AN ORDINANCE No. 2024-023

To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality by the City Attorney

PUBLIC HEARING: FEB 12 2024 AT 6 P.M.

WHEREAS, the owner of the property known as 3112 Woodcliff Avenue, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of two single-family detached dwellings, which use, among other things, is not currently allowed by section 30-410.4, concerning lot area and width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES:	8	NOES:	0	ABSTAIN:	
		_			
ADOPTED:	FEB 26 2024	REJECTED:		STRICKEN:	

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

- (a) Subject to the terms and conditions set forth in this ordinance, the property known as 3112 Woodcliff Avenue and identified as Tax Parcel No. N000-1055/012 in the 2024 records of the City Assessor, being more particularly shown on as a survey entitled "Plat of Property Situated on the Western Line of Woodcliffe Avenue and North of Highlandview Avenue, Richmond, Va.," prepared by Chas. H. Fleet and Assocs., and dated May 17, 1968, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as "the Property," is hereby permitted to be used for the purpose of two single-family detached dwellings, hereinafter referred to as "the Special Use," substantially as shown on the plans entitled "New Single Family Residence, 3112 Woodcliff Avenue, Richmond, VA 23222," prepared by Penn & Co., and dated March 18, 2023, hereinafter referred to as "the Plans," copies of which are attached to and made a part of this ordinance.
- (b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as "the Owner." The conditions contained in this ordinance shall be binding on the Owner.
- § 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:
- (a) The Special Use of the Property shall be as two single-family detached dwellings, substantially as shown on the Plans.
- (b) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.

- (c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.
- (d) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.
- (e) Prior to the issuance of a building permit for the Special Use, the establishment of two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.
- § 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:
- (a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.
- (b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.
- (c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.
- (d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

- (e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.
- § 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:
- (a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.
- (b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.
- (c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.
- (d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.
- (e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable

laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit

granted hereby becomes null and void, whether as a result of the Owner relinquishing this special

use permit in a writing addressed to the Director of Planning and Development Review or

otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed

for the district in which the Property is then situated.

Implementation. The Commissioner of Buildings is authorized to issue a building § 6.

permit substantially in accordance with the Plans for the Special Use subject to the terms and

conditions set forth in this ordinance. An application for the building permit shall be made within

730 calendar days following the date on which this ordinance becomes effective. If either the

application for the building permit is not made within the time period stated in the previous

sentence or the building permit terminates under any provision of the Virginia Statewide Building

Code, this ordinance and the special use permit granted hereby shall terminate and become null

and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

APPROVED AS TO FORM:

A TRUE COPY:

City Clerk





City of Richmond

900 East Broad Street 2nd Floor of City Hall Richmond, VA 23219 www.rva.gov

Master

File Number: Admin-2023-1252

File ID: Admin-2023-1252 Type: Request for Ordinance or Status: Regular Agenda

Resolution

Version: 1 Reference: In Control: City Clerk Waiting

Room

Department: Cost: File Created: 08/07/2023

Subject: Final Action:

Title: To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

Internal Notes:

Code Sections: Agenda Date: 01/08/2024

Indexes: Agenda Number:

Patron(s): Enactment Date:

Attachments: Scanned SUP - 3112 Woodcliff Avenue.pdf, Enactment Number:

Admin-2023-1252 - Application Documents.pdf

Contact: Introduction Date:

Related Files:

Approval History

Version	Seq#	Action Date	Approver	Action	Due Date
1	1	9/26/2023	Matthew Ebinger	Approve	9/28/2023
1	2	9/26/2023	Kris Daniel-Thiem - FYI	Notified - FYI	
1	3	9/26/2023	Kevin Vonck	Approve	10/3/2023
1	4	9/26/2023	Alecia Blackwell - FYI	Notified - FYI	
1	5	9/28/2023	Sharon Ebert	Approve	10/3/2023
1	6	9/28/2023	Caitlin Sedano - FYI	Notified - FYI	
1	7	9/28/2023	Jeff Gray - FYI	Notified - FYI	
1	8	9/28/2023	Lincoln Saunders	Delegated	
Notes:	Delegated	: Out Of Office			
1	9	9/28/2023	Sabrina Joy-Hogg	Approve	10/2/2023
1	10	1/3/2024	Mayor Stoney	Approve	10/2/2023

History of Legislative File

Ver- Acting Body:	Date:	Action:	Sent To:	Due Date:	Return	Result:
sion:					Date:	

Text of Legislative File Admin-2023-1252

Title

To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

Body

O & R Request

DATE: September 26, 2023

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)

(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic

Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 3112 Woodcliff Avenue for the

purpose of two single-family detached dwellings, upon certain terms and conditions.

ORD. OR RES. No.

PURPOSE: To authorize the special use of the property known as 3112 Woodcliff Avenue for the purpose of two single-family detached dwellings, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit for a second single-family detached dwelling in the R-5 Single Family Residential District, which would be located on a separate parcel after a lot split. The single-family dwelling is a permitted use but feature requirements regarding lot area and lot width cannot be met. Therefore, a Special Use Permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council.

BACKGROUND: The property is located in the Highland Terrace neighborhood between Craigie Avenue and Highland View Avenue. The property is currently a 4,200 (0.096 acre) parcel of land. The City's Richmond 300 Master Plan designates a future land use for the subject property as Residential, which is defined as a "Neighborhood consisting primarily of single-family houses on large- or medium-sized lots more homogeneous in nature."

Intensity: Buildings are generally one to three stories. Lot sizes generally range up to 5,000 to 20,000+ sq. ft. Residential density of 2 to 10 housing units per acre.

Primary Uses: Single-family houses, accessory dwelling units, and open space.

Secondary Uses: Duplexes and small multi-family buildings (typically 3-10 units), institutional, and cultural. Secondary uses may be found along major streets.

The current zoning for the property is R-5 - Residential (Single Family). Adjacent properties are within the same R-5 District. The area is generally residential properties.

FISCAL IMPACT / **COST:** The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 Application Fee

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: October 10, 2023

CITY COUNCIL PUBLIC HEARING DATE: November 13, 2023

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: Planning Commission

November 6, 2023

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Shaianna Trump, Associate Planner, Land Use Administration (Room 511) 646-7319

..Recommended Action

Key Issues:
Retain on Consent Agenda
Move to Regular Agenda
Refer Back to Committee
Remove from Council Agenda

Strike Withdrawn ---- Continue to:



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
http://www.richmondgov.com/

Application is hereby submitted for: (check one) ☐ special use permit, new special use permit, plan amendment ☐ special use permit, text only amendment **Project Name/Location** Property Address:_____ Parcel I.D. #:______Fee:____ Total area of affected site in acres:_____ (See page 6 for fee schedule, please make check payable to the "City of Richmond") Zoning Current Zoning: Richmond 300 Land Use Designation: **Proposed Use** (Please include a detailed description of the proposed use in the required applicant's report) Lot division to construct one (1) new single-family detached dwelling fronting Groveland Avenue Existing Use: Is this property subject to any previous land use cases? Yes If **Yes**, please list the Ordinance Number: Applicant/Contact Person: Company:____ Mailing Address: Email: Property Owner: If Business Entity, name and title of authorized signee: (The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.) Mailing Address: ____

 City:
 ______ Zip Code:

 Telephone:
 ______ Fax:

 Property Owner Signature: Anthony J. Spence The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or

photocopied signatures will not be accepted.

APPLICANT'S REPORT

March 21st, 2023

Special Use Permit Request 3112 Woodcliff Avenue, Richmond, Virginia Map Reference Number: N000-1055/012

Submitted to: City of Richmond

Department of Planning and Development Review

Land Use Administration

900 East Broad Street, Suite 511 Richmond, Virginia 23219

Submitted by: **Baker Development Resources**

530 East Main Street, Suite 730

Richmond, VA 23219

Introduction

The applicant is requesting a special use permit (the "SUP") for the property known as 3112 Woodcliff Avenue (the "Property"). The SUP would authorize the division of the parcel and the construction of one new single-family detached dwelling. While that use is permitted by the underlying R-5 Single Family Residential zoning district, a number of the applicable feature requirements cannot be met. Therefore, the SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is a "through lot" that shares frontage on Groveland and Woodcliff Avenues between their intersections with Craigie Avenue and Highland View Avenue. It is referenced by the City Assessor with a tax parcel number of N000-1055/012, is 30 feet in width and 140 feet in depth, and is currently improved with a "four square" dwelling fronting onto Woodcliff Avenue. According to the City Assessor's records, the Property is comprised of two original subdivision lots, being Lots 194 and 206 of the original Highland Terrace subdivision ("the Subdivision") from the early 1900s. These lots were configured back-to-back, with one fronting on Woodcliff Avenue and the other fronting on Groveland Avenue.



The lot pattern in the vicinity includes through lots as well as lots fronting on either Woodcliff or Groveland Avenues according to the original subdivision layout. Properties in the block are occupied with a combination of single- and two-family dwellings. Immediately to the north of the subject Property, the parcels at 3111 Groveland and 3114 Woodcliff, which are occupied with single-family detached dwellings, offer an example of the proposed back-to-back parcel layout.

Moving towards the nearby corridors of Brookland Park Boulevard to the south and Meadowbridge Road to the east, there are a variety of residential densities. These commercial corridors themselves are both within walking distance and include a variety of commercial, residential, office, mixed-use and institutional uses.

EXISTING ZONING

The Property and the surrounding properties are zoned R-5 Single-Family Residential, which permits single-family detached dwellings. The majority of properties in the immediate vicinity do not conform to the R-5 feature requirements such as lot area, lot width, and setbacks. In many cases, properties in the vicinity also do not meet the use requirements, that are applicable to this district, as demonstrated by the two-family dwelling in the block.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request, including:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options."
 - o b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to "Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers."
 - o d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to "Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city."
- Amend the Zoning Ordinance to allow accessory dwelling units in all residential zones to allow for in-law apartments. (Inclusive Housing)
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.4 to "Increase the number of mixed-income communities along enhanced transit corridors."
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to "Encourage
 more housing types throughout the city and greater density along enhanced transit
 corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning
 Ordinance. "
- Page 159 (Thriving Environment Chapter) Objective 15.1 to "Reduce air pollution related to transportation."

- a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to "maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards"
- Page 100 (High Quality Places Chapter), Objective 4.1, to "create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City," as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

Proposal

PURPOSE OF REQUEST

The SUP would permit the division of the Property into two lots and the construction of a new single-family detached dwelling fronting on to Groveland Avenue. The existing single-family dwelling fronting Woodcliff Avenue would be retained, and the other lot and proposed dwelling would front onto Groveland Avenue. Each lot would be 30 feet in width and 70 feet in depth and would include 2,100 square feet in lot area. As a result, the R-5 Single Family Residential District lot width and lot area requirements would not be met. While this configuration is consistent with the Subdivision layout, the deed and zoning history applicable to this parcel make the SUP the required process to restore this configuration. This configuration was created by-right on the parcel immediately adjacent to the north at 3111 Groveland and 3114 Woodcliff Avenues. However, due to the lot history of the subject Property, a SUP is required to achieve the same lot configuration here.

Finally, the SUP would provide relief from required parking. Under normal zoning, one (1) off-street parking space would be required for each dwelling. In areas where public alley access is not available, particularly those areas that are also of a dense urban character, it is undesirable to provide off street parking accessed by driveways from the street. This is contrary to VisionZero and other planning guidance. For this reason, the zoning ordinance does not require off street parking on lots that are 35 feet or less in width and which do not have alley access. The SUP proposes on street parking in order to satisfy parking. The use of on street parking is consistent with the way in which the current residents along the street satisfy their parking needs.

PROJECT DETAILS/DESIGN

The proposed dwelling would be approximately twenty feet in width, 34 feet in depth, and two stories in height. It would include approximately 1,360 square feet of finished floor area and consist of three bedrooms and two-and-one-half bathrooms. The dwelling would be of a traditional urban design that is consistent with the architectural character found in the Highland Terrace neighborhood. The proposed floor plans are modern and efficient, and designed to be meet the needs of the market with floor plans that include a primary bedroom with en-suite bathroom and walk-in closet. A full-width front porch is also proposed for the new dwelling.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

 Be detrimental to the safety, health, morals and general welfare of the community involved.

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed site improvements and density are consistent with the existing development in the vicinity. This request would simply permit the efficient utilization of the Property by allowing for new development to occur in a manner that is both of quality as well as consistent with the Subdivision. The improvement of the Property in conjunction with the high quality/benefits provided by the SUP will provide positive impacts in terms of health, welfare, etc., and furthermore will add to the vibrancy of the neighborhood.

• Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. The traffic generation for one dwelling unit will be negligible, especially within the context of a walkable neighborhood. In addition, the Property lies within a tenminute walk to three different bus corridors, two of which (the "2" routes along North Avenue and the "3" routes along Meadowbridge Road) offer high-frequency 15-minute service and one of which (the "20" orbital route along Brookland Park Boulevard) offers a 30-minute frequency. Because of that, the Property is within a 30-minute bus commute to Downtown, Manchester, VCU, Scott's Addition, the Fan, the Museum District, and Carytown. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.

• Create hazards from fire, panic or other dangers.

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

• Tend to overcrowding of land and cause an undue concentration of population.

The SUP will not tend to overcrowd the land or create an undue concentration of population. The request is reflective of the anticipated use of the Property for two dwelling units based on the original subdivision.

• Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.

The SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

• Interfere with adequate light and air.

The light and air available to the subject and adjacent properties will not be affected. The massing of the proposed structures is similar to what the underlying zoning district and feature regulations applicable to single-family detached dwellings allow for by-right. As it relates to adjacent properties, normal side yard setbacks would be met.

Summary

In summary we are enthusiastically seeking approval for the construction of one single-family detached dwelling on the Property. The SUP represents an ideal, small-scale urban infill development for this location that is mindful of its surroundings. In exchange for the SUP, the quality assurances conditioned therein would guarantee the construction of a quality homeownership opportunities consistent with Master Plan guidance.

WOODCLIFF AVENUE

30.00'

#3112

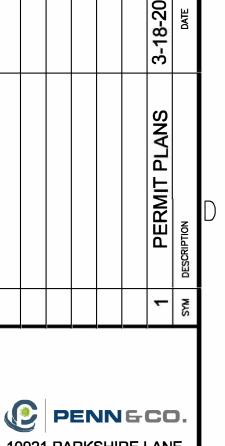
EXISTING

2-STORY FRAME

70.00

70.00





10921 PARKSHIRE LANE HENRICO, VA 23233 (703) 728-5779 PHONE

ANTHONY SPENCE 18705 SW 25TH COURT MIRAMAR, FL 33029

(954) 205-4509 PHONE

--- DRWJRP3 CHK JRP3

RESIDENCE

SINGLE

NEW

3112 WOODCLIFF AVENUE ID:N0001055024 **.096 ACRES** 4200 SF

NOTES:

- TC TRASH TO BE SCREENED FROM ROW
- RECYCLING TO BE SCREENED FROM ROW
- AC H∀AC UNIT
- 4. PS 8'X18' GRAVEL PARKING SPACE
- 5. MULCH BEDS TO HAVE 2 BOX SHRUBS EACH
- WALKS TO PORCHES TO BE CONCRETE
- EXISTING CURB OPENING TO BE CLOSED WITH CURB, GUTTER, AND SIDEWALK TO

MATCH ADJACENT DESIGNED LOT COVERAGE:

845 SF

ZONING:

SINGLE FAMILY-RESIDENTIAL

MINIMUM LOT REQUIREMENTS: 6,000 SF

SETBACKS:

FRONT YARD 25 FT. 5 FT. SIDE YARD **REAR YARD** 5 FT.

HEIGHT REQUIREMENTS:

MAIN BUILDING 35 FT. 20 FT. **ACCESSORY BUILDING**

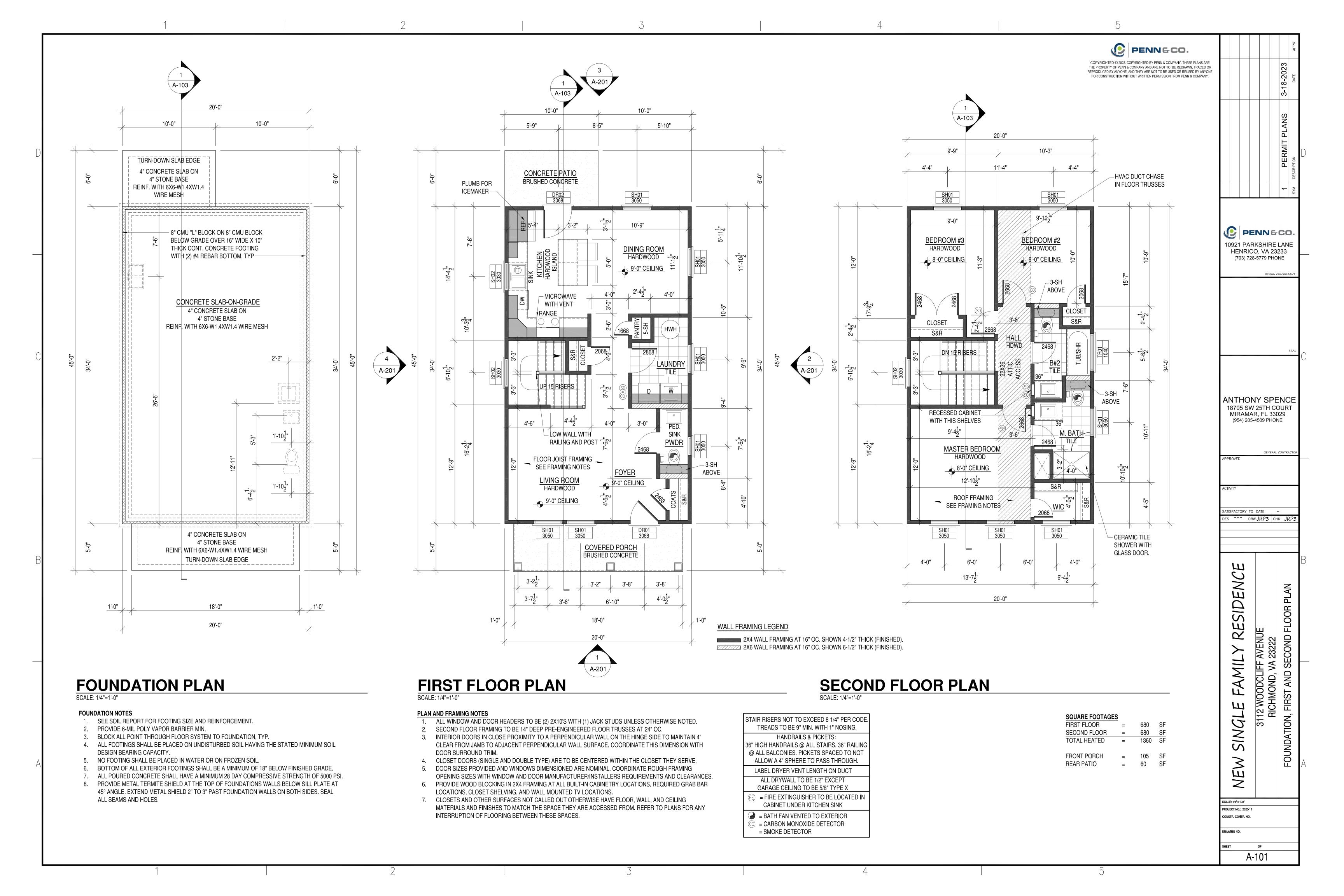
FENCE OR WALL

FENCE OR WALL

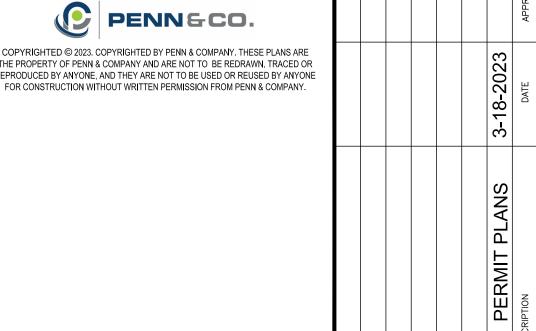
6.5 FT. (SIDE & REAR YARD) 4.0 FT. (FRONT YARD)

30.00' SILT FENCE LIMITS OF LAND DISTURBANCE 1800 SF 70.00 70.00 **PROPOSED** 2 STORY FRAME 1360 SF SILT FENCE 30.00'

GROVELAND AVENUE



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PENN&CO 10921 PARKSHIRE LANE HENRICO, VA 23233 (703) 728-5779 PHONE

ANTHONY SPENCE 18705 SW 25TH COURT MIRAMAR, FL 33029 (954) 205-4509 PHONE

SATISFACTORY TO DATE DRW JRP3 CHK JRP

> Ш SID \angle

75 SIN Ш Z SCALE: 1/4"=1'-0"

PROJECT NO.: 2023-11 CONSTR. CONTR. NO. DRAWING NO.

A-102

ATTIC AREA VENTILATION CALCULATIONS PER UNIT ATTIC AREA: 1565 SQ.FT. / 300*144 = 751 SQ. IN. NET FREE AREA REQUIRED (50% MIN AT RIDGE) RIDGE VENT: 20 L.F. X 18 SQ. IN. PER LINEAR FOOT = 360 SQ. IN. PROVIDED SOFFIT VENT: 146 L.F. X 5.867 SQ. IN. PER LINEAR FOOT = 856 SQ. IN. PROVIDED TOTAL NET FREE ARE PROVIDED = 1,216 SQ. IN. POWER VENT = (1) 12" AIRVENT, INC POWERCOOL PLUS 12 AUTOMATIC THERMOSTAT W/ HUMIDSTAT VENT FOR UP TO 1,650 SF OF ATTIC SPACE, INSTALL MULTIPLE VENTS FOR ADDITIONAL AREA. IF INSTALLING POWER VENT, DO NOT INSTALL RIDGE VENT

PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

- 1. THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN. 2. REFERENCE STANDARDS
- 2.1. NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
- TPI-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE
- MATERIALS
- THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPERATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
- LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
- 4.1. THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
- THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S
- 4.3. METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED
- 4.4. IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
- 4.5. DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
- DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
- DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN. DESIGN LOADS

0. 0.0.	G11 207 (BC			
5.1.	ROOF			
5.1.1.	TOP CHORD DEAD LOAD	=	10	PSF
5.1.2.	TOP CHORD LIVE LOAD	=	20	PSF
5.1.3.	BOTTOM CHORD DEAD LOAD	=	10	PSF
5.1.4.	BOTTOM CHORD LIVE LOAD	=	0	PSF
5.1.5.	WIND LOADING:	SEE	DESIGN	I LOADS SECTION ON SHEET S 001
5.1.5	.1. NET WIND UPLIFT	=	8	PSF
5.2.	DEFLECTIONS			

MAXIMUM LIVE LOAD DEFLECTION = L/360, OR .625" MAXIMUM MAXIMUM TOTAL LOAD DEFLECTION = L/240, OR 1.0" MAXIMUM

5.3. DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS. 6. SUBMITALS

6.1. SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.

SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.

SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.

5.2.1.

INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

ROOF PLAN SCALE: 1/4"=1'-0"

SLOPE 10:12

PLAN NOTES

1. ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC, TYP UNLESS OTHERWISE NOTED.

GUTTER

SLOPE

10:12

2. 12" OVERHANGS AND 12" GABLE END EXTENSIONS, TYP.

MARK	BEAM SIZE	REMARKS
1	(3) SPF NO.2 2X10 OR BETTER	DROPPED GIRDER

EXTERIOR DOOR SCHEDULE								
MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES		
DR01	FRONT ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR		
DR02	REAR ENTRY	3'-0"	6'-8"	SINGLE SWING DOOR	01	1/2 LITE STEEL DOOR		

DOOR NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO
- ORDERING DOORS AND FRAMES.
- 2. ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
- ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
- 4. ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

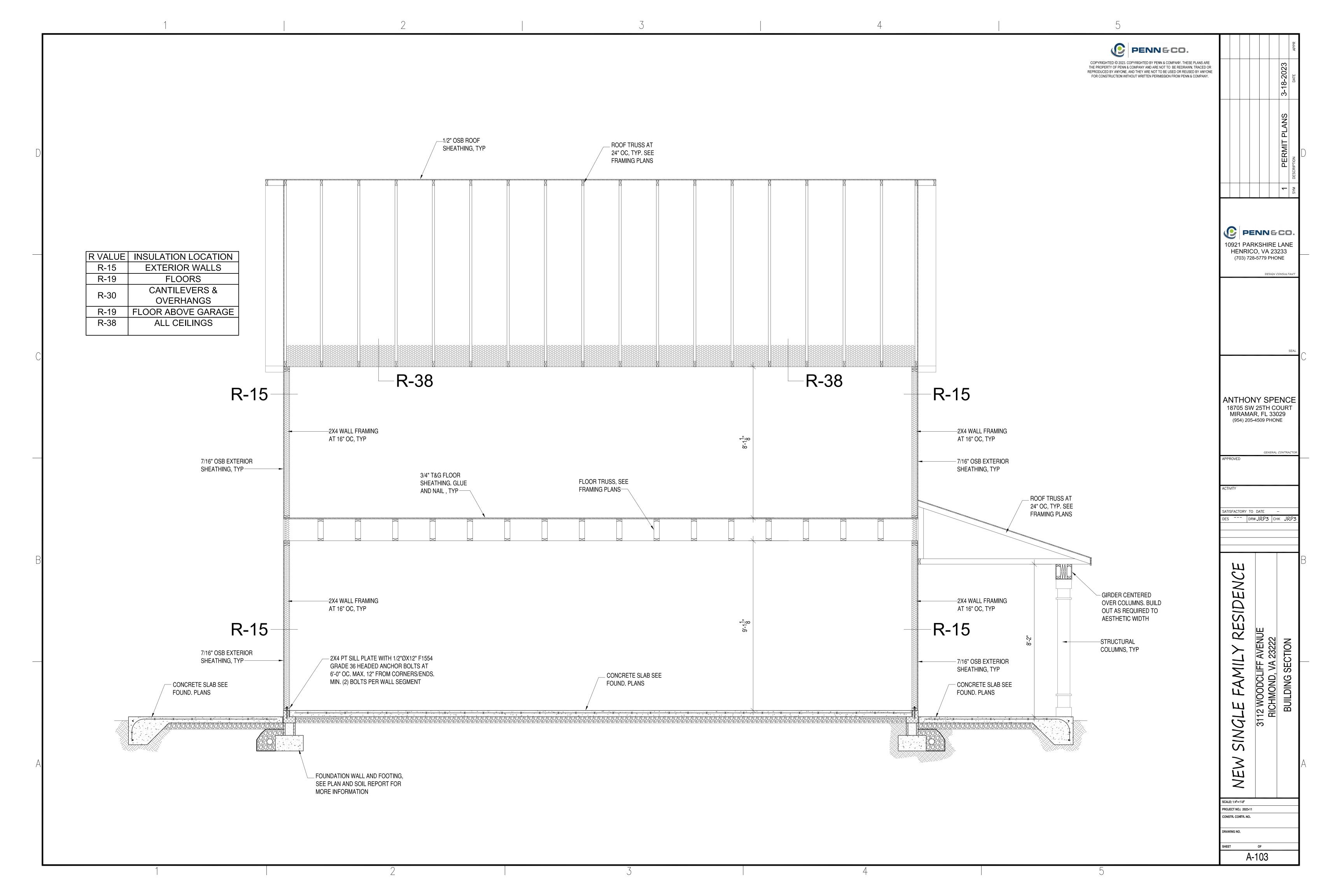
DOOR HARDWARE SETS:

1. (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

	WINDOW SCHEDULE								
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES				
SH01	SINGLE HUNG	3'-0"	5'-0"	6'-8"	VINYL 1 OVER 1				
SH02	SINGLE HUNG	3'-0"	3'-0"	6'-8"	VINYL 1 OVER 1				
FIXED	FIXED WINDOW	3'-0"	2'-0"	SEE PLAN	VINYL 1 OVER 1				
TR01	TRANSOM	1-0"	4'-0"	6'-8"	VINYL				

WINDOW NOTES:

- 1. GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO
- ORDERING WINDOWS AND FRAMES.
- 2. ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING
- REQUIREMENTS WITH WINDOW MANUFACTURER.
- 3. SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
- 4. NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
- 5. SAFETY GLAZING SHALL BE TEMPERED.





GENERAL NOTES

- DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
- 2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO CONSTRUCTION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING. AS REQUIRED TO INSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS. TEMPORARY BRACING AND SHORING SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS.

	WITH OSHA NEGOLATIONS.				
ŀ.	DESIGN LOADS:	LIVE	LOADS	DEAD	LOADS
	A. FLOOR	40	PSF	10	PSF
	B. EXTERIOR DECKS	40	PSF	10	PSF
	C. ROOF	20	PSF	10	PSF
	D. SNOW (Pg)	20	PSF		

90 MPH, 3 SECOND GUST (ASD) - 115 MPH (ULTIMATE)

- SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES. THE CONTRACTOR SHALL ENGAGE A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THE ADEQUACY OF THE SUBGRADE ASSUMPTIONS FOR THE PROPOSED CONSTRUCTION. A. BEARING OF VIRGIN MATERIAL: LEAN CLAY OR BETTER
- B. BEARING PRESSURE: 1500 PSF 2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE,
- 3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL. ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED BEFORE FOUNDATION CONCRETE IS PLACED, NO EXCAVATION SHALL BE CLOSER THAT AT A SLOPE OF 2:1 (TWO HORIZONTAL TO ONE VERTICAL) TO A FOOTING. DO NOT PLACE CONCRETE OVER FROZEN SOIL. FOOTINGS SHALL NOT BE FOUNDED ON EXISTING FILL, LOOSE OR WET SOIL. STEP FOOTINGS WITH A RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
- REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
- 3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS
- 4. CONCRETE COMPRESSIVE STRENGTHS AT 28 DAY CURE = 3000 PSI.
- 5. CAST-IN-PLACE CONCRETE SHALL BE READY-MIX PER ASTM C94. THE MIX SHALL BE PROPORTIONED
- A. PORTLAND CEMENT, ASTM C150
- B. AGGREGATES, ASTM C33 WITH .75 INCH MAXIMUM DIAMETER
- C. NO CALCIUM CHLORIDE SHALL BE PERMITTED
- D. AIR ENTRAINMENT, ASTM C260
- E. WATER REDUCING ADMIXTURE, ASTM C494
- F. FLYASH. ASTM C618-78 CLASS F. 15% MAXIMUM BY WEIGHT
- G. WATER. CLEAN AND POTABLE
- 6. PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC, AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED SURFACES.
- 7. CONTRACTOR SHALL VERIFY EMBEDDED ITEMS, INCLUDING BUT NOT LIMITED TO ANCHOR BOLTS, BOLT CLUSTERS, WELD PLATES, ETC., BEFORE PLACING CONCRETE NOTIFY ENGINEER OF ANY CONFLICTS WITH REBAR.
- 8. STEP AND SLOPE ALL BALCONIES, WALKWAYS, AND PATIOS AWAY FROM THE BUILDING.
- 9. RESTRICT THE ADDITION OF MIX WATER AT THE JOB SITE. DO NOT ADD WATER WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR AND DO NOT EXCEED SLUMP LIMITATIONS, USE COLD WATER FROM THE TRUCK TANK AND REMIX TO ACHIEVE CONSISTENCY. THE REPORTS SHALL INDICATE HOW MUCH WATER WAS ADDED AT THE JOB SITE.
- 10. CONCRETE SHALL BE PLACED WITHIN 90 MINUTES IF BATCH TIME.

- ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
- 2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM
 - PROPERTIES: UNLESS NOTED OTHERWISE Fb = 875Fc = 425PSI 70
- E = 1,400,000 PSI3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
 - Fb = 875425 PSI
- E = 1,400,000 PSI4. WALL TOP PLATES AT BEARING LOCATIONS, TO BE SYP #2 MIN OR OTHER SPECIES HAVING THE
 - FOLLOWING MINIMUM PROPERTIES (UNO) Fb = 1500565 Fv = 90
- E = 1,600,000 PSI5. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE AND EXPOSED TO WEATHER (FOR BALCONY DECK BOARDS, LEDGER, JOISTS, BEAMS, AND SILL PLATES) SHALL BE SOUTHERN PINE PRESSURE TREATED TO .40 LB RETENTION, PER AWPA STANDARDS, HAVING THE FOLLOWING MINIMUM
 - PROPERTIES: Fb = 1500 PSI, 1250 PSI, 1200 PSI, 1050 PSI AND 975 PSI FOR 4, 6, 8,10 AND 12 INCH WIDE SECTIONS RESPECTIVELY.
 - Fc = 565PSI Fv = 90PSI E = 1,600,000

- LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO. THE FOLLOWING MINIMUM PROPERTIES SHALL APPLY.
 - PSI FOR 12" DEPTH, FOR OTHERS MULTIPLY BY [12/D].136 Fb = 2600750 PSI PER 285 2,000,000
- ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- 8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS. MEMBERS ARE NOT TO BE DRILLED IN EXCESS OF NDS OR LOCAL CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. ALL POSTS AND STUDS SHALL STACK CONTINUOUSLY TO SOLID BEARING ON FOUNDATION WALLS OR BEAMS; PROVIDE SOLID BLOCKING AND OR CRIPPLES AS REQUIRED BETWEEN FLOORS.
- STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS. STUDS AND POSTS SHALL BE ONE-PIECE-CONTINUOUS BETWEEN FLOOR LEVELS AND BETWEEN FLOOR LEVEL AND ROOF DIAPHRAGMS. ALL DOUBLE STUDS SHALL BE NAILED TO EACH OTHER AT 8" MAXIMUM SPACING FULL
- 10. MINIMUM GRADES, FOR DIMENSIONED LUMBER, SHALL BE SPF NO. 2 GRADE AS DEFINED BY THE NDS FOR WOOD CONSTRUCTION, NFPA. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE
- CONTENT 11. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH 16d NAILS AT 12" OC 2 ROWS FOR
- BEAMS 9"-12" DEEP, 3 ROWS FOR BEAMS 14"-18" DEEP (STAGGERED) 12. PLYWOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 13. FASTENING OF WOOD FRAMING MEMBERS AND SHEATHING BY BUILDING CODE, SEE STRUCTURAL DETAILS FOR INCREASED FASTENING SCHEDULES WHERE APPLICABLE
- 14. WALL SHEATHING .50" WOOD STRUCTURAL PANEL EXTERIOR, .50" MIN GYPSOM WALL BOARD INTERIOR. INSTALLATION OF GYPSUM SHEATHING SHALL COMPLY TO IRC.
- 15. WOOD COLUMNS AND POST SHALL BE FRAMED TO TRUE END BEARINGS. AND SHALL BE POSITIVELY ANCHORED TO FOUNDATION WITH APPROVED POST BASES. SUPPORT COLUMN AND POST SECURELY IN POSITION AND PROTECT BASE FROM DETERIORATION. COLUMNS AND POSTS OF TREATED WOOD MAY BE PLACED DIRECTLY ON CONCRETE OR MASONRY. USE TREATED WOOD FOR ALL FLOOR JOIST AND BEAMS, WHICH ARE EXPOSED, OR WITHIN 18" OF THE GROUND, OR IN PERMANENT CONTACT WITH EARTH, ALL EXTERIOR P.T. WOOD SECURED WITH HOT SIPPED GALVANIZED FASTENERS
- 16. BEAR BEAMS AND GIRDERS AT LEAST 4" ON MASONRY OR CONCRETE, FLOOR, JOISTS, CEILING JOISTS AND ROOF RAFTERS SHALL HAVE 4" MIN BEARING ON WOOD OR WOOD PLATES ON METAL OR MASONRY
- 17. PROVIDE 2" NOMINAL THICKNESS FULL DEPTH SOLID BLOCKING FOR JOISTS AND RAFTERS AT ENDS AND AT SUPPORTS. OMIT SOLID BLOCKING WHEN JOISTS ARE NAILED TO A CONTINUOUS HEADER. LAP JOISTS FRAMING FROM OPPOSITE SIDES OF A BEAM, GIRDER OR PARTITION AT LEAST 6". SECURE JOISTS FRAMED END TO END WITH METAL STRAPS. USE APPROVED FRAMING ANCHORS TO SUPPORT JOISTS FRAMING INTO THE SIDES OF WOOD OR STEEL BEAMS.
- 18. FLOOR DECKING SHALL BE APA RATED FLOOR SHEATHING, GLUED AND NAILED PER APA RECOMMENDATIONS FOR THE STURDI-FLOOR SYSTEM.

CONCRETE MASONRY

- HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI. NET AREA COMPRESSIVE MASONRY STRENGTH f'm = 1500 PSI.
- MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS. MORTAR SHALL CONFORM TO ASTM C270 (PROPORTION OR PROPERTY SPECIFICATIONS).
- 3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY. 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP. FILLED CELLS MAY ALTERNATIVELY BE FILLED WITH A 3000 PSI PEA GRAVEL MIX CONCRETE. THE PEA GRAVEL MIX SHALL BE PROPORTIONED WITH A MAX. AGGREGATE SIZE OF 3/8 INCH DIAMETER TO PROVIDE A MIN. OF 1/2" CLEARANCE, ADDITIONALLY, THE PEA GRAVEL MIX SHALL PROVIDE AN 8" TO 11" SLUMP.
- 4. CODES AND STANDARDS INCLUDE: ACI 530/ASCE 5, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", ACI 530.1/ASCE 6, "SPECIFICATIONS FOR MASONRY STRUCTURES"
- VERTICAL REINFORCING BARS SHALL BE HELD IN POSITION, WITH BAR POSITIONERS, AT THE TOP AND BOTTOM OF BAR AND AT 8'-0" OC MAX, WITH A MIN CLEARANCE OF 1/2" FROM MASONRY, THE CLEAR DISTANCE BETWEEN BARS SHALL NOT BE LESS THAN ONE BAR DIAMETER. NOR LESS THAN 1". CENTER BARS IN WALLS UNO.
- PROVIDE ACI 90 DEGREE STANDARD HOOKS INTO FOOTINGS AND ROOF TIE BEAM. MAINTAIN VERTICAL REINFORCING SHOWN ON DRAWINGS. ABOVE AND BELOW MASONRY OPENINGS EXCEEDING 10'-0" CLEAR, CONTINUE FOUNDATION DOWELS BELOW ALL MASONRY OPENINGS.
- 7. REINFORCING BARS SHALL BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS AND WHERE BENDS OR HOOKS ARE DETAILED ON THE PLANS.
- MINIMUM LAP SPLICE SHALL BE 48 BAR DIAMETERS. WIRE TIE LAP SPLICES.
- WHEN FOUNDATION DOWELS DOES NOT LINE UP WITH VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THEN ONE HORIZONTAL IN SIX VERTICAL. DOWELS SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGNMENT, EVEN IF IT IS IN A CELL ADJACENT TO THE VERTICAL WALL REINFORCEMENT.
- 10. HORIZONTAL WALL REINFORCEMENT SHALL BE 9 GA. GALVANIZED LADUR TYPE DUR-O-WAL (OR EQUIVALENT) SPACED AT 16" OC MAX., VERTICAL LAP SPLICE 12" MIN.
- 11. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT MASONRY OPENINGS SUCH AS DOORS AND WINDOWS, CONTINUE JOINT REINFORCING FOR THE FIRST AND SECOND BLOCK COURSE ABOVE AND
- BELOW MASONRY OPENING. EXTEND JOINT REINFORCING A MINIMUM OF TWO FEET BEYOND OPENING. 12. CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR WHEN
- THE POUR HEIGHT EXCEEDS 5'-0". CLEANOUTS SHALL BE SAW-CUT 4"X4".
- 13. GROUT POUR HEIGHT SHALL NOT EXCEED 24'. PLACE GROUT IN 5' MAXIMUM LIFTS HEIGHTS.
- 14. CONSOLIDATE GROUT POURS AT THE TIME OF PLACEMENT BY MECHANICAL MEANS AND RECONSOLIDATE AFTER INITIAL WATER LOSS AND SETTLEMENT
- 15. PLACE ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING. HORIZONTAL AND VERTICAL. FULLY MORTAR WEBS IN ALL COURSES OR PIERS, COLUMNS, AND PILASTERS AND ADJACENT TO GROUTED CELLS.
- 16. MASONRY CONTROL JOINTS SHALL BE INSTALLED AT LOCATIONS INDICATED ON THE DRAWINGS. ADDITIONALLY, INSTALL MASONRY CONTROL JOINTS SPACE AT 26'-0" OC AT EXTERIOR WALLS, 32'-0" AT INTERIOR WALLS UNO.

MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
- 2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY
- ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A
- MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. CONCRETE MASONRY UNITS (CMU) SHALL BE MEDIUM WEIGHT UNITS CONFORMING TO ASTM C90. ASTM C270 TYPE "S" MORTAR WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI SHALL BE USED
- MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'M)=1500 PSI FOR ALL MASONRY. UNLESS NOTED OTHERWISE.
- WHEN STRUCTURAL REINFORCEMENT IS INCORPORATED IN MASONRY CEMENT MORTAR, THE MAXIMUM AIR CONTENT SHALL BE 18%.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- DEFORMED BAR ANCHORS (DBA) SHALL CONFORM TO ASTM 496, 75 KSI YIELD STRENGTH.
- ALL MASONRY UNITS SHALL HAVE GALVANIZED HORIZONTAL JOINT REINFORCEMENT AS FOLLOWS: A.A. 9 GA. SIDE AND CROSS RODS (LADDER TYPE) SPACED 16" O.C. VERTICALLY
- LAP JOINT REINFORCING AS SHOWN IN THE TABLE BELOW.
 - WIRE JOINT REINFORCING SPLICE LENGTH W1.1 (11 GA.) W1.7 (9 GA.) W2.1 (8 GA.) W2.8 (3/16 WIRE)
- W4.9 (1/4 WIRE) 10. ALL CORES WITH REINFORCEMENT SHALL BE FILLED SOLID WITH GROUT. ALL GROUT SHALL BE
- CONSOLIDATED IN PLACE BY VIBRATION TO INSURE COMPLETE FILLING OF CELLS.
- PLACE REINFORCING BARS BEFORE GROUTING. PLACE GROUTS IN LIFTS NOT EXCEEDING 5 FEET. CONSOLIDATE EACH LIFT BY MECHANICAL VIBRATION. THE NEXT LIFT OF THE POUR MAY BE MADE AFTER THE INITIAL WATER LOSS AND RECONSOLIDATION OF THE PRIOR LIFT, WHILE IT IS STILL PLASTIC.
- 12. PROPERLY SECURE REINFORCING BARS TO MAINTAIN THE POSITIONS INDICATED ON THE DRAWINGS. BARS TO BE LOCATED IN CENTER OF CELLS UNLESS OTHERWISE NOTED.
- 13. MORTAR PROTRUSIONS, EXTENDING INTO CELLS OR CAVITIES TO BE REINFORCED AND FILLED, SHALL BE REMOVED
- 14. LAY MASONRY UNITS WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. BED WEBS IN MORTAR IN STARTING COURSE OF FOOTING AND IN ALL COURSES OF COLUMN AND PILASTERS, AND WHERE ADJACENT TO CELLS OR CAVITIES TO BE REINFORCED OR FILLED WITH
- GROUT ONE (1) COURSE OF MASONRY SOLID UNDER ALL WALL BEARING SLABS.
- 16. PROVIDE 16" OF SOLID MASONRY UNDER WALL BEARING BEAMS AND JOIST GIRDERS UNLESS NOTED
- 17. ALL CORNERS TO BE TIED BY MASONRY BOND.
- GROUT CORES SOLID A MINIMUM OF ONE COURSE BELOW ANY CHANGE IN WALL THICKNESS.
- PROVIDE 8" SOLID MASONRY 24" WIDE MINIMUM UNDER WALL BEARING JOISTS.
- 20. ALL MASONRY WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT A MAXIMUM SPACING OF 25'.
- COORDINATE WITH LOCATIONS INDICATED ON ARCHITECTURAL DRAWINGS. CONTROL JOINTS SHALL EXTEND THROUGH THE ENTIRE WALL THICKNESS, EXCEPT AT 21. CONTINUOUS BOND BEAMS AT THE ROOF LINE THE MASONRY SHALL BE SCORED ONLY.
- 22. ALL CMU SHALL BE TEMPORARILY BRACED DURING CONSTRUCTION FOR THE GOVERNING BUILDING CODE FOR LATERAL DESIGN LOADS UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED. TEMPORARY BRACING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH REPAIRS RESULTING FROM IMPROPER OR INSUFFICIENT BRACING.
- 23. THE COLLAR JOINT IN MULTI-WYTHE WALLS BELOW GRADE SHALL BE FULLY GROUTED AS THE WALL IS CONSTRUCTED.
- 24. MISCELLANEOUS STEEL LINTEL SCHEDULE
- A.A. FOR MASONRY WALLS 8" OR THICKER OR MASONRY VENEER AND WOOD STUDS:
 - FOR OPENINGS UP TO 4'-0" USE 3 1/2X3 1/2X5/16 ANGLE.
 - FOR OPENINGS FROM 4'-0" TO 5'-0" USE 4X3 1/2X5/16 LLV. - FOR OPENINGS FROM 5'-0" TO 6-'0" USE 5X3 1/2X5/16 LLV.
- FOR OPENINGS FROM 6'-0" TO 7-'0" USE 6X3 1/2X5/16 LLV.
- FOR OPENINGS FROM 7'-0" TO 10-0" USE W8X21+5/16" BOTTOM PLATE. USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY.
- C.C. ALL LINTELS SHALL HAVE A BEARING AT EACH END OF 1 INCH PER FOOT OF OPENING WITH A MINIMUM OF 6".
- ALL LINTELS SHALL BEAR ON 16" SOLID MASONRY EXTENDING 16" BEYOND END OF LINTEL.
- ALL LINTELS ON THE BUILDING EXTERIOR SHALL BE GALVANIZED.
- E.F. ALL LINTELS ARE NOT DESIGNED FOR MASONRY WALLS THAT CARRY FLOOR LOADS.
- PROVIDE (1) #5 IN FULLY GROUTED CELLS (ONE CELL BELOW LINTEL BEARING, AND ONE CELL ADJACENT FULL HEIGHT) AT EACH SIDE OF OPENINGS.
- 25. LAP SPLICES SHALL BE AS FOLLOWS:
 - #5 BAR SIZE = 45" SPLICE LENGTH
 - #6 BAR SIZE = 54" SPLICE LENGTH
- #7 BAR SIZE = 63" SPLICE LENGTH 26. POWER ACTUATED FASTENERS (PAFS) NOT PERMITTED AT MASONRY
- 27. ALL REINFORCING HOOKS AND BENDS SHALL BE STANDARD ACI TYPE.
- 28. ALL WALL DOWELS SHALL MATCH REINFORCING SIZE AND QTY.



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			3-18-2023	DATE	
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			1	SYM	

	PENN&CO
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	DESIGN CONSULTA

ANTHONY SPENCE 18705 SW 25TH COURT MIRAMAR, FL 33029 (954) 205-4509 PHONE

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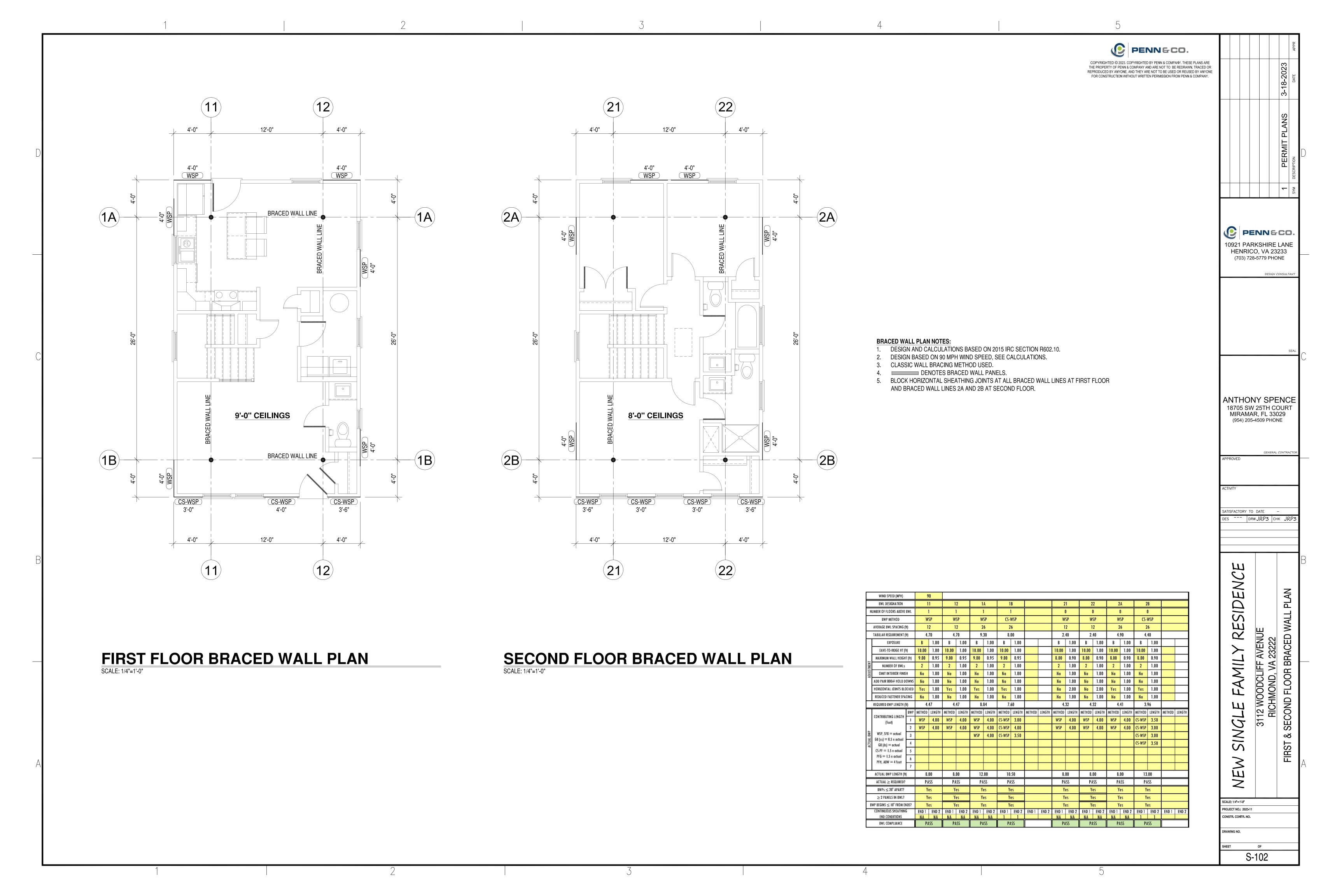
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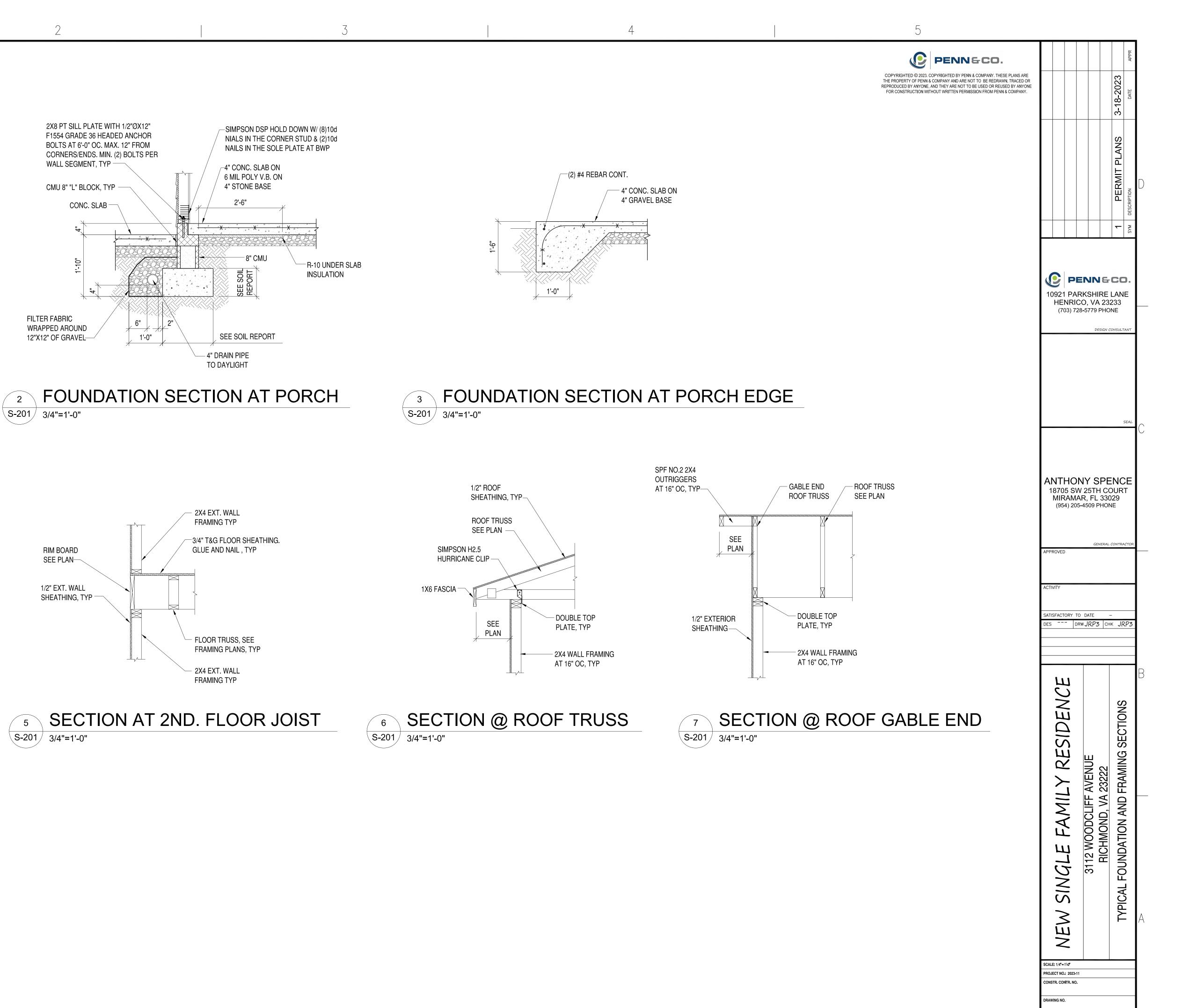
NE	
SCALE: 1/4"=1'-0"	
PROJECT NO.: 2023-11	
CONSTR. CONTR. NO.	
DRAWING NO.	

7

SIN

S-001





Α

2X8 PT SILL PLATE WITH 1/2"ØX12"

F1554 GRADE 36 HEADED ANCHOR

BOLTS AT 6'-0" OC. MAX. 12" FROM

WALL SEGMENT, TYP —

CMU 8" "L" BLOCK, TYP

FILTER FABRIC

WRAPPED AROUND

12"X12" OF GRAVEL-

S-201 3/4"=1'-0"

RIM BOARD

1/2" EXT. WALL

S-201 3/4"=1'-0"

SHEATHING, TYP —

SEE PLAN-

CORNERS/ENDS. MIN. (2) BOLTS PER

FINISH GRADE-

1'-0"

-SIMPSON DSP HOLD DOWN W/ (8)10d

NIALS IN THE CORNER STUD & (2)10d

R-10 UNDER SLAB

INSULATION

NAILS IN THE SOLE PLATE AT BWP

-4" CONC. SLAB ON

6 MIL POLY V.B. ON

4" STONE BASE

1 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4 4 X 4

SEE SOIL REPORT

- 4" DRAIN PIPE

TO DAYLIGHT

- 2X4 EXT. WALL

FRAMING TYP

-3/4" T&G FLOOR SHEATHING.

GLUE AND NAIL , TYP

- FLOOR TRUSS, SEE

- 2X4 EXT. WALL

SECTION AT 2ND. FLOOR JOIST

FRAMING TYP

FRAMING PLANS, TYP

TYP. FOUNDATION SECTION

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S-201

BK 283 08