

**1. COA-054468-2019**

PUBLIC HEARING DATE

May 28, 2019

PROPERTY ADDRESS

2308 East Marshall Street

DISTRICT

Church Hill North

APPLICANT

W. Cromer



# Commission of Architectural Review

## STAFF REPORT

STAFF CONTACT

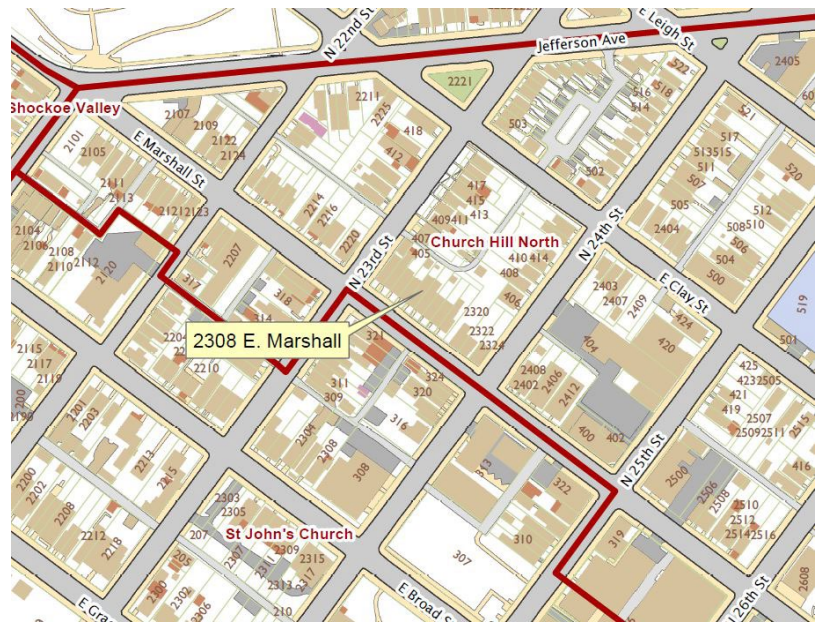
C. Jeffries

**PROJECT DESCRIPTION**

**Replace front door and convert a rear second-story window into a door.**

**PROJECT DETAILS**

- The existing building is a 2-story Queen Anne brick attached residence built ca. 1895 in the Church Hill North City Old and Historic District.
- The applicant is proposing to replace the existing front door with a more historically appropriate door.
- In the rear of the home the applicant is proposing to convert a second-story door into a window. A back stairway will be removed.
- The applicant also proposes to paint the trim and construct a rear patio that will not be visible from the public right of way.



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**STAFF RECOMMENDATION**

**APPROVE WITH CONDITIONS**

**PREVIOUS REVIEWS**

None.

**STAFF RECOMMENDED CONDITIONS**

- Details regarding the treatment of the existing side lights be submitted to staff for administrative review and approval.
- The new window fit between the existing jambs without the need to modify the width of the existing opening and be wood or aluminum clad wood with true or simulated divided lights, window specifications to be submitted to staff for administrative review.

**STAFF ANALYSIS**

Standards for Rehabilitation #10, pg. 59

*While it is acceptable to use salvaged materials as in-kind replacement, adding features or salvaged architectural elements that suggest an inaccurate or undocumented sequence of construction should be avoided.*

The applicant is proposing to install a salvaged front door dating from the home's period of construction. The existing door is a modern alteration with a contemporary storm door, which will be removed. The proposed door is similar in design and style to other doors on this row of attached homes. In addition, staff was

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unable to locate photographic documentation of the historic front door. Staff recommends approval of the proposed door replacement, with the condition that details regarding the treatment of the existing side lights be submitted to staff for administrative review and approval.

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Windows #8,  
pg. 69

*Changes to existing windows or the addition of new windows along a secondary elevation will be considered by the Commission on a case-by-case basis.*

The applicant is proposing to convert a rear second-story door to a window. Sanborn maps do not show a porch or stairway at the rear of the structure; however, they do indicate that the single-family residence was converted to a duplex between 1925 and 1950. At this time a second egress could have been added to the second story. The opening also shows evidence of being altered as the arched lintel aligns with other windows on the second story. As the applicant is proposing to remove a likely later alteration and reconstruct the historic configuration, staff recommends approval of the installation of a window in the opening.

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Windows #10,  
pg. 69

*The architectural appearance of original windows should be used as a model for new windows. Changes in the sash, depth of reveal, muntin configuration, frame or glazing is strongly discouraged.*

The applicant is proposing to insert a 6/6 wood window into the existing opening and infill the remainder with brick. The first story rear window is 6/6. Staff recommends the new window fit between the existing jambs without the need to modify the width of the existing opening and be wood or aluminum clad wood with true or simulated divided lights, window specifications to be submitted to staff for administrative review.

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Standards for  
Demolition #2,  
pg. 82

*A building or structure is deemed not to be a contributing part of the historic character of an Old and Historic District.*

Physical and documentary evidence appear to indicate that the rear stair was added when the building was converted to a duplex. As the rear porch has not achieved significance and is not a contributing part of the historic character of the building, staff recommends approval of the demolition of the rear stair.

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It is the assessment of staff that, with the conditions above, the application is consistent with the Standards for Rehabilitation and New Construction outlined in Section 30-930.7 (b) and (c) of the City Code, as well as with the Richmond Old and Historic Districts Handbook and Design Review Guidelines, specifically the pages cited above, adopted by the Commission for review of Certificates of Appropriateness under the same section of the code.



FIGURES

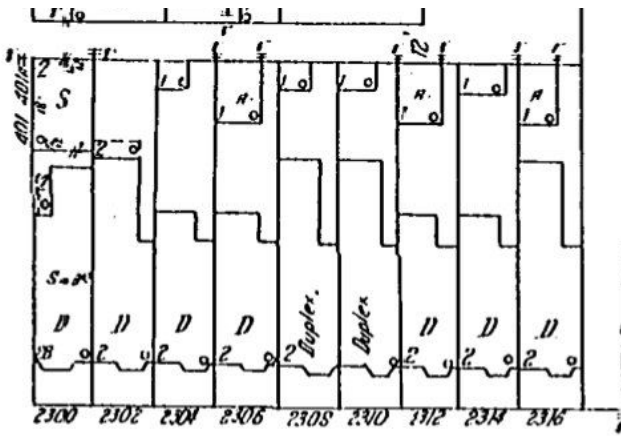


Figure 1. 1952 Sanborn Map

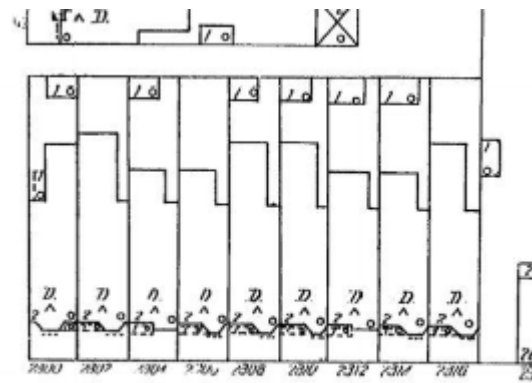


Figure 2. 1905 Sanborn Map