



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-6569
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: 2514 East Franklin St

Historic District: Churchill

Applicant Information Billing Contact

Owner Information Billing Contact

Name: Andrew Lyon & Erin O'Connell

Same as Applicant

Email: erinnrichmond@yahoo.com

Name: _____

Phone: 804.317.2792 / 804.441.1520

Email: _____

Company: n/a

Phone: _____

Mailing Address: 2514 East Franklin St
Richmond, 23223

Company: _____
Mailing Address: _____

Applicant Type: Owner Agent Lessee

Architect Contractor

Other (specify): _____

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):
8x12 wooden shed to be added to parking pad in alley

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

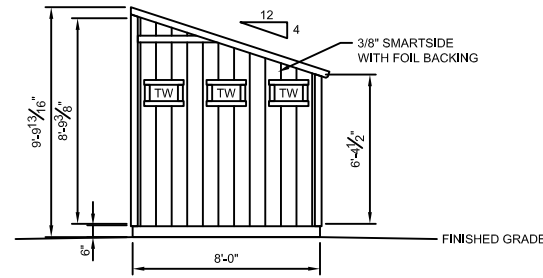
Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner [Signature] Date 9/23/2020

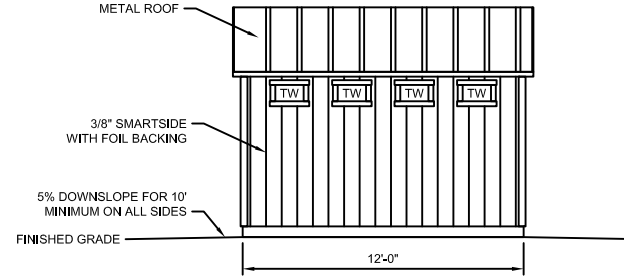
ACCESSORY BUILDING
8' X 12' = 96 SQ FT

DRAWING INDEX
S1 - PROJECT NOTES, ELEVATIONS

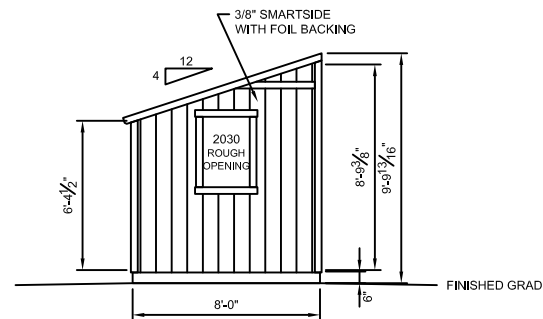
PROJECT NOTES



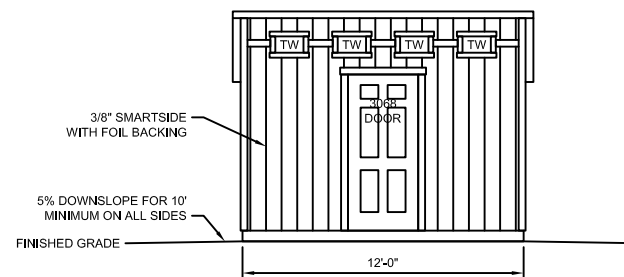
WALL A ELEVATION



WALL B ELEVATION



WALL C ELEVATION



WALL D ELEVATION

1. DESIGN REQUIREMENTS
GOVERNING CODES: 2018 IRC
OCCUPANCY GROUP: GROUP U
CONSTRUCTION TYPE: V-B
2. DESIGN SCHEDULE
A. BUILDING SIZE
WIDTH: 8'-0"
LENGTH: 12'-0"
SIDE WALL HEIGHT: 8'-9 3/8"
TOTAL HEIGHT: 9'-9 3/4"
B. BUILDING LOADS
ROOF LIVE LOAD: 30 PSF
ROOF DEAD LOAD: 10 PSF
C. DESIGN WIND
BASIC WIND SPEED, V: 115 MPH
WIND EXPOSURE: C
D. SEISMIC DESIGN CATEGORY: B
E. SITE CLASS: D
F. ROOF PITCH: 4/12
3. ROOFING SCHEDULE
A. ROOF SHEATHING SHALL BE APA RATED 7/16" THICK OSB WITH FOIL BACKING, 24/16 RATED MIN., UNBLOCKED DIAPHRAGM. STAGGER LAYOUT PER APA CONDITION 1.
B. SHEATHING NAILING SHALL BE PER NAILING SCHEDULE.
C. METAL ROOF.
D. GAF FELTBUSTER.
E. TYPE 'D' METAL DRIP EDGE FLASHING REQUIRED ALL SIDES.
F. (2) 2X8 RAFTERS SPACED @ 24" OC.
G. SEE SEPARATE TRUSS SHEETS FOR TRUSS FRAMING AND MATERIALS.
H. TRUSSES MUST BE BRACED ACCORDING TO THE LATEST EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION "GUIDE TO GOOD PRACTICE OF METAL PLATE CONNECTED WOOD TRUSSES" (BCSI)
I. TRUSS CONNECTION PLATES "EAGLE METAL PLATES".
J. THE TRUSS PLATE INSTITUTE (TPI) (NER QA 430) IS THE INSPECTION AGENCY RESPONSIBLE FOR IN-PLANT INSPECTIONS.
K. TRUSS MANUFACTURER: TUFF SHED, INC.
4. WOOD FRAMING
A. ALL HEADERS ARE SPF #2 (U.N.O.).
B. ALL WALL FRAMING MEMBERS SHALL BE SPF STUD GRADE OR BETTER.
C. STUDS SHALL BE SPACED @ 16" OC.
D. FASTEN EXTERIOR WALL SHEATHING TO FRAMING PER NAILING SCHEDULE.
E. PROVIDE SOLID BLOCKING AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.
F. SHEAR WALL MATERIAL AND NAILING SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE.
G. LAMINATED VENEER LUMBER (LVL) SHALL BE LVL 2.0E-2600 F_v WITH THE FOLLOWING MIN. DESIGN VALUES: F_b = 2600 PSI, F_v = 1555 PSI, F_t = 285 PSI, F_{cl} = 2510 PSI, F_{cl} = 750 PSI, E = 2.0 x 10⁶ PSI, SG = 0.50
5. SOIL
A. MIN. REQUIRED SOIL TYPE SHALL BE CLAY, SANDY CLAY, SILTY CLAY, OR CLAYEY SILT (CL, ML, MH & CH). PRESCRIPTIVE ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN IS 1500 PSF AT 12" DEEP. VALUES ARE PER TABLE R401.4.1.
B. ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL.
C. IN THE EVENT OF THE DISCOVERY OF EXPANSIVE SOILS OR UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER MAY BE REQUIRED.
6. PERMIT
A. PERMIT APPLICATIONS, WHERE NO PERMIT IS ISSUED, SHALL EXPIRE PER LIMITATIONS SET BY LOCAL CODES, SECTION R105.
B. JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE
7. GENERAL NOTES
A. INSTALLATION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, TREES, UTILITIES, ETC.
B. BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.
C. ALL WOOD CONSTRUCTION CONNECTORS REFERENCED IN THIS DRAWING SHALL BE SIMPSON 'STRONG-TIE' OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
D. GREEN VINYL SINKER NAILS DO NOT MEET THE NAILING REQUIREMENTS OF COMMON NAILS.
8. MATERIAL EVALUATION REPORT IDENTIFICATION
A. TRUSS CONNECTION PLATES BY EAGLE METAL PLATES PER ICC-ES REPORT #ESR-1082.
B. SMARTSIDE SIDING BY LP CORPORATION PER ICC-ES REPORT #ESR-1301.
C. HARDIE PANEL SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-1844.
D. HARDIE PLANK LAP SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-2230.
E. LAMINATED VENEER LUMBER (LVL) BY WEYERHAEUSER PER ICC-ES REPORT #ESR-1387.
F. ASPHALT SHINGLES BY GAF PER ICC-ES REPORT #ESR-1475.
G. HDU PRE-DEFLECTED HOLD-DOWNS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2330.
H. SSTB ANCHOR BOLTS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2611.

PRELIMINARY - NOT FOR CONSTRUCTION

STRUCTURAL DRAWINGS BY:
TUFF SHED
IN HOUSE DRAFTING DEPARTMENT
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-TUFF

SO #: 1876481 EP #: 13311
Customer: ERIN OTOOLE-LYON
Description:
ACCESSORY BUILDING
8' X 12' = 96 SQ FT
Site Address:
2514 E. FRANKLIN ST.
RICHMOND, VA 23223

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC.

TUFF SHED
Storage Buildings & Garages
TUFF SHED, INC.
2414 ANNESTON ST
RICHMOND, VA 23223
804-823-7606

Drawn By: PK
Date: 9/26/22
Checked By:
Date:
Revised:
Title:

PROJECT NOTES
ELEVATIONS
Scale: 1/4" = 1'-0"
Sheet: