOM; (1) STD IN PRIMARY BEDROOM; (1) IN BEDROOM 2
CEILING LIGHT - 1 BULB KEYLESS	2	(1)STD. IN CRAWL SPACE; (1)STD. IN ATTIC AREA
CO DETECTOR	2	
DISHWASHER HOOKUP	1	
FOYER - OPEN	1	
GFI CEILING OUTLET	1	(1) STD. IN ATTIC AREA WITHIN 6' OF HVAC UNIT
GFI OUTLET	4	EXTERIOR; (1) STD. IN CRAWL SPACE
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METER BASE	1	
MICROWAVE OUTLET	1	
POWER PANEL	1	
SCONCE - 2 BULB	2	
SCONCE - 3 BULB	4	
SMOKE DETECTOR	6	HARDWIRED & INTERCONNECTED
XL FRONT COACH	1	
XL REAR COACH	1	

NOTE:

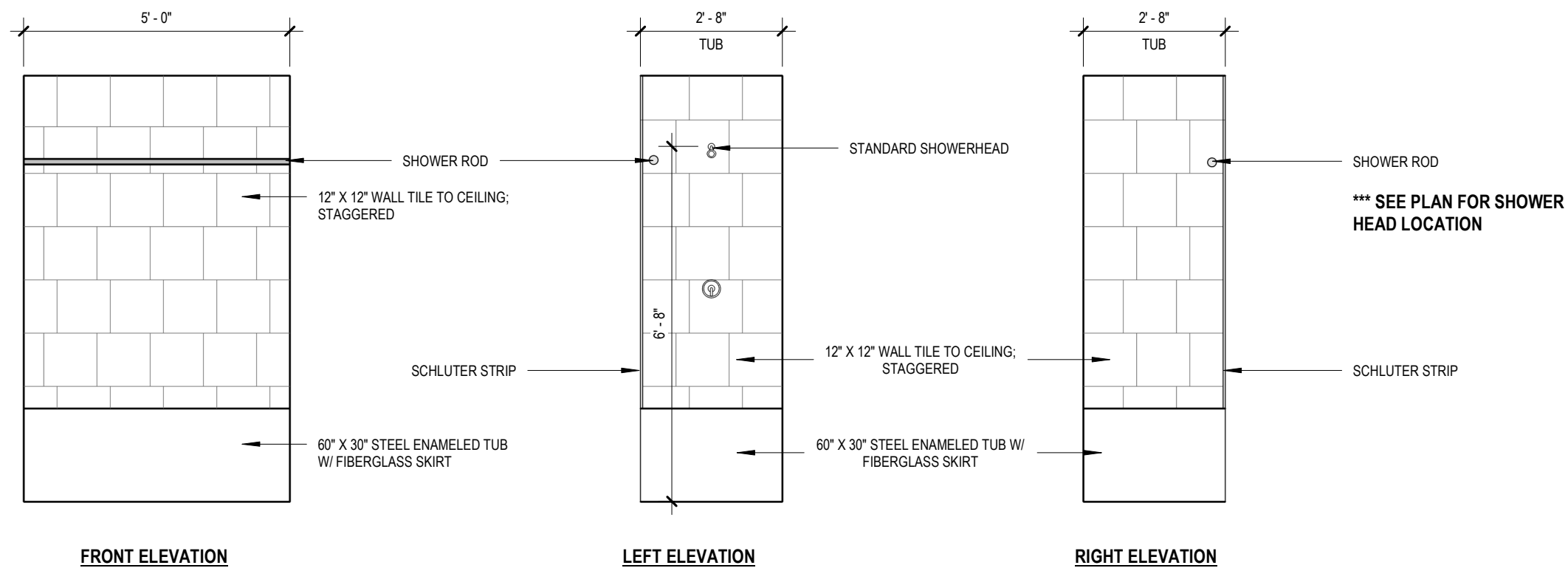
1. 2-ZONE, 2 SYSTEM HVAC UNIT
2. (1) 200 AMP. POWER PANEL.

ELECTRICAL SYMBOL LEGEND

SMOKE DETECTOR	PENDANT LIGHT ROUGH-IN
CO DETECTOR	EXTERIOR FRONT COACH
PHONE JACK	EXTERIOR REAR COACH
CABLE JACK	CEILING FAN ROUGH-IN
DISHWASHER HOOKUP	CEILING LIGHT - 1 BULB KEYLESS
MICROWAVE OUTLET	WIRING
EXHAUST FAN/LIGHT	SPOT LIGHT
CEILING 120V RECEPTACLE	GFI CEILING OUTLET
120 OUTLET	CAT 6
EXTERIOR 110V OUTLET W/ GROUND FAULT INDICATOR	
METER BASE	
POWER PANEL	
SCONCE - 2 BULB	
SCONCE - 3 BULB	
RECESSED LIGHT	
LED LIGHT	
LED STRIP LIGHT	



1 SECOND FLOOR ELECTRICAL PLAN
1/8" = 1'-0"



1 STANDARD TUB DETAIL
3/8" = 1'-0"

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THE YAVALAR, E. RESIDENCE

BATH DETAIL
CITY OF RICHMOND, VA

DRAWN BY:

KQZ

REV. DATE

#	REV. DATE

S9

THE SCOTT PLAN: ELEVATION A	SCALE: 3/8" = 1'-0"	JOB NUMBER: 10001245
	DATE: 05.20.2024	DRAWN BY: permits@mitchellhomesinc.com



**City of Richmond
Department of Planning
& Development Review**

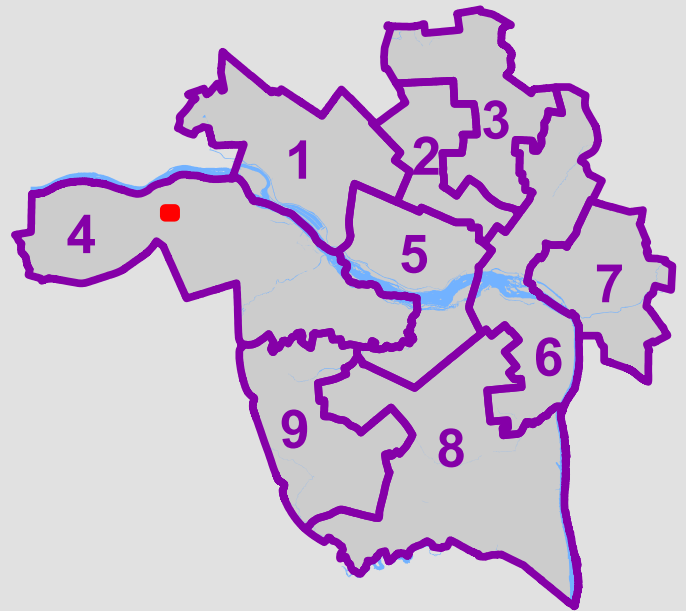
Special Use Permit

LOCATION: 4000 North Huguenot Road

APPLICANT: Emre Yavalar

COUNCIL DISTRICT: 4

PROPOSAL: To authorize the special use of the property known as 4000 North Huguenot Road for the purpose of a single-family detached dwellings, upon certain terms and conditions.



*For questions, please contact Alyson Oliver
at 804-646-5789 or alyson.oliver@rva.gov*

