



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

### 12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2405 E Clay St DATE: 6/26/15

OWNER'S NAME: Ridge Point Real Estate TEL NO.: 804-201-3624

AND ADDRESS: PO Box 5667 EMAIL: chris@ridgepointre.com

CITY, STATE AND ZIPCODE: Glen Allen VA 23058

ARCHITECT/CONTRACTOR'S NAME: Ridge Point Constructic TEL. NO.: 804-201-3624

AND ADDRESS: Same EMAIL: Chris@ridgepointre.com

CITY, STATE AND ZIPCODE: \_\_\_\_\_

Would you like to receive your staff report via email? Yes  No

### REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS


I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

### DETAILED DESCRIPTION OF PROPOSED WORK (Required):

#### STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

**PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Ridge Point is proposing a new detached single family structure to be build on the existing lot. The attached info sheet details the material and design of the proposed property. House will be built to offer modern features and amenities with the historical charm of the existing Church Hill neighborhood. Including Richmond railing, dental molding, cornice, tounge & groove decking boards, and grand manor style shingles on the front facing roof.

Signature of Owner or Authorized Agent: X   
Name of Owner or Authorized Agent (please print legibly): Chris Jefferson

(Space below for staff use only) \_\_\_\_\_

Received by Commission Secretary \_\_\_\_\_ APPLICATION NO. \_\_\_\_\_  
DATE \_\_\_\_\_ SCHEDULED FOR \_\_\_\_\_

CAR Application for Review  
Supporting Materials for:

2405 E Clay ST



Ridge Point Real Estate  
3900 Pale Moon PI  
Glen Allen VA 23059  
804-201-3624





Ridge Point Real Estate

804-201-3624

3900 Pale Moon PI  
Glen Allen VA 23059

## 2405 E Clay ST

It is proposed that a new single family dwelling will be constructed on the lot located at 2405 E Clay st. The proposed property will be in line with the historical integrity and charm of neighboring properties. The siding on the property will be cement board siding with builder asking for a color to later be approved by staff. The front of the property will have a "mansard style" roof projection in line with the design and character of the neighboring properties completed with Grand Manor style shingles. The roof on the main house will be constructed of rubber membrane. Front porch rails will be made of wood in the "richmond rails" style design ( Painted white) with tongue and groove decking boards. The foundation as well as front porch piers will be of brick veneer. Windows will be MW PVC clad windows. The front porch columns will be fiberglass material and painted white. Corbels on the cornice will be Fyphon. The entry door will hold a transom over the front door. All colors selected will be board approved exterior colors that we are asking to have later approved by staff. The property will align with the adjacent property in regards to setbacks. Following construction the front of the house will be well kept with seasonal bushes/flowers. The intention of the project is to provide an affordable home option with modern amenities, while maintaining the historical elements that compliment the Church Hill neighborhood. Thank you for your consideration.

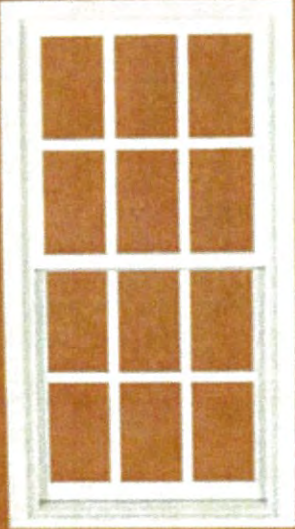
Chris Jefferson

Ridge Point Real Estate

Managing Member

Windows Detail:

Window is the MW Jefferson 300 Series PVC double hung window. Window grid patterns are visible on plans and will be in 2 over 2 pattern. ki



MW JEFFERSON®  
**300 DOUBLE HUNG**

CARRYING ON THE TRADITION

*Historically accurate, the Jefferson 300 Double Hung Wood Window provides a look that harkens back 100 years. But make no mistake, this window has features planted firmly in the 21st century. Like a low-maintenance cellular PVC exterior, fully welded all-vinyl sash that tilt-in, energy-efficient glass and multiple exterior casing options. At MW, we're also carrying on our long tradition of service to the builder, with on-time delivery, on-site field support and a commitment to make sure your windows keep you on schedule.*

Columns:

## Siding Details:

Proposed project will have Hardi Plank cement board siding with a 7" reveal. Applicant is asking that final color selection be of a color to later be approved by staff. Window, door, trim, and soffit wrap will be Hardi white.



**SMOOTH**  
Countrylane Red

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlex Pcs./Palet	324	280	252	210
Prime Pcs./Palet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3

Available Colors



● Plank, Panel, Batten and Shingle Colors

Trim and Soffit Colors

### Color Selection

Explore our color palettes and differentiate your homes with stunning curb appeal. These distinctive tones are drawn from natural environments, complementing your design with the look of America's idyllic neighborhoods.

ARCTIC WHITE

NAVAJO BEIGE

COBBLE STONE

SOFT GREEN

LIGHT MIST

SOUTHBAY BLUE

SAIL CLOTH

SANDSTONE BEIGE

MONTEREY TAUPE

HEATHERED MOSS

EVENING BLUE

TUSCAN GOLD

WOODLAND CREAM

AUTUMN TAN

WOODSTOCK BROWN

MOUNTAIN SAGE

IRON GRAY

CRESTNUT BROWN

HAIRS CREAM

KNAK BROWN

TIMBER BATH

PILGRIME PINK

COUNTRYLANE RED

Selecting a color? Request a product sample at [jameshardie.com/samples](http://jameshardie.com/samples)



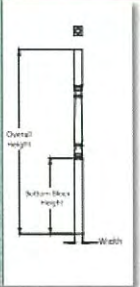
All columns will be white in color.

Specs:

**Colonial Porch Post Structural**

Part Number	Width	Overall Height	Bottom Block Height	Load Bearing Capacity	Balustrade System
PP5X102	4 3/4"	101 5/16"	41 7/16"	6,000#	5" System
PP6X96	5 1/2"	96"	44 7/16"	6,000#	5" System
PP6X108	5 1/2"	108"	44 1/2"	6,000#	5" System
PP6X120	5 1/2"	120"	44 1/2"	6,000#	5" System
PP8X96	7 1/2"	96"	44 7/16"	12,000#	7" System

**NOTE:** Installation kit included. Porch posts can be field trimmed to various heights without losing load rating.



Moldings and Brackets:



■ DIMENSIONS

Product Depth (in.)	14	Product Width (in.)	1
Product Height (in.)	14.688		

BKT14x15



**Fypon 1" x 3-1/16" x 12' 2-1/4" Polyurethane Dentil Moulding with 1-5/8" Teeth**

Model Number: MLD354-12



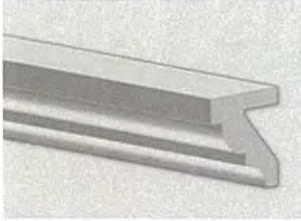
**Fypon 4" x 4" x 4" Polyurethane Dentil Block**

Model Number: DTLB4X4X4



**Fypon 5-3/4" x 6-9/16" x 12' Polyurethane Cornice Moulding**

Model Number: MLD511-12



**Fypon 4-1/8" x 4-3/8" x 16' Polyurethane Cornice Moulding**

Model Number: MLD513-16

Roofing:  
Mansard Roof-

**Black Pearl**



Grand Manor decorative shingles

Front Porch Roof:

TPO Membrane

Main roof-

Flat Roof



### Decking:

All decking will be tongue and groove decking boards.

### Gutters:

White aluminum gutters

### Downspouts:

Rectangular white aluminium

### Railing:

All Railing will be in the "Richmond Rail" style and painted white

### Front Entry Doors:

\*Please reference door selection here as this is final selection and isn't depicted on submitted plans.



### Rear Entry Door:

\*Please reference door selection here as this is final selection and isn't depicted on submitted plans.

The rear entry door will be



Street Elevation Photos:



House elevation:

27' - 2 1/2 "







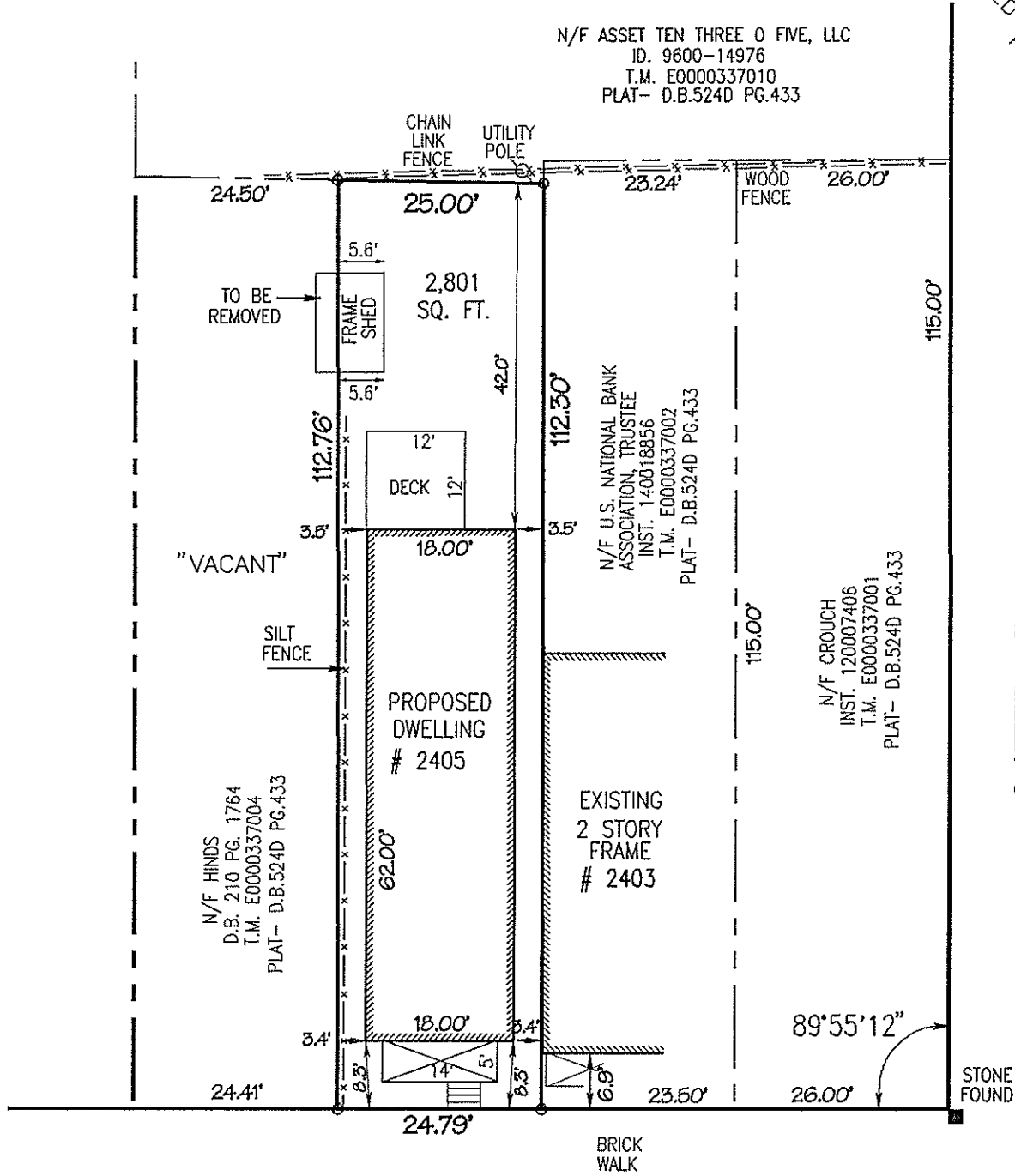






FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS, CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. CURRENT OWNER(S): N/F EDGAR B. FEARNOW & MICHEAL L. METZ T.M.E0000337003 D.B.706 PG.2061 PLAT-D.B.524D PG.433

DEED BK. 524-D  
PG. 433



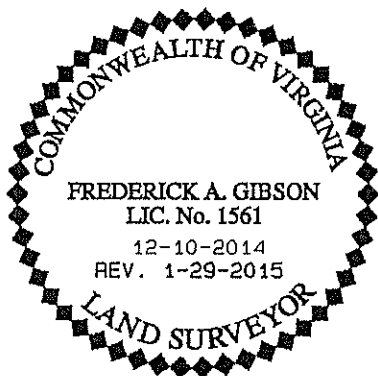
CURB

# EAST CLAY STREET

66' ±

(RESIDENTIAL SITE PLAN)  
**PLAT SHOWING PROPOSED IMPROVEMENTS ON  
 2405 EAST CLAY STREET  
 IN THE CITY OF RICHMOND, VIRGINIA**

SCALE: 1" = 20'



**FREDERICK A. GIBSON  
 & ASSOCIATES, P.C.**  
 LAND SURVEYORS

FILE # 1411-01 SP

11521-G MIDLOTHIAN TURNPIKE NORTH CHESTERFIELD, VIRGINIA 23235

PHONE 804 378-4485

2405 E. Clay Street

SP  
1.0 SITE PLAN  
SCALE: 1/16" = 1'-0"

# PROJECT DATA

## LIST OF DRAWINGS

- 1.0 SITE PLAN, CODE NOTES, LEGEND
- 2.0 FOUNDATION AND ROOF PLAN, DETAILS
- 3.0 FIRST AND SECOND FLOOR PLAN, SECTIONS
- 4.0 ELEVATIONS

## CODE NOTES

- 1.0 2009 VIRGINIA UNIFORM BUILDING CODE  
2009 IRC
- 2.0 BUILDING USE GROUP: RESIDENTIAL - R3 SINGLE FAMILY DETACHED
- 3.0 BUILDING AREA: FIRST FLOOR 1,178 SQ FT  
SECOND FLOOR 1,178 SQ FT  
TOTAL SQ FT 2,356 SQ FT

## DESIGN LOADS

SNOW	25P.S.F.
DEAD LOAD	10P.S.F.
SEISMIC	0.5P.S.F.
WIND	90P.S.F.
LIVE (EXCEPT BEDROOMS)	40P.S.F.
DEAD	10P.S.F.
LIVE (BEDROOMS)	30P.S.F.
GARAGE	50P.S.F.
STAIRS	40P.S.F.

## NOTE

THESE DRAWINGS ARE INTENDED TO PORTRAY THE WORK SHOWN. THEY DO NOT SHOW EVERY CONSTRUCTION DETAIL. THE GENERAL CONTRACTOR BY TAKING ON THIS PROJECT, IS RESPONSIBLE FOR ALL CONSTRUCTION. THE G.C. ACKNOWLEDGES THAT HE IS EXPERIENCED WITH CONSTRUCTION OF THIS TYPE AND IS FULLY CAPABLE OF IMPLEMENTING SUCH WORK SO AS TO IMPLEMENT IT'S CONSTRUCTION AND COMPLETION IN A TIMELY MANNER.

# SCHEDULES

## WINDOW SCHEDULE

WIN	SIZE	MATERIAL	GRILLE	MODEL
①	3/0X6/0	PVC CLAD	2/2	-
②	(2)3/0X6/0	PVC CLAD	2/2	-
③	1/0X4/0	PVC CLAD TRANSOM	-	-
④	3/0X3/2	PVC CLAD TRANSOM	2/2	-

ALL WINDOW HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

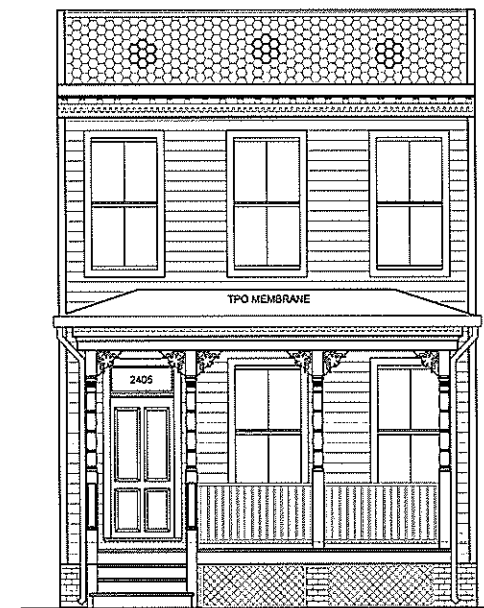
## DOOR SCHEDULE

DOOR	SIZE	TYPE
①	3/0X6/8	EXTERIOR WOOD - FULL SIDE LT W/ TRANSOM
②	2/6X6/8	INTERIOR 6 PANEL
③	2/0X6/8	INTERIOR 6 PANEL
④	(2) 2/6X6/8	INTERIOR 6 PANEL
⑤	(2) 2/6X6/8	EXTERIOR FRENCH - FULL LT

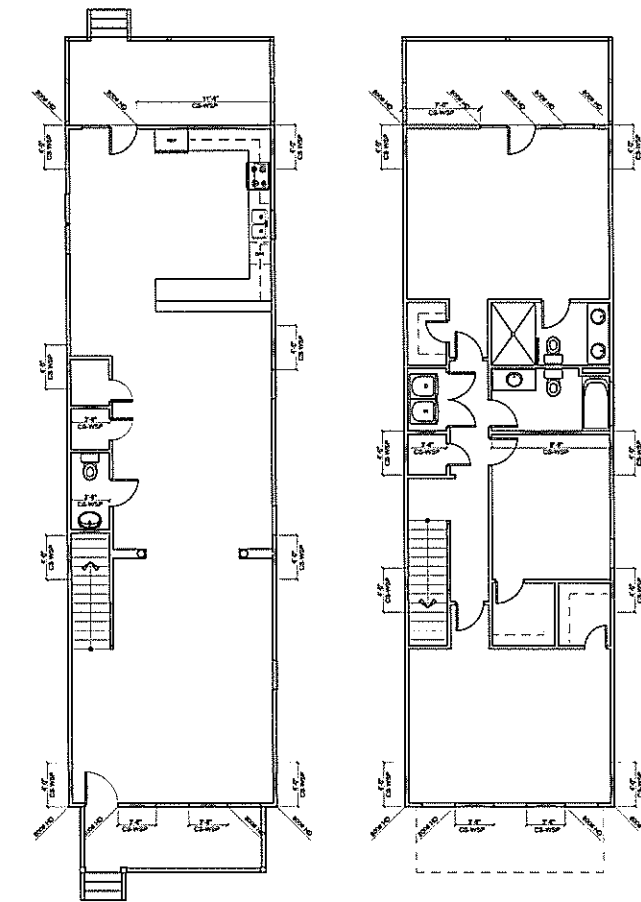
ALL DOOR HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

# LEGEND

	BRICK VENEER		RECESSED CAN LIGHT
	C.M.U.		EXHAUST FAN
	NON-LOAD BEARING INTERIOR WALLS - 2X4 STUDS @ 24" O.C.		GARBAGE DISPOSAL
	EXTERIOR BRICK VENEER WITH 2X6 STUDS @ 16" O.C.		110VOLT RECEPTACLE
	*8C.M.U. WALL AND FOOTING		GROUND FAULT INTERRUPTION
	SECTION DESIGNATION		WEATHER PROOF
	DOOR DESIGNATION		GROUND FAULT INTERRUPTION
	WINDOW DESIGNATION		DRYER RECEPTACLE
	LIGHT FIXTURE		RANGE RECEPTACLE
	WALL MTD LIGHT FIXTURE		TELEPHONE
	LIGHT FIXTURE		CABLE TELEVISION
	EXTERIOR DBL FLOOD LIGHT WITH MOTION SENSOR		SWITCH @ 50" A.F.F.
	SURFACE MTD FLORESCENT NO. INDICATES LENGTH		3-WAY SWITCH @ 50" A.F.F.
			SMOKE DETECTOR
			DOOR BELL TRANSFORMER
			RECESSED ELECTRICAL PANEL
			CEILING FAN - WHEN DASHED, ROUGH-IN AND PROVIDE BLANK COVER FOR FUTURE USE, OTHER WISE INSTALL WHERE SHOWN



1  
1.0 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



1  
1.0 BRACED WALL PLANS  
SCALE: 1/4" = 1'-0"

RIDGE POINT  
REAL ESTATE

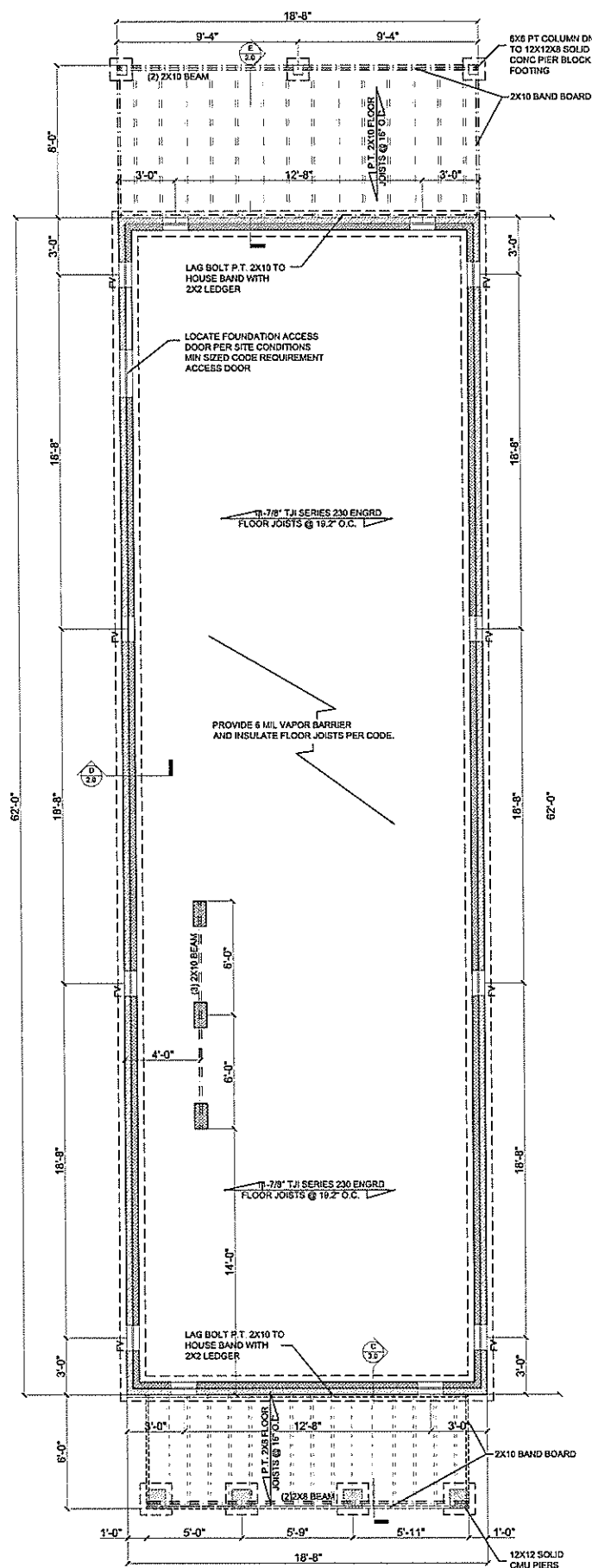
2405 E. CLAY STREET  
RICHMOND, VIRGINIA 23219

SITE PLAN, CODE NOTES AND  
FRONT ELEVATION

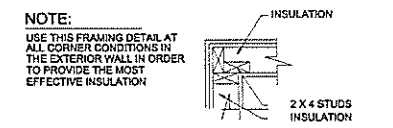
1.0

**FOUNDATION NOTES**

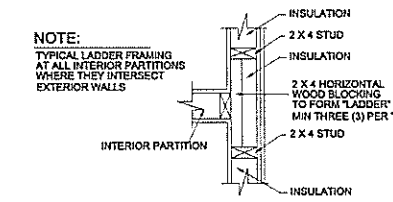
1. ALL CONCRETE @ SLABS AND FOUNDATION SHALL BE 3000 PSI MINIMUM AT 28 DAYS SHALL BE 3000 PSI MINIMUM AT 28 DAYS
2. FOUNDATION VENTS SHALL BE INSTALLED TO SUIT FIELD CONDITIONS 1:150 SF
3. FOOTINGS SHALL BE STEPPED IN 6" INCREMENTS TO SUIT FIELD CONDITIONS AND SHALL HAVE (2) #4 REINFORCING BARS CONTINUOUS AT BOTTOM (TYPICAL)
4. FINISHED GRADE @ CRAWL SPACE AREA SHALL BE LEVELED AND EQUAL TO OR HIGHER THAN EXTERIOR FINISHED GRADE
5. ENTIRE CRAWL SPACE SHALL BE COVERED WITH A 6 MIL THICK POLYETHYLENE VAPOR BARRIER
6. ACCESS DOOR IS SHOWN ONLY TO INDICATE THAT ONE IS REQUIRED AND IS TO BE INSTALLED TO CRAWL SPACE. IT SHALL BE INSTALLED TO SUIT FIELD CONDITIONS.



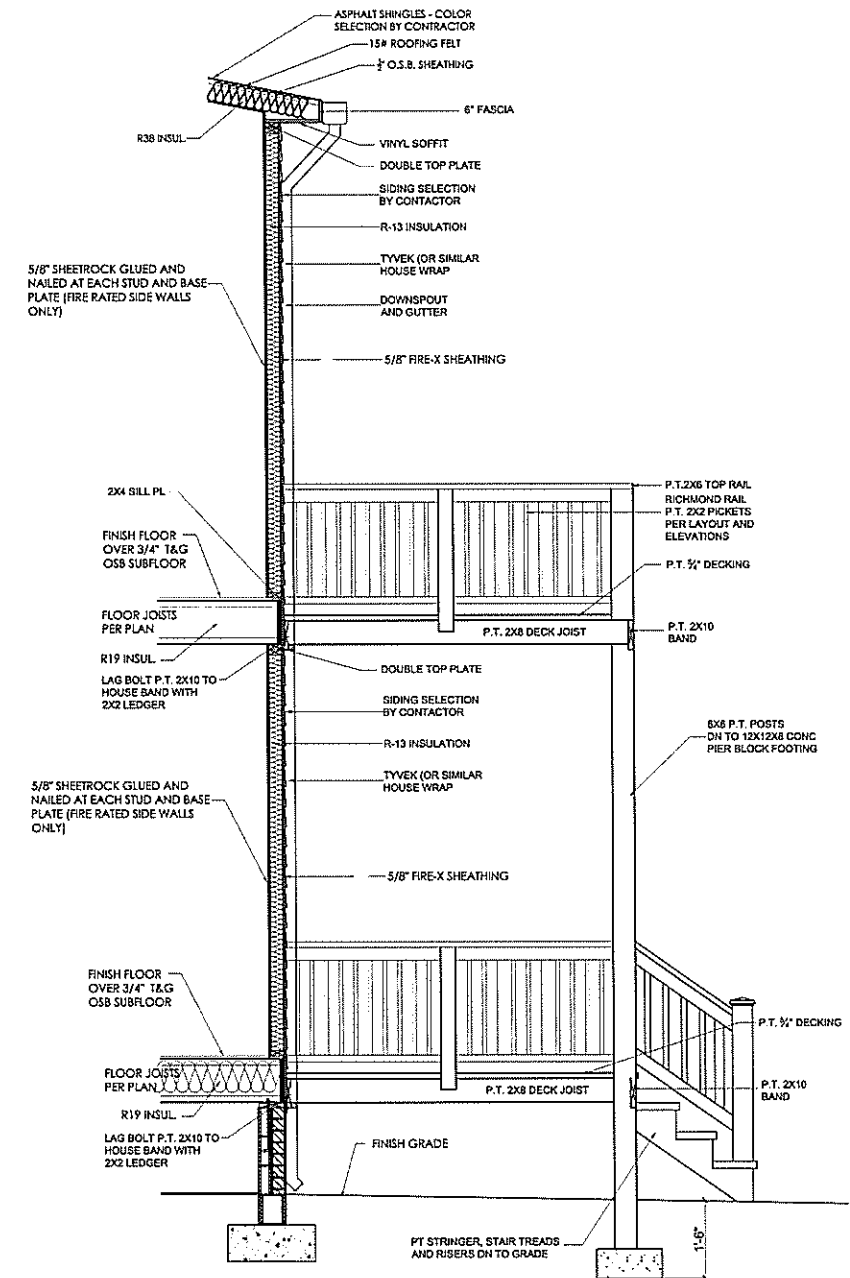
**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



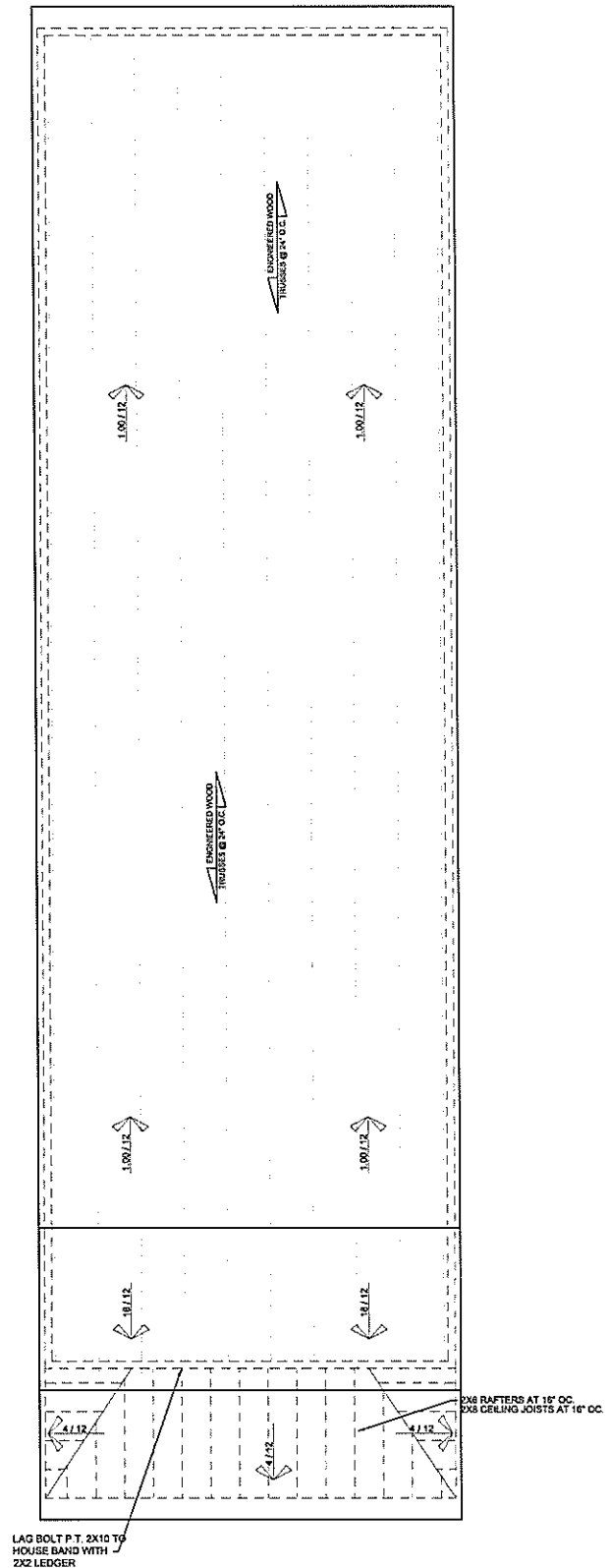
**A CORNER FRAMING DETAIL**  
SCALE: 1" = 1'-0"



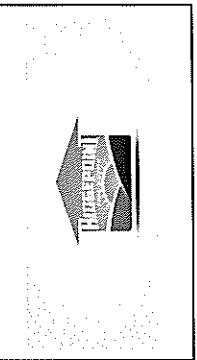
**B PLAN FRAMING DETAIL**  
SCALE: 1" = 1'-0"



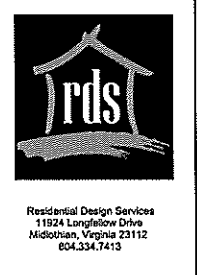
**C PORCH DETAIL**  
SCALE: 1/4" = 1'-0"



**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Chris Jefferson
Coordinator	Chris Jefferson
Date	07.30.2015
Project	2405 E. Clay Street



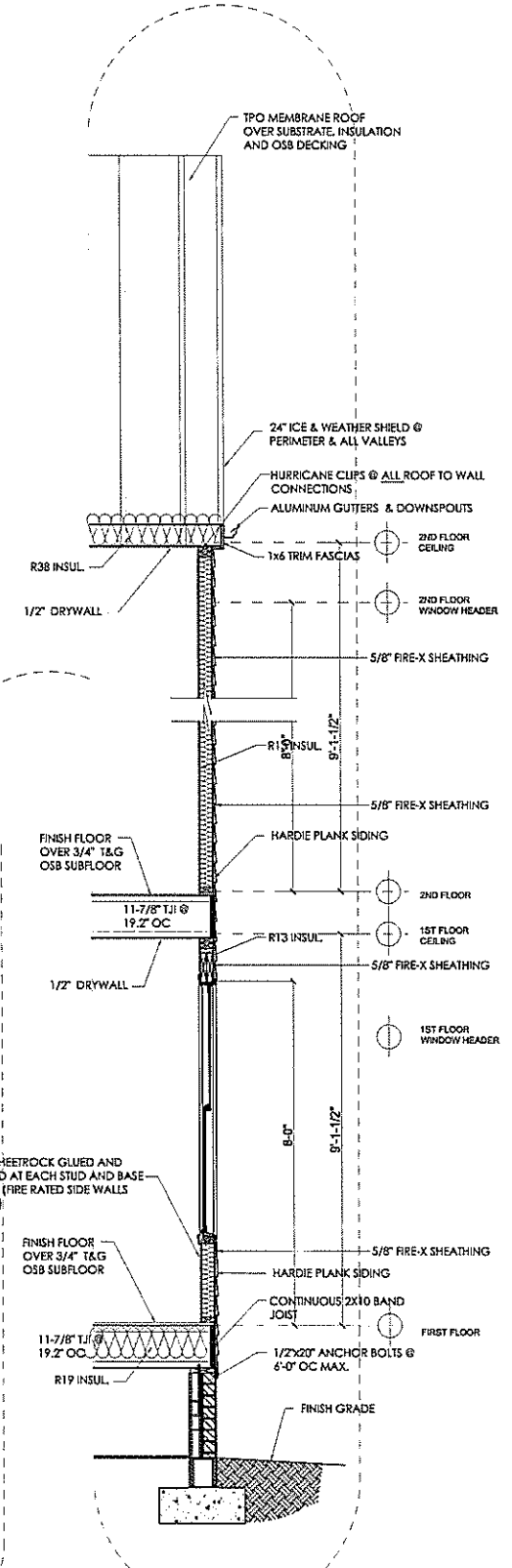
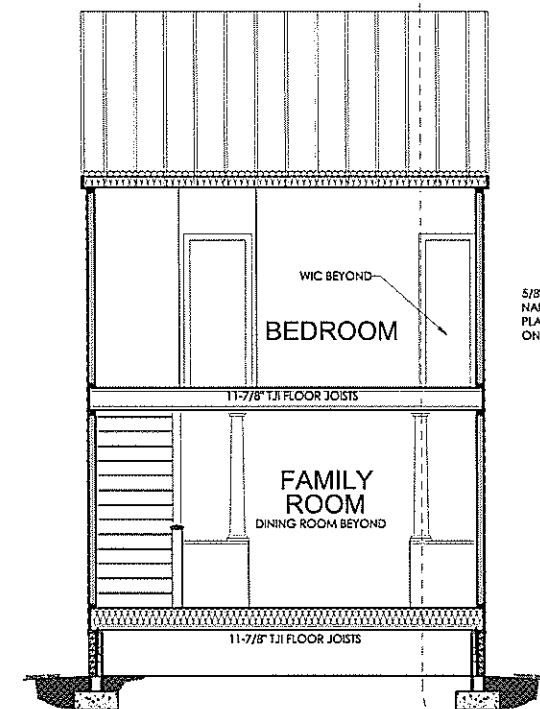
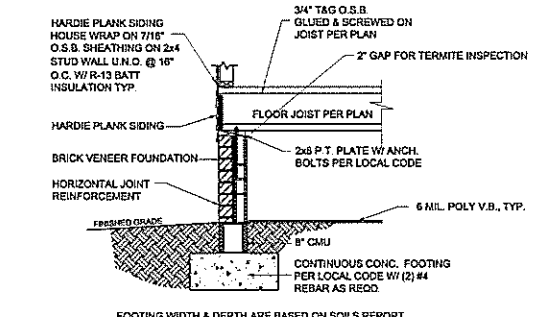
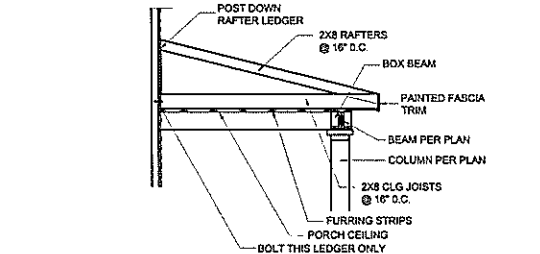
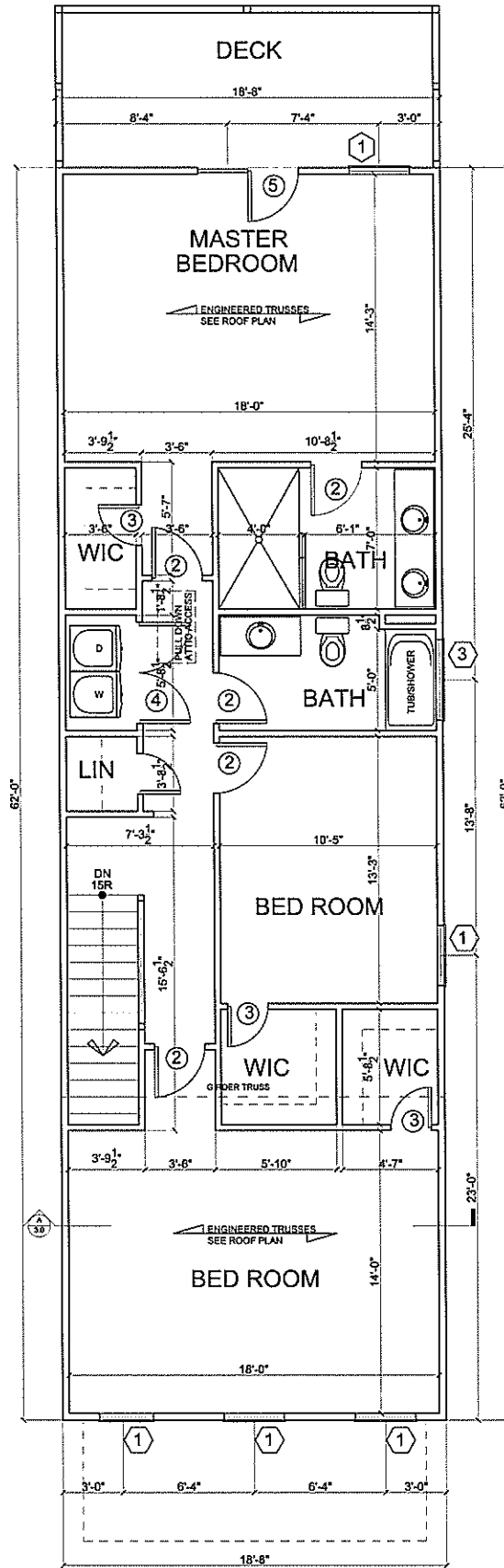
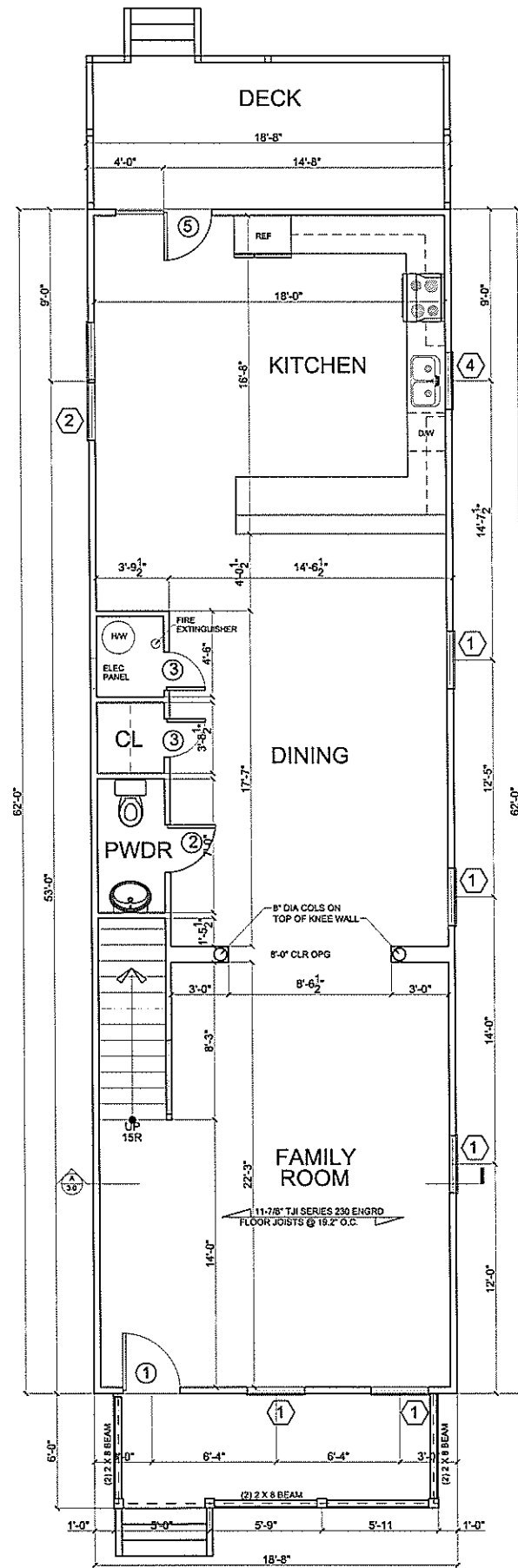
**RIDGE POINT  
REAL ESTATE**

2405 E. CLAY STREET  
RICHMOND, VIRGINIA 23219

FOUNDATION AND ROOF PLANS  
SECTIONS AND DETAILS

2.0





DRAWING INFORMATION	
Scale	Noted
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Project	2405 E. Clay Street

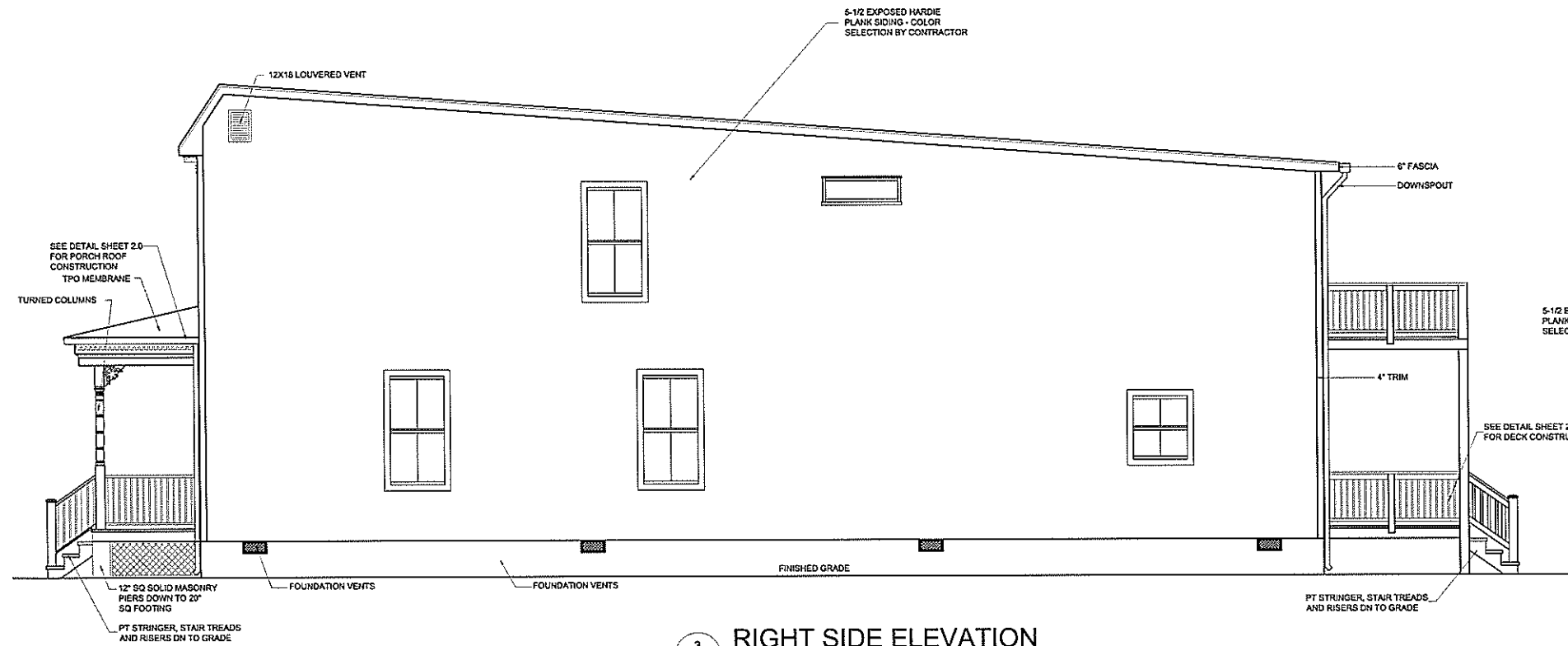
Residential Design Services  
11824 Longfellow Drive  
Midlothian, Virginia 23112  
804.334.7413

# RIDGE POINT REAL ESTATE

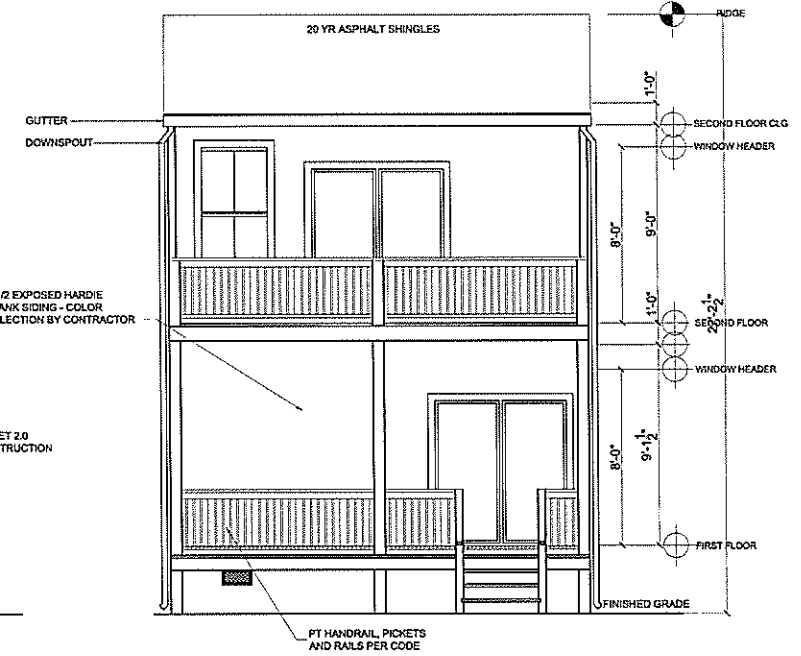
2405 E. CLAY STREET  
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FIRST AND SECOND FLOOR  
PLANS SECTIONS AND NOTES

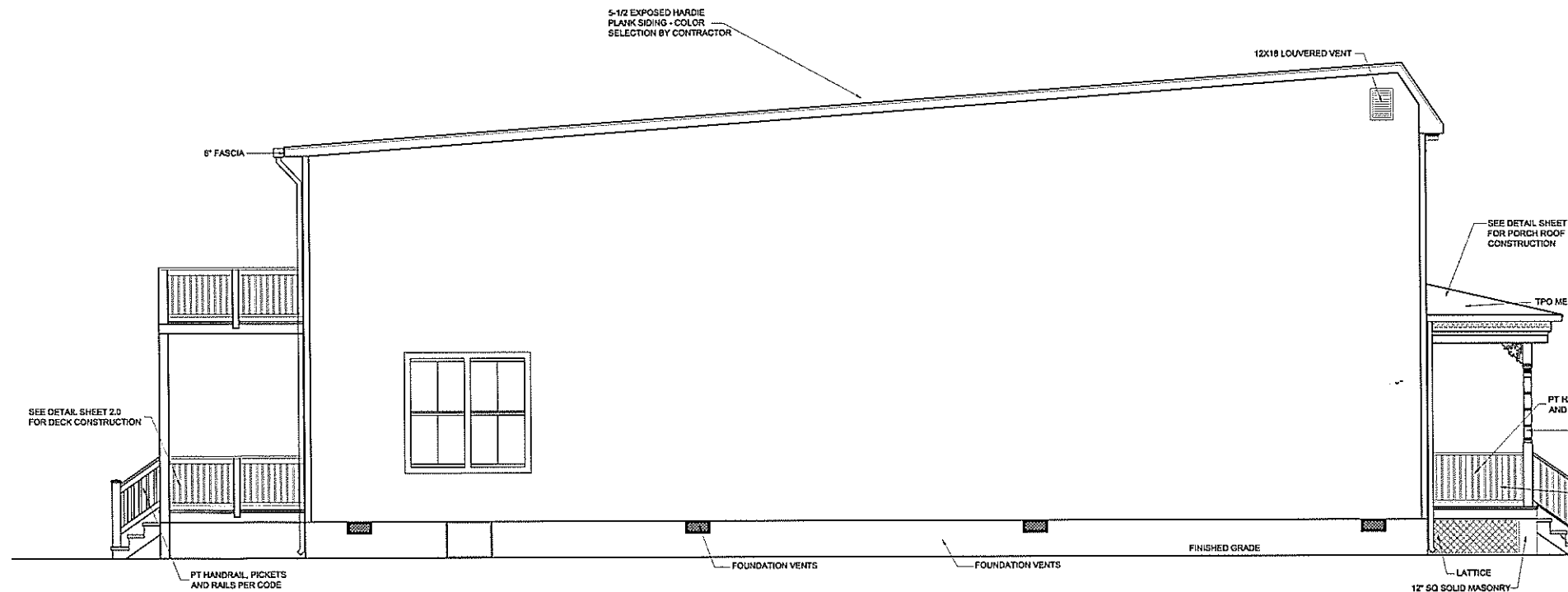
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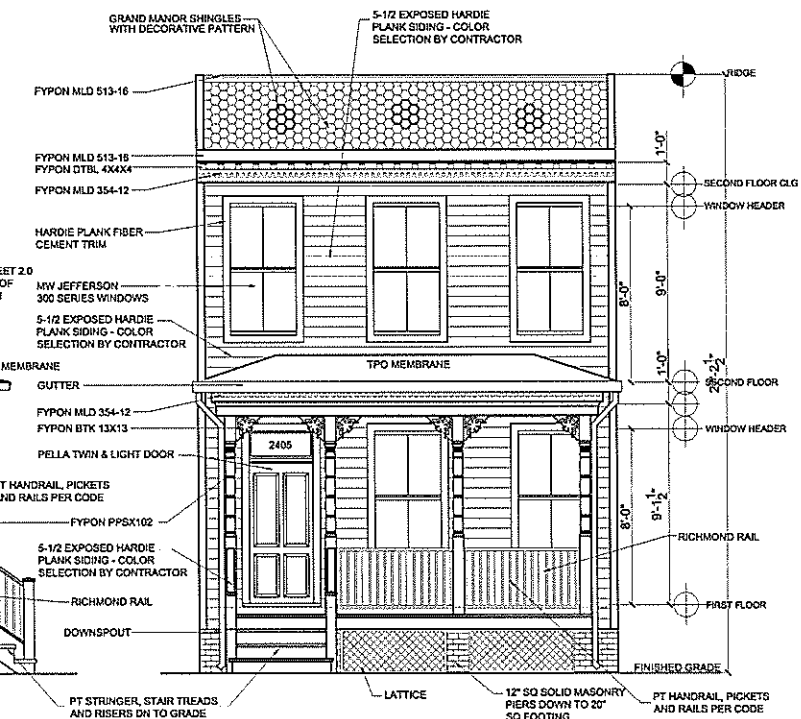
3  
4.0 RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



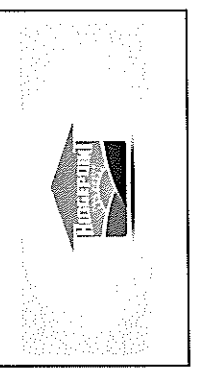
4  
4.0 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



2  
4.0 LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1  
4.0 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



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Residential Design Services  
11924 Longfellow Drive  
Midlothian, Virginia 23112  
804.334.7415

RIDGE POINT  
REAL ESTATE

2405 E. CLAY STREET  
RICHMOND, VIRGINIA 23219

Project  
Drawing No.

4.0