



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Commission of Architectural Review
Certificate of Appropriateness Application
900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work)

Property Address: _____ Current **Zoning**: _____

Historic District: _____

Application is submitted for: (check one)

- ☐ **Alteration**
☐ **Demolition**
☐ **New Construction**

Project Description (attach additional sheets if needed):

Applicant/Contact Person: _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: (____) _____

Email: _____

Billing Contact? _____ Applicant Type (owner, architect, etc.): _____

Property Owner: _____

If Business Entity, name and title of authorized signee: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: (____) _____

Email: _____

Billing Contact? _____

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: _____ **Date:** _____

Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | alex.dandridge@rva.gov

Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review.

Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5th floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



December 3, 2025

Commission of Architectural Review
Alex Dandridge, Secretary
900 E. Broad St., Room 510
Richmond, VA 23219

Project Description

1109 W Franklin St is an existing 5,966SF (including basement) building in the Monument Avenue Historic District, currently owned by Congregation Beth Ahaba and used as a museum and office space under an existing special use permit (Ord. No. 2017-073). Cmnwlth Homes LLC is under contract to purchase the building and use a new special use permit to convert it back to its original use as a detached single-family dwelling.

In addition to the restoration of the existing building above, in the rear we plan to build a detached two-story 1,232SF garage and accessory dwelling unit in-keeping with several similar structures found on neighboring blocks. This new building would be built in a compatible contemporary style to CAR guidelines. Once completed, the combined gross living area across the primary residence and detached ADU would be 4,614SF.

These plans were submitted to the Commission for conceptual review at the November 25, 2025 meeting. The updated plans incorporate feedback from Staff and the Commission, including a revision to the roof form, windows and cladding. The renovation to 1109 W Franklin St has been moved into a separate application based on Staff recommendations.

1109 W Franklin St CAR Application

December 03, 2025

Existing Conditions Photographs

1109 W Franklin St
Richmond, VA 23220



Figure 1: Plan east front elevation along W Franklin St



Figure 2: Plan east front elevation seen from W Franklin St. Photograph shows existing porch, railing, and stair to be reworked



Figure 3: Second level of front elevation



Figure 4: Plan west rear elevation from the rear of the building



Figure 5: Plan north side elevation seen from the rear of the building

1109 W Franklin St CAR Application

December 03, 2025

Existing Conditions Photographs

1109 W Franklin St
Richmond, VA 23220



Figure 6: Alleyway between 1109 and 1107 W Franklin St seen from W Franklin St



Figure 7: Plan south elevation seen from between 1109 and 1107 W Franklin St

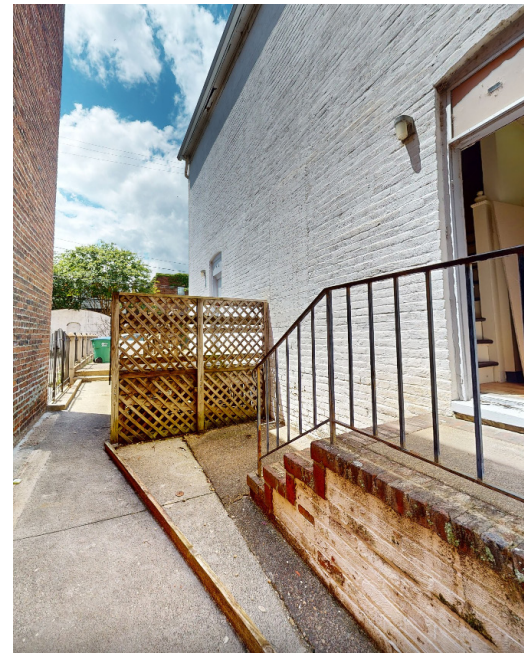


Figure 8: Plan south elevation seen from between 1109 and 1107 W Franklin St



Figure 9: Proposed location of Garage and ADU seen from alleyway behind W Franklin St



Figure 10: Proposed location of Garage and ADU seen from alleyway behind W Franklin St

1109 W FRANKLIN ST, RICHMOND, VA 23220

CAR APPLICATION SET - 12/03/2025

OWNER

CMNWLTN HOMES LLC
STEVE SANDERSON
1415 PARK AVE
RICHMOND, VA 23220
steve@cmnwltN.live

ARCHITECT

FULTZ & SINGH ARCHITECTS
1212 WESTOVER HILLS BLVD
RICHMOND, VA 23225
amrit@fultzsingharchitects.com
jason@fultzsingharchitects.com

DRAWING LIST - ARCHITECTURAL

SHEET		DRAWING TITLE	12/03/2005 QAR SET
CS.00	COVER SHEET		●
AS.00	SITE SURVEY		●
AS.01	CURRENT SITE PLAN		●
AS.02	PROPOSED SITE PLAN		●
EX.01	CURRENT FLOOR PLANS		●
EX.02	CURRENT FLOOR PLANS		●
AD.01	DEMOLITION PLANS		●
AD.02	DEMOLITION PLANS		●
A1.01	PROPOSED FLOOR PLANS		●
A1.02	PROPOSED FLOOR PLANS		●
A2.01	CURRENT BUILDING ELEVATIONS		●
A2.02	PROPOSED BUILDING ELEVATIONS		●


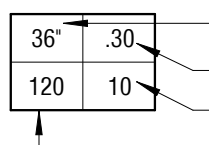
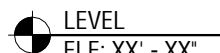

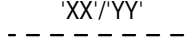

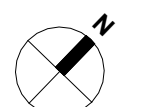
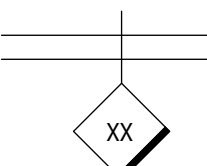


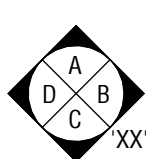


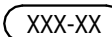
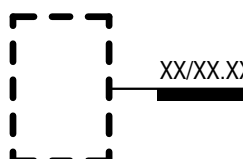
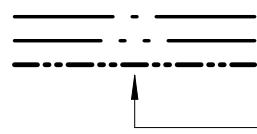
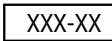
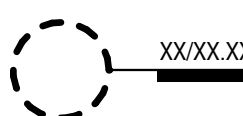



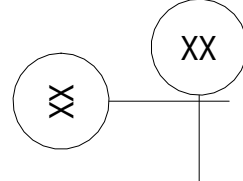



fultzsingharchitects.com
1212 Westover Hills Blvd
Richmond, VA 23225

1109 W FRANKLIN ST RENOVATION

11109 W FRANKLIN ST
RICHMOND, VA 23220

PRELIMINARY
FOR CONSTRUCTION

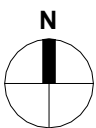
DRAWING SYMBOL LEGEND

	EXTERIOR ELEVATION CALLOUT	 <p>DOOR EGRESS TAG</p> <p>ACTUAL DOOR WIDTH</p> <p>INCHES PER OCCUPANT</p> <p>ACTUAL OCCUPANT NUMBER</p> <p>OCCUPANT CAPACITY OF OPENING</p>	 <p>LEVEL</p> <p>ELE: 'XX' - 'XX'</p>		WINDOW / OPENING TAG - REFER TO OPENING SCHEDULE FOR ADDITIONAL INFORMATION	 <p>XX/'YY'</p>	DRAWING MATCHLINE		
	SECTION CALLOUT		PROJECT NORTH		WALLTYPE INDICATION		FIXTURE / EQUIPMENT TAG - REFER TO A6 SERIES SCHEDULES FOR ADDITIONAL INFORMATION - SEE A10 DRAWINGS FOR LIGHTING FIXTURES		SMOKE DETECTOR - INTEGRATED INTO BUILDING FIRE ALARM SYSTEM WHERE PROVIDED
	INTERIOR ELEVATION CALLOUT *LETTER DESIGNATES DRAWING NUMBER **'XX' DESIGNATES SHEET NUMBER		GEOMETRY WORKPOINT		EGRESS PATH		DOOR TAG		
	ENLARGED PLAN / SECTION CALLOUT		DRAWING NOTE	 <p>DASH INDICATES RATING IN NUMBER OF HOURS [DENSE DASH INDICATES 30MIN WALL]</p>	WALL RATING INDICATION		ROOM TAG		
	DETAIL CALLOUT		REVISION NOTE	 <p>CODE COMPLIANT ILLUMINATED EXIT SIGN INDICATOR DIRECTION [IF APPLICABLE]</p>	CODE COMPLIANT ILLUMINATED EXIT SIGN INDICATOR DIRECTION [IF APPLICABLE]		MATERIAL TAG - REFER TO A0.00 FOR ADDITIONAL INFORMATION		
	GRIDLINE REFERENCE		DEMOLITION NOTE		LINEAR SHEET MATERIAL GRAIN DIRECTION INDICATION		SURFACE STEP / ELEVATION CHANGE		

VICINITY MAP

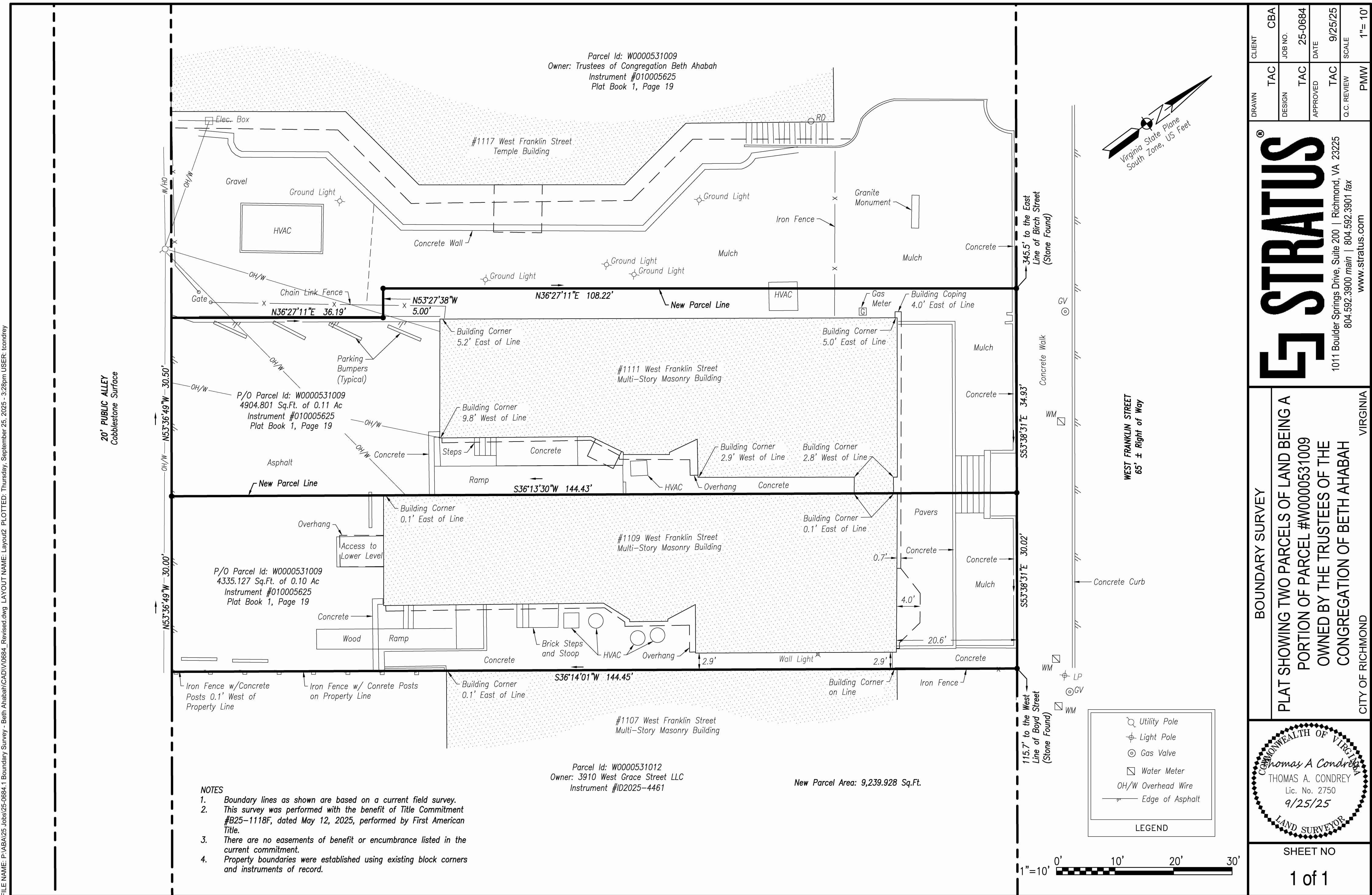
NOT TO SCALE

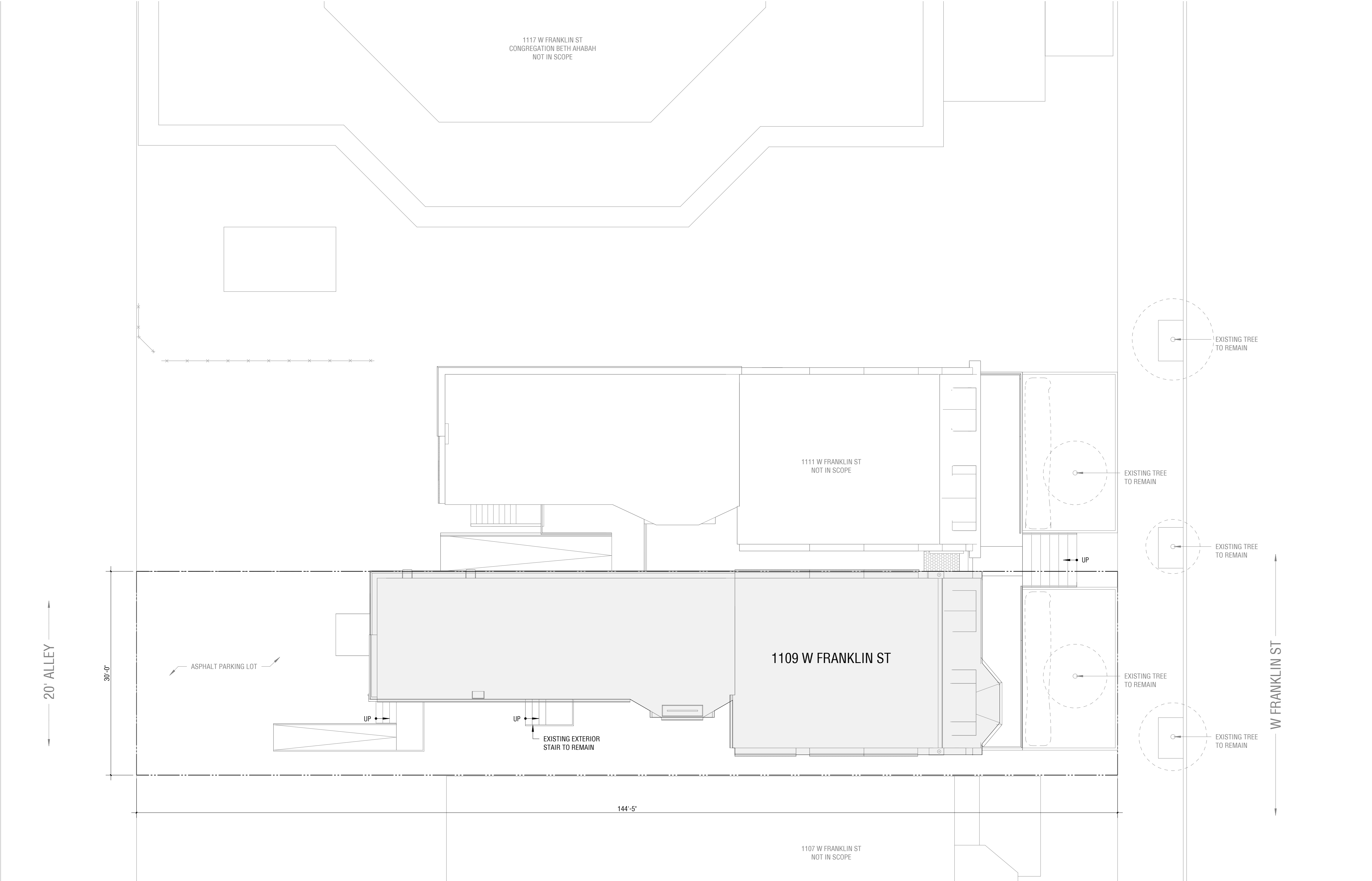
PROJECT LOCATION



FOR REVIEWER

JOB NUMBER / 0210		ISSUE DATE / 12/03/2025	SCALE / 12" = 1'-0"	DRAWN / CHECKED /	JUN AS	REVISION	DATE
CS.00				COVER SHEET			

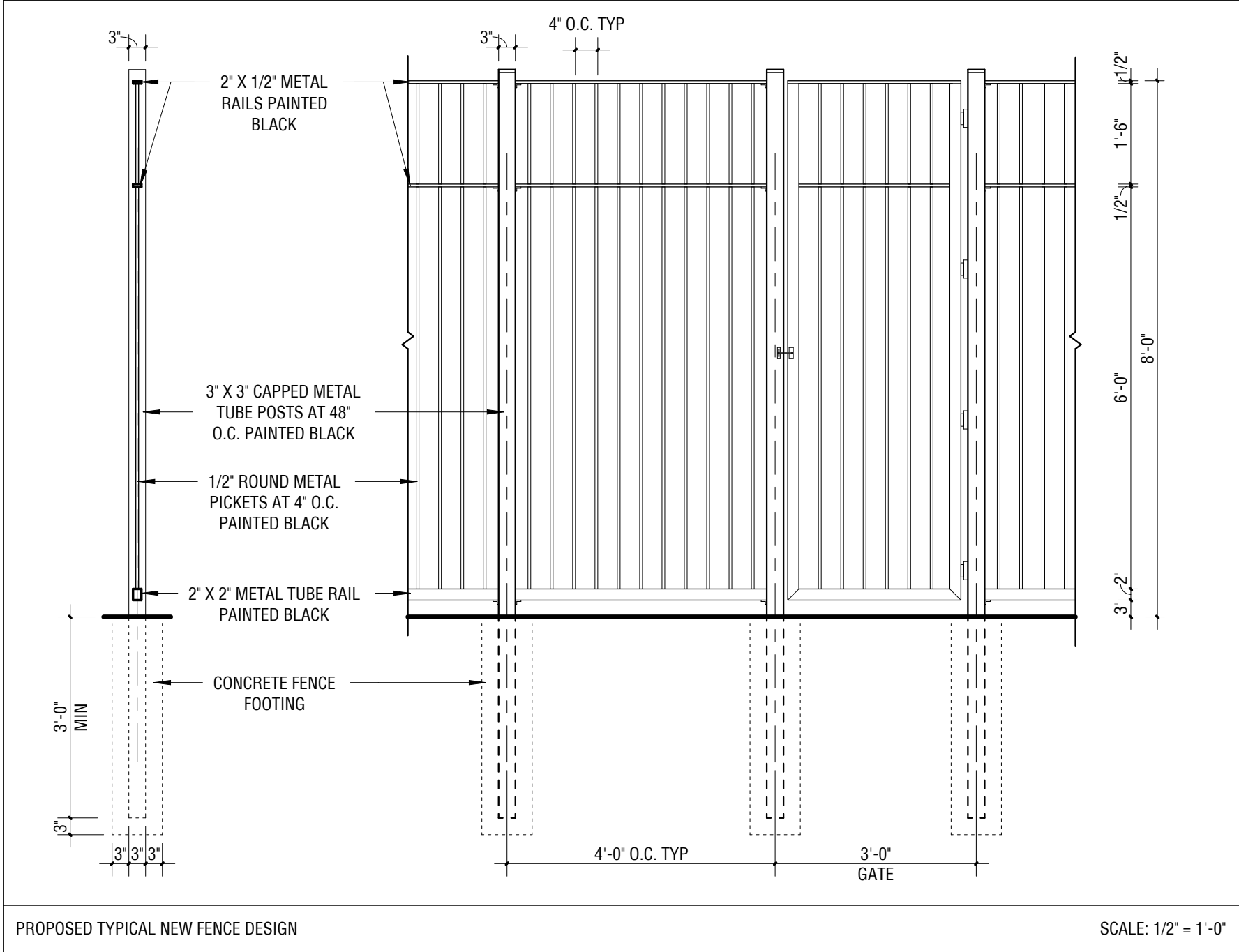




PRELIMINARY NOT FOR CONSTRUCTION					

1109 W FRANKLIN ST RENOVATION

1109 W FRANKLIN ST
RICHMOND, VA 23220



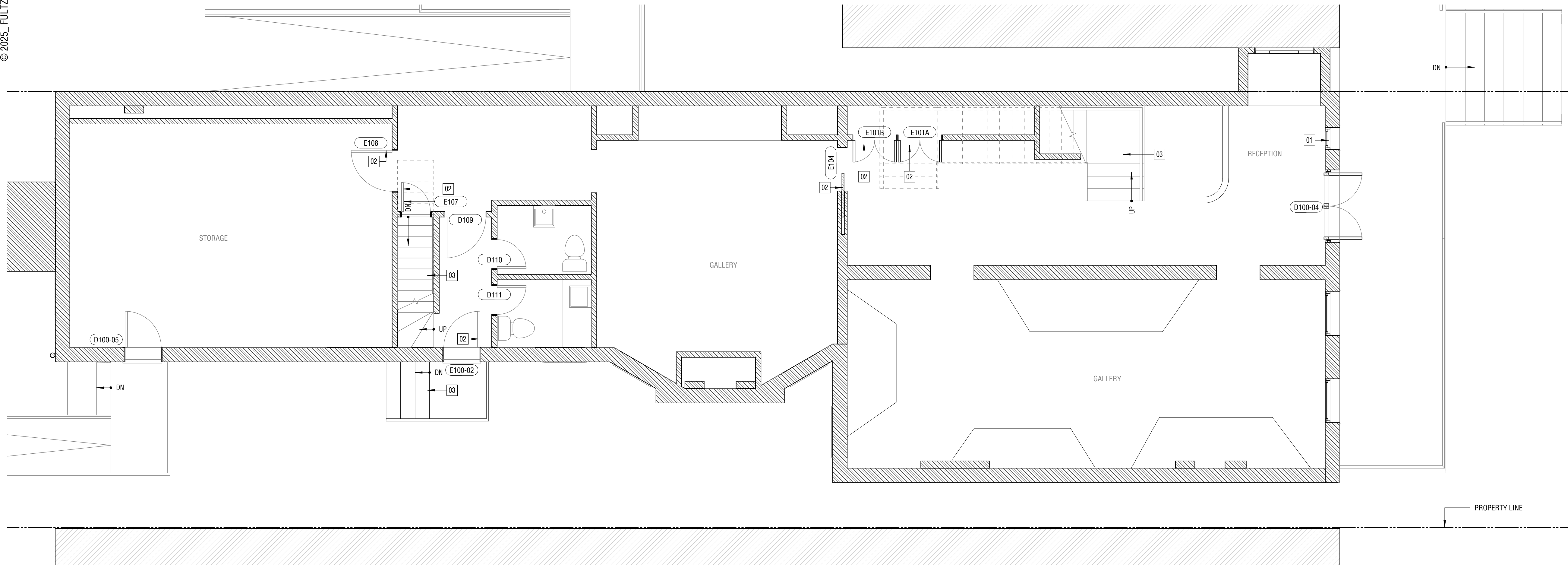
1109 W FRANKLIN ST RENOVATION

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RICHMOND, VA 23220

PRELIMINARY
NOT FOR CONSTRUCTION

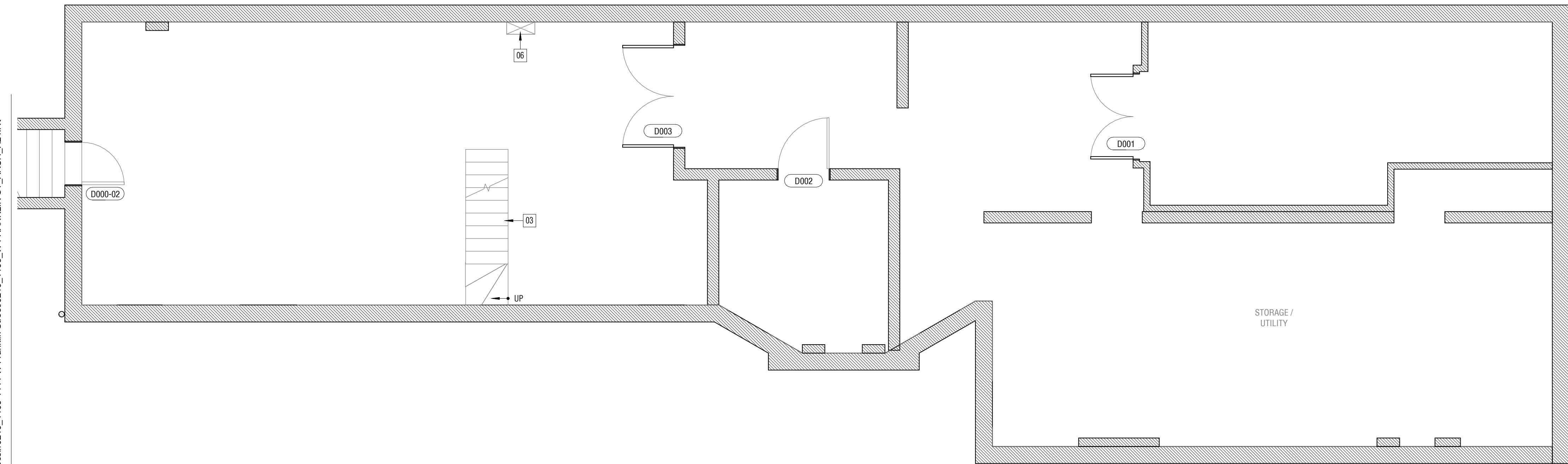
CURRENT FLOOR PLANS

EX.01



02 CURRENT FLOOR PLAN - LEVEL 01


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



01 CURRENT FLOOR PLAN - LEVEL 00

SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

 NEW CONSTRUCTION

 EXISTING TO REMAIN

 ADJACENT PROPERTY
NOT IN SCOPE

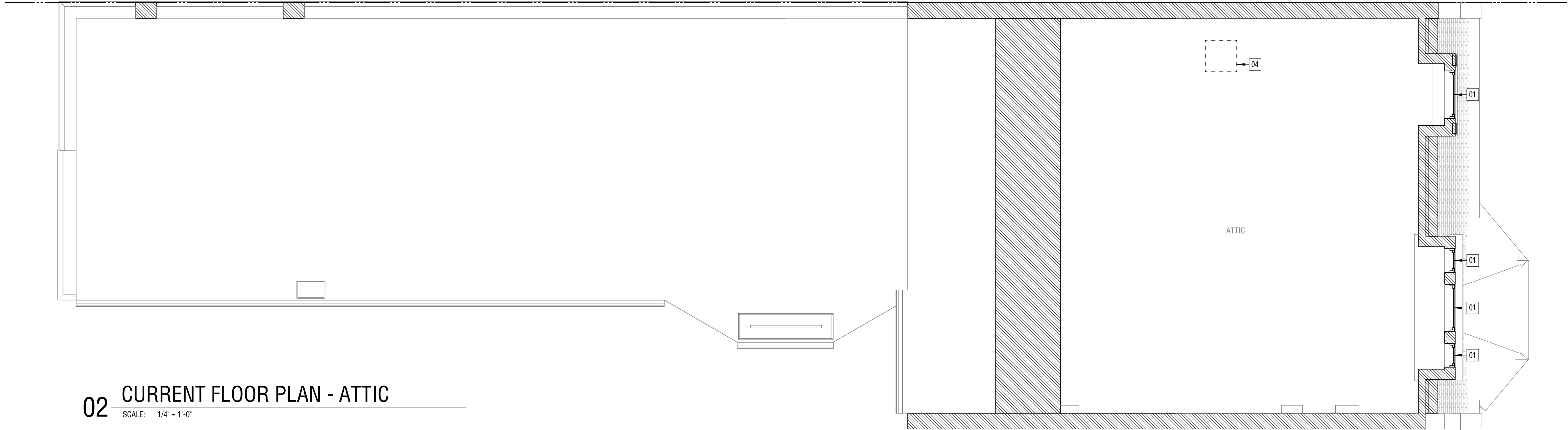
EXISTING DOOR SCHEDULE

DOOR NO.	INT / EXT	DIMENSIONS				MATERIAL / FINISH		REMARKS
		WIDTH	HEIGHT	THICKNESS	SIZE			
D000-02	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH	
D100-04	Exterior	4'-9"	7'-0"	2"	ALU/GLAS	MFR	DEMOLISH	
D100-05	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH	
D100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN	
D001	Interior	15'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
D002	Interior	3'-0"	6'-8"	1 1/2"	WD	PT	DEMOLISH	
D003	Interior	6'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
D100-08	Interior	2'-10"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
D110	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
D111	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
E101A	Interior	3'-0"	3'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E101B	Interior	3'-0"	3'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E104	Interior	3'-0"	3'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
D210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
D211	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
D212	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH	
D202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	

	EXISTING NOTES
01	EXISTING WINDOW TO REMAIN
02	EXISTING DOOR TO REMAIN
03	EXISTING STAIR TO REMAIN
04	EXISTING ATTIC HATCH TO REMAIN
05	EXISTING METAL GATE TO REMAIN
06	EXISTING ELECTRICAL PANEL

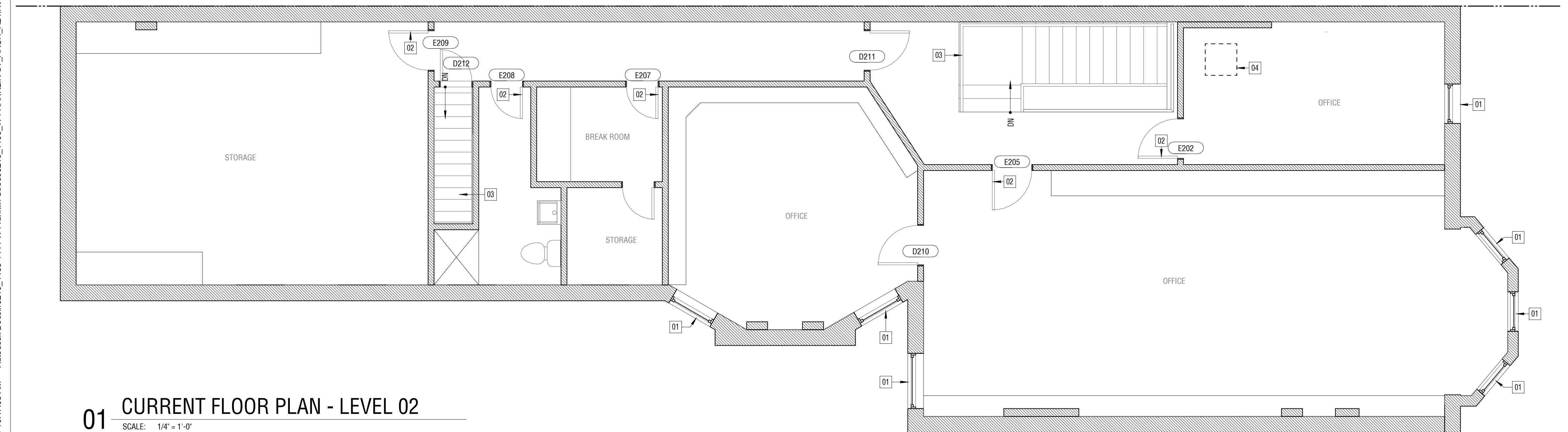
☐ EXISTING NOTES

01	EXISTING WINDOW TO REMAIN
02	EXISTING DOOR TO REMAIN
03	EXISTING STAIR TO REMAIN
04	EXISTING ATTIC HATCH TO REMAIN
05	EXISTING METAL GATE TO REMAIN
06	EXISTING ELECTRICAL PANEL



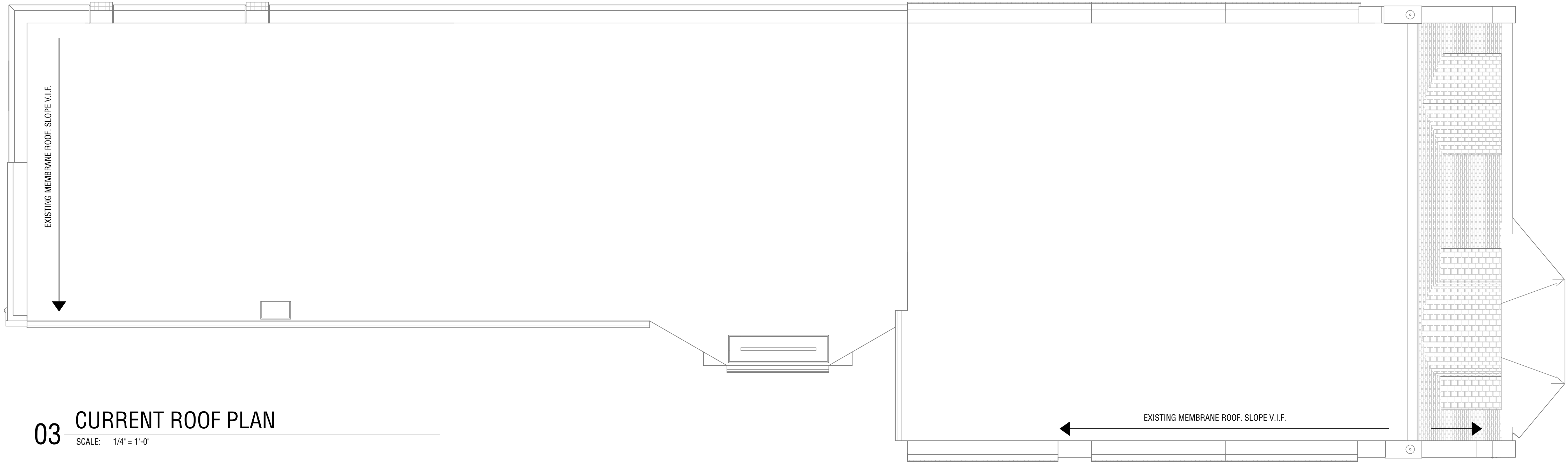
02 CURRENT FLOOR PLAN - ATTIC

SCALE: 1/4" = 1'-0"



01 CURRENT FLOOR PLAN - LEVEL 02

SCALE: 1/4" = 1'-0"



03 CURRENT ROOF PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

EXISTING DOOR SCHEDULE

DOOR NO.	INT / EXT	DIMENSIONS			MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT	THICKNESS			
D000-02	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D100-04	Exterior	4'-9"	7'-0"	2"	ALU/GLAS	MFR S	DEMOLISH
D100-05	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
E100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
D001	Interior	5'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D002	Interior	3'-0"	6'-8"	1 1/2"	WD	PT	DEMOLISH
D003	Interior	6'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D109	Interior	2'-10"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D110	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D111	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E101A	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E101B	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E104	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
D210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D211	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D212	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 23							

- EXISTING NOTES
- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

1109 W FRANKLIN ST RENOVATION

1109 W FRANKLIN ST
RICHMOND, VA 23220

PRELIMINARY
NOT FOR CONSTRUCTION

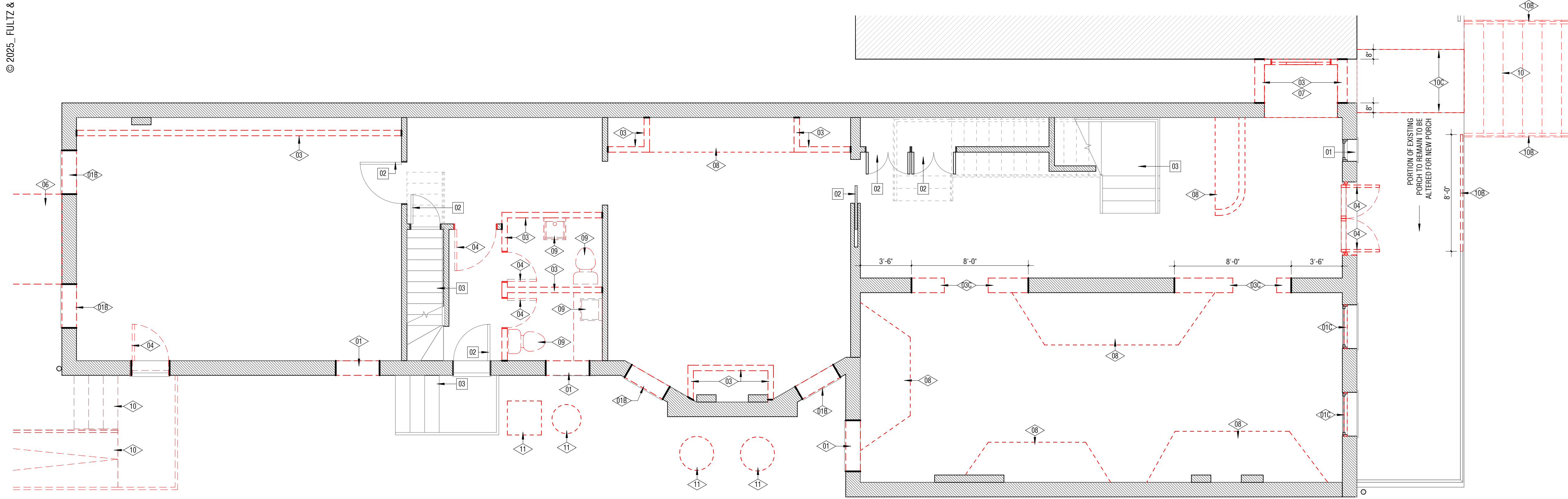
CURRENT FLOOR PLANS

JOB NUMBER /
0210
SHEET /
EX.02

REVISION
JN AS
DATE

SCALE /
1/4" = 1'-0"
ISSUE DATE /
12/03/2025

JOB NUMBER /
0210
SHEET /
EX.02



DEMOLITION PLAN LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

DEMOLITION NOTES

- 01 REOPEN BRICKED IN OPENING FOR NEW WINDOW
- 01B REOPEN COVERED OPENING FOR NEW WINDOW
- 01C REOPEN COVERED OPENING. EVALUATE EXISTING WINDOWS FOR REPAIR
- 02 NEW DOOR OPENING IN MASONRY WALL
- 03 REMOVE INDICATED PORTION OF WALL
- 03B REMOVE INDICATED PORTION OF WALL FOR NEW DOOR OPENING
- 03C REMOVE INDICATED PORTION OF WALL FOR NEW CASED OPENING
- 04 REMOVE DOOR
- 05 REMOVE DOOR, PATCH AND REPAIR TO MATCH ADJACENT WALL AND PREPARE FOR NEW CLERESTORY WINDOW
- 06 REMOVE EXTERIOR STAIR AND ASSOCIATE HARDWARE, HATCH, AND AWNING
- 07 REMOVE WALLS, FLOOR, FOUNDATIONS, CEILING AND ROOF OF THE CONNECTING AREA BETWEEN 1109 AND 1111 W FRANKLIN IN ITS ENTIRETY
- 08 REMOVE CASEWORK
- 09 REMOVE PLUMBING FIXTURE
- 10 REMOVE EXTERIOR STAIR, RAMP, PORCH AND RAILING
- 10B REMOVE PORTION OF EXISTING RAILING
- 10C REMOVE PORTION OF EXTERIOR PORCH
- 11 REMOVE HVAC AND ASSOCIATED ELECTRIC, REFRIGERANT LINES, AND DUCTWORK. MECHANICAL SYSTEMS TO BE REWORKED IN ENTIRETY
- 12 REMOVE PLUMBING EQUIPMENT

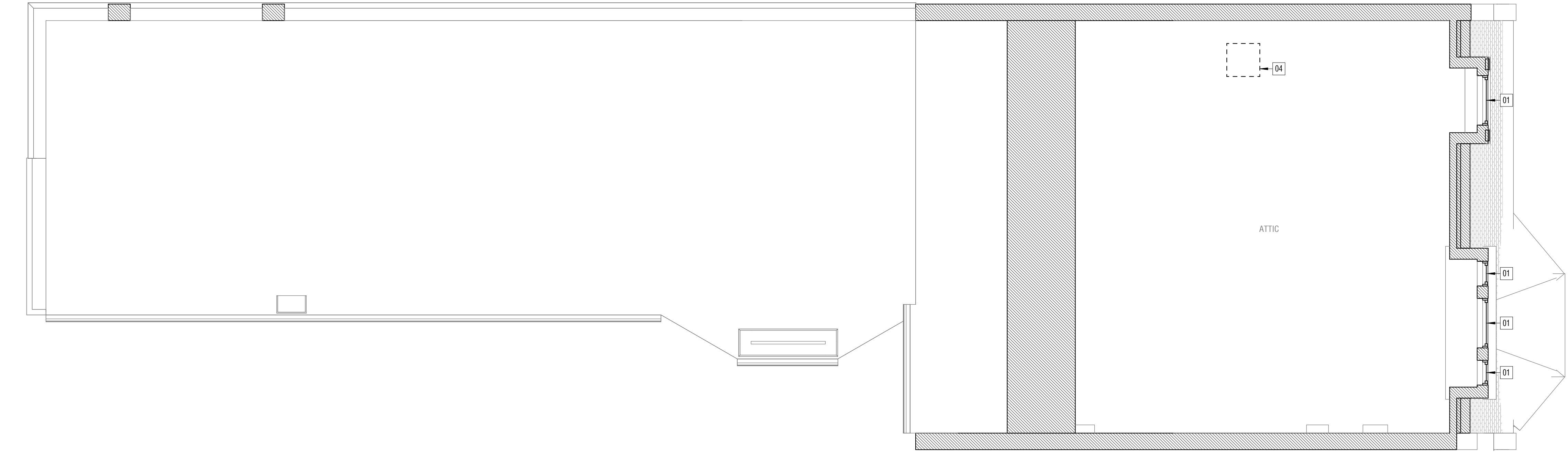
02 DEMOLITION PLAN - LEVEL 01

SCALE: 1/4" = 1'-0"

01 DEMOLITION PLAN - LEVEL 00

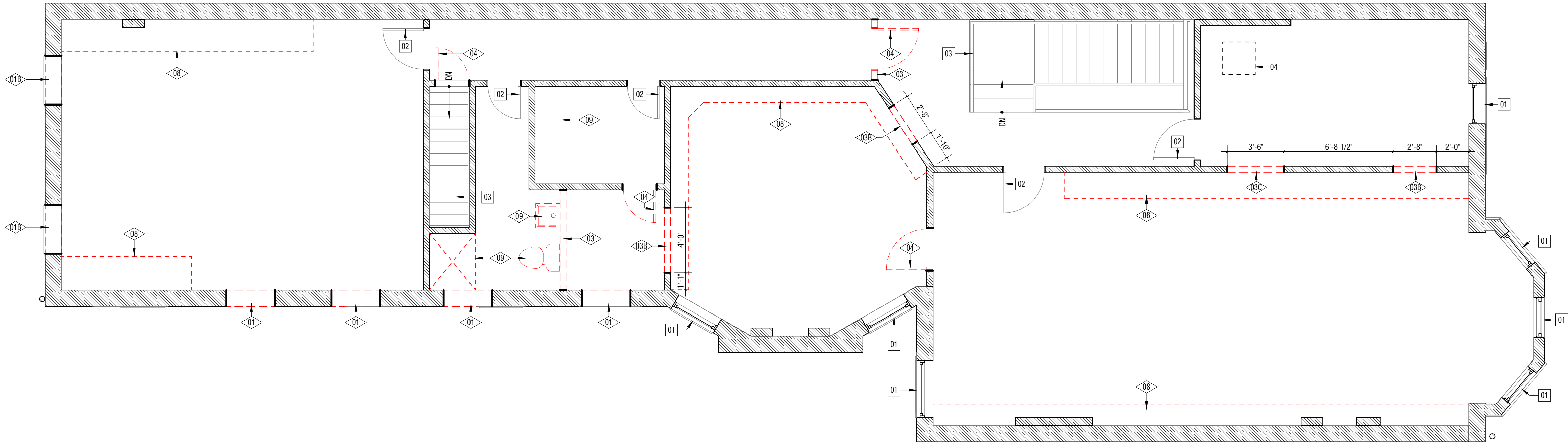
SCALE: 1/4" = 1'-0"

#				REVISION		DATE	
JOB NUMBER / 0210		ISSUE DATE / 12/03/2025		DRAWN /		JN	
				CHECKED /		AS	
SHEET / AD.01		DEMOLITION PLANS					



02 DEMOLITION PLAN - ATTIC

SCALE: 1/4" = 1'-0"



01 DEMOLITION PLAN - LEVEL 02

SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

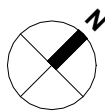
- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

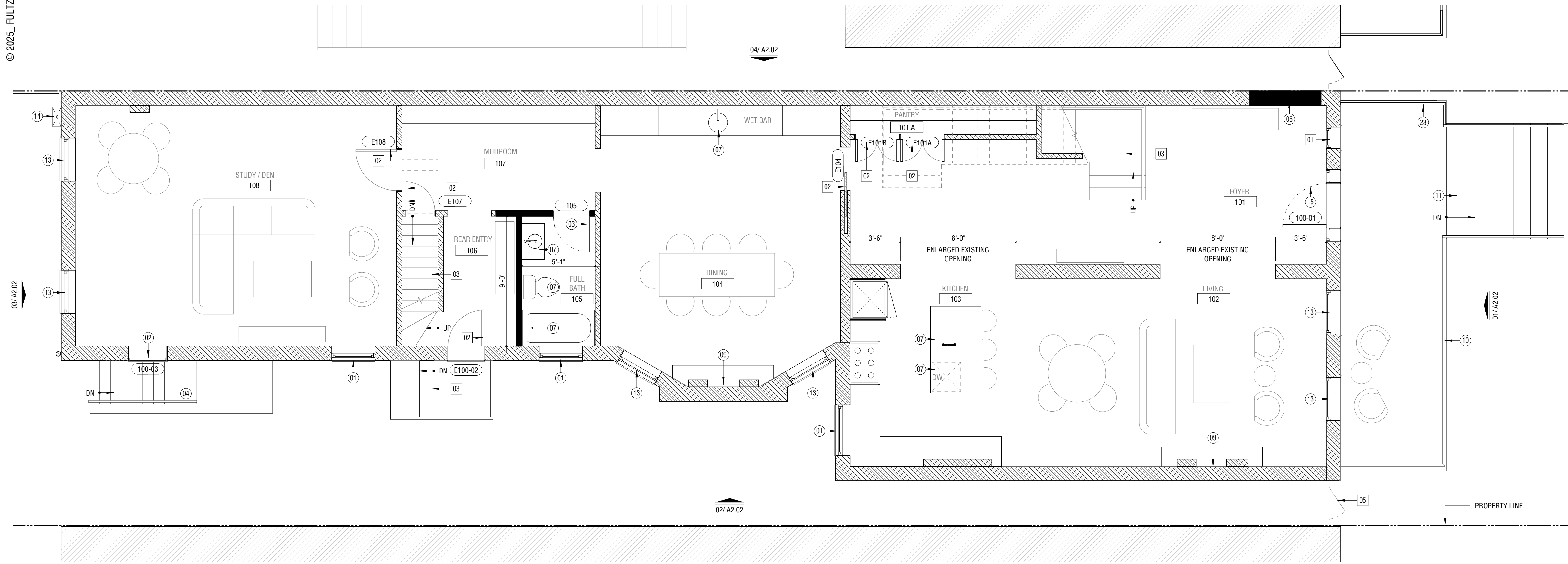
EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

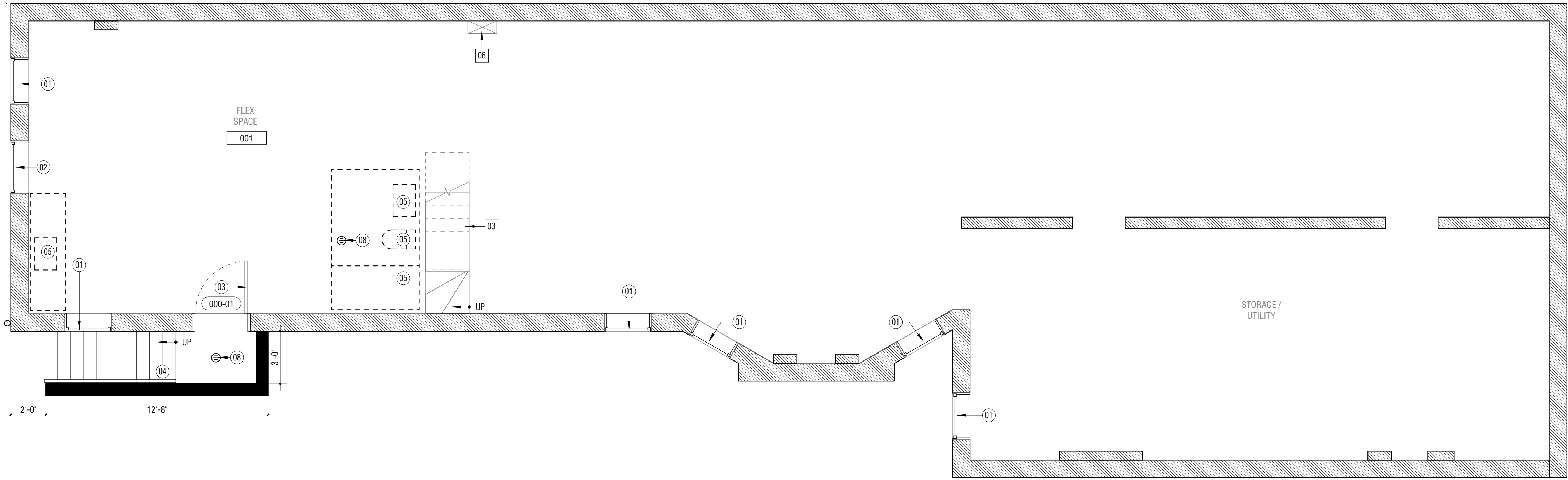
DEMOLITION NOTES

- 01 REOPEN BRICKED IN OPENING FOR NEW WINDOW
- 01B REOPEN COVERED OPENING FOR NEW WINDOW
- 01C REOPEN COVERED OPENING. EVALUATE EXISTING WINDOWS FOR REPAIR
- 02 NEW DOOR OPENING IN MASONRY WALL
- 03 REMOVE INDICATED PORTION OF WALL
- 03B REMOVE INDICATED PORTION OF WALL FOR NEW DOOR OPENING
- 03C REMOVE INDICATED PORTION OF WALL FOR NEW CASED OPENING
- 04 REMOVE DOOR
- 05 REMOVE DOOR, PATCH AND REPAIR TO MATCH ADJACENT WALL AND PREPARE FOR NEW CLERESTORY WINDOW
- 06 REMOVE EXTERIOR STAIR AND ASSOCIATE HARDWARE, HATCH, AND AWNING
- 07 REMOVE WALLS, FLOOR, FOUNDATIONS, CEILING AND ROOF OF THE CONNECTING AREA BETWEEN 1109 AND 1111 W FRANKLIN IN ITS ENTIRETY
- 08 REMOVE CASEWORK
- 09 REMOVE PLUMBING FIXTURE
- 10 REMOVE EXTERIOR STAIR, RAMP, PORCH AND RAILING
- 10B REMOVE PORTION OF EXISTING RAILING
- 10C REMOVE PORTION OF EXTERIOR PORCH
- 11 REMOVE HVAC AND ASSOCIATED ELECTRIC, REFRIGERANT LINES, AND DUCTWORK. MECHANICAL SYSTEMS TO BE REWORKED IN ENTIRETY
- 12 REMOVE PLUMBING EQUIPMENT





02 FLOOR PLAN - LEVEL 01
SCALE: 1/4" = 1'-0"



01 FLOOR PLAN - LEVEL 00
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

GROSS LIVING AREA

LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	3,989 SF

ADU

LEVEL 01 ENTRY	16 SF
LEVEL 02	616 SF
TOTAL	632 SF

GROSS SQUARE FOOTAGE

LEVEL 00	1,977 SF
LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	5,966 SF

GARAGE / ADU	616 SF
LEVEL 01	616 SF
LEVEL 02	1,232 SF
TOTAL	1,232 SF

GRAND TOTAL	7,198 SF
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DOOR SCHEDULE

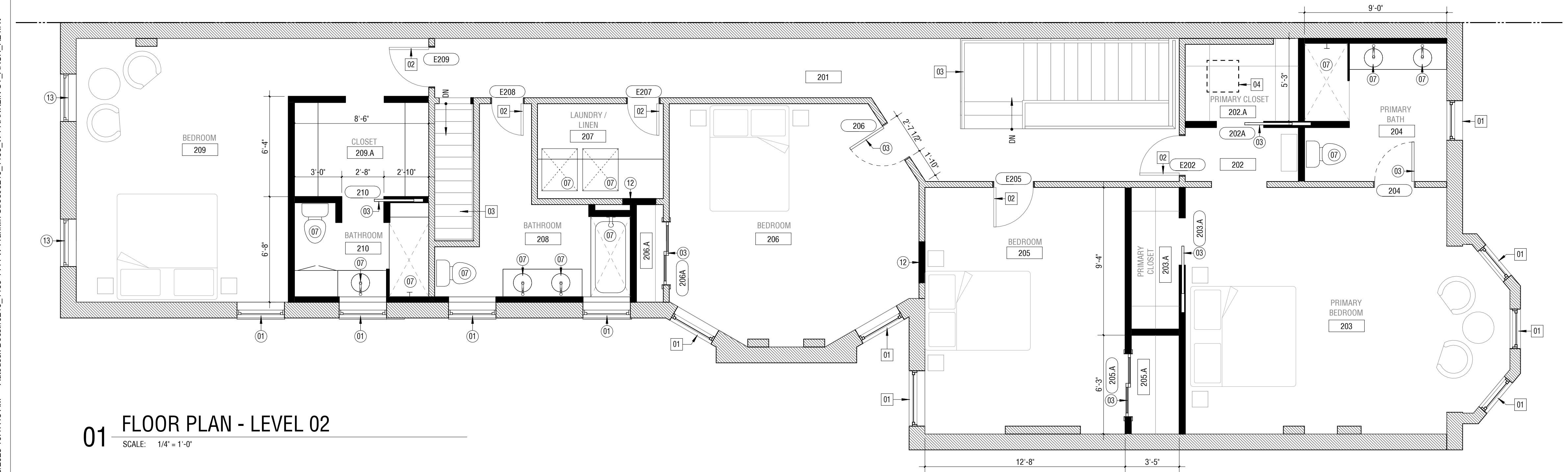
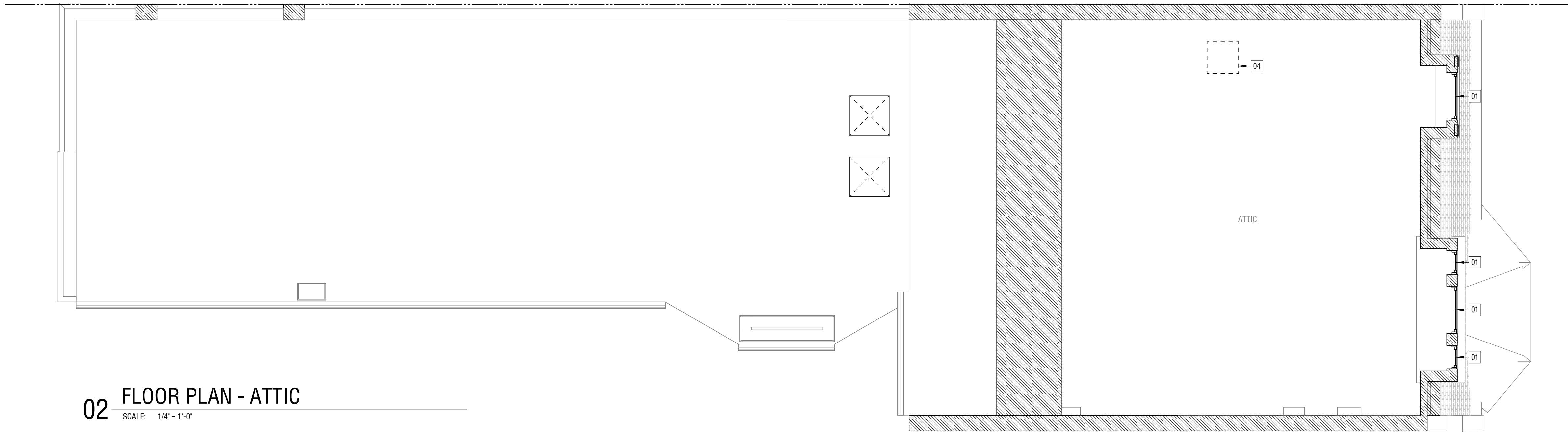
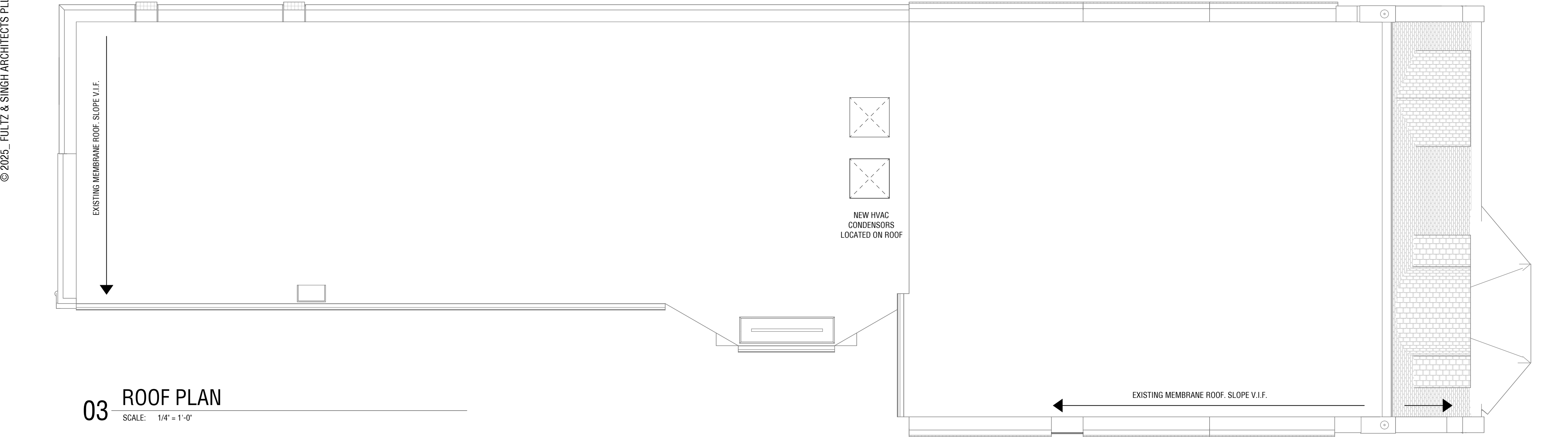
DOOR NO.	INT / EXT	DIMENSIONS			MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT	THICKNESS			
000-01	Exterior	3'-0"	6'-8"	2"	WD	WD	
100-01	Exterior	3'-0"	7'-0"	2"	WD	PT	
100-03	Exterior	2'-6"	6'-8"	2"	WD/GLASS	PT	GLASS DOOR PINNED IN PLACE. HISTORIC OPENING
E100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
105	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
E101A	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E101B	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E104	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
202A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	
203A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	
204	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
205A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
206	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
206A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 22							

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

NEW CONSTRUCTION NOTES

- 01 NEW WINDOW IN BRICKED IN OPENING
- 02 NEW WINDOW IN EXISTING DOOR OPENING
- 03 NEW DOOR OPENING
- 04 NEW EXTERIOR CONCRETE STAIR AND HANDRAIL
- 05 ROUGH IN FOR FUTURE PLUMBING FIXTURE
- 06 INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
- 07 NEW PLUMBING FIXTURE
- 08 NEW FLOOR DRAIN
- 09 EXISTING FIREPLACE TO BE UNCOVERED/EVALUATED FOR REPAIR
- 10 EXISTING FRONT PORCH TO BE ALTERED WITH NEW STAIR AND HANDRAIL TO MATCH EXISTING
- 11 NEW FRONT PORCH STAIR AND HANDRAILS
- 12 INFILL EXISTING OPENING TO MATCH ADJACENT WALL ASSEMBLY
- 13 UNCOVER EXISTING WINDOW. REPAIR/REPLACE AS NEEDED
- 14 NEW ELECTRIC METER
- 15 NEW SOLID PAINTED FRONT DOOR AND SIDELIGHTS



FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

GROSS LIVING AREA

LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	3,989 SF

ADU

LEVEL 01 ENTRY	16 SF
LEVEL 02	616 SF
TOTAL	632 SF

GROSS SQUARE FOOTAGE

LEVEL 00	1,977 SF
LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	5,966 SF

GARAGE / ADU

LEVEL 01	616 SF
LEVEL 02	616 SF
TOTAL	1,232 SF

GRAND TOTAL	7,198 SF
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DOOR SCHEDULE

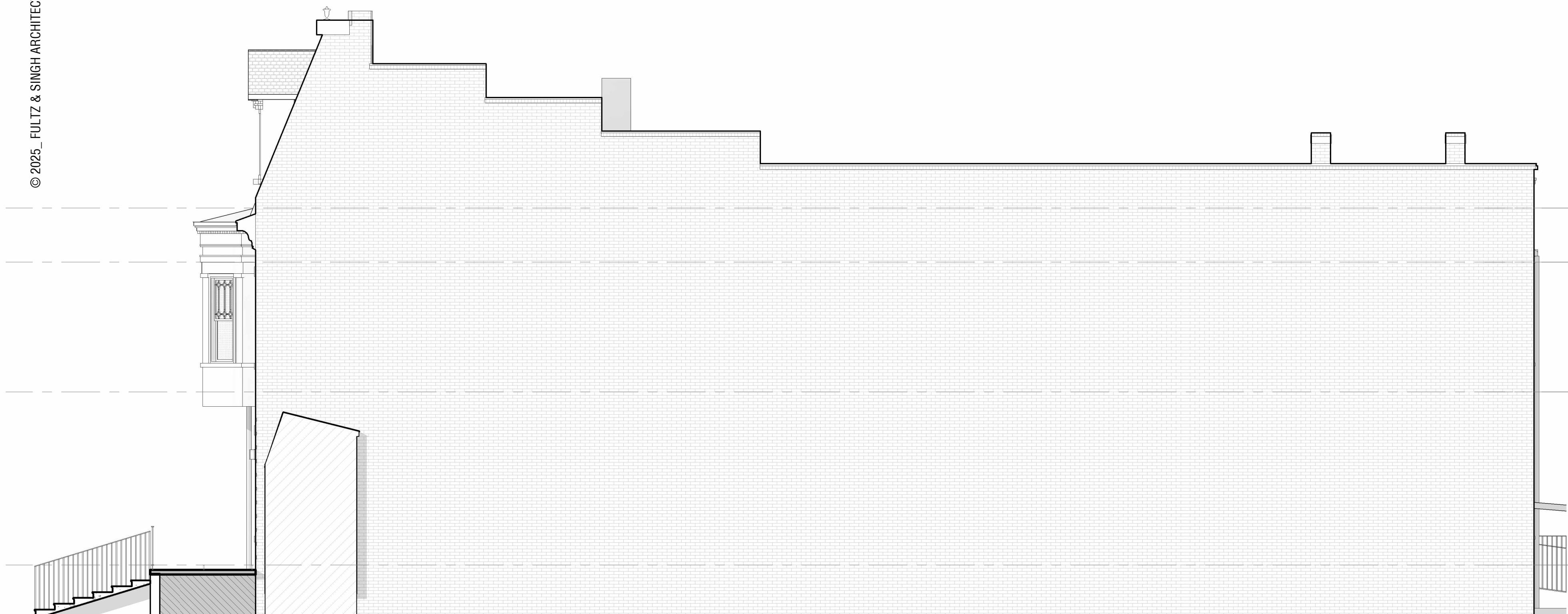
DOOR NO.	INT / EXT	DIMENSIONS			MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT	THICKNESS			
000-01	Exterior	3'-0"	6'-8"	2"	WD	WD	
100-01	Exterior	3'-0"	7'-0"	2"	WD	PT	
100-03	Exterior	2'-6"	6'-8"	2"	WD/GLASS	PT	GLASS DOOR PINNED IN PLACE. HISTORIC OPENING
E100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
105	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
E101A	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E101B	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
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E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
202A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	
203A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	
204	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
205A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
206	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
206A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 22							

EXISTING NOTES

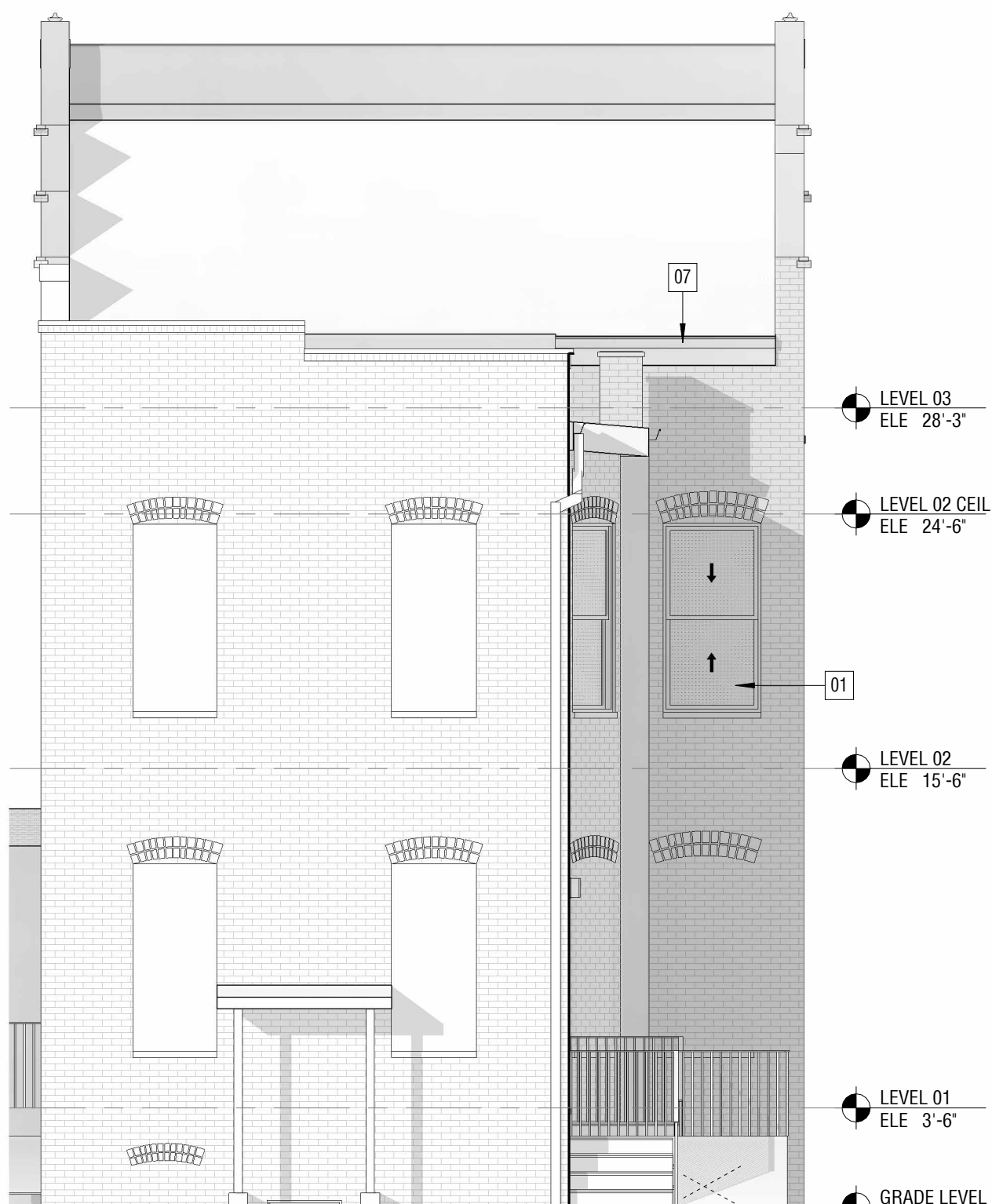
- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

NEW CONSTRUCTION NOTES

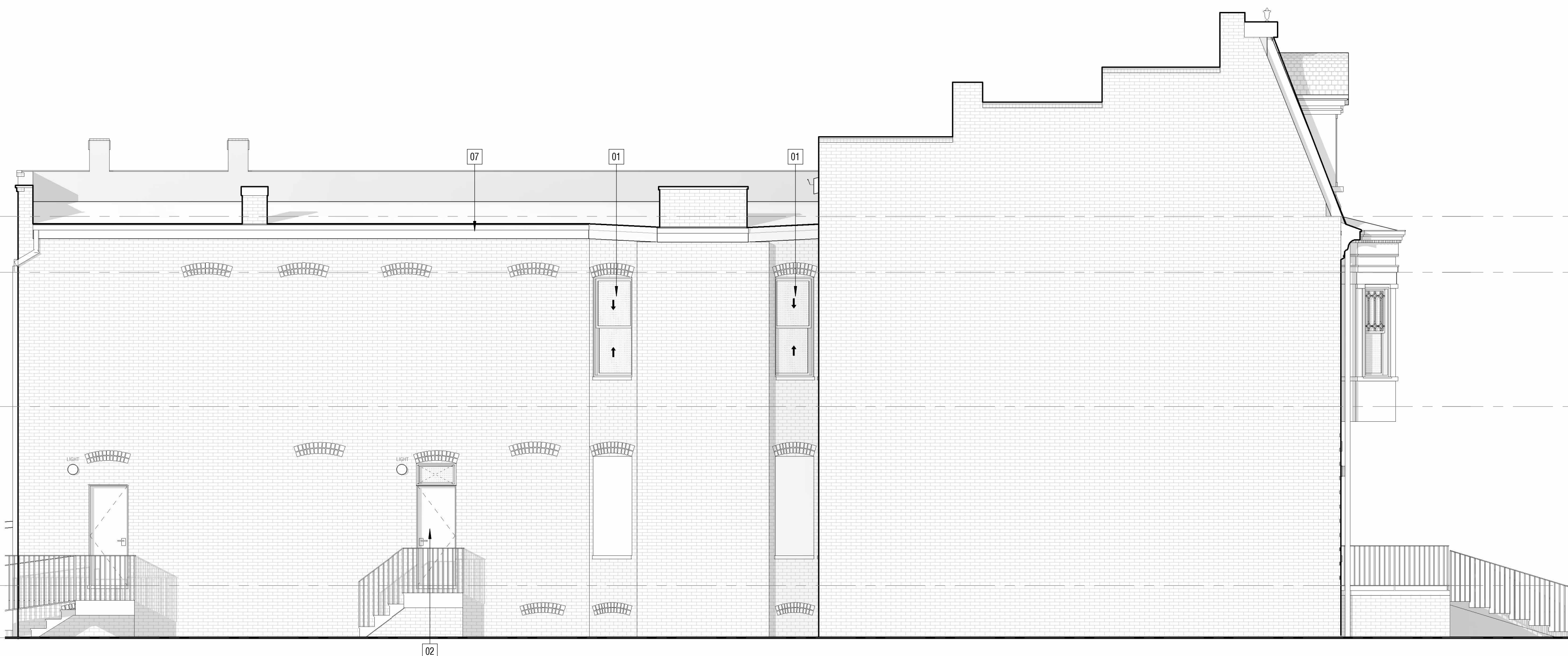
- 01 NEW WINDOW IN BRICKED IN OPENING
- 02 NEW WINDOW IN EXISTING DOOR OPENING
- 03 NEW DOOR OPENING
- 04 NEW EXTERIOR CONCRETE STAIR AND HANDRAIL
- 05 ROUGH IN FOR FUTURE PLUMBING FIXTURE
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- 14 NEW ELECTRIC METER
- 15 NEW SOLID PAINTED FRONT DOOR AND SIDELIGHTS



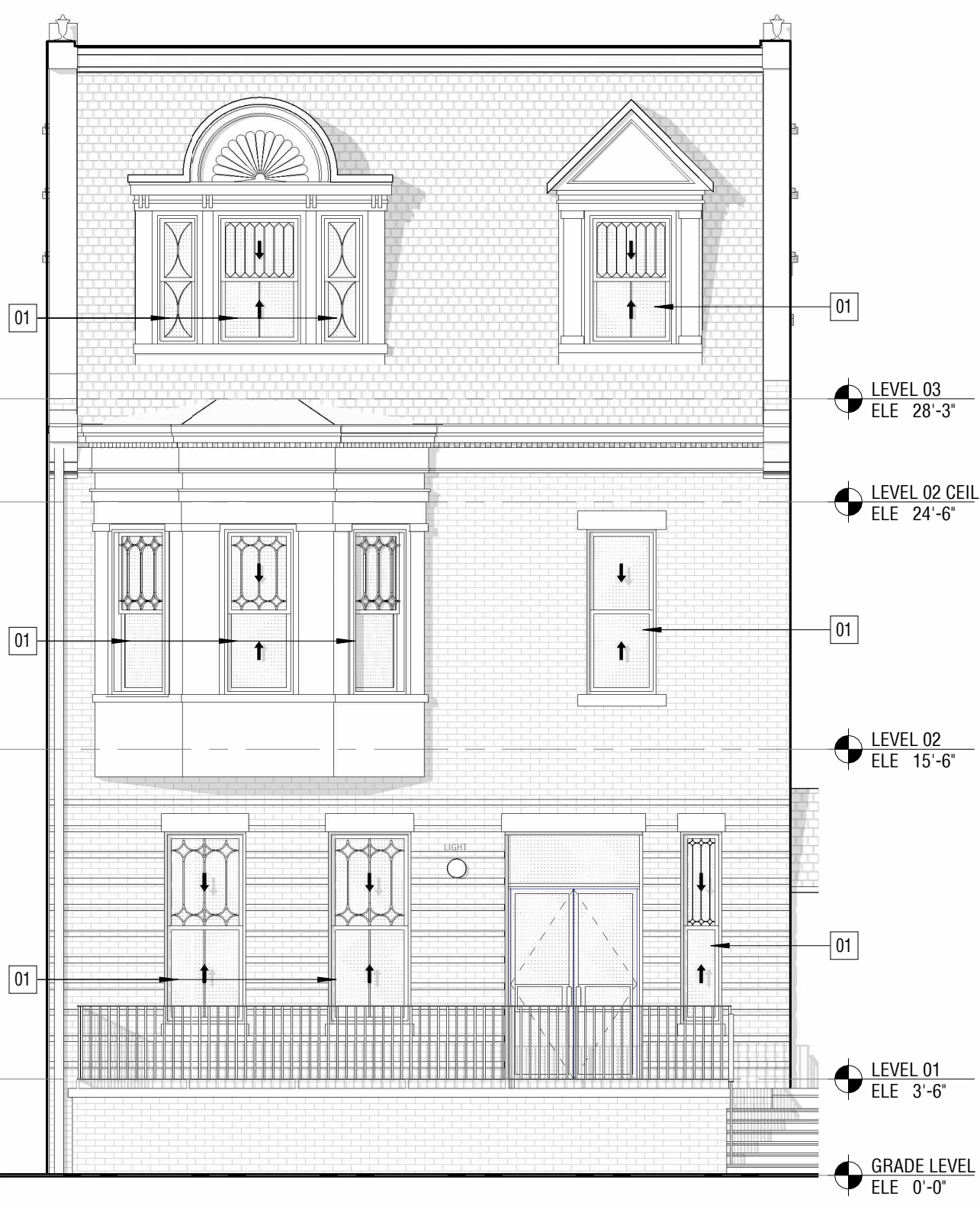
04 BUILDING ELEVATION - NORTH



03 BUILDING ELEVATION - WEST

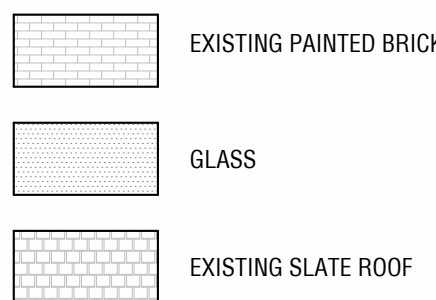


02 BUILDING ELEVATION - SOUTH



01 BUILDING ELEVATION - EAST

ELEVATION LEGEND



fultz & singh

fultzsingharchitects.com
1212 Westover Hills Blvd
Richmond, VA 23225

1109 W FRANKLIN ST RENOVATION

1109 W FRANKLIN ST
RICHMOND, VA 23220

PRELIMINARY
NOT FOR CONSTRUCTION

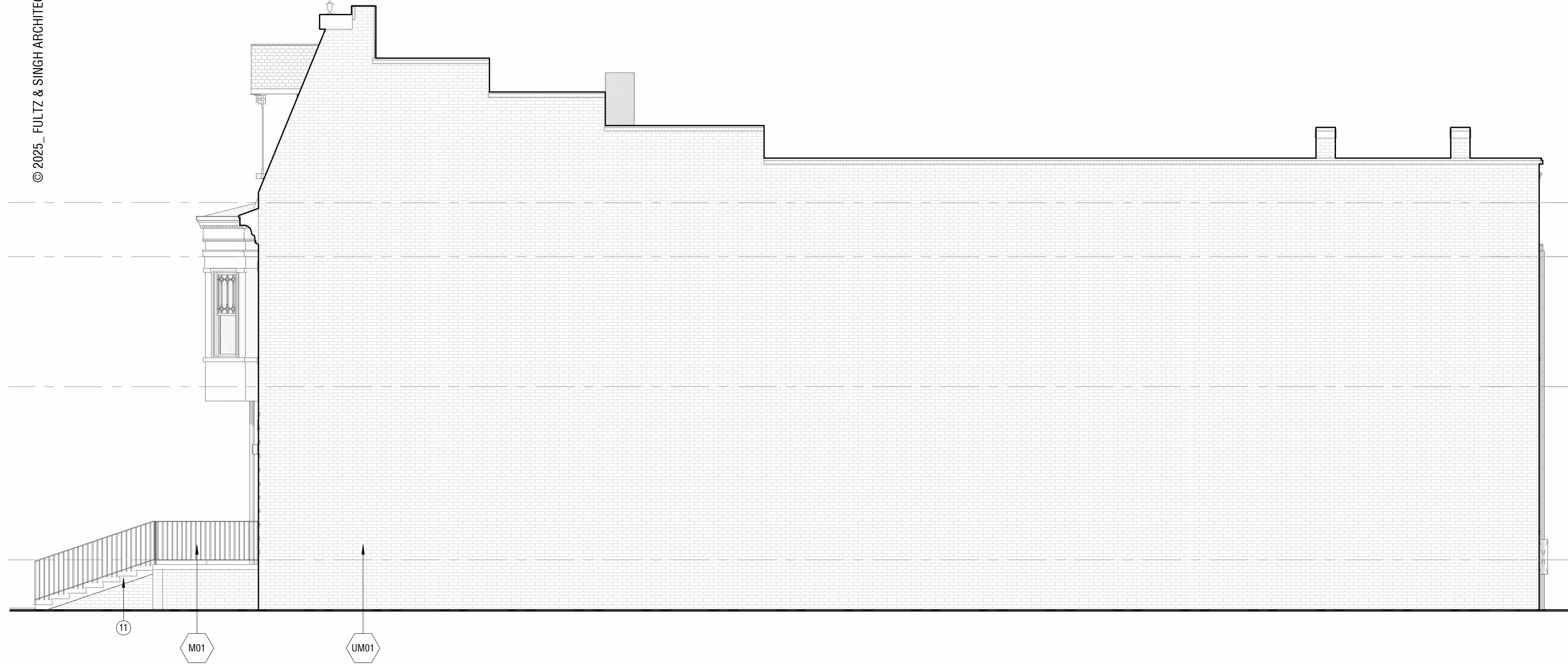
☐ EXISTING NOTES

- | | |
|----|--------------------------------|
| 01 | EXISTING WINDOW TO REMAIN |
| 02 | EXISTING DOOR TO REMAIN |
| 03 | EXISTING STAIR TO REMAIN |
| 04 | EXISTING ATTIC HATCH TO REMAIN |
| 05 | EXISTING METAL GATE TO REMAIN |
| 06 | EXISTING ELECTRICAL PANEL |

○ NEW CONSTRUCTION NOTES

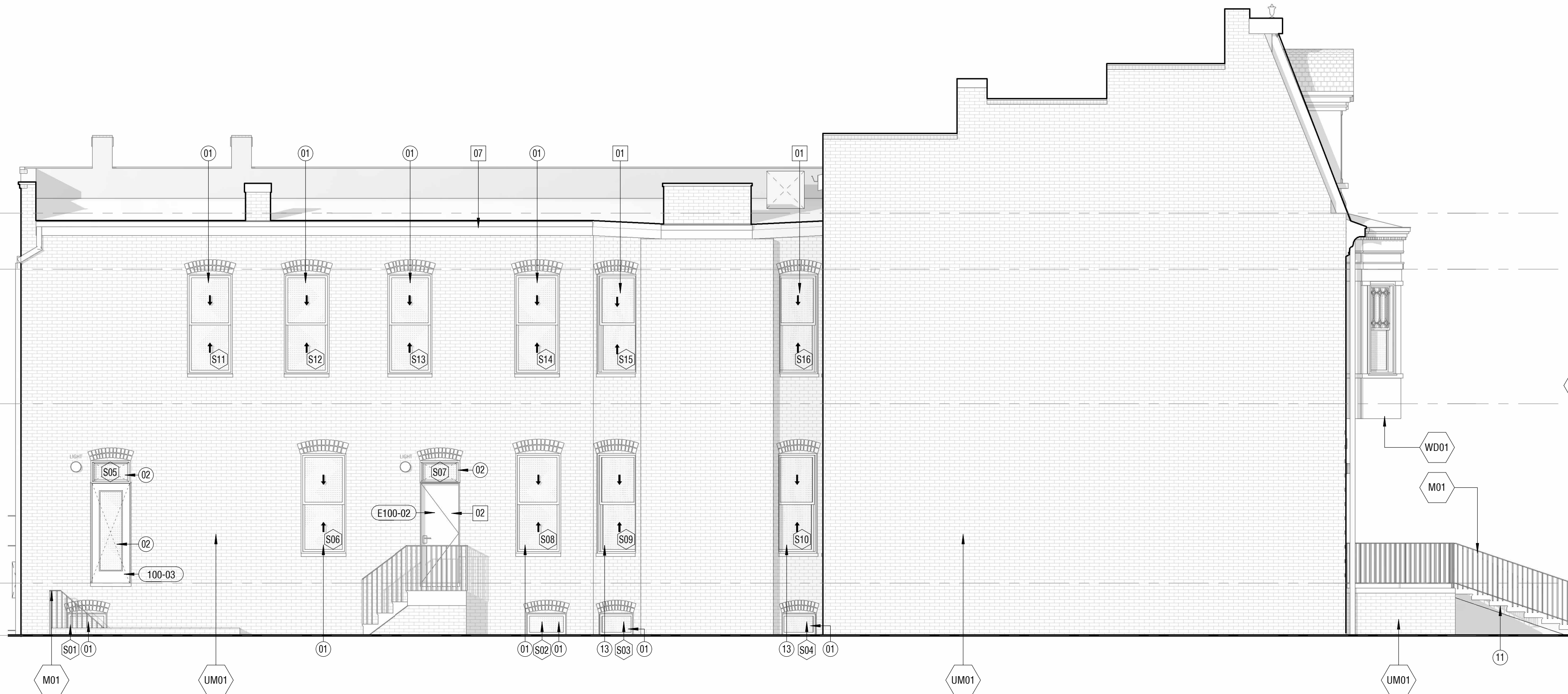
- 01 NEW WINDOW IN BRICKED IN OPENING
- 02 NEW WINDOW IN EXISTING DOOR OPENING
- 03 NEW DOOR OPENING
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- 14 NEW ELECTRIC METER
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DATE		# REVISION	
JN	DRAWN /	SCALE /	CHECKED /
AS		3/16" = 1'-0"	
SHEET /		CURRENT BUILDING ELEVATIONS	
A2.01			
JOB NUMBER /	ISSUE DATE /		
0210	12/03/2025		



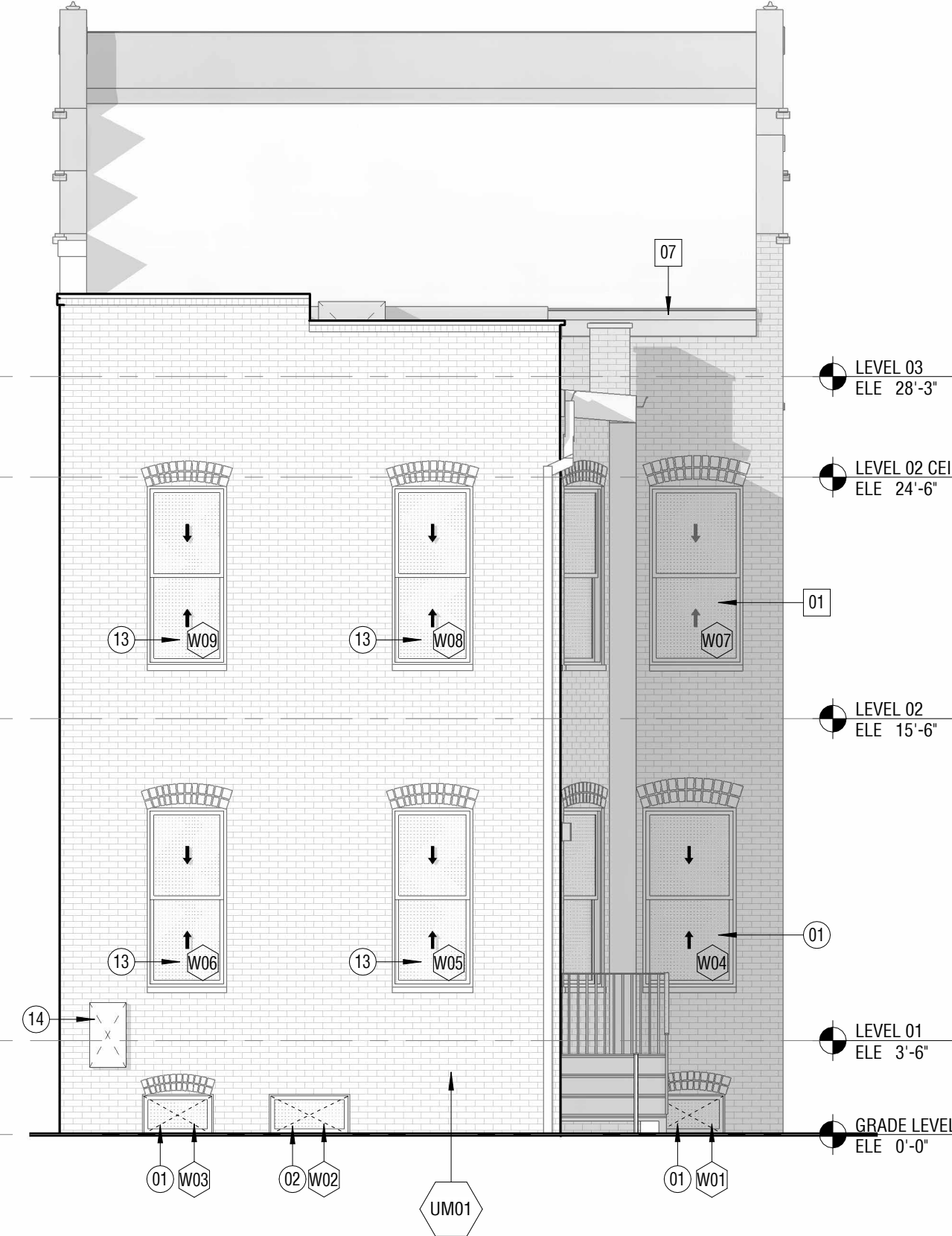
04 BUILDING ELEVATION - NORTH

SCALE: 3/16" = 1'-0"



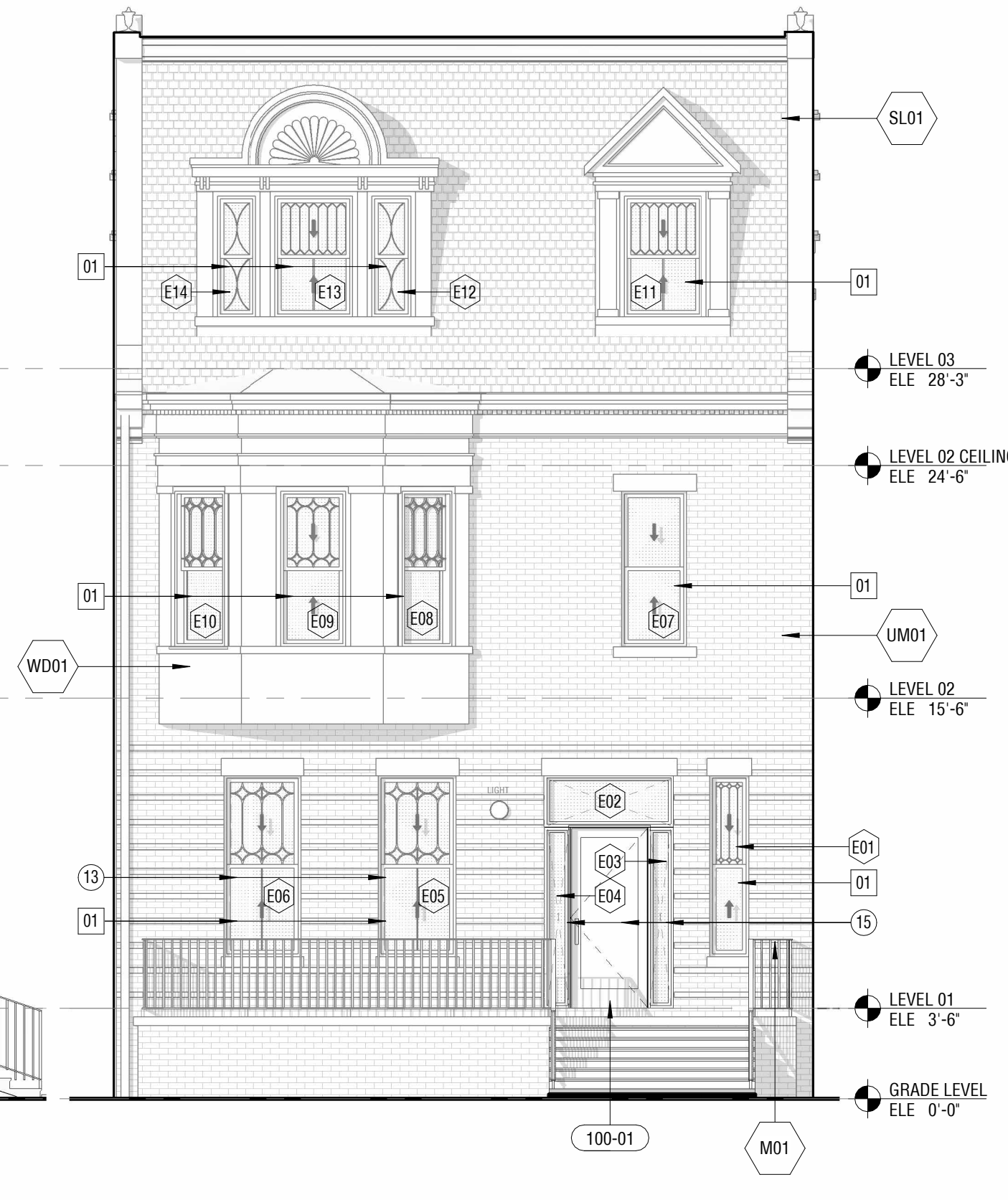
02 BUILDING ELEVATION - SOUTH

SCALE: 3/16" = 1'-0"



03 BUILDING ELEVATION - WEST

SCALE: 3/16" = 1'-0"



01 BUILDING ELEVATION - EAST

ELEVATION LEGEND

EXISTING PAINTED BRICK

GLASS

EXISTING SLATE ROOF

EXTERIOR MATERIALS

UM01	EXISTING PAINTED BRICK TO BE REPAINTED OFF-WHITE AND NEW BRICK TO BE PAINTED TO MATCH EXISTING
MD1	PAINTED STEEL HANDRAIL TO MATCH EXISTING
WD01	EXISTING PAINTED WOOD TRIM
SL01	EXISTING SLATE ROOF

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	Comments
E01	1'-6"	7'-0"	EXISTING
E02	5'-0"	2'-0"	
E03	1'-0"	7'-0"	
E04	1'-0"	7'-0"	
E05	3'-0"	7'-0"	UNCOVER EXISTING
E06	3'-0"	7'-0"	UNCOVER EXISTING
E07	2'-6"	6'-0"	EXISTING
E08	2'-6"	6'-0"	EXISTING
E09	2'-6"	6'-0"	EXISTING
E10	2'-6"	6'-0"	EXISTING
E11	3'-0"	4'-8"	EXISTING
E12	1'-6"	4'-8"	EXISTING
E13	3'-0"	4'-8"	EXISTING
E14	1'-6"	4'-8"	EXISTING
S01	2'-8"	1'-6"	
S02	2'-8"	1'-6"	
S03	2'-8"	1'-6"	
S04	2'-8"	1'-6"	
S05	2'-8"	1'-6"	
S06	3'-0"	6'-8"	
S07	2'-8"	1'-6"	
S08	3'-0"	6'-8"	
S09	3'-0"	6'-8"	UNCOVER EXISTING
S10	3'-0"	6'-8"	UNCOVER EXISTING
S11	3'-0"	6'-8"	
S12	3'-0"	6'-8"	
S13	3'-0"	6'-8"	
S14	3'-0"	6'-8"	
S15	3'-0"	6'-8"	EXISTING
S16	3'-0"	6'-8"	EXISTING
W01	2'-8"	1'-6"	
W03	2'-8"	1'-6"	
W04	3'-6"	6'-8"	
W05	3'-0"	6'-8"	
W06	3'-0"	6'-8"	
W07	3'-6"	6'-8"	
W08	3'-0"	6'-8"	
W09	3'-0"	6'-8"	
Grand total: 38			

NOTE: ALL NEW WINDOWS TO BE ALUMINUM CLAD WOOD

☐ EXISTING NOTES

01	EXISTING WINDOW TO REMAIN
02	EXISTING DOOR TO REMAIN
03	EXISTING STAIR TO REMAIN
04	EXISTING ATTIC HATCH TO REMAIN
05	EXISTING METAL GATE TO REMAIN
06	EXISTING ELECTRICAL PANEL

○ NEW CONSTRUCTION NOTES

01	NEW WINDOW IN BRICKED IN OPENING
02	NEW WINDOW IN EXISTING DOOR OPENING
03	NEW DOOR OPENING
04	NEW EXTERIOR CONCRETE STAIR AND HANDRAIL
05	ROUGH IN FOR FUTURE PLUMBING FIXTURE
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