



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2901 M. Street, Richmond, VA
 Historic district CHURCH HILL NORTH 23223

RECEIVED
 AD
 JAN 25 2019
 Date/time rec'd: _____
 Rec'd by: _____
 Application #: _____
 Hearing date: BY: 2-26-19

APPLICANT INFORMATION

Name Cantrell Harris
 Company Opulent Pacific, LLC
 Mailing Address 9853 Aura Ave,
Northridge, CA 91324

COA-648387 - 2019
 Phone 323-898-6686
 Email harriscantrell@yahoo.com
 Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): Prospective Buyer

OWNER INFORMATION (if different from above)

Name Carolyn Harris
 Mailing Address 6337 Bliley Rd.
Richmond, VA 23225

Company _____
 Phone 804-337-3438
 Email _____

PROJECT INFORMATION

- Review Type: Conceptual Review Final Review
 Project Type: Alteration Demolition New Construction
 (Conceptual Review Required)

Project Description: (attach additional sheets if needed)

PROPOSED MULTIFAMILY (NEW CONSTRUCTION)
TWO OPTIONS ARE PROPOSED, THREE NEW UNITS OR SIX
NEW UNITS. PLEASE SEE ATTACHED DRAWINGS FOR
ADDITIONAL INFORMATION.

ACKNOWLEDGEMENT OF RESPONSIBILITY

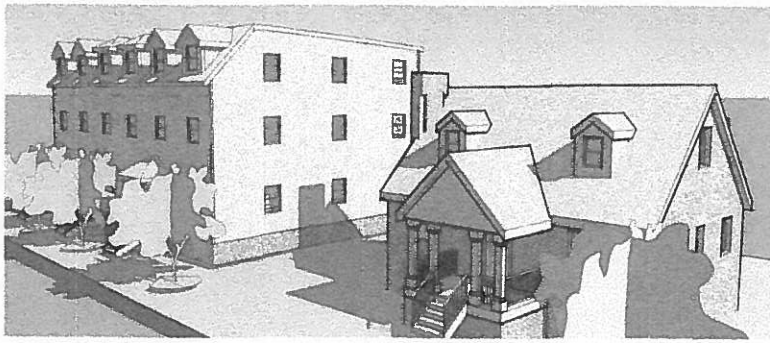
Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Cantrell Harris

Date 1/24/19



**COMMISSION OF ARCHITECTURAL REVIEW
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

**PROPOSED MULTIFAMILY
STRUCTURE(S)
2901 M STREET
RICHMOND VIRGINIA 23223**



STANDARDS FOR EVALUATING APPROPRIATENESS OF PROPOSED REHABILITATION WORK WITHIN OLD AND HISTORIC DISTRICTS

SUBMISSION MATERIALS CHECKLIST. THE FOLLOWING CHECKLIST IS DESIGNED TO HELP YOU SUBMIT A COMPLETE APPLICATION, WHICH WILL HELP TO EXPEDITE THE REVIEW PROCESS. NOTE: THIS IS A GENERAL LIST OF INFORMATION THAT CAN OFTEN BE HELPFUL. THE LEVEL OF DETAIL WILL VARY ACCORDING TO THE SIZE AND SCOPE OF THE PROJECT
DETAILED DESCRIPTION OF PROPOSED WORK.

PLEASE NOTE: OUR PROPOSED DESIGNS HAVE BEEN CREATED TO BE COMPATIBLE WITH THE SURROUNDING STRUCTURES BUT WE ARE NOT TRYING TO REPLICATE SPECIFIC DETAILS FROM THE PAST.

SITE PLAN OR PLAT SHOWING EXISTING BUILDING(S) AND LOCATION OF APPLICABLE FENCES AND WALLS, ADDITIONS, NEW CONSTRUCTION (INCLUDING GARAGES) AND ANY PLANNED DEMOLITION. PHOTOGRAPHS ARE ALSO HELPFUL.

- WE HAVE INCLUDED AN EXISTING PLAT
- WE HAVE INCLUDED TWO PROPOSED SITE PLANS SHOWING DESIGN OPTIONS
- WE HAVE INCLUDED PHOTOGRAPHS OF THE SITE AND SURROUNDING STRUCTURES
- WE HAVE INDICATED THAT ONE OF OUR SCHEMES WILL REQUIRE DEMOLITION OF AN EXISTING STRUCTURE

MATERIALS LIST INCLUDING ALL NEW AND REPLACEMENT MATERIALS. THIS INCLUDES ROOFING, SIDING, DOOR AND WINDOW SIZES AND SPECIFICATIONS, AND EXTERIOR FIXTURES SUCH AS LIGHTING AND SIGNS. CUT SHEETS AND SAMPLES, WHEN AVAILABLE, ARE HELPFUL.

- PROPOSED ROOFING AND RELATED MATERIALS INCLUDE ASPHALT ROOFING SHINGLES AND EPDM ROOFING MEMBRANE, PRE-FINISHED ALUMINUM COPING, PAINTED COMPOSITE FASCIA AND RAKE TRIM, AND "K" STYLE GUTTERS AND DOWNSPOUTS.
- PROPOSED PORCH MATERIALS TO INCLUDE PAINTED COMPOSITE COLUMNS, BEAMS, RAIL, BALLUSTERS, AND CEILINGS.
- EXTERIOR SIDING TO BE COMPOSITE SMOOTH FINISH HORIZONTAL SIDING WITH COMPOSITE CORNER BOARDS SIZED TO BE COMPATIBLE WITH THE SURROUNDING STRUCTURES.
- WINDOWS ARE TO BE DOUBLE HUNG CLAD WOOD WINDOWS, PAINTED COMPOSITE SMOOTH WINDOW AND DOOR TRIM PROPORTIONED TO BE COMPATIBLE WITH SURROUNDING STRUCTURES.
- GARAGE DOORS WILL BE ALUMINUM OVERHEAD SECTIONAL DOORS WITH FLUSH PANELS AND RECTANGULAR TRIM AND WILL NOT INCLUDE FORMED PANELS OR FENESTRATION.

EXTERIOR ELEVATION DRAWINGS (INCLUDING MEASUREMENTS) OR PHOTOGRAPHS SHOWING ROOF SLOPES, VERTICAL DIMENSIONS, EXTERIOR MATERIALS, WINDOW AND DOOR OPENINGS AND OTHER ARCHITECTURAL FEATURES.

- WE HAVE INCLUDED EXTERIOR ELEVATIONS FOR BOTH PROPOSED SCHEMES

OTHER DETAILS AS REQUIRED (OR REQUESTED) TO DESCRIBE THE PROJECT - E.G. PORCH COLUMN AND RAILING DETAILS; CORNICE, SOFFIT AND GUTTER DETAILS; DOOR AND WINDOW DETAILS, ETC.

- ALL OF THESE SPECIFIC DETAILS HAVE BEEN ACCURATELY MODELED IN REVIT AND ARE DEPICTED ON THE DRAWINGS

PHOTOGRAPHS AND ADDRESSES OF SURROUNDING PROPERTIES THAT HAVE ARCHITECTURAL DETAILS YOU WANT TO REFERENCE ARE VERY HELPFUL.

- THESE PHOTOS ARE BEING SUBMITTED SEPARATELY

COLORS: PLEASE INCLUDE PAINT COLOR CHIPS.

- PAINT CHIPS ARE BEING SUBMITTED SEPARATELY

FOR FENCES AND WALLS: PLEASE INCLUDE HEIGHT, DESIGN, MATERIALS AND LOCATION (ON SITE PLAN)

- NO FENCES ARE PROPOSED

CONSULT WITH STAFF AS NECESSARY

- A PRELIMINARY MEETING TO CONSULT WITH STAFF WAS CONDUCTED ON NOVEMBER 19TH AND A SUBSEQUENT PHONE REQUEST FOR ADDITIONAL INFORMATION ON APPROPRIATE DOORS AND TRIM WAS MADE ON DECEMBER 21ST BUT THERE HAS BEEN NO RESPONSE.

ADDITIONAL NOTES
A PROPERTY SHALL BE USED FOR ITS HISTORIC PURPOSE OR BE PLACED IN A NEW USE THAT REQUIRES MINIMAL CHANGE TO THE DEFINING CHARACTERISTICS OF THE BUILDING AND ITS SITE AND ENVIRONMENT.

THE HISTORIC CHARACTER OF A PROPERTY SHALL BE RETAINED AND PRESERVED. THE REMOVAL OF HISTORIC MATERIALS OR ALTERATION OF FEATURES AND SPACES THAT CHARACTERIZE A PROPERTY SHALL BE AVOIDED.

EACH PROPERTY SHALL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE AND USE. CHANGES THAT CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OR ARCHITECTURAL ELEMENTS FROM OTHER BUILDINGS, SHALL NOT BE UNDERTAKEN.

MOST PROPERTIES CHANGE OVER TIME; THOSE CHANGES THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT SHALL BE PRESERVED.

DISTINCTIVE FEATURES, FINISHES AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE A PROPERTY SHALL BE PRESERVED.

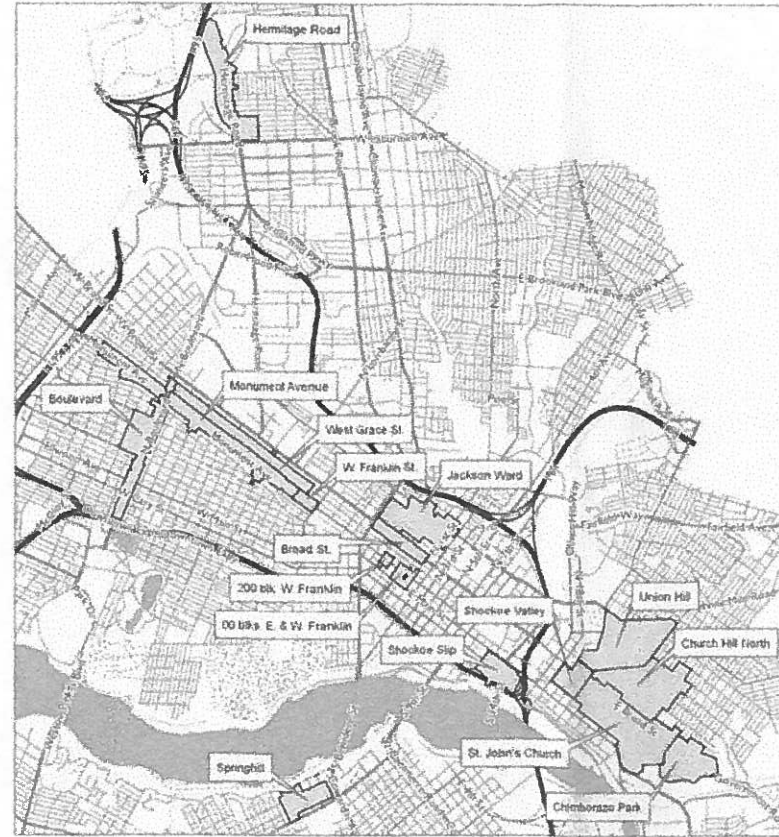
DETERIORATED HISTORIC FEATURES SHALL BE REPAIRED RATHER THAN REPLACED. WHEN THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OR A DISTINCTIVE FEATURE, THE NEW FEATURE SHALL MATCH THE OLD IN DESIGN, COLOR, TEXTURE AND OTHER VISUAL QUALITIES AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES SHALL BE SUBSTANTIATED BY DOCUMENTARY, PHYSICAL OR PICTORIAL EVIDENCE.

CHEMICAL OR PHYSICAL TREATMENTS, SUCH AS SANDBLASTING, THAT CAUSES DAMAGE TO HISTORIC MATERIALS SHALL NOT BE USED. THE SURFACE CLEANING OF STRUCTURES, IF APPROPRIATE, SHALL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE.

SIGNIFICANT ARCHAEOLOGICAL RESOURCES AFFECTED BY A PROJECT SHALL BE PROTECTED AND PRESERVED. IF SUCH RESOURCES MUST BE DISTURBED, MITIGATION MEASURES SHALL BE UNDERTAKEN.

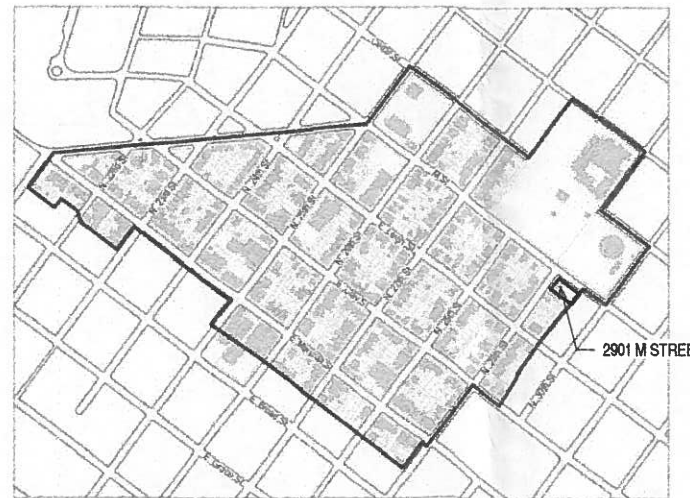
NEW ADDITIONS, EXTERIOR ALTERATIONS OR RELATED NEW CONSTRUCTION SHALL NOT DESTROY HISTORIC MATERIALS THAT CHARACTERIZE THE PROPERTY. THE NEW WORK SHALL BE DIFFERENTIATED FROM THE OLD AND SHALL BE COMPATIBLE WITH THE MASSING, SIZE, SCALE AND ARCHITECTURAL FEATURES TO PROTECT THE HISTORIC INTEGRITY OF THE PROPERTY AND ITS ENVIRONMENT.

NEW CONSTRUCTION SHALL BE UNDERTAKEN IN SUCH A MANNER THAT IF REMOVED IN THE FUTURE THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY AND ITS ENVIRONMENT WOULD BE UNIMPAIRED



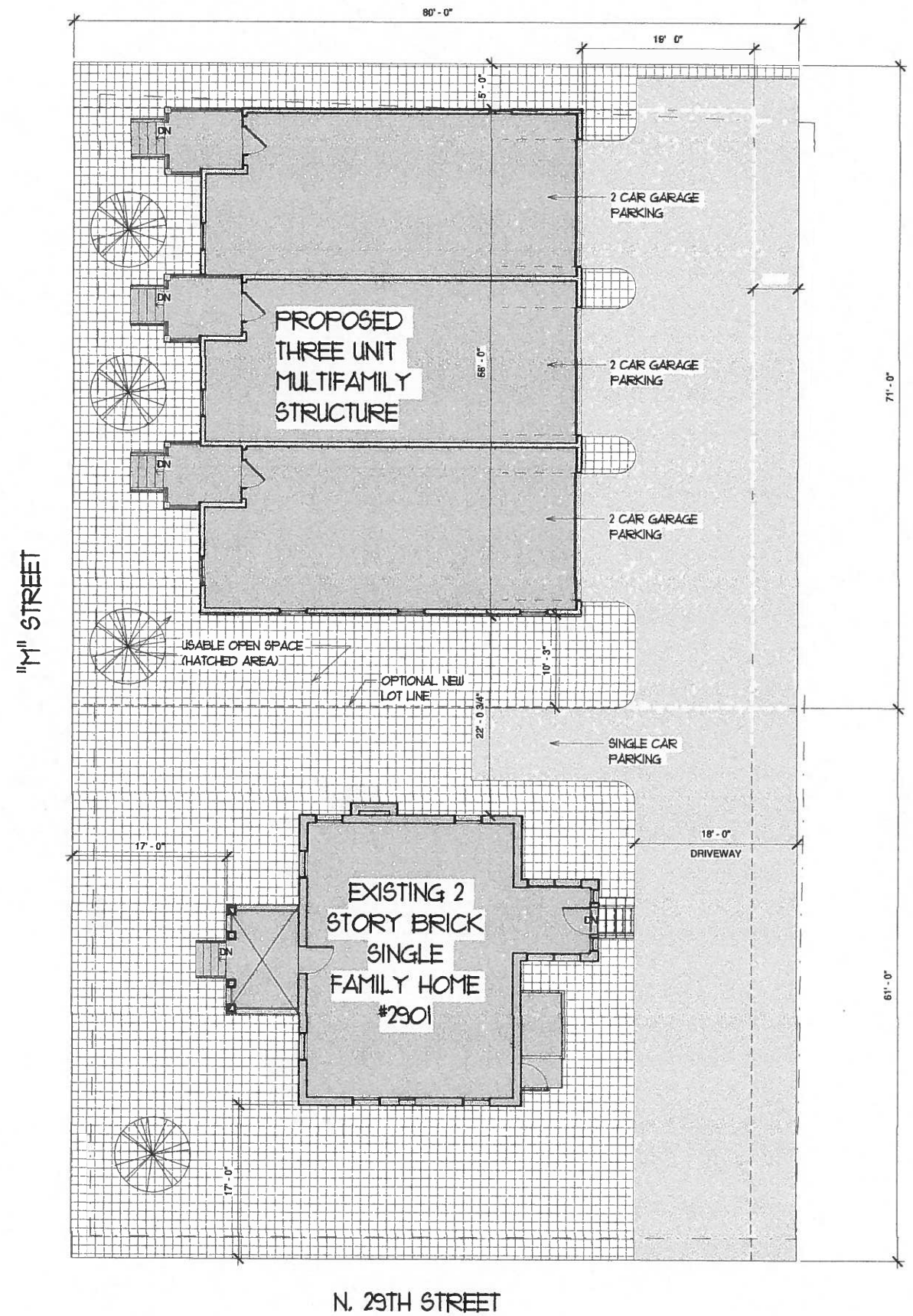
Church Hill North

Year of Designation	Year of Expansion	Total No of Properties	Total Acreage	District Boundaries
2007		587	88.2	Marshall to Cedar St. & Jefferson Ave. to N. 29th St.



- Distinctive Features of Church Hill North**
- Remarkably intact residential neighborhood.
 - Wide variety of architectural styles.
 - Substantial number of homes built for the working class during the nineteenth century.





ZONING ANALYSIS

PROPERTY IS LOCATED IN AN R-63 ZONE
PROPERTY IS LOCATED IN THE CHURCH HILL NORTH HISTORIC DISTRICT

MULTIFAMILY IS A PERMITTED PRINCIPAL USE

	REQUIRED	PROPOSED
MINIMUM LOT SIZE REQUIRED FOR:	4,000 SF	5,680 SF/4,880 SF
MAXIMUM LOT COVERAGE:	60%	34%
MINIMUM UNIT SIZE:	1,000 SF	1,600 SF
USABLE OPEN SPACE (PROPOSED):	30%	40%
PARKING (OFF STREET)	4	7

SETBACK REQUIREMENTS

FRONT YARD:	0 FT.	14 FT.
SIDE YARDS (MULTIFAMILY):	3 FT.	4 FT.
REAR YARDS (MULTIFAMILY)	15 FT.	24 FT.
MAXIMUM HEIGHT:	3 STORIES	3 STORIES

1 SITE PLAN
SCALE: 1/8" = 1'-0"

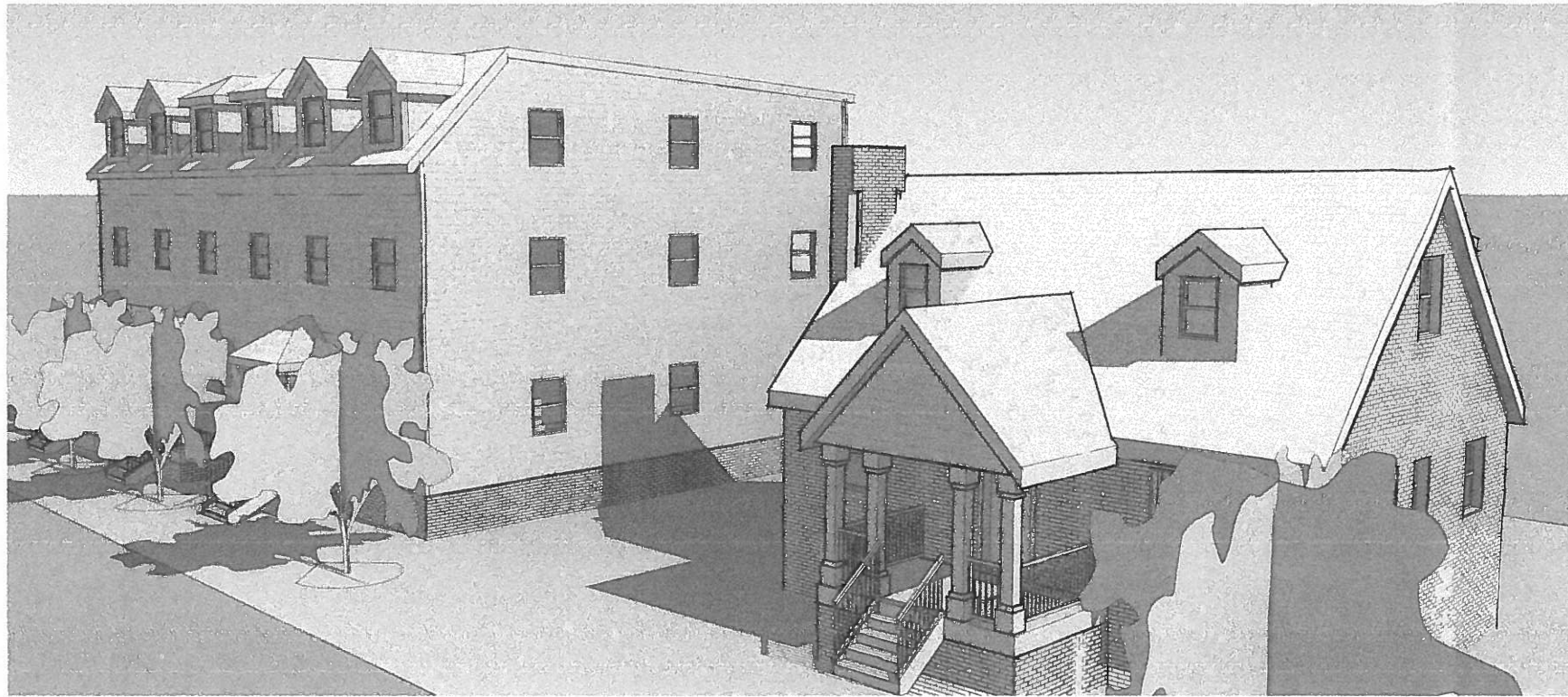
REVISION
DATE

PROJECT
MULTIFAMIL
2901 M STRE
RICHMOND,

OWNER:
CANTRELL F
2901 M STRI
VA 23223

DRAWING
SITE PLAN

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/DB
PROJECT NUM: N/A
Date: 23 JAN 2019



2 3D View, VERSION 1
SCALE:



1 3D View, VERSION 2
SCALE:

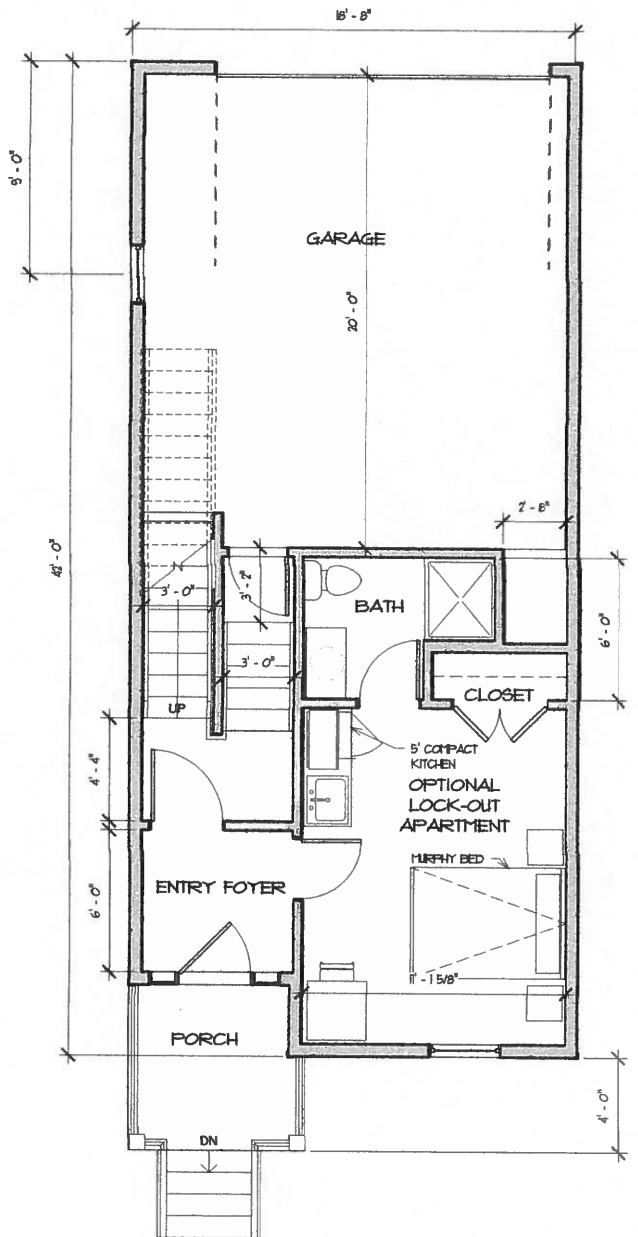
REVISION
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PROJECT
MULTIFAM
2901 M ST
RICHMOND

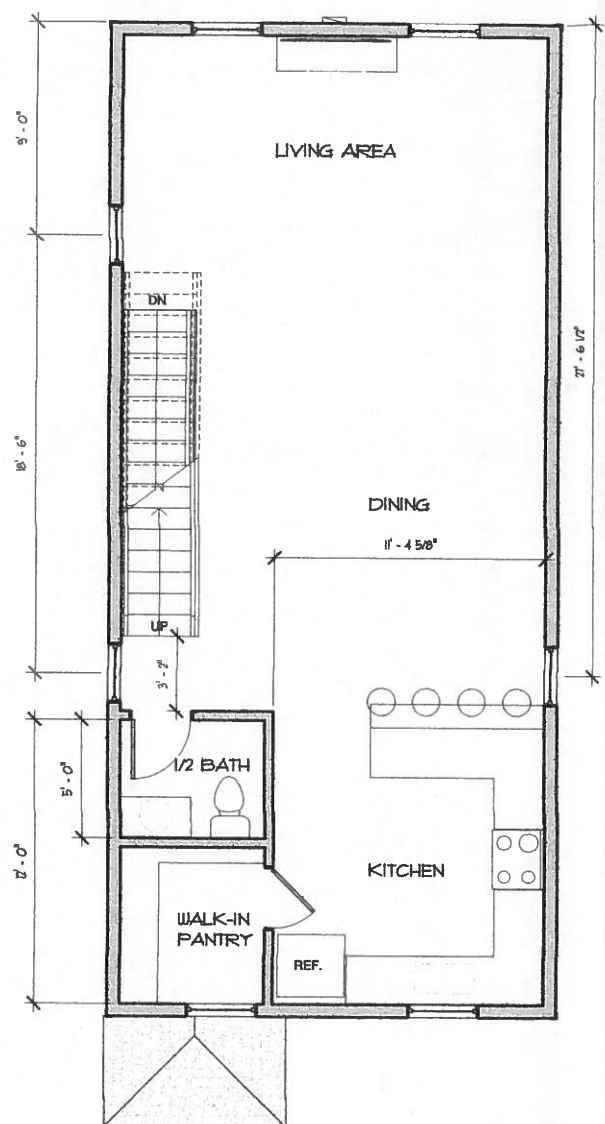
OWNER
CANTREL
2901 M ST
VA 23223

DRAWING
3D VIEWS

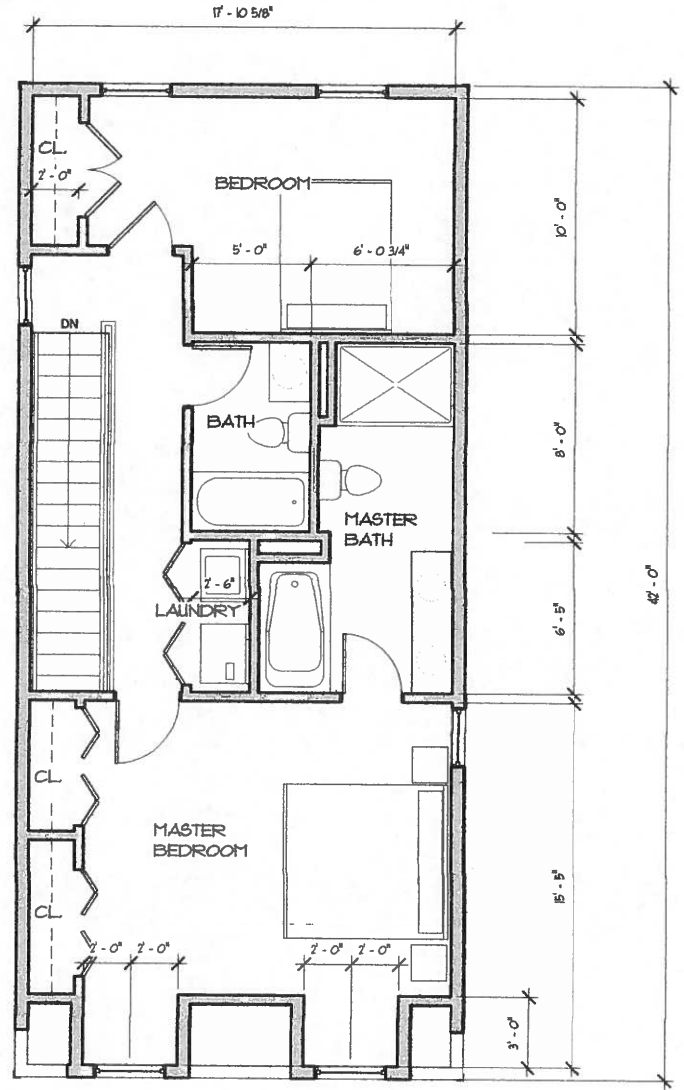
DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/C
PROJECT NUMBER:
Date: 23 JAN 2019



1
A108 **FIRST FLOOR**
SCALE: 1/4" = 1'-0"



2
A108 **SECOND FLOOR**
SCALE: 1/4" = 1'-0"



3
A108 **THIRD FLOOR**
SCALE: 1/4" = 1'-0"

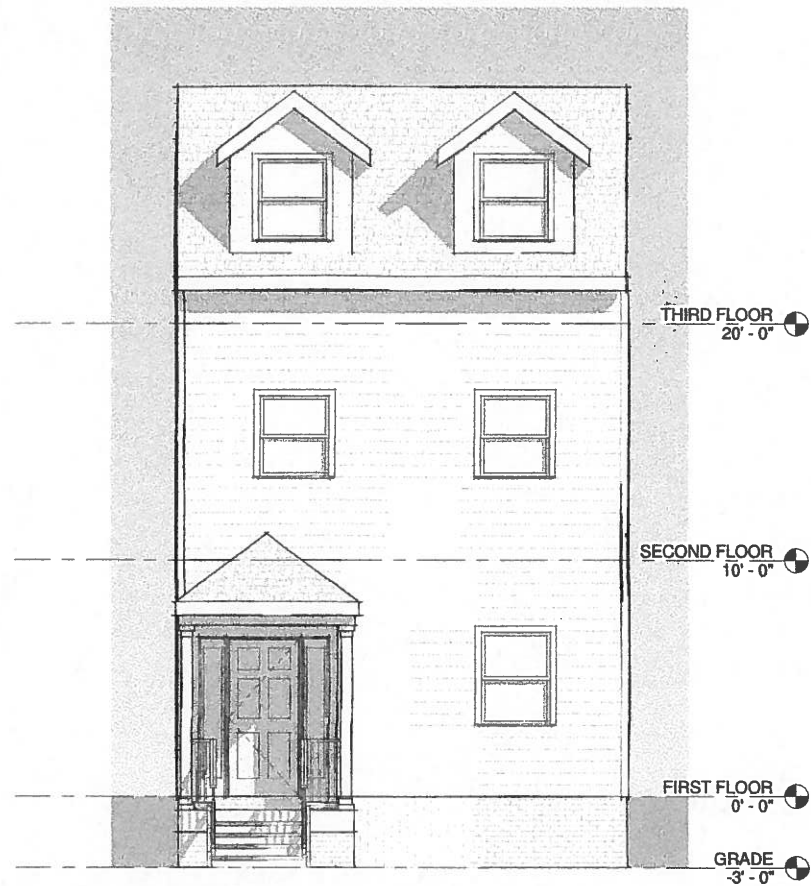
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Project Name

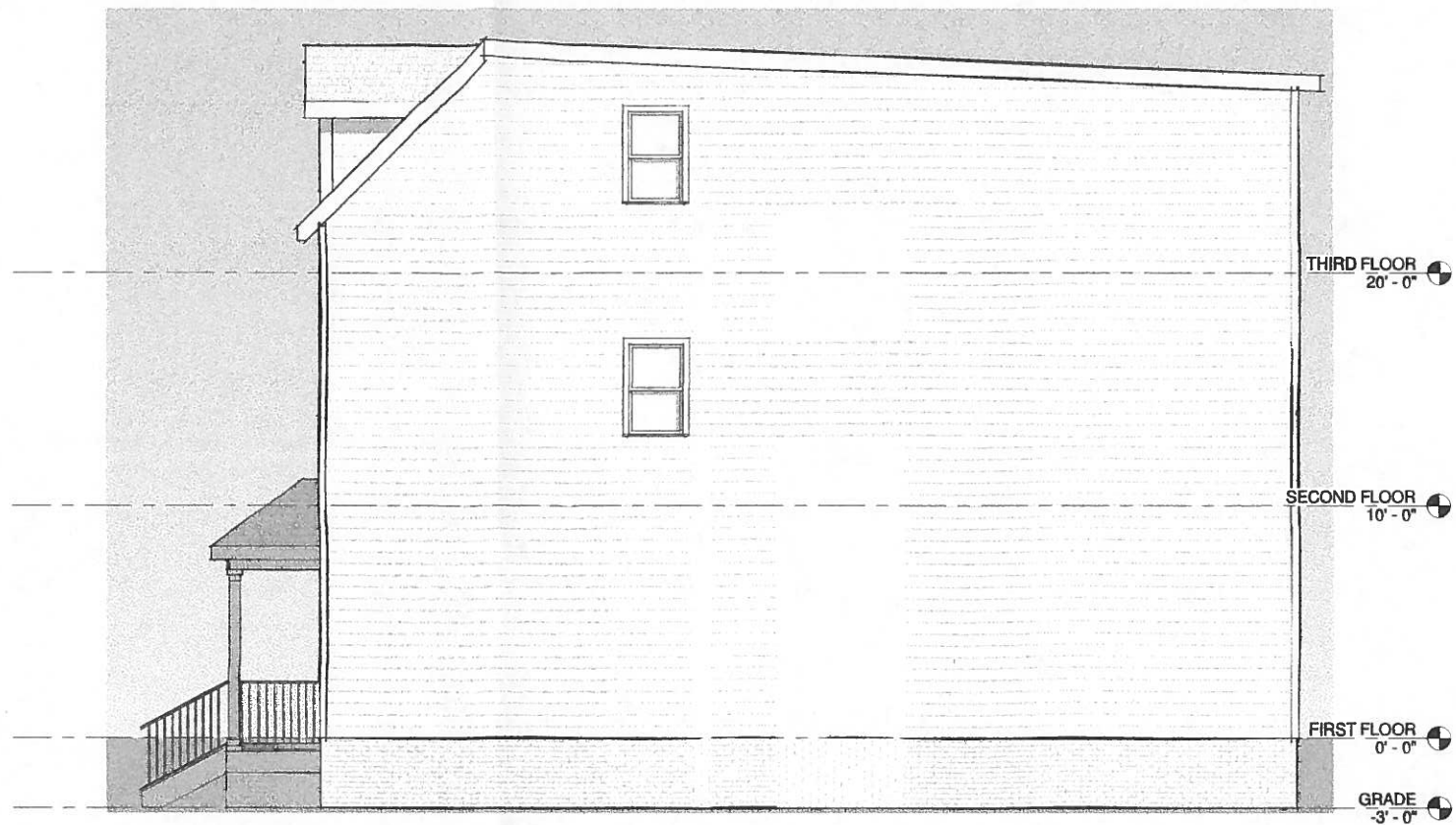
OWNER:
Owner

DRAWING
TYPICAL UNIT

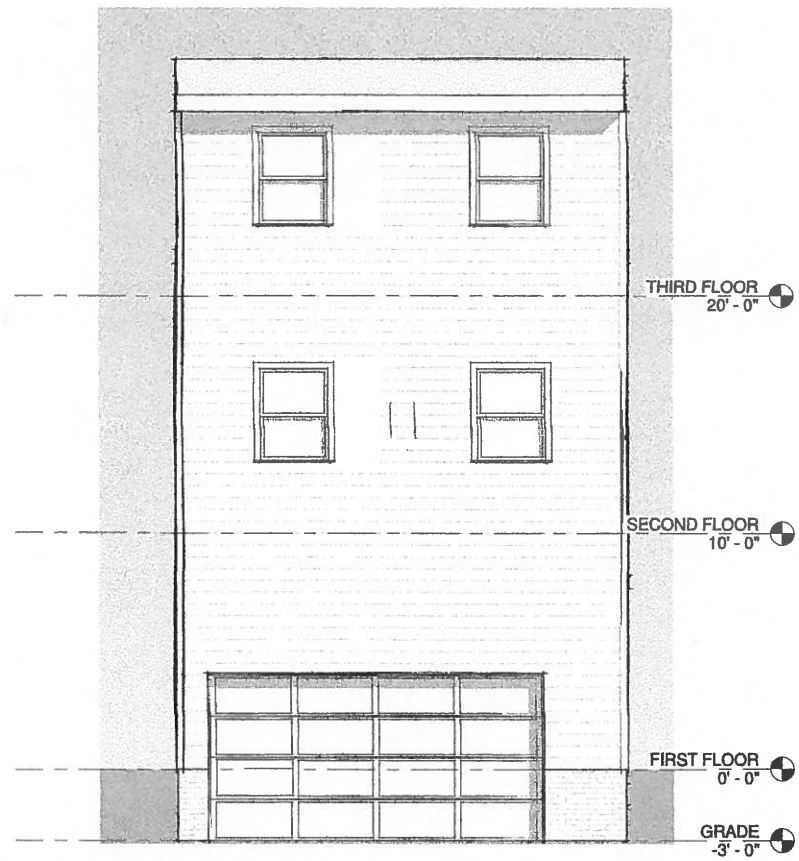
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CHECKED BY: PMZ
PROJECT NUM: Project Numb
Date: 23 JAN 2019



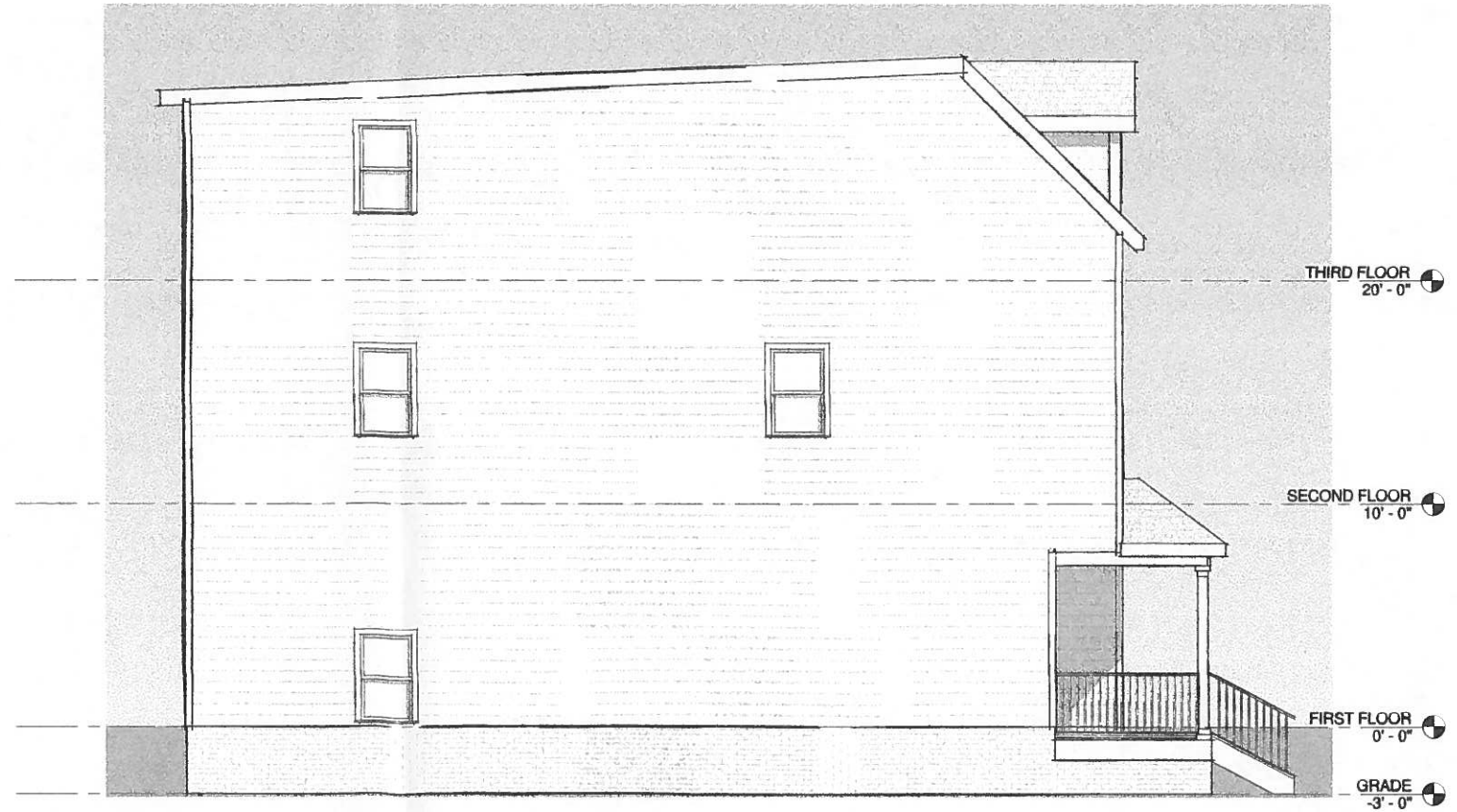
1
A109 **FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



2
A109 **RIGHT ELEVATION**
SCALE: 1/4" = 1'-0"



3
A109 **REAR ELEVATION**
SCALE: 1/4" = 1'-0"



4
A109 **LEFT ELEVATION**
SCALE: 1/4" = 1'-0"

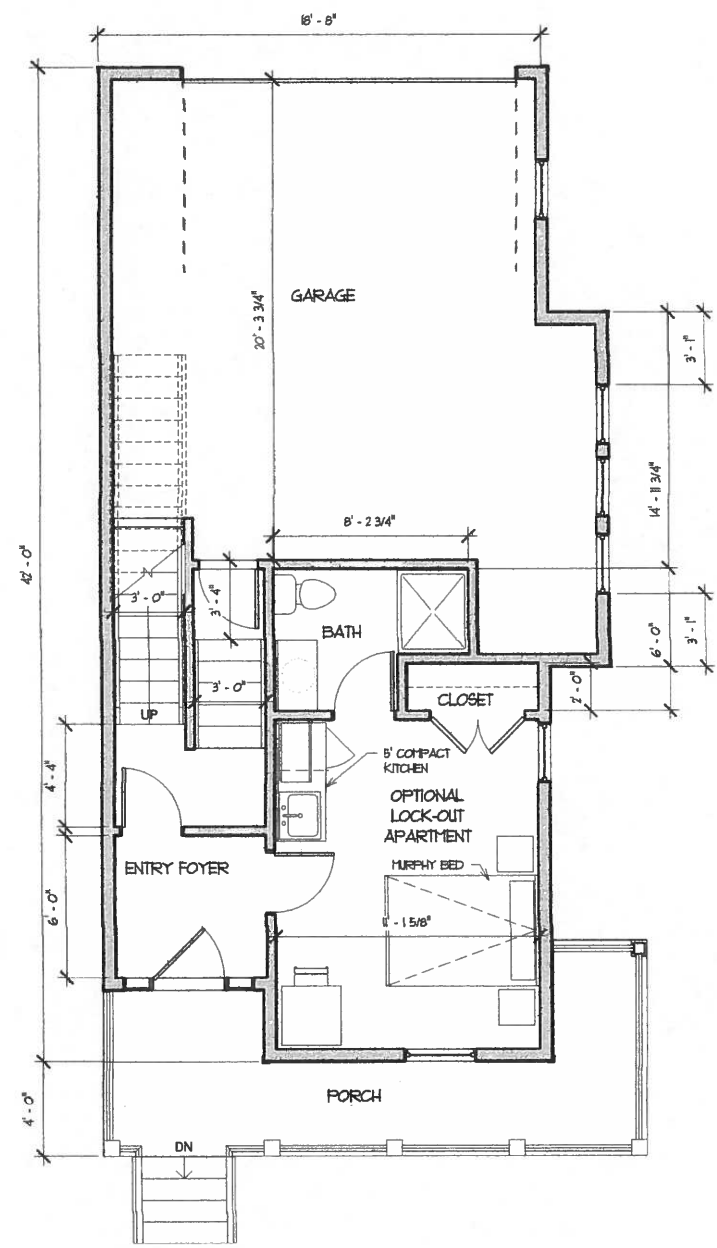
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Project Name

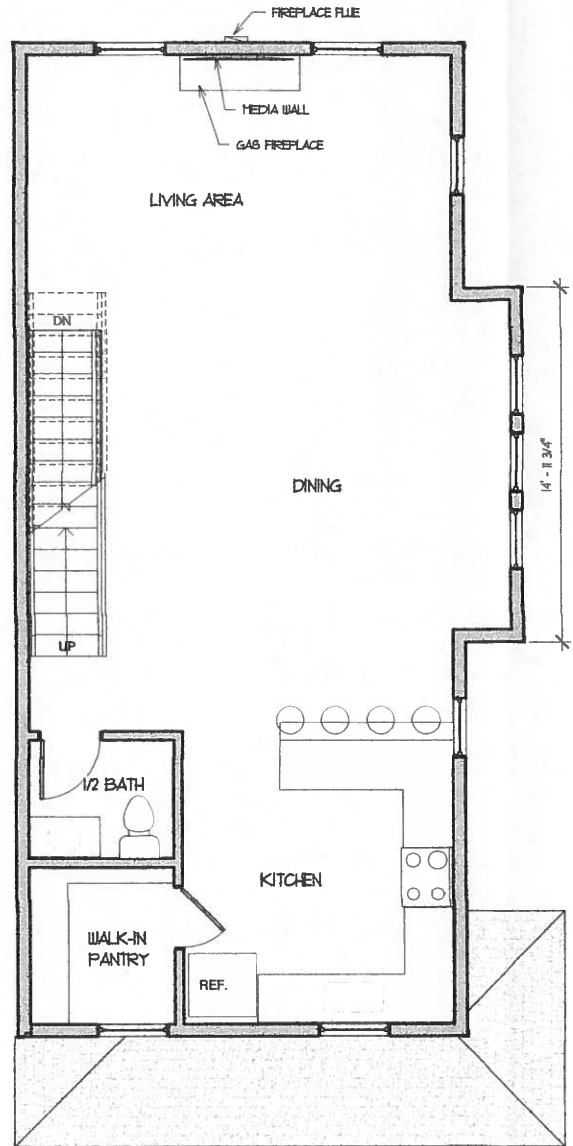
OWNER:
Owner

DRAWING
TYPICAL UNIT
ELEVATIONS

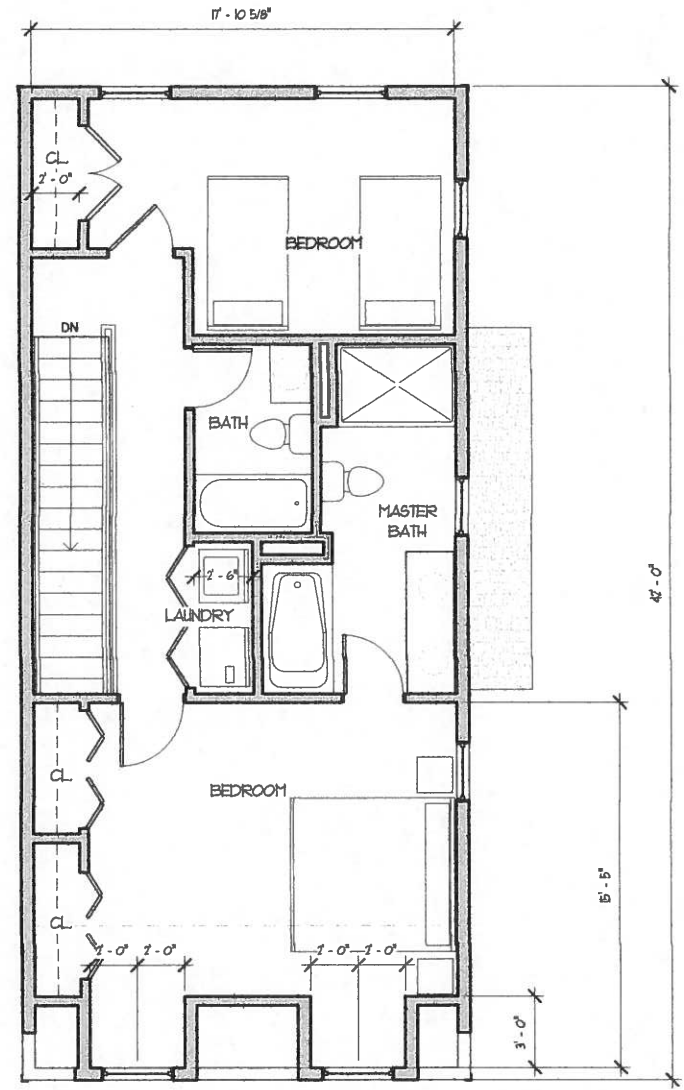
DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ
PROJECT NUM: Project Num
Date: 23 JAN 2018



1
A110
FIRST FLOOR
SCALE: 1/4" = 1'-0"



2
A110
SECOND FLOOR
SCALE: 1/4" = 1'-0"



3
A110
THIRD FLOOR
SCALE: 1/4" = 1'-0"

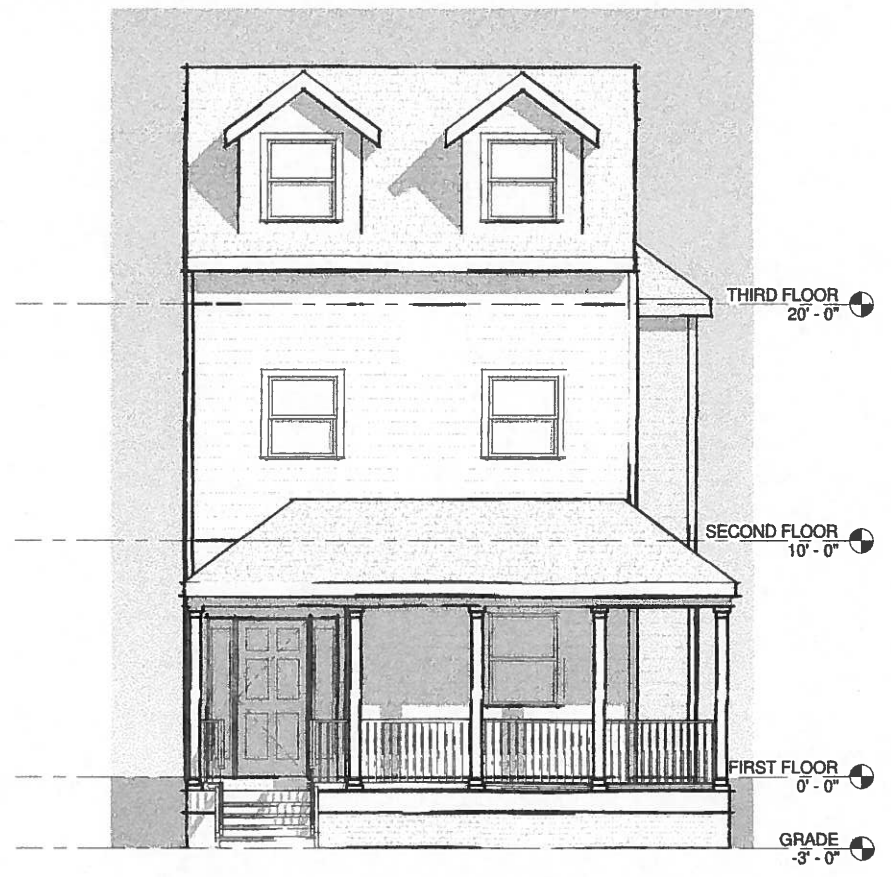
REVISION #	DATE

PROJECT
Multifamily Hc
2901 M Street
Richmond, VA

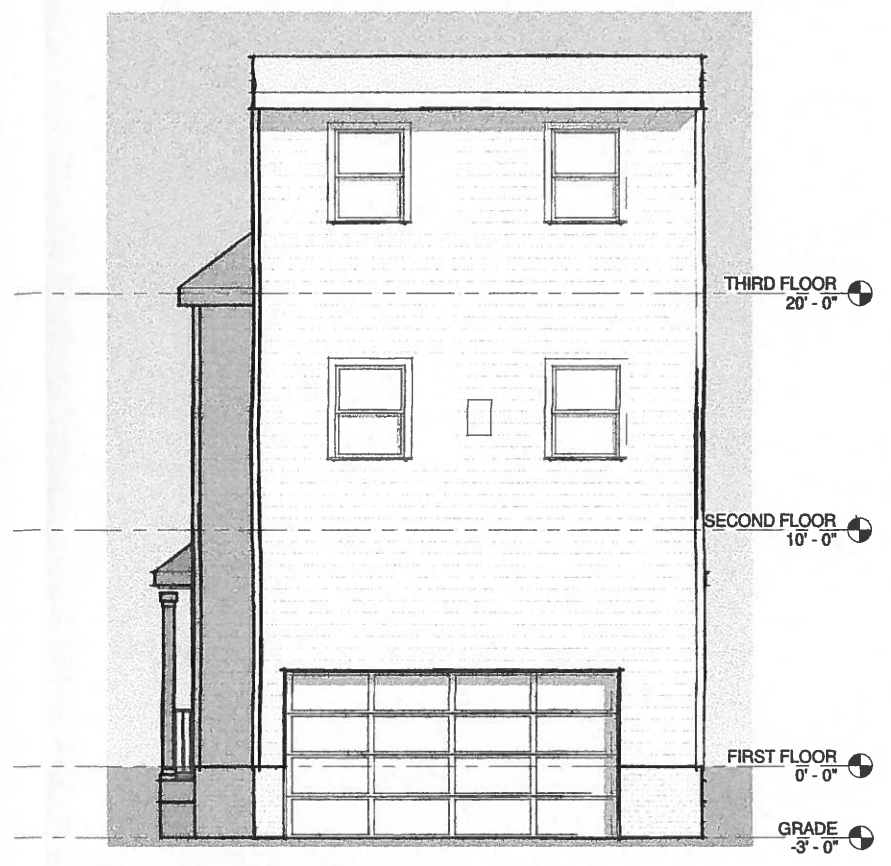
OWNER:
Cantrell Harri

DRAWING
END UNIT PL

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ
PROJECT NUM: Project Nur
Date: 23 JAN 2019



1
A111 **FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



2
A111 **REAR ELEVATION**
SCALE: 1/4" = 1'-0"



3
A111 **RIGHT ELEVATION**
SCALE: 1/4" = 1'-0"

REVISION #	DATE

PROJECT
Multifamily Hc
2901 M Street
Richmond, VA

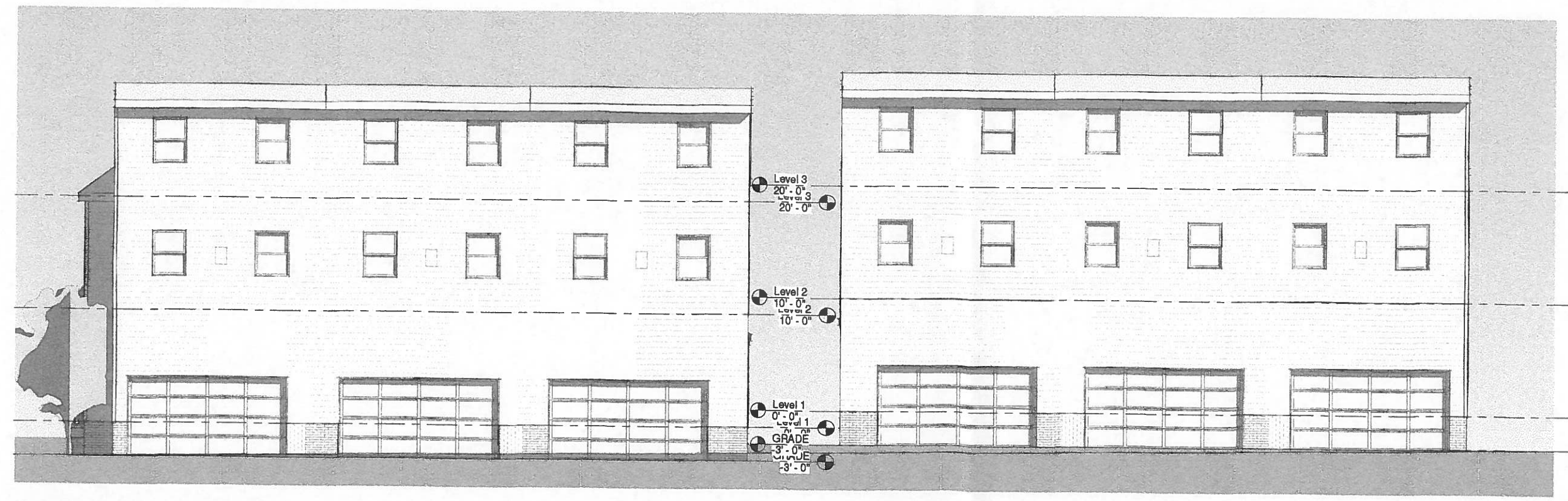
OWNER:
Cantrell Harri

DRAWING
END UNIT EL

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ
PROJECT NUM: Project Nur
Date: 23 JAN 2019



1 North Elevation, Version 2
SCALE: 3/16" = 1'-0"



2 South Elevation, Version 2
SCALE: 3/16" = 1'-0"

BUILDING COMPONENT.	PAINT COLOR	COMMENT
DOOR	SW2816- ROOKWOOD DARK GREEN	
TRIM/ RAILING/WINDOWS	SW0046 - WHITE HYACINTH	
PORCH DECKING	SW2805 - RENWICK BEIGE	
SIDING	SW2845 - BUNGLEHOUSE GREY	
PORCH CEILING	SW0059 - FROSTWORK	

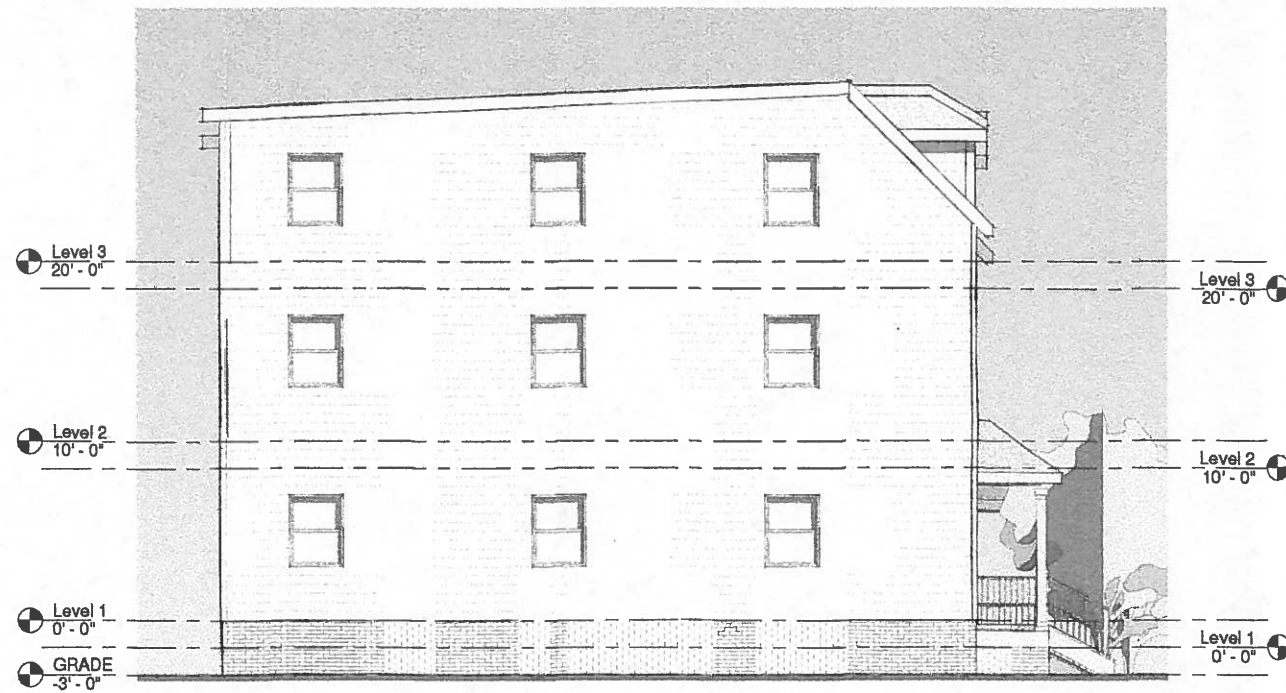
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PROJECT
MULTIFAM
2901 M ST
RICHMOND

OWNER
CANTRELL
2901 M ST
VA 23223

DRAWING
ELEVATION

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/DB
PROJECT NUMBER:
Date: 23 JAN 2018



1 East Elevation, Version 2
SCALE: 3/16" = 1'-0"



2 West Elevation, Version 2
SCALE: 3/16" = 1'-0"

REVISION
DATE

PROJECT
MULTIFAM
2901 M ST
RICHMOND

OWNER
CANTREL
2901 M ST
VA 23223

DRAWING
ELEVATION

DESIGNED BY: PMZ
DRAWN BY: DB
CHECKED BY: PMZ/D
PROJECT NUMBER: A

Date: 23 JAN 201

SW 0046
White Hyacinth

COLOR SELECTIONS
FOR
2901 M. STREET
RICHMOND, VA

SW 2805
Renwick Beige

TRIM PAINTS
AND
WINDOWS

SW 2845
Bunglehouse Gray

PORCH DECKING

SIDING

SW 2816
Rookwood Dark Green

SW 0059
Frostwork

DOORS

PORCH CEILING