

INTRODUCED: July 25, 2022

AN ORDINANCE No. 2022-234

To authorize the special use of the property known as 1701 Roseneath Road for the purpose of a mixed-use building containing dwelling units, amenity space, commercial space, and structured parking spaces, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: SEP 12 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 1701 Roseneath Road, which is situated in a B-7 Mixed-Use Business District, desires to use such property for the purpose of a mixed-use building containing dwelling units, amenity space, commercial space, and structured parking spaces, which use, among other things, is not currently allowed by section 30-446.7(1), concerning height, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9 NOES: 0 ABSTAIN:

ADOPTED: OCT 10 2022 REJECTED: STRICKEN:

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1701 Roseneath Road and identified as Tax Parcel No. N000-1792/015 in the 2022 records of the City Assessor, being more particularly shown on a site plan entitled “Conceptual Site Plan for 1701 Roseneath, Multifamily, Proposed Development, 1701 Roseneath Road, City of Richmond, VA 23230,” prepared by Bohler, and dated February 17, 2022, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a mixed-use building containing dwelling units, amenity space, commercial space, and structured parking spaces, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “1701 Roseneath Road, Blackwood Development,” prepared by 510 Architects, and dated January 24, 2022, and the site plan entitled “Conceptual Site Plan for 1701 Roseneath, Multifamily, Proposed Development, 1701 Roseneath Road, City of Richmond, VA 23230,” prepared by Bohler, and dated February 17, 2022, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building not to exceed seven stories in height, substantially as shown on the Plans, containing dwelling units, amenity space, commercial space, and structured parking spaces.

(b) The number of parking spaces provided on the Property shall not be less than 215 parking spaces.

(c) Vinyl shall not be permitted as a principal building material.

(d) All mechanical equipment, including heating, ventilation, and air conditioning units, serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as

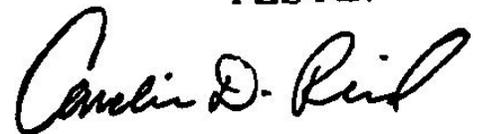
amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:
TESTE:**



City Clerk



City of Richmond

Item Request File Number: PRE.2022.0257

RECEIVED
By City Attorney's Office at 10:40 am, Jul 21, 2022

RECEIVED
By CAO Office at 1:38 pm, Jul 07, 2022

2022-177

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

O & R Request

DATE: June 27, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)

(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 1701 Roseneath Road for the purpose of a mixed-use building containing dwelling units, amenity space, commercial space, and structured parking spaces, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 1701 Roseneath Road for the purpose of a mixed-use building containing dwelling units, amenity space, commercial space, and structured parking spaces, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit which would allow for a mixed-use building containing up to 250 dwelling units, with off-street parking, within a B-7 Mixed Use Business Zoning District. The proposed use is intended to be seven stories in height, which exceeds the maximum B-7 height of five stories. A Special Use Permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its August 15, 2021, meeting.

BACKGROUND: The property is located in the Scott's Addition neighborhood on Roseneath Road between Norfolk and Rockbridge Streets. The property is a 51,758 sq. ft. (1.19 acre) parcel of land and is improved with a 8,368 sq. ft., one story commercial building constructed, per tax assessment records, in 1947. The application is for a seven story, mixed-use building with off street parking.

The City's Richmond 300 Master Plan designates a future land use for the subject property as Industrial Mixed Use which are defined as "Formerly traditional industrial areas that are transitioning to mixed use because of their proximity to growing neighborhoods and changes in market conditions. These areas may still retain some light industrial uses." The development style is a mix of building types with low scale, post industrial buildings that are adapted for a new use are adjacent to new taller residential and/or office buildings. These areas allow "maker uses" to continue while encouraging more individuals to live, work, and play in the area. Buildings should have street oriented façades with windows and door openings along street frontages. New light industrial uses are compatible with residential and office uses, and are attractively buffered. New developments continue or introduce a gridded street pattern to increase connectivity. Ground floor uses engage with and enliven the street. Monolithic walls are discouraged, while windows, doors, storefronts, and other features that allow transparency and interaction between building and street are encouraged. Active commercial ground floor uses are required on street oriented commercial frontages. Pedestrian, bicycle, and transit access are prioritized and accommodated. Bike parking is provided. New driveway entrances are prohibited on priority and principal street frontages and minimal driveway entrances are allowed on secondary streets. Vehicular access to parcels should use alleys where possible. Loading for trucks must be provided off street. Parking lots and parking areas should be located to the rear of street facing buildings.

Intensity: Medium to high density, three to eight stories.

Primary Uses: Retail/office/personal service, multi-family residential, cultural, and open space.
Secondary Uses: Institutional and government. (p. 62)

The current zoning for this property is B-7 (Mixed Use Business). Adjacent properties to the east and south are located within the same B-7 Zone.

The surrounding land uses include primarily residential and commercial with some small industrial uses present. The density of the proposed building is approximately 211 units per acre.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: July 25, 2022

CITY COUNCIL PUBLIC HEARING DATE: September 12, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
August 15, 2022

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 1701 Roseneath Road Date: February 9, 2022
Tax Map #: N0001792015 Fee: \$2400.00
Total area of affected site in acres: 1.188 acres

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: B-7
Existing Use: Road construction and equipment sales and service

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Seven story mixed use development
Existing Use: Road construction and equipment sales and service

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Jennifer D. Mullen

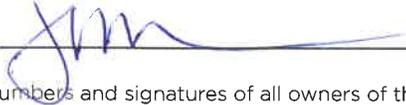
Company: Roth Jackson Gibbons Conklin, PLC
Mailing Address: 1519 Summit Avenue, Suite 102
City: Richmond State: VA Zip Code: 23230
Telephone: (804) 977-3374 Fax: ()
Email: jmullen@rothjackson.com

Property Owner: Richmond Machinery & Equipment Co. Contract Purchaser - 1701 Roseneath, LLC - Nolen Blackwood

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 7301 Boulder View Ln.
City: North Chesterfield State: VA Zip Code: 23225
Telephone: (804) 320.0422 Fax: ()
Email: nblackwood@blackwooddevelopment.com

Property Owner Signature:  Jennifer D. Mullen by Power of Attorney

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Jennifer D. Mullen

Richmond Office

(804) 977-3374(direct)

jmullen@rothjackson.com

February 22, 2022

VIA EMAIL

Mr. Matthew Ebinger
Planning and Development Review
900 East Broad Street, Room 511
Richmond, VA 23219

Re: Special Use Permit Request: 1701 Roseneath Road; Tax Map no. N0001792015

Dear Mr. Ebinger:

This letter shall serve as the applicant's report accompanying a special use permit request (the "SUP") for the property known as 1701 Roseneath Road, identified as Tax Parcel N0001792015 (the "Property"). The Property is located on the east side of Roseneath Road between Rockbridge Street and Norfolk Street. The Property consists of a single lot of record containing approximately 1.2 acres of land area that is improved by three (3) single-story buildings that total to be approximately 12,368 square feet according to records of the City Assessor. The SUP would facilitate the redevelopment of the Property with a seven-story mixed use building containing 250 multi-family dwelling units, commercial space and associated parking deck.

The Property is zoned B-7 Mixed-Use Business, which permits the proposed use as a matter of right. The B-7 district generally limits building height to five (5) stories. The surrounding properties to the north, east, and south are also zoned B-7 Mixed-Use Business. Consistent with this zoning designation, these properties are occupied by a range of uses including industrial, multi-family dwellings, and commercial/retail uses.

The proposed dwelling units would be configured on floors three thru seven and floors one and two would contain the commercial space, amenity areas and parking deck. A courtyard amenity space would be available for the use of residents, and would be improved with hardscaping, landscaping, seating areas and a pool.

The proposed parking deck would include 226 parking spaces. These parking spaces would be shielded from public view by the ground commercial space, lobby, and amenity areas. An additional 24 on-street parking spaces are available along the frontage resulting in a total of 250 parking spaces on the Property per applicable off-street parking regulations. Access to the parking deck would be from Norfolk Street, which is designed minimize potential vehicular conflict with pedestrians along the priority street frontage of Roseneath Road.

The Richmond 300 and Pulse Corridor Plan recommends "Industrial Mixed-Use" for the Property. This land use category is described in the Pulse Corridor Plan as areas that are "traditionally industrial areas that are transitioning to mixed-use due to their proximity to growing neighborhoods, but still retain

{01379433;v1}

RICHMOND

1519 Summit Avenue, Suite 102, Richmond, VA 23230

P: 804-441-8440 F: 804-441-8438

TYSONS CORNER

8200 Greensboro Drive, Suite 820, McLean, VA 22102

P: 703-485-3535 F: 703-485-3525

industrial uses," (*Richmond 300*, p. 62 and *Pulse Corridor Plan*, p. XII). The recommended density for this land use designation is described as being three (3) to eight (8) stories. Typical principal uses include Industrial, multi-family residential, office, retail, and personal service. This request is consistent with the Pulse Corridor Plan recommendation. The Property was rezoned in 2017 to B-7 as part of a Pulse Corridor Plan-driven rezoning to ensure that consistency. The B-7 district contemplates the proposed use as being appropriate while the proposed height is within the range suggested by the Richmond 300 and Pulse Corridor Plan. The proposal would also support a number of transit-oriented design principles contained in the Richmond 300 and Pulse Corridor Plan. This would include, but not be limited to, creating a denser, more compact development pattern to add housing and create a more walkable and vibrant corridor and increasing access and ridership for the local transit network.

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- **Be detrimental to the safety, health, morals and general welfare of the community involved.**
The proposed SUP will not impact the safety, health, morals and general welfare of the community involved. The development of this underutilized property as proposed, in conjunction with the high quality/benefits provided by the SUP, will provide positive impacts in terms of health, welfare, etc.
- **Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.**
The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. The anticipated traffic generation will easily be handled by the existing road network. Off-street parking is proposed and in conjunction with the availability of public transit, will alleviate any potential impacts due to additional parking demand. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.
- **Create hazards from fire, panic or other dangers.**
The property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.
- **Tend to overcrowding of land and cause an undue concentration of population.**
The proposed SUP will not tend to overcrowd the land or create an undue concentration of population. The request is consistent with the guidance offered by the Pulse Corridor Plan, and is therefore representative of the community's goal with regard to density along the Pulse corridor.
- **Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.**
The proposed SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.
- **Interfere with adequate light and air.**
The light and air available to the subject and adjacent properties will not be adversely affected.

{01379433;v1}



RICHMOND

1519 Summit Avenue, Suite 102, Richmond, VA 23230

P: 804-441-8440 F: 804-441-8438

TYSONS CORNER

8200 Greensboro Drive, Suite 820, McLean, VA 22102

P: 703-485-3535 F: 703-485-3525

Summary

This request represents an ideal urban infill development for this location. The request offers a development alternative that is consistent with the Richmond 300 land use recommendation and addresses a number of transit-oriented design principles contained in the plan. Finally, the quality assurances conditioned through the SUP would guarantee the construction of a higher quality development than might be developed by right.

Thank you for your time and consideration of this request. Should you have any further questions about this request, please do not hesitate to contact me.

Sincerely,

Jennifer D. Mullen, Esq.

{01379433.v1}



RICHMOND

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P: 804-441-8440 F: 804-441-8438

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RESIDENTIAL AND COMMERCIAL

	CORE	RESIDENTIAL	LOBBY / AMENITY	COMMERCIAL	OUTDOOR	GROSS SF	% EFFICIENCY
LEVEL 1	800	0	10,000	4,000	0	14,800	0%
LEVEL 2	800	0	0	0	0	800	0%
LEVEL 3	6,500	32,000	3,000	0	10,000	41,500	77%
LEVEL 4	6,500	32,000	0	0	0	38,500	83%
LEVEL 5	6,500	32,000	0	0	0	38,500	83%
LEVEL 6	6,500	32,000	0	0	0	38,500	83%
LEVEL 7	6,500	32,000	0	0	0	38,500	83%
TOTAL	34,100	160,000	13,000	4,000	10,000	211,100	N/A

UNIT MIX

	STUDIO (±500sf)	1-BR (±600sf)	2-BR (±900sf)	3-BR	TOTAL
LEVEL 1	8%	72%	20%	0%	0
LEVEL 2					0
LEVEL 3	4	36	10		50
LEVEL 4	4	36	10		50
LEVEL 5	4	36	10		50
LEVEL 6	4	36	10		50
LEVEL 7	4	36	10		50
TOTAL	20	180	50		250

640 sf avg

PARKING PROVIDED

PARKING AREA	PARKING SPACES
36,500	120
36,500	129
on-street	24
73,000	273

PARKING REQUIRED

B-7 ZONING	1 SPACE PER UNIT
	250

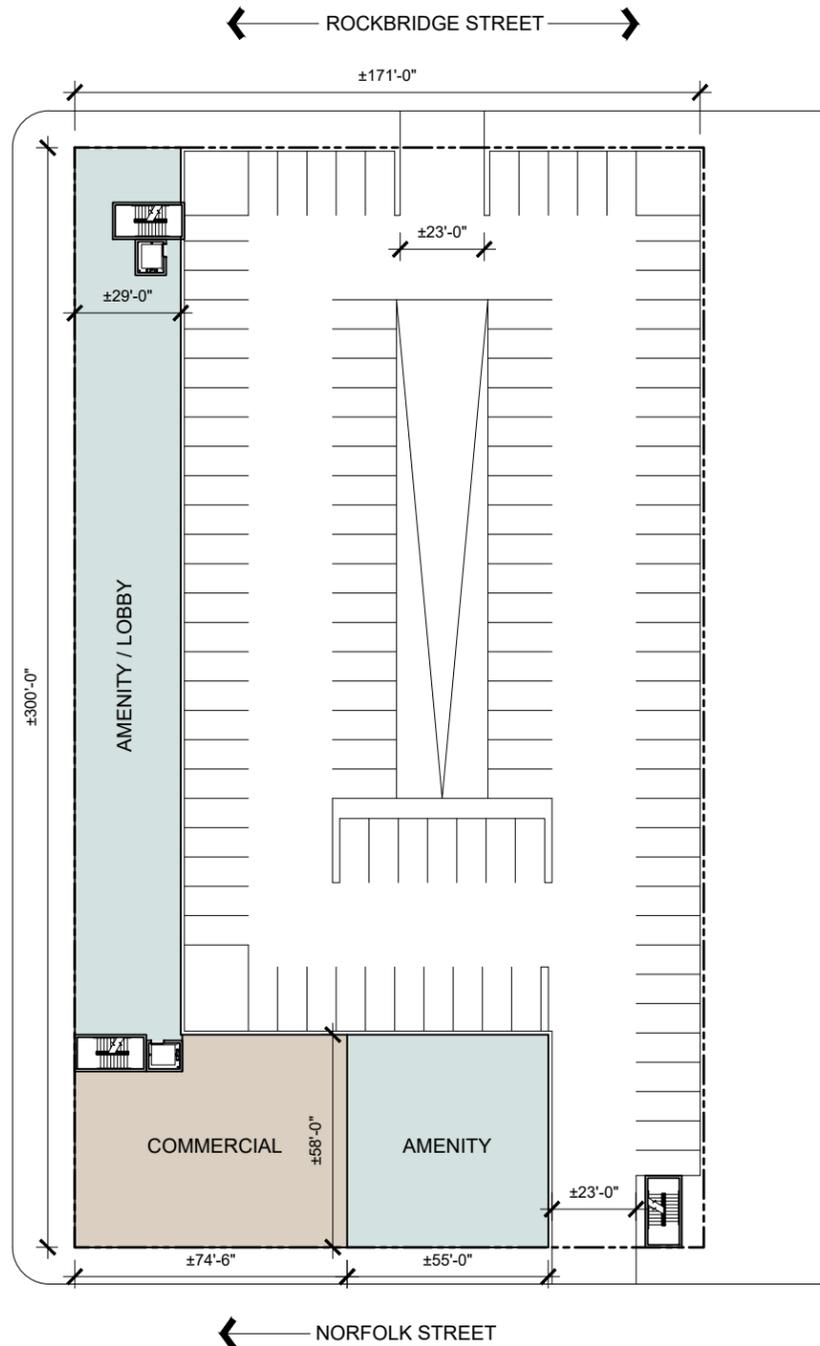
GRAPHICS KEY

COMMERCIAL	
RESIDENTIAL	
LOBBY / AMENITY	
OUTDOOR	

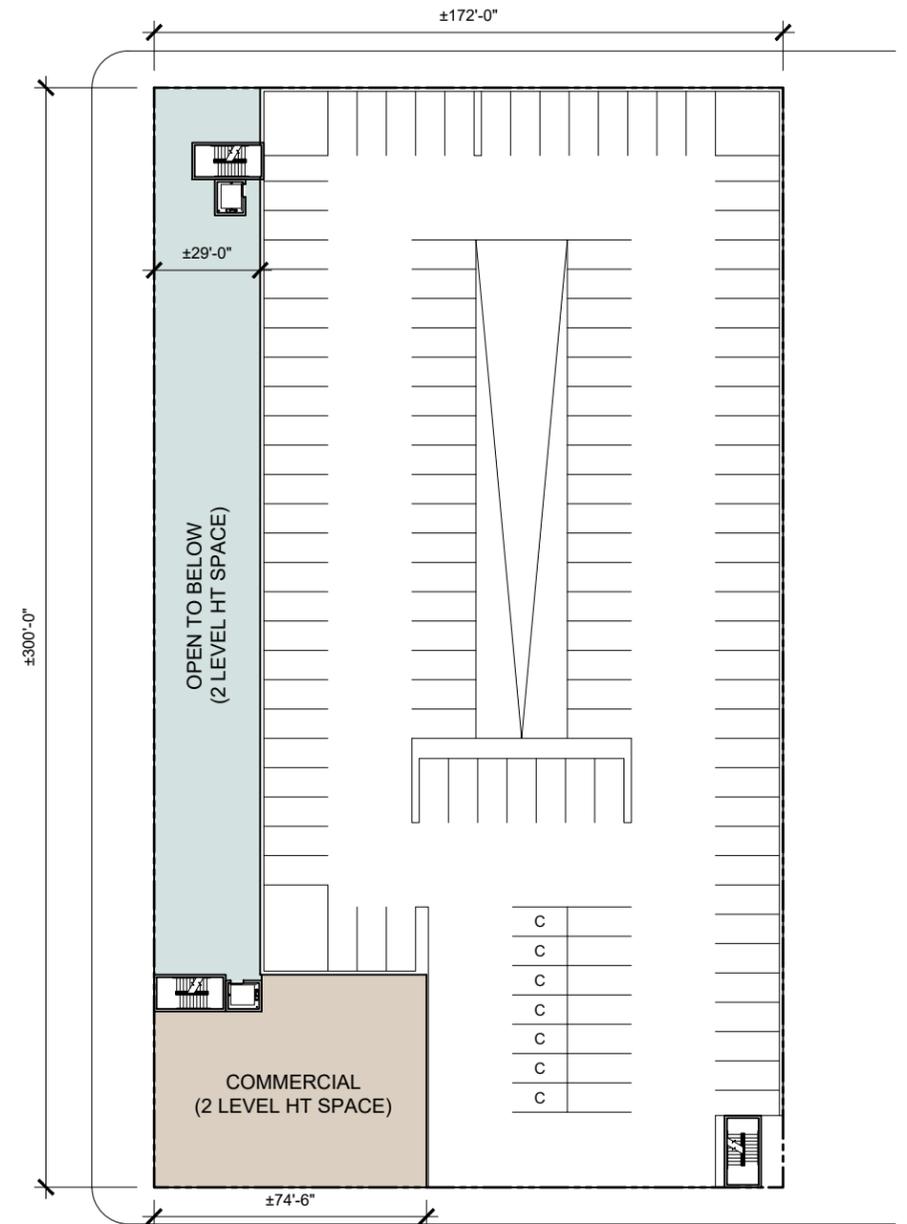
RESIDENTIAL	
LOBBY	PARKING
	PARKING

SECTION

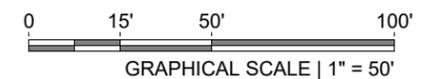
ROSENEATH ROAD



PARKING / LOBBY / COMMERCIAL - LEVEL 1



PARKING - LEVEL 2



RESIDENTIAL AND COMMERCIAL

	CORE	RESIDENTIAL	LOBBY / AMENITY	COMMERCIAL	OUTDOOR	GROSS SF	% EFFICIENCY
LEVEL 1	800	0	10,000	4,000	0	14,800	0%
LEVEL 2	800	0	0	0	0	800	0%
LEVEL 3	6,500	32,000	3,000	0	10,000	41,500	77%
LEVEL 4	6,500	32,000	0	0	0	38,500	83%
LEVEL 5	6,500	32,000	0	0	0	38,500	83%
LEVEL 6	6,500	32,000	0	0	0	38,500	83%
LEVEL 7	6,500	32,000	0	0	0	38,500	83%
TOTAL	34,100	160,000	13,000	4,000	10,000	211,100	N/A

UNIT MIX

	STUDIO (±500sf)	1-BR (±600sf)	2-BR (±900sf)	3-BR	TOTAL
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LEVEL 2					0
LEVEL 3	4	36	10		50
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LEVEL 5	4	36	10		50
LEVEL 6	4	36	10		50
LEVEL 7	4	36	10		50
TOTAL	20	180	50		250

640 sf avg

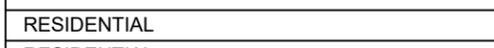
PARKING PROVIDED

PARKING AREA	PARKING SPACES
36,500	120
36,500	129
on-street	24
73,000	273

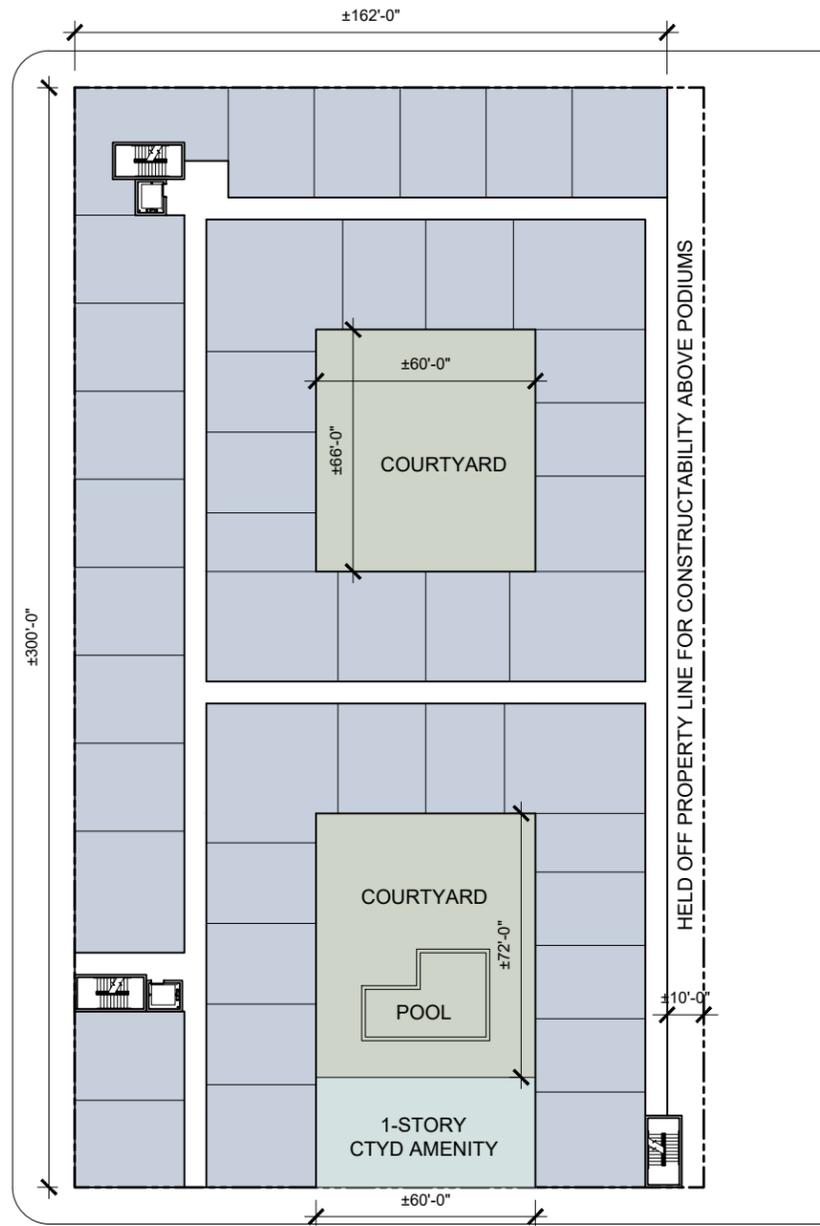
PARKING REQUIRED

B-7 ZONING	1 SPACE PER UNIT
	250

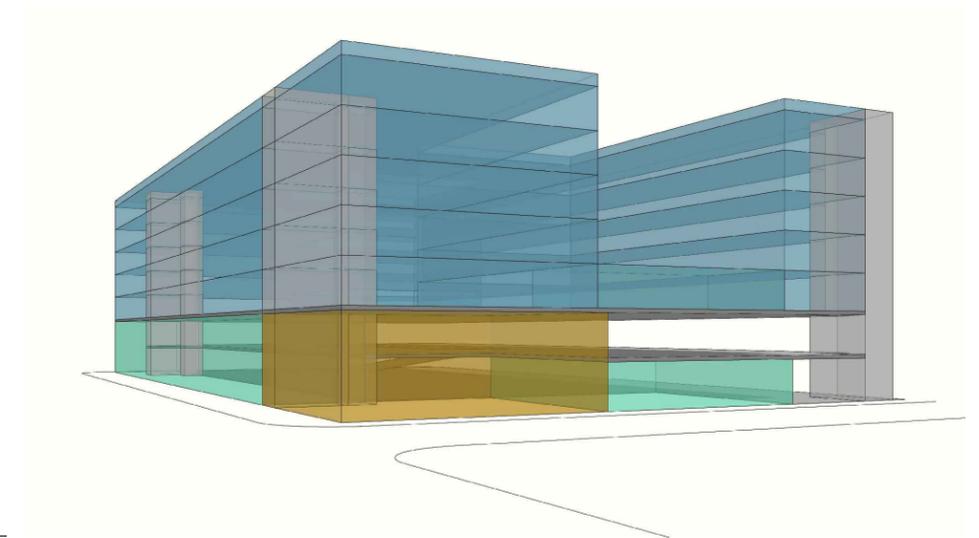
GRAPHICS KEY

COMMERCIAL		RESIDENTIAL	
RESIDENTIAL		RESIDENTIAL	
LOBBY / AMENITY		RESIDENTIAL	
OUTDOOR		LOBBY	
		PARKING	
		PARKING	

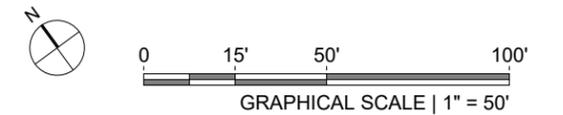
SECTION

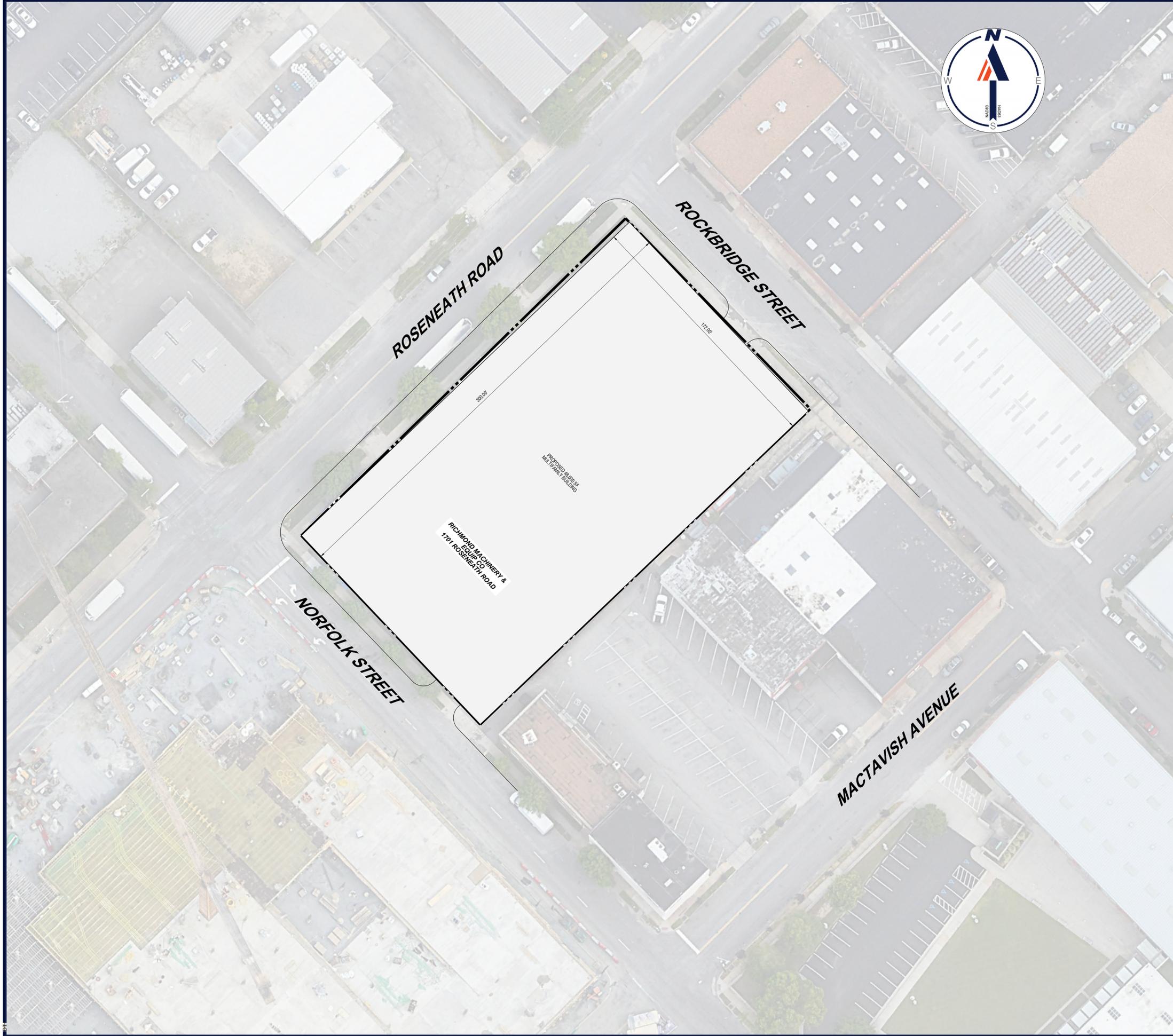


TYPICAL RESIDENTIAL - LEVELS 3-7



3D SCHEMATIC STACKING DIAGRAM





CONCEPT PLAN NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON INFORMATION IDENTIFIED IN THE PLAN REFERENCES.
2. THE CONCEPT DEPICTED HEREIN IDENTIFIES A DESIGN CONCEPT RESULTING SOLELY FROM LAYOUT PREFERENCES AND GUIDANCE DICTATED AND IDENTIFIED SOLELY BY THE CLIENT. THE FEASIBILITY WITH RESPECT TO OBTAINING LOCAL, COUNTY, STATE, AND OTHER APPLICABLE APPROVALS IS NOT WARRANTED, AND CAN ONLY BE ASSESSED AFTER FURTHER EXAMINATION AND VERIFICATION OF APPLICABLE REQUIREMENTS AND AFTER THE PROCUREMENT OF ALL NECESSARY JURISDICTIONAL APPROVALS.
3. THIS CONCEPTUAL PLAN IS PREPARED FOR CONCEPTUAL PRESENTATION PURPOSES, ONLY, AND IS NOT INTENDED TO AND SHOULD NOT BE UTILIZED AS A CONSTRUCTION DOCUMENT.
4. THE EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON INFORMATION THAT WAS PROVIDED TO THE ENGINEER, AT THE TIME OF THE ENGINEER'S PREPARATION OF THIS CONCEPT PLAN, BY THE OWNER AND OTHERS NOT UNDER ENGINEER'S CONTROL, AND IS SUBJECT TO CHANGE AFTER PERFORMANCE OF ADDITIONAL DUE DILIGENCE, FIELD SURVEY OR BOTH.
5. IT IS STRONGLY RECOMMENDED THAT A ZONING CONFORMANCE ANALYSIS BE PERFORMED TO DETERMINE AND EVALUATE IF THERE ARE ANY RESTRICTIONS AND/OR ZONING ISSUES, CONCERNS OR RESTRICTIONS THAT MAY OR COULD IMPACT THE FEASIBILITY OF THIS PROJECT, AS THE OWNER HAS DESCRIBED IT.

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

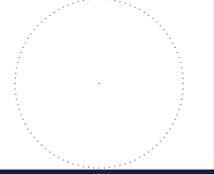
FOR CONCEPT PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: VAB22008.00
 DRAWN BY: DT
 CHECKED BY: RY
 DATE: 2/17/2022
 CAD ID: CPTA - 0

PROJECT:
CONCEPTUAL SITE PLAN
 FOR
 1701
 ROSENEATH
 MULTIFAMILY
 DEVELOPMENT
 PROPOSED
 1701 ROSENEATH ROAD
 CITY OF RICHMOND
 RICHMOND, VA 23230

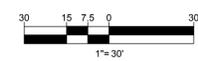
BOHLER
 9100 ARBORETUM PKWY, SUITE 360
 RICHMOND, VIRGINIA 23236
 Phone: (804) 893-8200
 VA@BohlerEng.com



SHEET TITLE:
CONCEPT PLAN

SHEET NUMBER:
1

ORG. DATE - 2/17/2022





CONCEPTUAL RENDERING

05.19.2022

BLACKWOOD DEVELOPMENT | 1701 ROSENEATH ROAD | SCHEMATIC DESIGN PRESENTATION





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