

INTRODUCED: June 28, 2021

AN ORDINANCE No. 2021-192

To authorize the special use of the property known as 205 West Brookland Park Boulevard for the purpose of art gallery, artist studio, outdoor entertainment, and outdoor retail uses, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JUL 26 2021 AT 6 P.M.

WHEREAS, the owner of the property known as 205 West Brookland Park Boulevard, which is situated in a UB-PE7 Urban Business District, desires to use such property for the purpose of art gallery, artist studio, outdoor entertainment, and outdoor retail use, which use, among other things, is not currently allowed by section 30-433.2, concerning permitted principal and accessory uses, section 30-433.5, concerning yard requirements, and section 30-960.3, concerning the number of parking spaces required, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: JUL 26 2021 REJECTED: _____ STRICKEN: _____

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 205 West Brookland Park Boulevard and identified as Tax Parcel No. N000-0887/035 in the 2021 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Improvements on No. 205 West Brookland Park Boulevard, in the City of Richmond Virginia,” prepared by McKnight & Associates, P.C., and dated June 1, 2018, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of art gallery, artist studio, outdoor entertainment, and outdoor retail uses, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Richmond Art Garage, 205 W. Brookland Park Blvd., Richmond, VA 23222,” prepared by lynchmykins, and dated July 3, 2020, and “205 W Brookland Park Blvd,” prepared by an unknown preparer, and undated, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as art gallery and artist studio uses, substantially as shown on the Plans, as well as outdoor entertainment and outdoor retail uses.

(b) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

(c) All building materials and elevations shall be substantially as shown on the Plans.

(d) No off-street parking shall be required for the Special Use.

(e) No outdoor entertainment use or outdoor retail use of the Property shall occur after 10:00 p.m.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

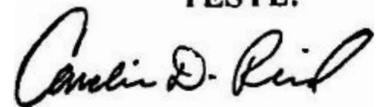
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:



City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2021.632

O & R Request

DATE: May 28, 2021

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)



THROUGH: J.E. Lincoln Saunders, Acting Chief Administrative Officer *JELS*

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning *Sally*

for Sharon L. Ebert

FROM: Kevin Vonck, Acting Director, Department of Planning and Development Review *Kevin Vonck*

RE: To authorize the special use of the property known as 205 West Brookland Park Boulevard for the purpose of an art gallery and artist studio use, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 205 West Brookland Park Boulevard for the purpose of an art gallery and artist studio use, upon certain terms and conditions.

REASON: The subject property is located in the UB-PE7 Urban Business District where art galleries are a permitted use. However, the proposal calls for encroachment into required setbacks. Therefore a special use permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its July 19, 2021 meeting.

BACKGROUND: The subject property is located on the southern side of Brookland Park Boulevard near the intersection with Hanes Avenue. It is 72 feet wide, 90 feet deep and contains 6,480 square feet in area. The improvements consist of a 1,212 square foot single-story structure build in 1964 that is a repurposed garage.

The proposal will authorize the construction of an addition utilizing shipping containers in order to expand the

existing gallery. The footprint of the addition is within the required 20-foot rear yard setback. A portion of the existing building also encroaches into this setback and is a legally nonconforming structure. Approval of the special use would designate the existing structure as a conforming use. The proposed addition in conjunction with the existing structure will form a courtyard open toward West Brookland Park Boulevard and providing screening for the residential uses located across the alley in the rear.

The Richmond 300 Master Plan designates the subject property for Neighborhood Mixed-Uses. Primary uses are single-family houses, accessory dwelling units, duplexes, small multi-family buildings and open space. Secondary uses include retail, office, and personal services. The Master Plan also notes that the property is located in the Downtown-Jackson Ward Priority Growth Node which includes a goal to provide for business growth.

The adjacent properties to the east and west, as well as the properties across W. Brookland Park Boulevard are located in the same UB-PE7 Urban Business District as the subject property. These properties contain a mix of office, retail and restaurants. To the south, across the alley, are properties located in the R-6 Single-Family Attached zoning district that contain single and two-family detached dwellings.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: June 28, 2021

CITY COUNCIL PUBLIC HEARING DATE: July 26, 2021

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
July 19, 2021

AFFECTED AGENCIES: Office of Chief Administration Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmond.gov>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 205 W Brookland Park Blvd Date: Aug. 6, 2020
Tax Map #: N000-0887/035, Fee: \$1,800
Total area of affected site in acres: 0.149

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: UB-PE7

Existing Use: art gallery

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: art gallery with additional space for gallery, studio and artist workshop use (more detailed description attached)

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Zachary Reid

Company: Richmond Art Garage llc
Mailing Address: 1212 W Laburnum Ave.
City: Richmond State: VA Zip Code: 23227
Telephone: (804) 385-9663 Fax: (none) none
Email: zreid@richmondartgarage.com

Property Owner: Richmond Art Garage llc

If Business Entity, name and title of authorized signee: Zachary Reid

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 1212 W Laburnum Ave
City: Richmond State: VA Zip Code: 23227
Telephone: (804) 385-9663 Fax: (none) none
Email: zreid@richmondartgarage.com

Property Owner Signature:

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Aug. 6, 2020

To Division of Land Use
From Richmond Art Garage/Zachary Reid
Re Special Use Permit for 205 W. Brookland Park Blvd.

I'd like to construct an L-shaped addition to my art gallery.

Why I need a SUP

To waive the requirement of a 20-foot setback from the alley behind my property.

How come?

1. A SUP would allow me to make use of as much of my relatively small (72- by 90-foot) urban lot as possible while still allowing space on the lot for outdoor market and activity space.
2. The U-shaped building I'd like to create would allow me to focus the gallery's attention toward the commercial activity on Brookland Park Boulevard without having to worry about maintaining dead space in the back that faces the residential block behind me.
3. It would allow me to create and maintain a secure perimeter that looks like an intentional property improvement rather than having to construct an industrial-looking chain link fence.

Benefits to the neighborhood?

1. I'm building out a lot that was long vacant and neglected, creating an arts venue and outdoor market space that will hopefully appeal to the neighbors. Viewed in the context of my commercial neighbors – within a block of us, there's a music venue, a recording studio, a craft gallery, a pottery studio and a used art supply store – this project could help the neighborhood become a destination for creative projects.
2. The one- to two-story addition would create a roughly 10- to 20-foot high buffer between the bustle of Brookland Park Boulevard and the relative calm of the residential area behind me on Hanes Avenue.

Operation specifics

The retail part of the gallery will employ at most two people at a time and will typically be open Wednesday-Saturday. The studio and workshop space will be utilized by a small group of local artists for the creation of work and for classes, seminars and other art-related activity.

Neighbors?

We've shared our plans with representatives from the three civic associations that converge in our area, and we've received support from the presidents of all three: Willie Hilliard of the Brookland Park Area Business Association, Carra Rose of the Battery Park Civic Association and Karen Link of the North Barton Heights Civic Association. We've also received the support of Anthony Tucker, who owns the restaurant next to us, and from Cory Weiner, whose CW Performance Group owns about a dozen properties in the blocks adjacent to ours.



Mr. David Watson
Planner II, Land Use Administration
Department of Planning and Development Review
900 E Broad Street, 5th Floor
Richmond, VA 23219

February 5th, 2021

Re: SUP review at 205 West Brookland Park Boulevard (SUP-077486-2020)

INTRODUCTION:

Mr. Zachary Reid of Richmond Art Garage LLC (the “Owner”), initially made application for the special use permit (the “SUP”) independently to relieve certain feature requirements at 205 West Brookland Park Boulevard (the “Property”). Since receiving the comment letter dated September 29th, 2020, the Owner has engaged us to assist in responding to comments and managing the SUP process until its approval.

We have worked with the Owner in order to assemble response materials that more accurately and efficiently define the scope of the request and its goals. In doing so, a number of additional uses (and feature requirements appurtenant thereto) that are not entirely permitted were identified and are now being included in the SUP. Those uses are further discussed in the brief narrative we have provided below.

NARRATIVE:

The Property is located on the south side of West Brookland Park Boulevard between its intersection with Hanes Avenue and Fendall Avenue. The Property is referenced by the City Assessor as tax map number N0000887035, is 72 feet in width, and contains 6,480 square feet in lot area. The Property is improved by a building that was originally occupied as an auto repair shop and has since been used for a variety of uses. The Owner is currently operating an art gallery and studio space within the building that he would like to expand upon. The SUP would generally permit the expansion of the art gallery and studio space, the periodic use of the courtyard for assembly and entertainment use, and the periodic use of the courtyard for outdoor market, food sales, and retail uses.

The Brookland Park Boulevard corridor is generally “mixed-use” in nature and features a variety of land uses, such as office, retail, restaurant/cafes, and multifamily residential. Immediately to the west of the property is a family-owned restaurant and catering company. Immediately to the east is a vacant historic bank structure. Within a few blocks of the Property are a number of

businesses with entertainment uses, as well as some other art galleries, studio spaces, markets, and retail uses.

The Property is currently zoned UB Urban Business and is located in the Parking Exempt Overlay District as designated by Ordinance 2015-200-196. This zoning district permits a variety of uses and is afforded generous parking relief for existing structures. Nonetheless, new structures are still required to provide parking for most uses. The UB district also requires rear-yard setbacks of twenty (20) feet for new structures when situated across and alley from an R-zoned district. Lastly, while the UB district permits the entertainment use, it only permits it when occurring indoors. The SUP is consistent with the intent of the UD District regulations which are intended to “encourage business areas with a densely developed pedestrian-oriented urban shopping character, compatible with adjacent residential neighborhoods, and with minimal disruption from vehicle-oriented land uses and features that would detract from a safe, convenient and economically viable pedestrian environment.”

The Richmond 300 plan (the “Master Plan”) suggests “Community Mixed Use” (“CMU”) as the appropriate future land use designation for the Property. This designation suggests development that engages with and enlivens the street. It prioritizes pedestrian, bicycle, and transit access in designing new projects, and that driveway access be minimized or eliminated if possible. New development in CMU areas can be between two and six stories depending on the historic context. The sought-after primary uses for new development in CMU areas include “retail/office/personal service, multi-family residential, cultural, and open space,” (p.58). The Property also falls within the Brookland Park Boulevard Regional/National Node as designated in the Master Plan’s appendix. This node celebrates the unique culture of the neighborhood, and that while there may be limited opportunities for new development, the primary next steps for the neighborhood include to “explore the creation of signature public art,” (C-22). The SUP is consistent with this guidance.

The SUP would authorize the construction of a one-to-two story building addition constructed of shipping containers on the vacant portion of the Property. This addition would expand the existing gallery and studio space housed in the existing building, as well as the incidental uses thereto (such as storage). A portion of the addition would fall within the required 20-foot rear-yard setback applicable to new structures on the Property. In addition, an existing masonry structure, which encloses HVAC equipment also lies within the 20-foot rear-yard. The SUP would authorize the construction of the addition and legitimize the location of the HVAC enclosure within the rear yard. The proposed addition, along with the existing building, would not only provide for a courtyard area for outdoor activities. They would also provide a buffer for residential uses to the south from the Brookland Park corridor which does not exist today.

The SUP is also required to enable the Owner to periodically use the courtyard area for outdoor entertainment and an outdoor market for food sales and retail. While the UB District would permit the entertainment use, it would require it to occur indoors. The UB District does not permit the proposed outdoor market use. The use of the courtyard area, as proposed, will provide a community-oriented use that celebrates the creativity found not just in the City but, more specifically, the Brookland Park Boulevard corridor and its surrounding neighborhoods. This outdoor component of the proposed use would provide for a safe place for the community to

assemble outdoors that, particularly in the Covid era, would be an invaluable asset for the neighborhood. It would also provide for an active use that enlivens the public realm.

Lastly, the SUP would waive the applicable parking requirements related to the proposed uses. There is some precedent and recognition of the practical difficulties related to redeveloping property in this older urban commercial district with the implementation of the Parking Exempt District. While this exemption is only applicable to existing buildings, and therefore not applicable for the proposed addition, the same concern holds true. The goal of achieving a “densely developed pedestrian-oriented urban shopping character” is challenged when significant amounts of off-street parking must be provided. Retention of the existing surface parking on the site, which is accessed across the sidewalk along the principal street frontage by two curb cuts, would prevent the desired continuity of active uses along the principal street frontage that make urban commercial areas successful. The parking relief would allow for the use of the courtyard space as an active use along the frontage, a better pedestrian experience, enhanced pedestrian connections within the district, and fewer opportunities for conflict between vehicles and pedestrians.

RESPONSE TO COMMENTS

COMMENT	RESPONSE
<p>Doug Mawby \ DPW, Right of Way \ 804.646.0110 \ Doug.Mawby@richmondgov.com</p> <p>Denied</p> <p>1) No civil/site plans. More detailed plans needed to determine what improvements are being proposed within public right of way.</p> <p>Brian Copple \ DPW, Chief of Construction \ 804.646-3639 \ Brian.Copple@richmondgov.com</p> <p>Denied</p> <p>2) Plans need to be resubmitted. Plans are difficult to read. Also, need to include a Site Civil Plan that shows what improvements will be constructed within public right of way.</p>	<p>1) Noted. Attached in our response materials is an updated site plan, completed by McKnight & Associates and dated January 15th, 2021 (the “Site Plan”). The Site Plan shows that no new structures will be located in the public right of way. That said, the client is proposing that the easternmost curb cut entrance be replaced with concrete walk, thus limiting periodic ingress/egress for loading activities to one remaining apron: the westernmost apron shown on the Site Plan. This will be performed by the Owner and requisite Work in Street Permit(s) will be attained in doing so. This is being done in the spirit of strengthening the pedestrian realm along the commercial corridor.</p> <p>2) Noted, see response above.</p>

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND ADDITIONAL ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
2. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE VIRGINIA CONSTRUCTION CODE, 2015 EDITION.
3. THE WORK OUTLINED IN THE BUILDING CODE IS SUBJECT TO SPECIAL INSPECTIONS AS DESCRIBED IN THE BUILDING CODE.
4. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL PERMANENT SUPPORTS AND LATERAL BRACING ARE IN PLACE.
5. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, AND OTHER REQUIREMENTS NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTIONS OF THE STRUCTURE TO THE CONTAINERS. ANY DIMENSIONS SHOWN FOR THE CONTAINERS SHALL BE CONSIDERED AS APPROXIMATE AND ADEQUATE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR THE FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

6. DESIGN CRITERIA:

CLASSIFICATION OF BUILDING
RISK CATEGORY II

SUPER IMPOSED ROOF DEAD LOADS - UNIFORM:
INSULATION AND ROOF MEMBRANE 3 PSF
METAL DECK/WOOD SHEATHING 2 PSF
CEILING 2 PSF
DUCTS, LIGHTS, MISC. MECHANICAL 3 PSF

SUPER IMPOSED FLOOR DEAD LOADS - UNIFORM:
FLOOR FINISH 2 PSF
CEILING 2 PSF
DUCTS, LIGHTS, MISC. MECHANICAL 3 PSF
COLLATERAL 2 PSF

LIVE LOADS - UNIFORM:
SLAB ON GRADE 100 PSF
ROOF 20 PSF
COMMERCIAL, PUBLIC AREAS 100 PSF
STAIRWAYS 100 PSF

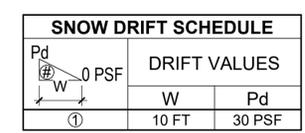
LIVE LOAD REDUCTION OF THE UNIFORMLY DISTRIBUTED FLOOR LIVE LOADS HAS BEEN UTILIZED.

LIVE LOADS - CONCENTRATED:
ROOFS 300#

UNLESS OTHERWISE NOTED, CONCENTRATED LOADS ARE APPLIED UNIFORMLY OVER 2'-6" x 2'-6" AREA.

SNOW LOADS:

GROUND SNOW LOAD 20 PSF
FLAT ROOF LOAD 20 PSF
IMPORTANCE FACTOR (Is) [1.0][1.1][1.2]
THERMAL FACTOR (Ct) 1.0
EXPOSURE FACTOR (Ce) 1.0
DRIFT SURCHARGE (Pd) [REF. TABLE][XX PSF]



NOTE: SNOW DRIFT LOADS ARE IN ADDITION TO FLAT ROOF LOADS.

WIND LOADS:

[ULTIMATE DESIGN WIND SPEED (VULT)] 115 MPH
EXPOSURE CATEGORY B
INTERNAL PRESSURE COEFFICIENT ±0.18

COMPONENT AND CLADDING PRESSURES:
WALLS, ZONE 5 (10 SF) 29 PSF
ROOF, ZONE 3 (10 SF) 60 PSF

WIND BASE SHEARS (FOR MWFRS):
[Vx][VE-W] 11 KIPS
[Vy][VN-S] 28 KIPS

SEISMIC LOADS:

SITE CLASSIFICATION D (ASSUMED)
SEISMIC DESIGN CATEGORY X
IMPORTANCE FACTOR (IE) 1.0

SPECTRAL RESPONSE ACCELERATIONS:
Ss 0.188 S1 0.062
Sps 0.200 Sd1 0.099

ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE
BASIC STRUCTURAL SYSTEM INTERMEDIATE REINFORCED MASONRY SHEAR WALLS
STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE

RESPONSE MODIFICATION COEFFICIENT (R) 3.0
SEISMIC RESPONSE COEFFICIENT (Cs) 0.07
SEISMIC BASE SHEAR (V) 10 KIPS

LATERAL DESIGN CONTROL
CONTROLLING LATERAL LOADS WIND

FOUNDATION NOTES:

1. FOUNDATIONS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
2. PRIOR TO PLACING FOUNDATION CONCRETE, ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY THE SPECIAL INSPECTOR TO EXPLORE THE EXTENT OF LOOSE, SOFT, EXPANSIVE, OR OTHERWISE UNSATISFACTORY SOIL MATERIAL AND TO VERIFY DESIGN BEARING PRESSURE. DIRECTION FOR CORRECTIVE ACTION WILL BE PROVIDED WHERE REQUIRED.
3. NO UNBALANCED BACKFILLING SHALL BE DONE AGAINST MASONRY OR CONCRETE WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING, EITHER BY TEMPORARY CONSTRUCTION BRACING OR BY PERMANENT CONSTRUCTION.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONTROL OF GROUNDWATER AND SURFACE RUNOFF THROUGHOUT THE CONSTRUCTION PROCESS. INUNDATION AND LONG TERM EXPOSURE OF BEARING SURFACES WHICH RESULT IN DETERIORATION OF BEARING SHALL BE PREVENTED.

CAST-IN-PLACE CONCRETE NOTES:

1. CONCRETE SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301, AND 318.
2. CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS:
 - A. SLAB-ON-GRADE3,500 PSI
 - B. CONCRETE NOT OTHERWISE NOTED.....3,000 PSI
3. REINFORCING MATERIALS SHALL BE AS FOLLOWS:
 - A. REINFORCING BARS - ASTM A 615, GRADE 60, DEFORMED.
 - B. WELDED WIRE REINFORCEMENT - ASTM A 185, WELDED STEEL WIRE REINFORCEMENT; PROVIDE SHEET TYPE, ROLL TYPE IS NOT ACCEPTABLE.
4. ALL REINFORCING STEEL AND EMBEDDED ITEMS SUCH AS ANCHOR RODS AND WELD PLATES SHALL BE ACCURATELY PLACED AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES.
5. CONCRETE COVER TO REINFORCING STEEL SHALL CONFORM TO THE MINIMUM COVER RECOMMENDATIONS IN ACI 318, UNLESS THE DRAWINGS SHOW GREATER COVER REQUIREMENTS.
6. LAP CONTINUOUS REINFORCING STEEL AS FOLLOWS, UNLESS OTHERWISE NOTED:

BAR SIZE	ALL OTHER REINFORCING		
	CONC COMPRESSIVE STRENGTH (PSI)		
	3,000	4,000	5,000
#6 AND SMALLER	57xBD	50xBD	45xBD
#7 AND LARGER	72xBD	62xBD	56xBD



95% REVIEW SET

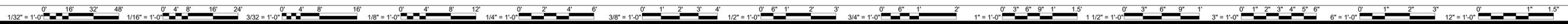
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RICHMOND ART GARAGE
 205 W. BROOKLAND PARK BLVD.
 RICHMOND, VA 23222
GENERAL NOTES

S001

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CONCRETE MASONRY NOTES:

- CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) 530.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 AND SHALL BE MADE WITH LIGHTWEIGHT AGGREGATE. MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL BE 2,000 PSI AT 28 DAYS.
- COMPRESSIVE STRENGTH OF MASONRY SHALL BE DETERMINED BY THE UNIT STRENGTH METHOD AS SET FORTH IN ACI 530.1. THE NET AREA COMPRESSIVE STRENGTH OF MASONRY, f_m , SHALL BE 2,000 PSI AT 28 DAYS.
- MORTAR SHALL BE TYPE M OR S AND SHALL COMPLY WITH ASTM C270, PROPORTIONS OR PROPERTIES SPECIFICATION.
- GROUT SHALL COMPLY WITH ASTM C 476 PROPERTIES SPECIFICATION, AND SHALL BE PROPORTIONED TO OBTAIN A DOCUMENTED 28 DAY COMPRESSIVE STRENGTH OF 2,000 PSI.
- REINFORCING STEEL SHALL COMPLY WITH ASTM A 615, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE BENT OR HOOKED.
- ALL BOND BEAMS, REINFORCED CELLS AND CELLS WITH EXPANSION BOLTS, EMBED PLATES OR OTHER ANCHORS AND ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID. GROUT PROCEDURE SHALL COMPLY WITH ACI 530.1.
- ALL CMU WALLS SHALL BE REINFORCED CONTINUOUSLY FROM FOUNDATION TO TOP OF WALL. WHERE REINFORCING IS INTERRUPTED, OFFSET AND LAP ADDITIONAL BARS PER THE "TYPICAL OFFSET SPLICE AT MASONRY WALL DETAILS."
- LAP ALL REINFORCING AS FOLLOWS UNLESS OTHERWISE NOTED:

BAR SIZE	REINFORCING CENTERED
	8" CMU
#4	12"
#5	20"
NOTES:	
1. ASSUMES 2" CLEAR MASONRY COVER.	

- PROVIDE REINFORCING STEEL DOWELS OF THE SAME SIZE AND SPACING AS VERTICAL REINFORCING FROM THE SUPPORTING STRUCTURE. DOWELS SHALL HAVE STANDARD ACI HOOKS.
- PROVIDE STANDARD 9 GAGE LADDER TYPE HORIZONTAL JOINT REINFORCING IN CMU WALLS AT 16 INCHES ON CENTER BEYOND THE JAMB ON EACH SIDE OF THE OPENING, EXCEPT AT CONTROL JOINTS.
- PROVIDE HORIZONTAL BOND BEAMS WITH CONTINUOUS REINFORCING AS SHOWN IN THE SECTIONS AND DETAILS.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 360.
- STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - STRUCTURAL STEEL SHAPES, PLATES AND BARS UNLESS OTHERWISE NOTED - ASTM A 36, $F_y = 36$ KSI
 - STRUCTURAL STEEL W-SHAPES - ASTM A 992, $F_y = 50$ KSI
 - HOLLOW STRUCTURAL SECTIONS (HSS): SQUARE AND RECTANGULAR - ASTM A 500, GRADE C, $F_y = 50$ KSI
 - ANCHOR RODS - ASTM F 1554, GRADE 36
 - HIGH STRENGTH BOLTS - ASTM A325 (TYPICAL UON)
 - WASHERS - ASTM F 436
 - NUTS - ASTM A 563
- UNLESS OTHERWISE NOTED, ALL REQUIRED DESIGN STRENGTHS AND REACTIONS INDICATED ARE BASED ON THE "LOADING COMBINATIONS USING STRENGTH DESIGN OR LOAD AND RESISTANCE FACTOR DESIGN" PER SECTION 1605.2 OF THE BUILDING CODE.
- UNLESS OTHERWISE NOTED, BEAM CONNECTIONS SHALL BE AISC "SIMPLE SHEAR CONNECTIONS" WITH ASTM A325 BOLTS DESIGNED FOR ONE HALF THE MAXIMUM TOTAL UNIFORM LOAD FOR LATERALLY SUPPORTED BEAMS GIVEN IN TABLE 3-6 OF THE "STEEL CONSTRUCTION MANUAL."
- HIGH STRENGTH BOLTS MAY BE TIGHTENED TO THE "SNUG TIGHT" CONDITION IN LIEU OF FULL PRETENSIONING.
- PROVIDE ANGLE FRAMING AROUND OPENINGS LARGER THAN 6 INCHES IN ANY DIMENSION (INCLUDING ROOF DRAINS) TO SUPPORT STEEL DECK, TYPICAL UNLESS OTHERWISE NOTED OR DETAILED AS FOLLOWS:

JOIST/BEAM SPACING	ANGLE SIZE
TO 6'-0"	L4x4x1/4

- WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1, "STRUCTURAL WELDING CODE - STEEL." WELD ELECTRODES SHALL BE E70XX LOW HYDROGEN. UNLESS OTHERWISE NOTED, PROVIDE CONTINUOUS FILLET WELDS WITH MINIMUM SIZE REQUIRED BY TABLE J2.4 AISC 360.
- COORDINATE ALL MEMBER LOCATIONS, UNIT WEIGHTS, OPENING SIZES, AND CURB DIMENSIONS FOR MECHANICAL EQUIPMENT WITH THE ACTUAL EQUIPMENT FURNISHED.
- HOT DIP GALVANIZE AFTER FABRICATION THE FOLLOWING:
 - ANGLES AND PLATES SUPPORTING MASONRY IN EXTERIOR WALLS.
 - LINTELS AND LINTEL ASSEMBLIES SUPPORTING MASONRY IN EXTERIOR WALLS.
 - ALL STEEL EXPOSED TO WEATHER IN THE FINAL CONSTRUCTION.
- STEEL MEMBERS SHALL BE SPLICED ONLY WHERE INDICATED.

ROUGH CARPENTRY NOTES:

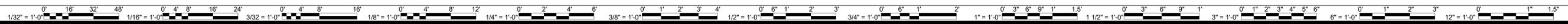
- ROUGH CARPENTRY SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL (AWC) "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
- UNLESS OTHERWISE NOTED, USE "COMMON" NAILS AND ALL NAILING SHALL CONFORM TO THE "FASTENING SCHEDULE" TABLE 2304.10.1 OF THE BUILDING CODE.
- WOOD FRAMING MEMBERS SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND THE FOLLOWING REQUIREMENTS:
 - MOISTURE CONTENT - SEASONED, WITH 19 PERCENT MAXIMUM MOISTURE CONTENT.
 - GRADE - NO. 2, OR BETTER NO. 2 UNLESS OTHERWISE NOTED.
 - SPECIES - SPRUCE-PINE-FIR UNDER NLGA RULES.
- WOOD STRUCTURAL PANELS (WSP) SHALL COMPLY WITH PS 1 "U.S. PRODUCT STANDARD FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" FOR PLYWOOD CONSTRUCTION PANELS AND THE FOLLOWING REQUIREMENTS:
 - FLOOR SHEATHING: PRESSURE TREATED 2x6 TONGUE AND GROOVE HORIZONTAL SHEATHING. ATTACH EACH MEMBER TO FRAMING WITH 2-8d COMMON NAILS OR 2-#10 SDS AT INTERMEDIATE AND END BEARING SUPPORTS AND 3-8d COMMON NAILS OR 3-#10 SDS AT BOUNDARY MEMBERS.
 - ROOF SHEATHING: 9/16" INCH, APA RATED SHEATHING, EXPOSURE DURABILITY CLASSIFICATION. PROVIDE TONGUE-AND-GROOVE EDGES OR USE "PLY-CLIPS" AT MID-SPAN BETWEEN EACH SUPPORT.
- ALL WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER AND ALL SILL PLATES IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE-TREATED. REFER TO THE SPECIFICATIONS.
- STEEL PLATE CONNECTORS SHALL COMPLY WITH ASTM A 36 SPECIFICATIONS ($F_y = 36$ KSI). BOLTS CONNECTING WOOD MEMBERS SHALL COMPLY WITH ASTM A 307 COMMON STEEL BOLTS, AND SHALL BE 1/2" INCH DIAMETER, UNLESS OTHERWISE NOTED.
- METAL FRAMING ANCHORS, HOLD DOWNS, HURRICANE TIES, HANGERS, ETC. SHALL COMPLY WITH ASTM A 653 AND BE CAPABLE OF SUPPORTING THE REACTIONS SHOWN. WHERE PRODUCTS OF A SPECIFIC MANUFACTURER ARE SHOWN, EQUAL PRODUCTS OF ANOTHER MANUFACTURER MAY BE USED IF APPROVED.
- PROVIDE BRIDGING FOR ALL FLOOR JOISTS AND ROOF RAFTERS. MAXIMUM SPACING SHALL BE 8'-0", UNLESS OTHERWISE NOTED.
- PROVIDE HEADERS OF THE SAME CROSS SECTION AS JOISTS OR RAFTERS TO FRAME AROUND ALL OPENINGS TO SUPPORT SHEATHING, UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
- UNLESS OTHERWISE NOTED, ATTACH BLOCKING AND NAILERS TO STEEL FRAMING USING 3/16 INCH DIAMETER POWDER ACTUATED FASTENERS AT 24 INCHES ON CENTER OR 1/2 INCH DIAMETER BOLTS AT 48 INCHES ON CENTER. STAGGER FASTENERS TO ALTERNATE SIDES OF BEAM WEB.
- WHERE MULTIPLE FRAMING MEMBERS ARE INDICATED, SCAB CONTINGENT MEMBERS TOGETHER WITH 16d NAILS AT 12 INCHES ON CENTER STAGGERED 6" NET SPACING, ALTERNATING AT 2 INCHES FROM EACH EDGE.
- ALL CONNECTION HARDWARE IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED COATED.
- POWDER ACTUATED FASTENERS (PAF) SHALL HAVE A MINIMUM ALLOWABLE CAPACITY INTO THE BASE MATERIAL AS FOLLOWS UNLESS OTHERWISE NOTED:
 - STEEL: SHEAR = 600 LBS
TENSION = 250 LBS
 - CONCRETE: SHEAR = 260 LBS
TENSION = 255 LBS
- ENGINEERED LUMBER SHALL COMPLY WITH THE FOLLOWING MINIMUM PROPERTIES:

LAMINATED VENEER LUMBER (LVL):

 - BENDING STRESSES (F_b) 2,6000 PSI
 - MODULUS OF ELASTICITY (E) 2,000,000 PSI
 - COMPRESSION PERPENDICULAR TO GRAIN 750 PSI (FC-PEREP)

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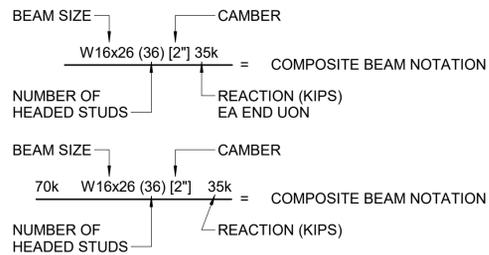
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 205 W. BROOKLAND PARK BLVD.
 RICHMOND, VA 23222
GENERAL NOTES

S002

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PLAN LEGEND:

- TOS = +X'-X" = TOP OF STEEL ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
- TOM = +X'-X" = TOP OF MASONRY ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
- TBE = +X'-X" = TRUSS BEARING ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
- JBE = +X'-X" = JOIST BEARING ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
-  = FLOOR / ROOF OPENING
-  = TOP OF FOOTING ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
-  = TOP OF SLAB ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
-  = KCJ, CJ, OR SJ LINE ON PLAN
-  = WARP LINE OF ROOF DECK
-  OR  = PLAN KEY NOTE MARK
-  = JOIST GIRDER MOMENT MARK
-  = SECTION/DETAIL MARK
-  = SHEET NUMBER WHERE SECTION/DETAIL MARK IS DRAWN
-  = JOIST BOTTOM CHORD EXTENSION
-  = BEAM BOTTOM FLANGE BRACE
- BP-X = BEARING PLATE MARK
- GB_x_ = GRADE BEAM MARK
- WFX = WALL FOOTING MARK
- ± = FIELD VERIFY



ABBREVIATIONS:

- | | |
|--------------------------------|--|
| ARCH ARCHITECT | HSS HOLLOW STRUCTURAL SECTIONS |
| BD BAR DIAMETER | HT HEIGHT |
| BEJ BUILDING EXPANSION JOINT | HVY HEAVY |
| BLDG BUILDING | INT INTERIOR |
| BOD BOTTOM OF DECK | JT JOINT |
| BOT, B BOTTOM | KCJ KEYED CONSTRUCTION JOINT |
| BRG BEARING | L LOW |
| BTWN BETWEEN | LLH LONG LEG HORIZONTAL |
| C TO C CENTER TO CENTER | LLV LONG LEG VERTICAL |
| CJ CONTROL JOINT | LSH LONG SIDE HORIZONTAL |
| CL CENTERLINE | LSV LONG SIDE VERTICAL |
| CLR CLEAR | LTWT LIGHTWEIGHT |
| CMU CONCRETE MASONRY UNIT | LWC LIGHTWEIGHT CONCRETE |
| COL COLUMN | MAS MASONRY |
| CONC CONCRETE | MATL MATERIAL |
| CONN CONNECTION | MAX MAXIMUM |
| CONSTR CONSTRUCTION | MECH MECHANICAL |
| CONT CONTINUOUS | MFR MANUFACTURER |
| COORD COORDINATE | MID MIDDLE |
| CTR CENTER | MIN MINIMUM |
| CTRD CENTERED | MOD MODIFY |
| DBL DOUBLE | MOS MIDDEPTH OF SLAB |
| DIA DIAMETER | NOM NOMINAL |
| DJ DOUBLE JOIST | NTS NOT TO SCALE |
| DWGS DRAWINGS | OC ON CENTER |
| EA EACH | OPH OPPOSITE HAND |
| EF EACH FACE | OPNG OPENING |
| EJ EXPANSION JOINT | PAF POWDER ACTUATED FASTENER |
| EL ELEVATION | PAR PARALLEL |
| ELEV ELEVATOR | PC PIECE |
| EMBED EMBEDMENT | PEN PENETRATE, PENETRATION |
| EOD EDGE OF DECK | PERP PERPENDICULAR |
| EOS EDGE OF SLAB | PL PLATE |
| EQ EQUAL | R RADIUS |
| EW EACH WAY | REF REFERENCE, REFER TO |
| EXIST EXISTING | REINF REINFORCE, REINFORCED, REINFORCING |
| EXP EXPANSION | REQD REQUIRED |
| EXT EXTERIOR | REQMTS REQUIREMENTS |
| FD FLOOR DRAIN | SCHED SCHEDULE |
| FDN FOUNDATION | SF STEPPED FOOTING |
| FO FACE OF | SIM SIMILAR |
| FF EL FINISHED FLOOR ELEVATION | SJ SAWED JOINT |
| FIN FINISH | SL SLOPE |
| FIN FLR FINISHED FLOOR | T&B TOP AND BOTTOM |
| FOB FACE OF BUILDING | T&G TONGUE AND GROOVE |
| FOC FACE OF CONCRETE | THK THICKNESS |
| FOM FACE OF MASONRY | TOC TOP OF CONCRETE |
| FOS FACE OF SLAB/ STUD | TOF TOP OF FOOTING |
| FRMG FRAMING | TOM TOP OF MASONRY |
| FTG FOOTING | TOS TOP OF STEEL |
| FV FIELD VERIFY | TS THICKENED SLAB |
| GALV GALVANIZED | TYP TYPICAL |
| GEN GENERAL | UON UNLESS OTHERWISE NOTED |
| GR BM GRADE BEAM | VERT VERTICAL |
| H HIGH | W/ WITH |
| HK HOOK | WP WORKING POINT |
| HORIZ HORIZONTAL | WSP WOOD STRUCTURAL PANEL(S) |
| | WWR WELDED WIRE REINFORCING |

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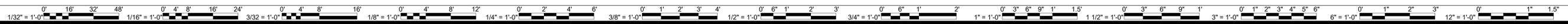
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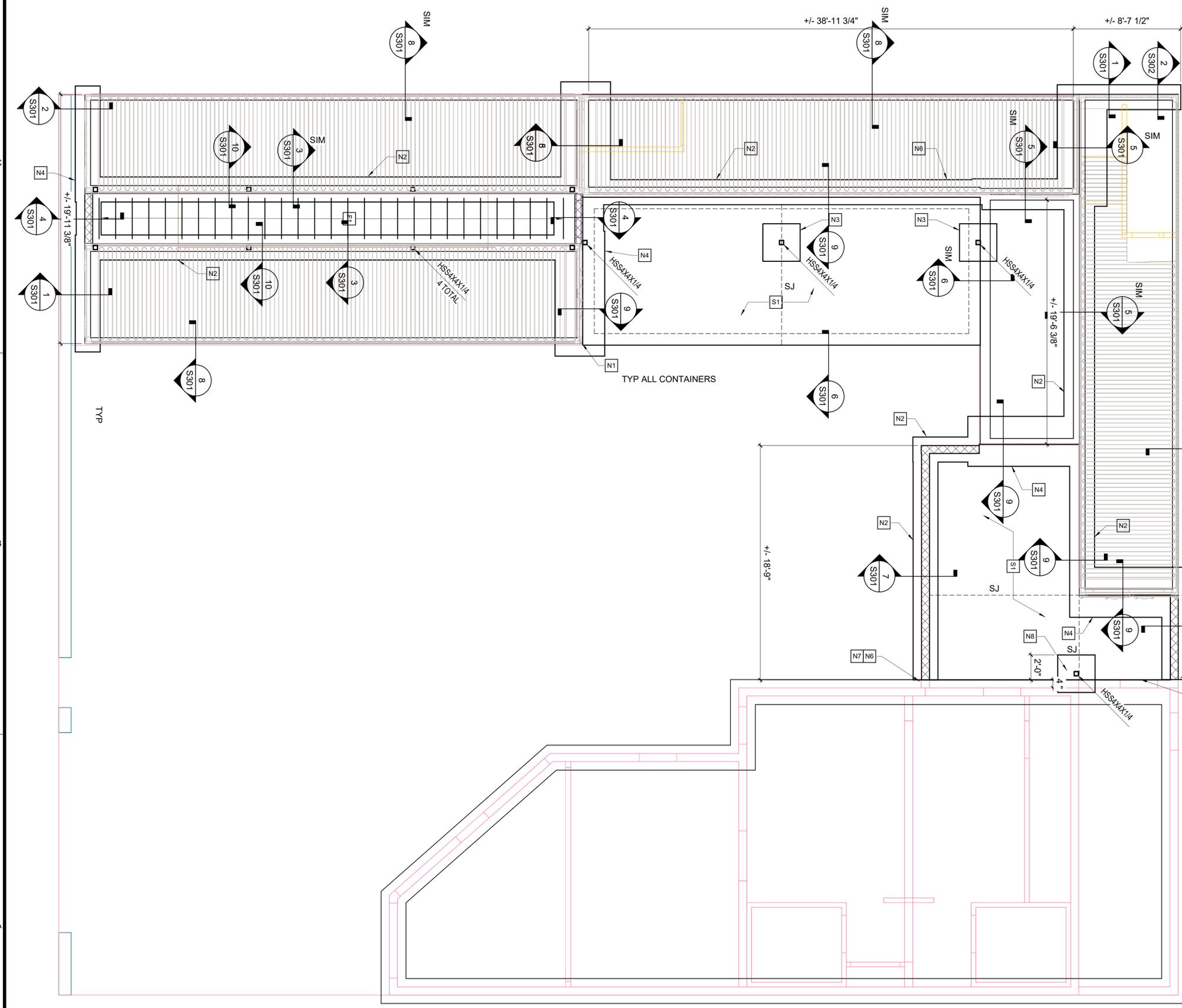
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 205 W. BROOKLAND PARK BLVD.
 RICHMOND, VA 23222
GENERAL NOTES

S003

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FOUNDATION / S-O-G PLAN NOTES

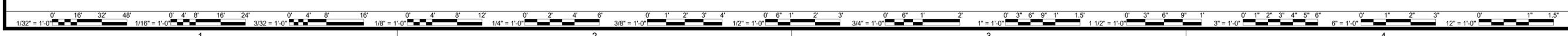
1. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS TO NONBEARING WALLS, WALL CONTROL JOINTS AND OPENINGS.
2. UNLESS OTHERWISE NOTED, ALL ELEVATIONS ARE BASED ON A FINISHED FIRST FLOOR REFERENCE OF 0'-0\".
3. TOP OF ALL FOOTINGS SHALL BE AT ELEVATION -1'-4\" UNLESS OTHERWISE NOTED.
4. UTILITY LOCATIONS ARE NOT SHOWN ON PLAN. THE CONTRACTOR SHALL COORDINATE THE LOCATIONS, SIZES, AND INVERTS OF UTILITIES. AT LOCATIONS WHERE UTILITIES PASS BELOW THE TOP OF FOOTING ELEVATION, STEP THE TOP OF FOOTING DOWN ON EACH SIDE PER THE "STEPPED FOOTING DETAIL" AND SLEEVE THE UTILITY THROUGH THE FOUNDATION WALL. THE CONTRACTOR MAY, AT HIS OPTION, SLEEVE THE UTILITY THROUGH THE FOUNDATION PER THE "UTILITY SLEEVE DETAIL."
5. UNLESS OTHERWISE INDICATED, EXTEND WALL FOOTINGS A MINIMUM OF 1'-0\" INCHES BEYOND ENDS OF WALLS.
6. SLAB-ON-GRADE JOINTS SHALL BE SAWS JOINTS OR KEYED CONSTRUCTION JOINTS UNLESS SPECIFICALLY DENOTED TO BE KEYED CONSTRUCTION JOINTS. CONTRACTOR SHALL COORDINATE ALL SLAB JOINTS WITH JOINTS IN BONDED FLOOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR FINISH JOINT LOCATIONS.
7. PLACE 1-#4 x 3'-0\" IN MIDDLE OF SLAB AT REENTRANT CORNERS WHERE A SLAB CONTROL JOINT DOES NOT OCCUR.
8. FLOOR DRAINS AND FLOOR SINKS ARE NOT SHOWN ON PLAN. REFER TO PLUMBING DRAWINGS FOR LOCATIONS.
9. REFER TO CIVIL DRAWINGS FOR EXTERIOR CONCRETE SLABS AND PAVING.

FOUNDATION/S-O-G PLAN KEY NOTES

- F1 PT 2x6 FRAMING AT 16\" OC
- N1 CONNECT CORNERS OF EACH SHIP CONTAINER TO FOUNDATION WALL PER SECTION 2/S304.
- N2 2'-0\" WIDE x 1'-0\" THICK x CONT CONCRETE FOOTING W/ (3) - #4 BOT CONT AND #4 BOT AT 48\" OC.
- N3 3'-0\"x3'-0\" WIDEx1'-0\"THICK REINF W/ (4) - #5 BOT EACH WAY.
- N4 4'-0\" WIDE x 1'-0\" THICK x CONT CONCRETE FOOTING W/ (5) - #5 BOT CONT AND #5 AT 12\" OC BOT AT 12\" OC.
- N5 2\" BUILDING EXPANSION JOINT ABOVE SLAB.
- N6 REFER TO TYPICAL DETAIL AT INTERSECTION OF NEW AND EXISTING FOOTING.
- N7 BOTTOM OF NEW FOOTING SHALL MATCH BOTTOM OF EXISTING FOOTING. STEP AS REQUIRED.
- N8 REFER TO TYPICAL COLUMN AND THICKENED SLAB DETAIL ON S501.
- S1 4\" CONCRETE SLAB-ON-GRADE OVER VAPOR RETARDER AND 4\" DEPTH OF POROUS FILL UNLESS OTHERWISE INDICATED. REINFORCE SLAB WITH 6x6 W2.1xW2.1 WELDED WIRE REINFORCING PLACED 1\" CLEAR BELOW TOP OF SLAB. MAINTAIN REINFORCEMENT IN POSITION ON BOLSTERS, CHAIRS OR SPACERS DURING CONCRETE PLACEMENT.

FOUNDATION PLAN

1/4\" = 1'-0\"



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RICHMOND ART GARAGE

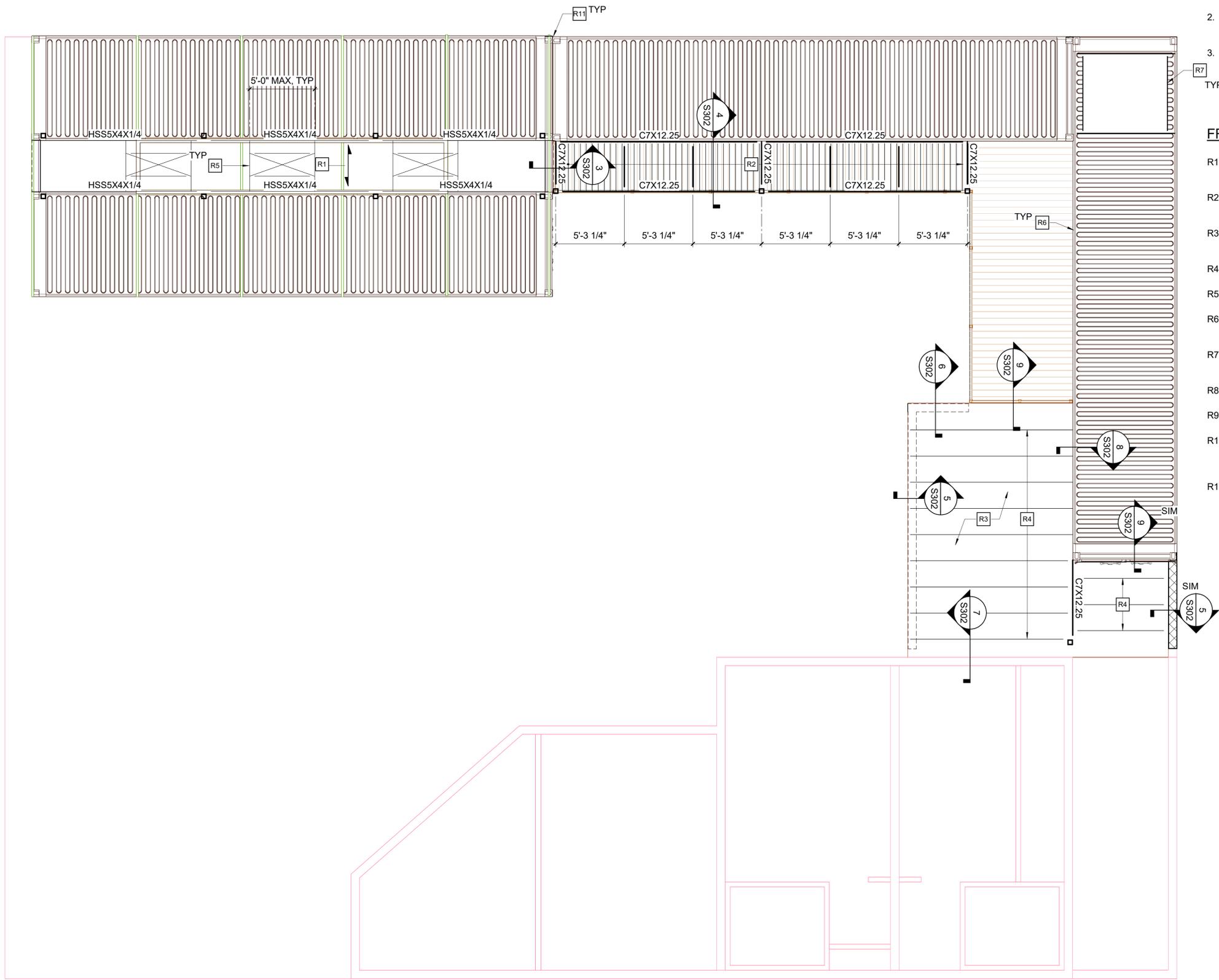
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FOUNDATION PLAN

S101

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FRAMING PLAN NOTES

- REFER TO FOUNDATION PLAN AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- TOP OF SHIPPING CONTAINER ELEVATION SHALL BE: SECOND FLOOR ELEVATION = +8'-6", THIRD FLOOR ELEVATION = +17'-0".
- COORDINATE AND VERIFY ALL MEMBER LOCATIONS, DIMENSIONS, WEIGHTS, OPENING SIZES, AND CURB DIMENSIONS FOR ALL MECHANICAL EQUIPMENT WITH THE ACTUAL EQUIPMENT FURNISHED. INCLUDE THIS INFORMATION ON THE JOIST AND STRUCTURAL STEEL SHOP DRAWINGS.

FRAMING PLAN KEY NOTES

- R1 1 1/2" STEEL ROOF DECK - REF GENERAL NOTES FOR ADDITIONAL INFORMATION.
- R2 2x6 WOOD DECKING - REF GENERAL NOTES FOR ADDITIONAL INFORMATION.
- R3 19/32" WOOD ROOF SHEATHING - REF GENERAL NOTES FOR ADDITIONAL INFORMATION.
- R4 2x12 RAFTERS AT 2'-0" OC
- R5 L4x4x1/4 EACH SIDE OF SKYLIGHTS. COORDINATE LOCATIONS IN FIELD.
- R6 REFER TO TYPICAL REINFORCEMENT DETAIL OF OPENING IN CONTAINER WALL ON S502. THIS APPLIES TO ALL OPENINGS.
- R7 WELD CHANNEL TO CONTAINER STRINGER WITH 3/16" FILLET WELD EACH SIDE OF WEB. PROVIDE L3x3x1/4. CLIP ANGLES AS NEEDED.
- R8 2x8 RAFTERS AT 2'-0" OC
- R9 2x8 RAFTERS AT 1'-4" OC
- R10 PROVIDE PLATE CONNECTION SHOWN IN 10/S302 EXCEPT PLATE SHALL BE PROVIDED ON EACH SIDE AND SHALL BE ATTACHED TO WOOD W/ 6-#12 WOOD SCREWS INSTEAD OF 4-#12 SDS.
- R11 WELD CONTAINERS TOGETHER AT CORNERS WITH 12" LONG 1/4" FILLET WELD, TYP.

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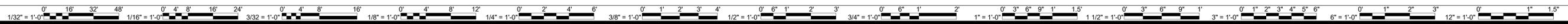
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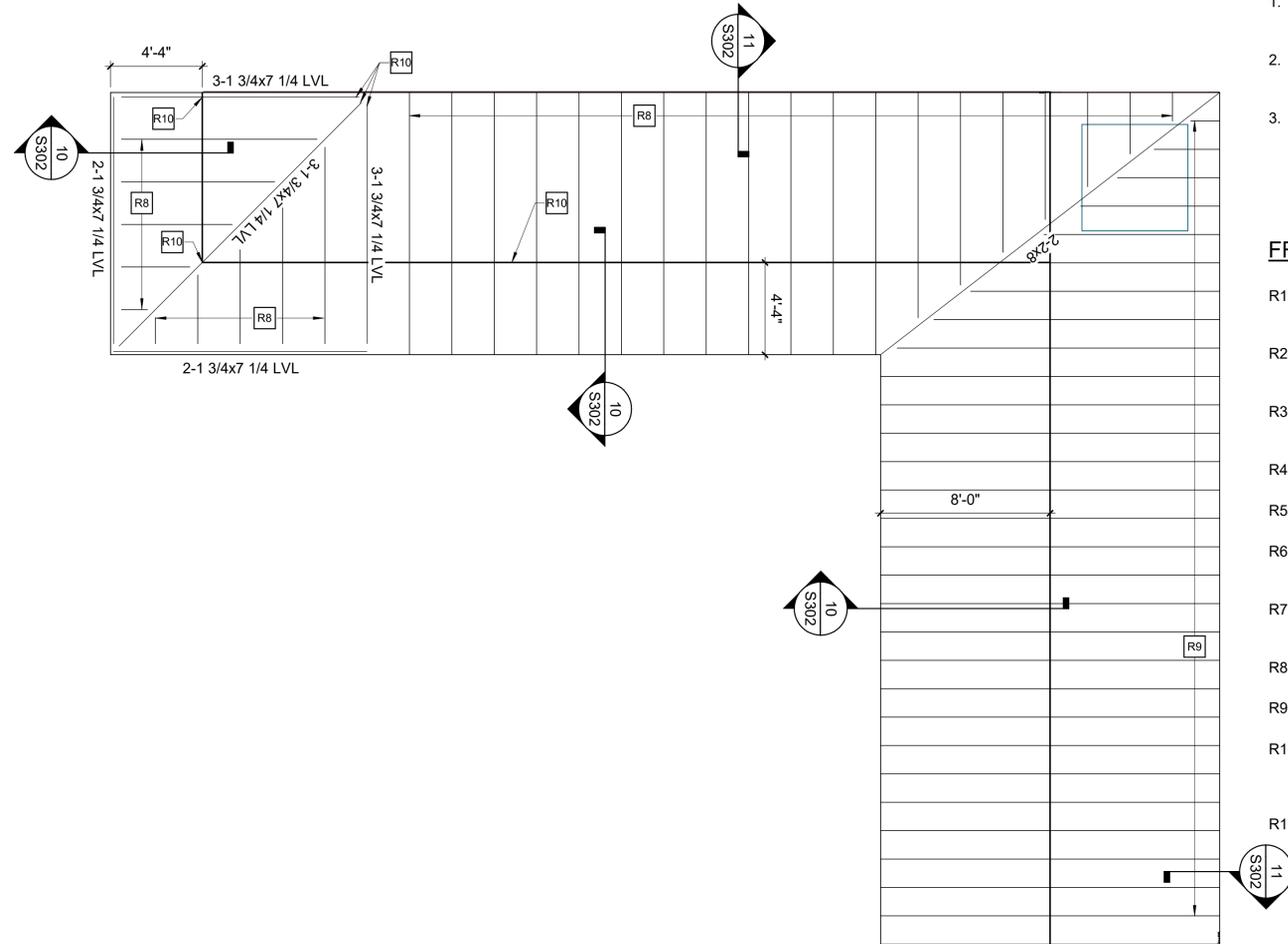
SECOND FLOOR FRAMING PLAN

SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"



S102



FRAMING PLAN NOTES

1. REFER TO FOUNDATION PLAN AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
2. TOP OF SHIPPING CONTAINER ELEVATION SHALL BE: SECOND FLOOR ELEVATION = +8'-6", THIRD FLOOR ELEVATION = +17'-0".
3. COORDINATE AND VERIFY ALL MEMBER LOCATIONS, DIMENSIONS, WEIGHTS, OPENING SIZES, AND CURB DIMENSIONS FOR ALL MECHANICAL EQUIPMENT WITH THE ACTUAL EQUIPMENT FURNISHED. INCLUDE THIS INFORMATION ON THE JOIST AND STRUCTURAL STEEL SHOP DRAWINGS.

FRAMING PLAN KEY NOTES

- R1 1 1/2" STEEL ROOF DECK - REF GENERAL NOTES FOR ADDITIONAL INFORMATION.
- R2 2x6 WOOD DECKING - REF GENERAL NOTES FOR ADDITIONAL INFORMATION.
- R3 19/32" WOOD ROOF SHEATHING - REF GENERAL NOTES FOR ADDITIONAL INFORMATION.
- R4 2x12 RAFTERS AT 2'-0" OC
- R5 L4x4x1/4 EACH SIDE OF SKYLIGHTS. COORDINATE LOCATIONS IN FIELD.
- R6 REFER TO TYPICAL REINFORCEMENT DETAIL OF OPENING IN CONTAINER WALL ON S502. THIS APPLIES TO ALL OPENINGS.
- R7 WELD CHANNEL TO CONTAINER STRINGER WITH 3/16" FILLET WELD EACH SIDE OF WEB. PROVIDE L3x3x1/4. CLIP ANGLES AS NEEDED.
- R8 2x8 RAFTERS AT 2'-0" OC
- R9 2x8 RAFTERS AT 1'-4" OC
- R10 PROVIDE PLATE CONNECTION SHOWN IN 10/S302 EXCEPT PLATE SHALL BE PROVIDED ON EACH SIDE AND SHALL BE ATTACHED TO WOOD W/ 6-#12 WOOD SCREWS INSTEAD OF 4-#12 SDS.
- R11 WELD CONTAINERS TOGETHER AT CORNERS WITH 12" LONG 1/4" FILLET WELD, TYP.

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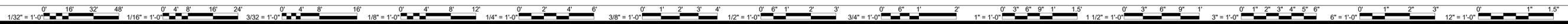
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ROOF FRAMING PLAN

S103

SHT OF #

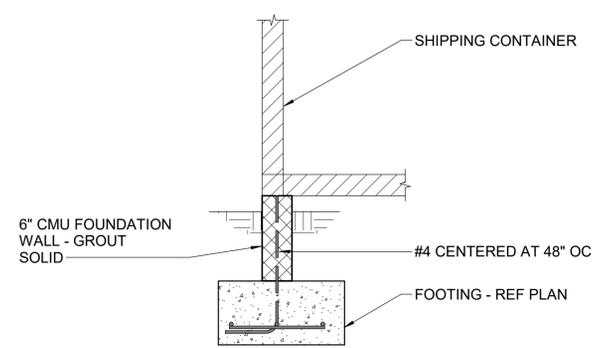
ROOF FRAMING PLAN

1/4" = 1'-0"

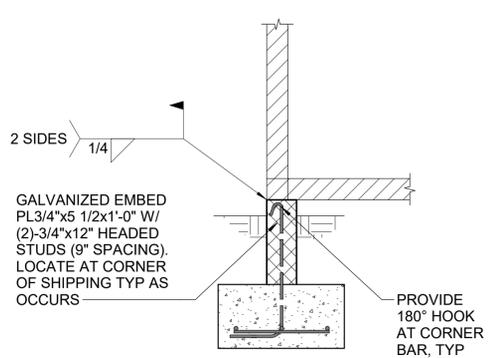


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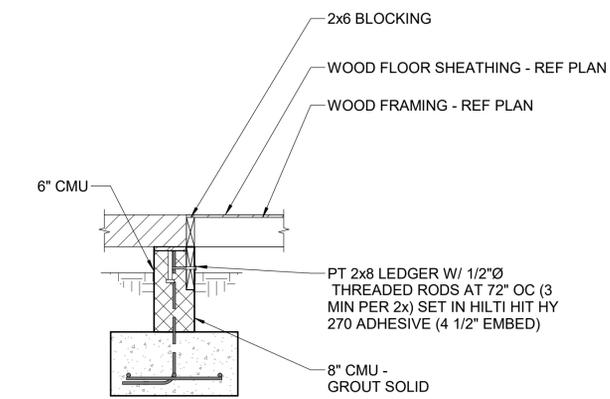
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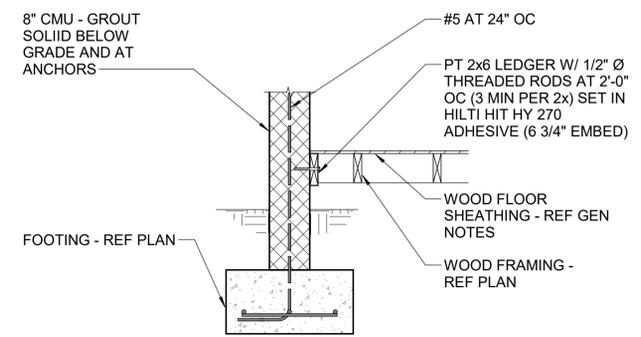
1 SECTION
S301 3/4" = 1'-0"



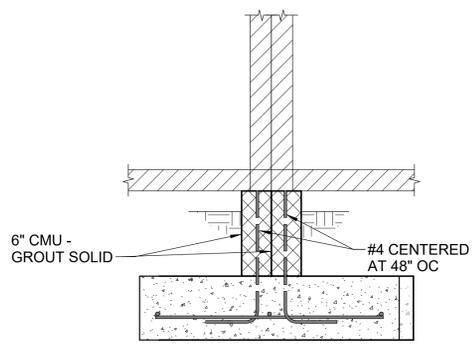
2 SECTION
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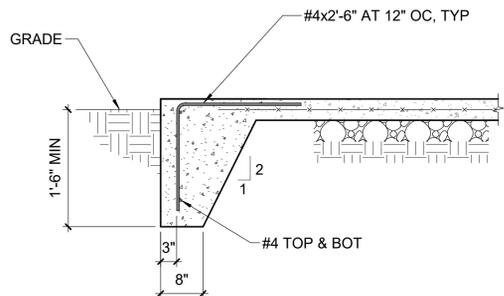
3 SECTION
S301 3/4" = 1'-0"



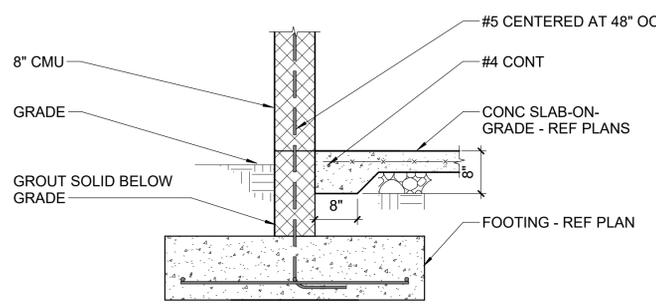
4 SECTION
S301 3/4" = 1'-0"



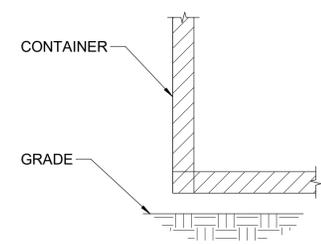
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S301 3/4" = 1'-0"



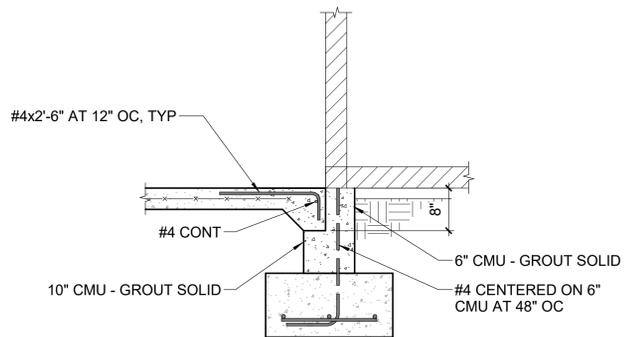
6 SECTION
S301 3/4" = 1'-0"



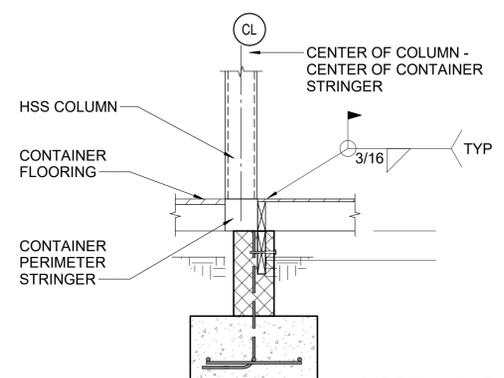
7 SECTION
S301 3/4" = 1'-0"



8 SECTION
S301 3/4" = 1'-0"



9 SECTION
S301 3/4" = 1'-0"



10 SECTION
S301 3/4" = 1'-0"



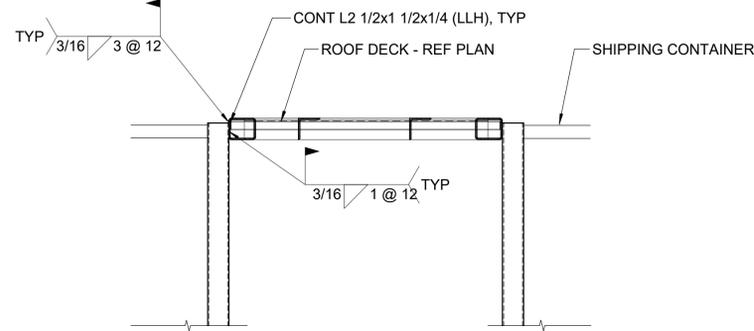
95% REVIEW SET

REVISIONS	
#	DATE DESCRIPTION

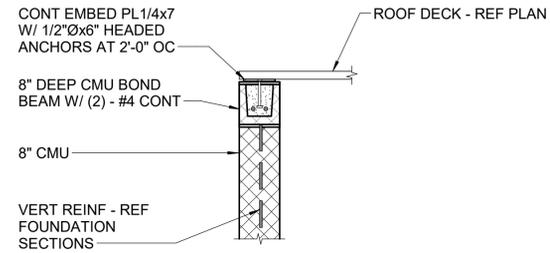
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 DRAWN: Author
 CHECKED: PIC
 PROJECT: Project Number
 DATE: 7/3/2020

RICHMOND ART GARAGE
 205 W. BROOKLAND PARK BLVD.
 RICHMOND, VA 23222

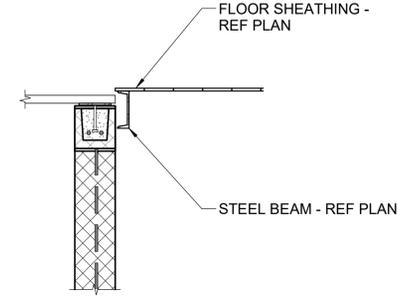
SECTIONS



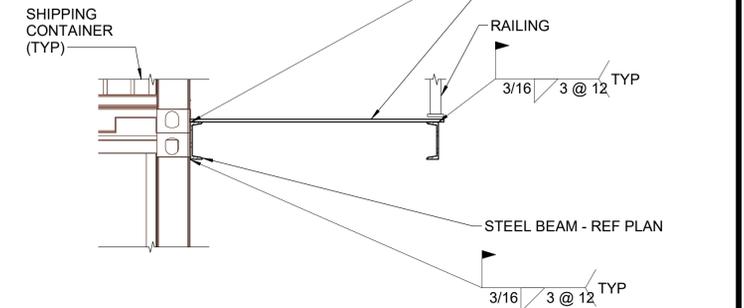
1 SECTION
S302 3/4" = 1'-0"



2 SECTION
S302 3/4" = 1'-0"

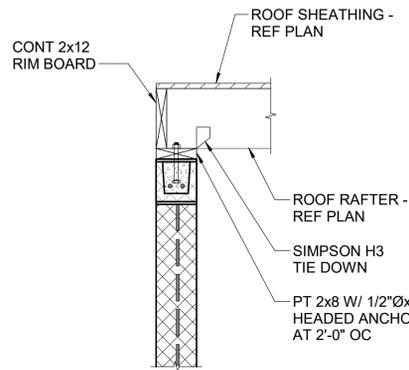


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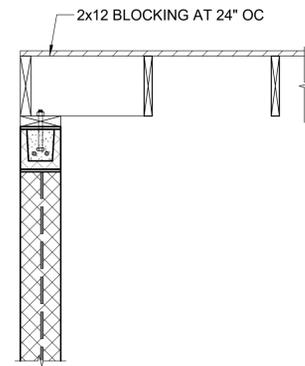
4 SECTION
S302 3/4" = 1'-0"

FOR DETAILS NOT NOTED
REF SECTION 2/302



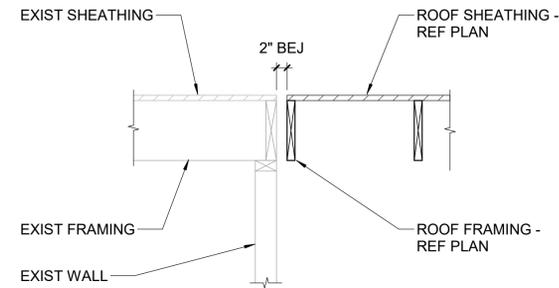
5 SECTION
S302 3/4" = 1'-0"

FOR DETAILS NOT NOTED
REF SECTION 2/302

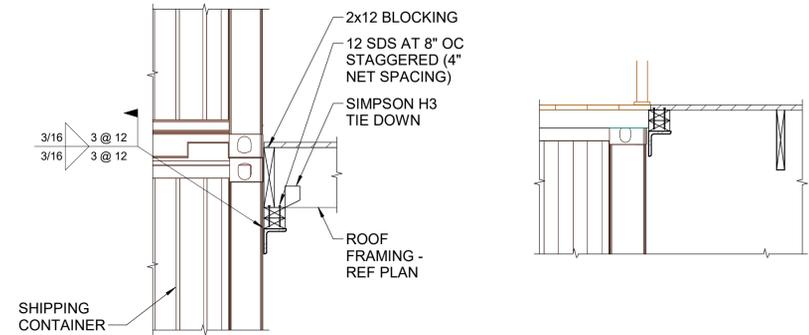


6 SECTION
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FOR DETAILS NOT NOTED
REF SECTION 2/302

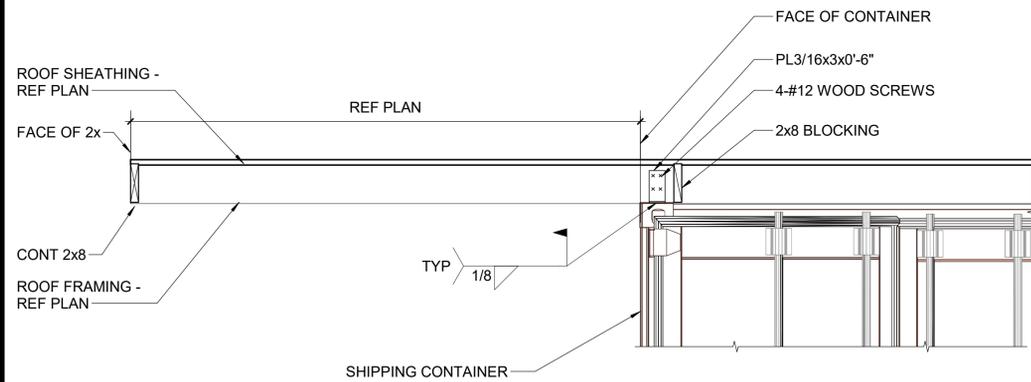


7 SECTION
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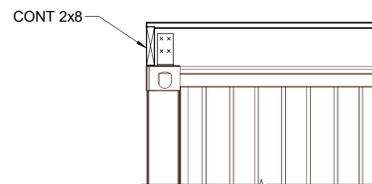


8 SECTION
S302 3/4" = 1'-0"

9 SECTION
S302 3/4" = 1'-0"



10 SECTION
S302 3/4" = 1'-0"



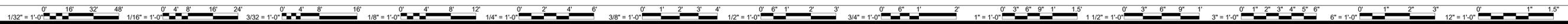
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S302 3/4" = 1'-0"

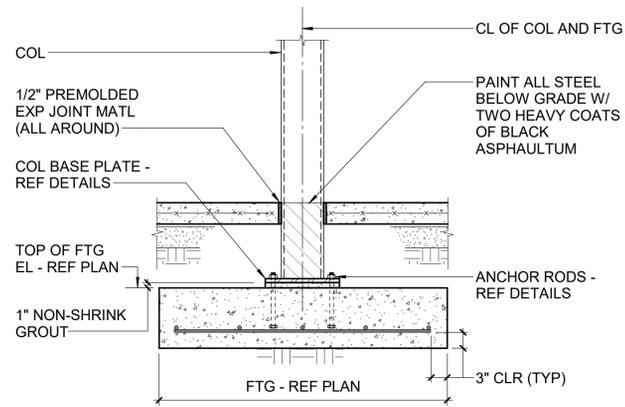
FOR DETAILS NOT NOTED
REF SECTION 10/302

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CHECKED: PIC
PROJECT: Project Number
DATE: 7/3/2020

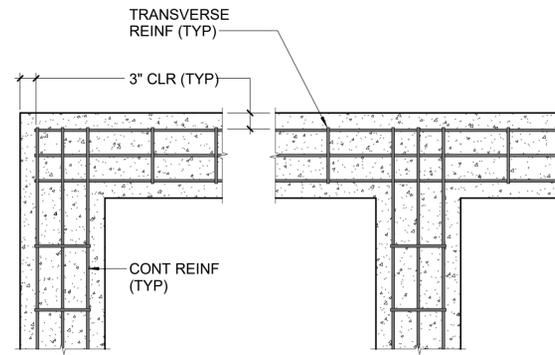
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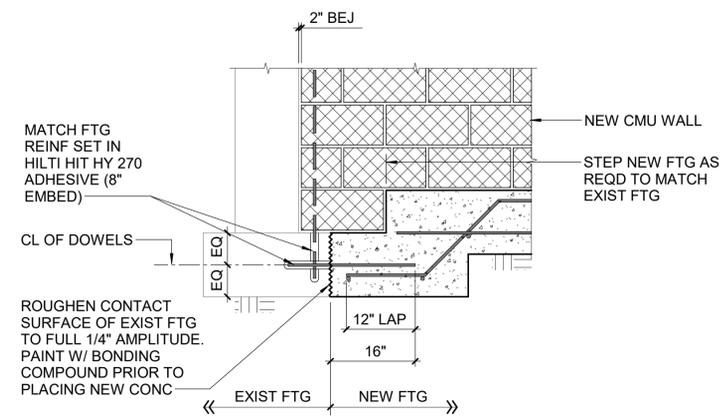
TYPICAL COLUMN AND FOOTING DETAIL

NTS 01-col and fig detail_hss-typ



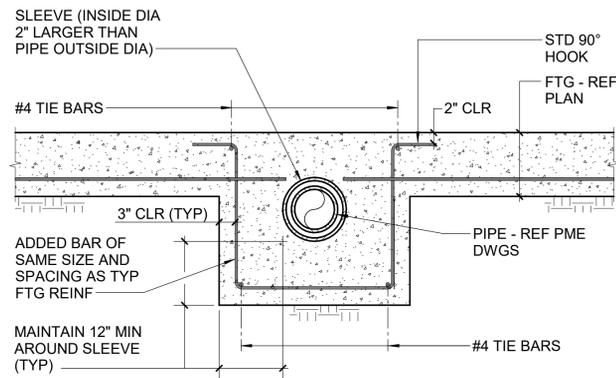
TYPICAL CORNER AND INTERSECTION DETAILS

NTS

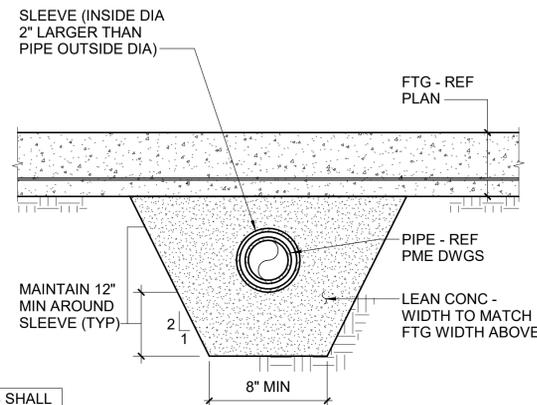


TYPICAL DETAIL AT INTERSECTION OF NEW AND EXISTING FOOTINGS

NTS



THROUGH FOOTING

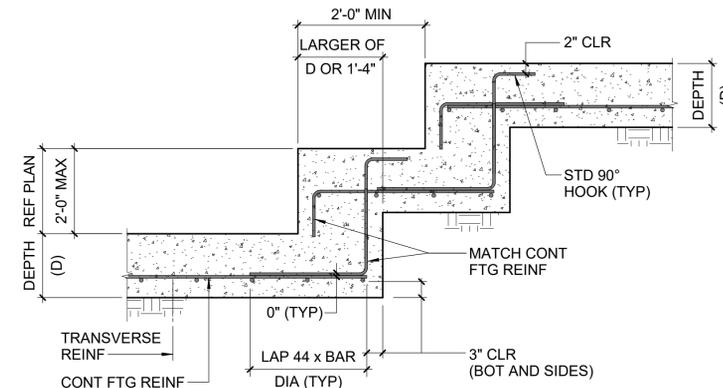


BELOW FOOTING

NOTE: SLEEVES SHALL NOT BE LOCATED IN OR UNDER COL FTGS.

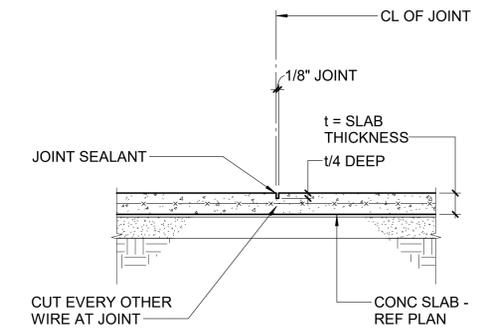
TYPICAL PIPE SLEEVE DETAILS

NTS



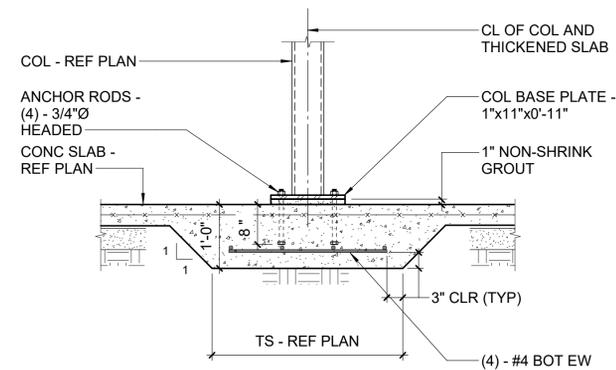
TYPICAL STEPPED FOOTING DETAIL

NTS (DENOTED SF ON PLAN)



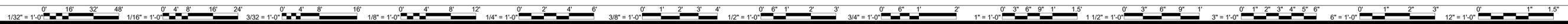
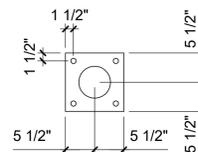
TYPICAL SAWED JOINT DETAIL

NTS (DENOTED SJ ON PLAN)



TYPICAL COLUMN AND THICKENED SLAB DETAIL

NTS



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PROJECT: Project Number
DATE: 7/3/2020

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95% REVIEW SET

REVISIONS	
#	DATE DESCRIPTION

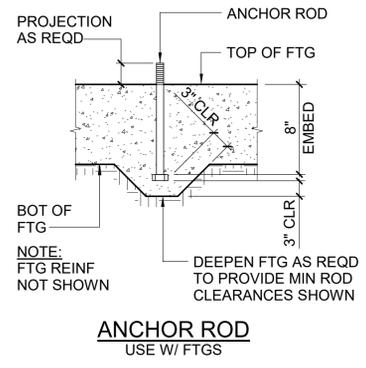
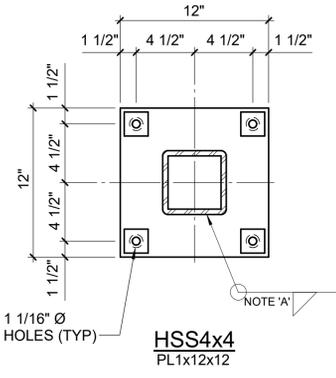
DESIGNED: ENG
 DRAWN: Author
 CHECKED: PIC
 PROJECT: Project Number
 DATE: 7/3/2020

RICHMOND ART GARAGE
 205 W. BROOKLAND PARK BLVD.
 RICHMOND, VA 23222
 TYPICAL DETAILS

S502

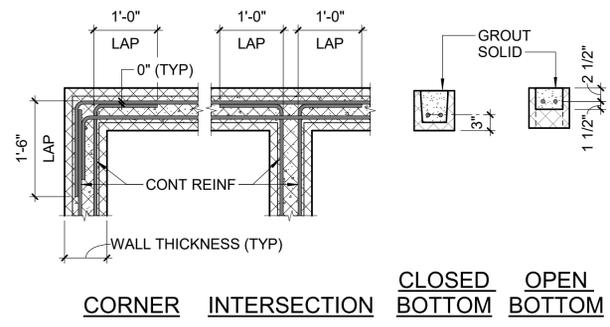
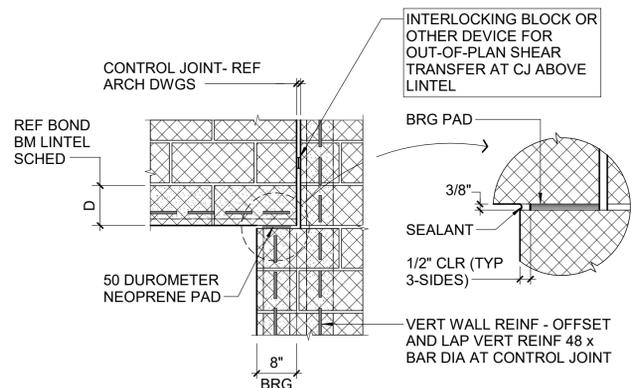
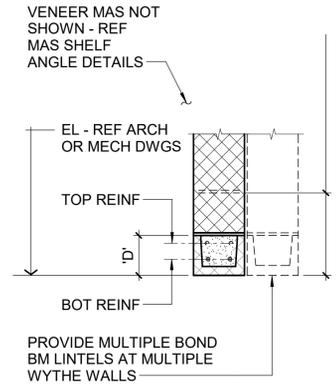
PLATE WASHER SCHEDULE			
ANCHOR ROD	SIZE	HOLE DIAMETER	THICKNESS
3/4"Ø	2" SQ	13/16"	1/4"

NOTE:
 A. PROVIDE MINIMUM SIZE WELD PER AISC TABLE J2.4.
 B. AT THE GENERAL CONTRACTOR'S OPTION, WHEN BASE PLATES ARE LESS THAN 1 1/4" THICK, USE 1 1/16"Ø PUNCHED HOLES FOR 3/4"Ø RODS WITH STD ASTM F844 WASHERS IN LIEU OF PLATE WASHERS.



BASE PLATE AND ANCHOR ROD DETAILS

NTS



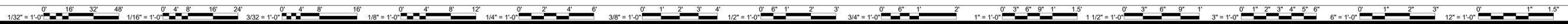
TYPICAL BOND BEAM REINFORCING DETAILS

NTS

TYPICAL SECTION BOND BEAM LINTEL DETAILS

NTS

03/JUL/20 6:12:49 PM V:\1.1.2.63\LMS_002_A\Project\01_Project\LMS_122_G20_067_Richmond Art Garage\03_Work_in_Progress\202007-JUL07-03-2020\G20067_Art Garage Buildout 205_Stuct_R20_vt



95% REVIEW SET

REVISIONS	
#	DESCRIPTION

DESIGNED: ENG

 DRAWN: Author

 CHECKED: PIC

 PROJECT: Project Number

 DATE: 7/3/2020

RICHMOND ART GARAGE

 205 W. BROOKLAND PARK BLVD.

 RICHMOND, VA 23222

TYPICAL DETAILS

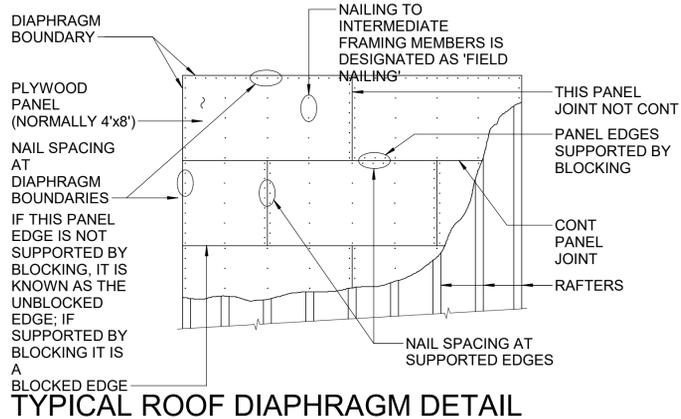
S503

SHT OF #

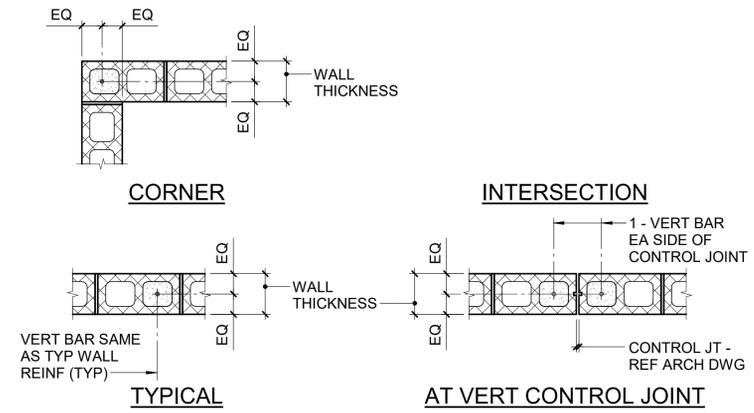
GENERAL: THE LATERAL LOADS ON THIS BUILDING ARE RESISTED BY A COMBINATION OF 'DIAPHRAGM' ACTION OF THE ROOF TO TRANSMIT LOADS IN THE HORIZONTAL PLANES, AND CMU SHEARWALLS AND SHIPPING CONTAINERS TO TRANSMIT LOADS IN THE VERTICAL PLANES.

ROOF DIAPHRAGM NAILING SCHEDULE: EXCEPT WHERE OTHERWISE NOTED OR DETAILED, PLYWOOD ROOF SHEATHING SHALL BE NAILED W/ 8d NAILS AT 6" OC AT PANEL EDGES, 12" OC FIELD.

DEFINITION OF TERMS:

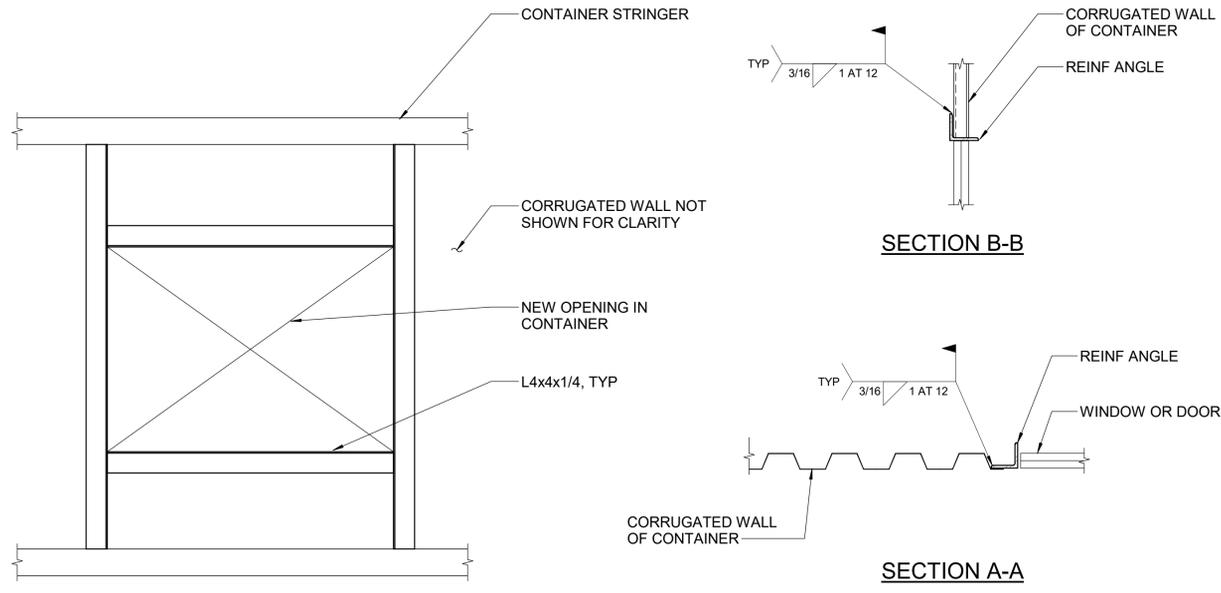


NTS



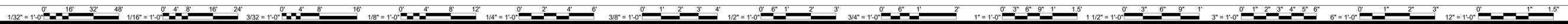
TYPICAL CONCRETE MASONRY REINFORCING DETAILS

NTS



TYPICAL DETAIL AT REINFORCEMENT OF CONTAINER OPENINGS

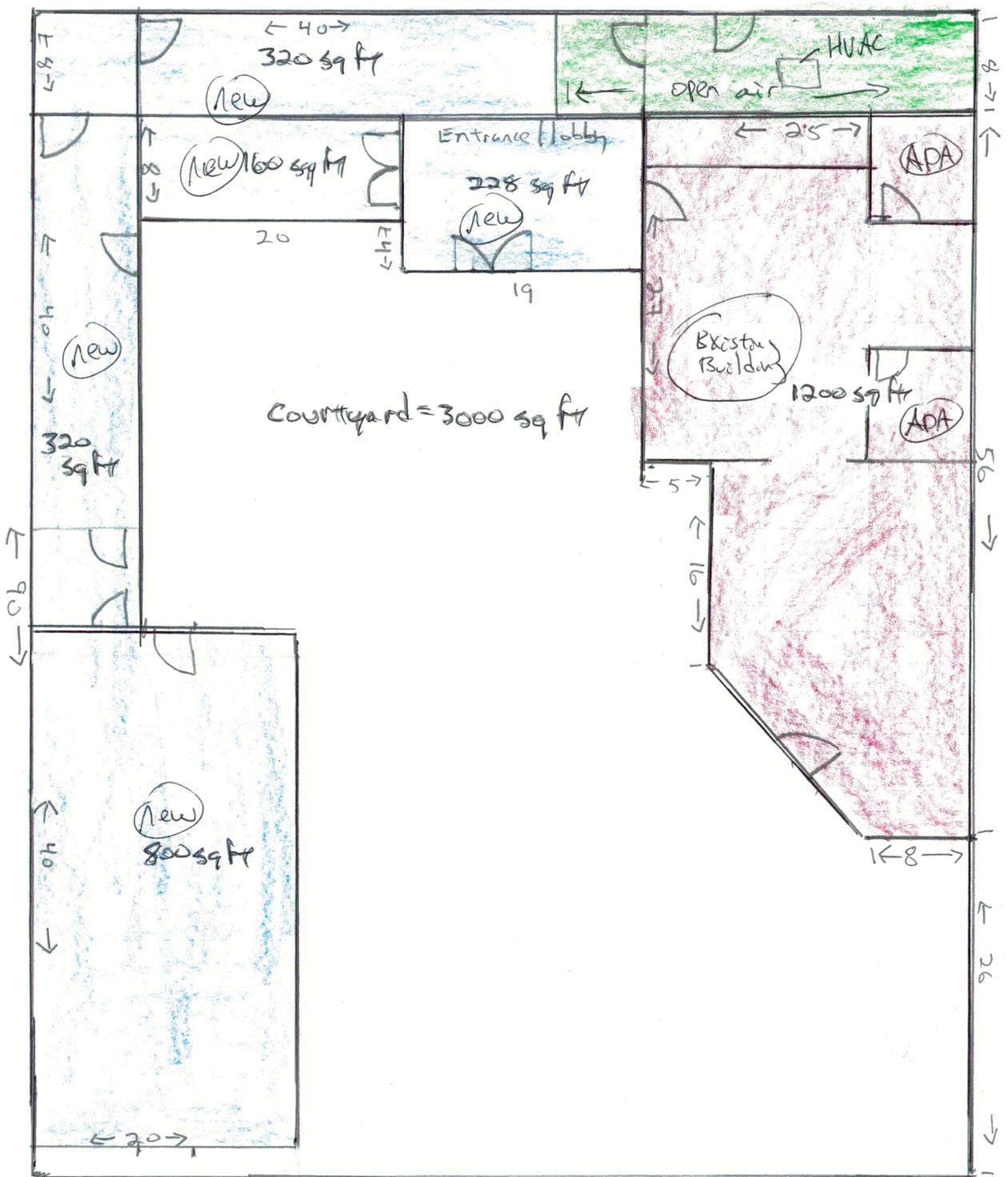
NTS



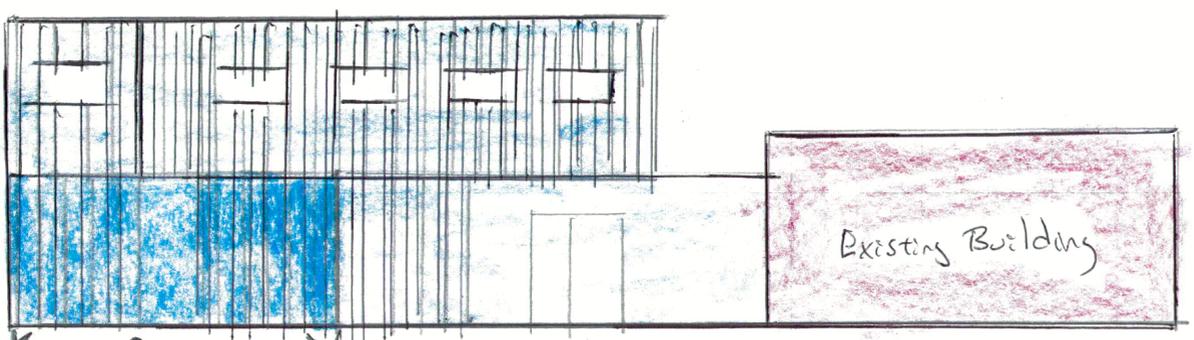
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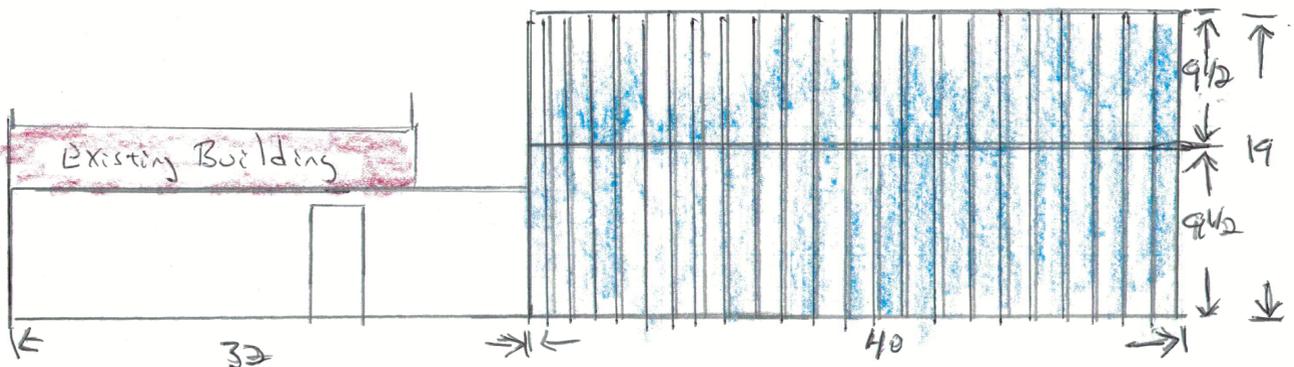
205 W Brookland Park Blvd



Lower floor Plan



Front Elevation



Rear Elevation

Scale: 1 sq = 2 ft
 New in blue
 Existing in red

NOTES

addition built with "high cube" shipping containers:
 6 x 8-40-9.5 feet
 1 x 8-20-9.5 feet

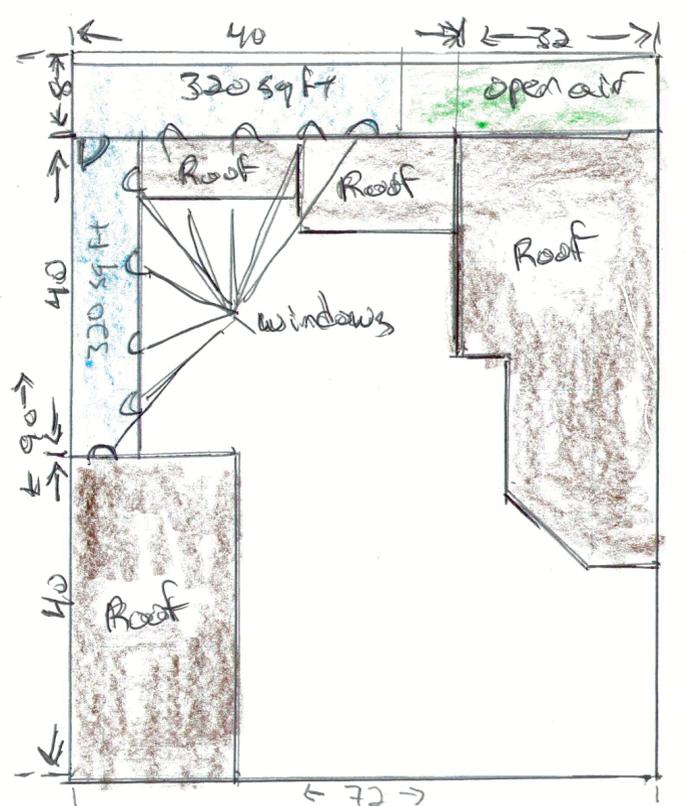
2 x ADA-compliant bathrooms in existing building

courtyard space to be used for outdoor market, music and art installations

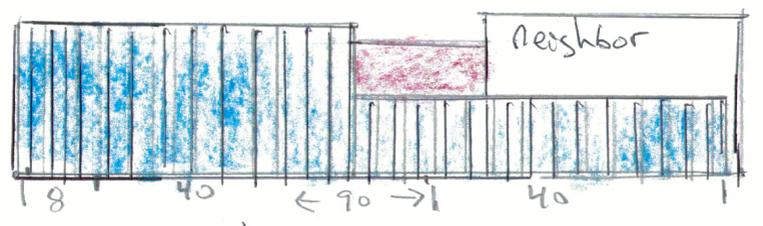
windows in addition:
 0 (zero) on lower level
 9 (nine) on upper level

square footage
 addition, lower level = 1828
 addition, upper level = 640
 total new space added = 2468
 existing building = 1212
 total, post-construction = 3680

scale below: 1 square = 4 feet

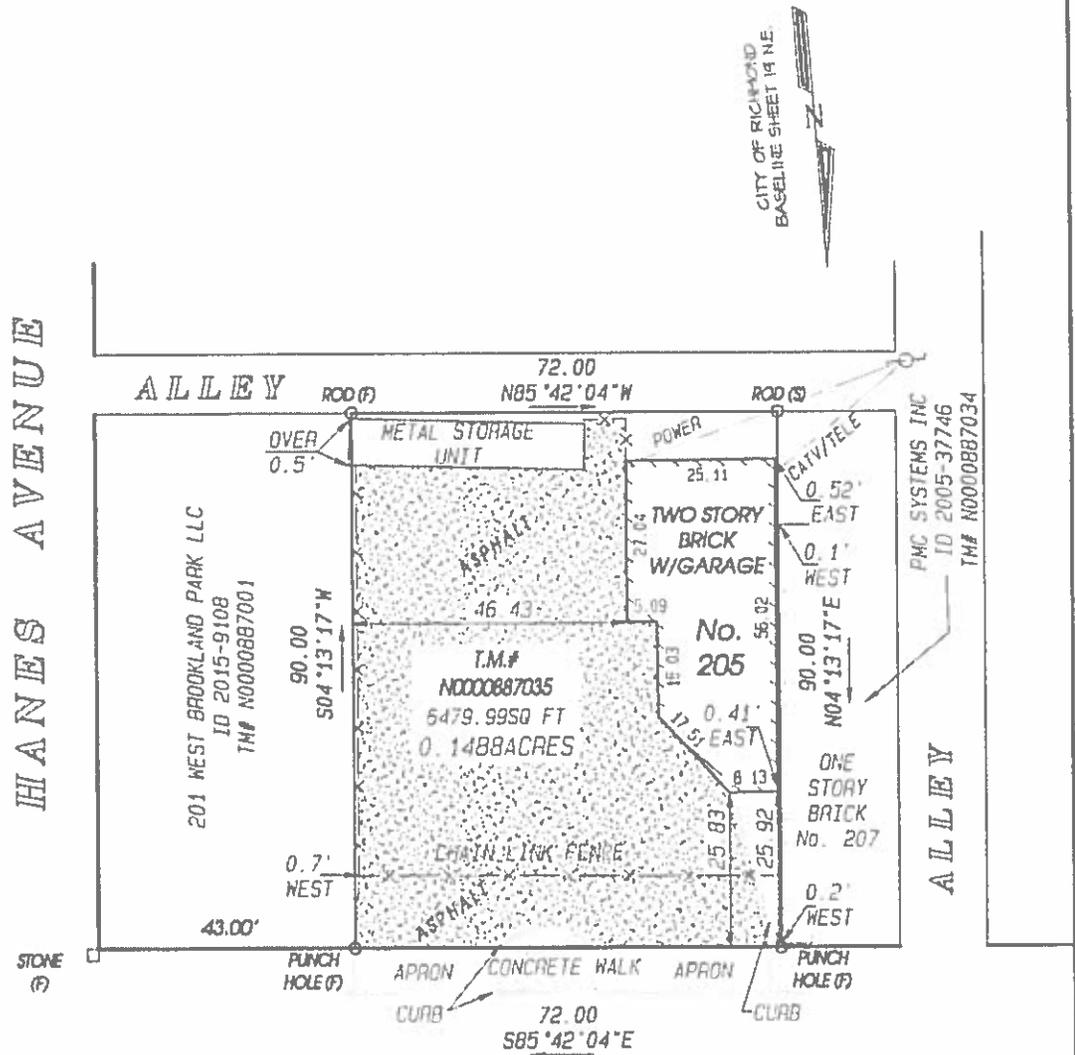


Upper Floor Plan



Side Elevation

NOTES: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
 CURRENT OWNER: MR SAMUEL S FORREST SR ID 2012-12185



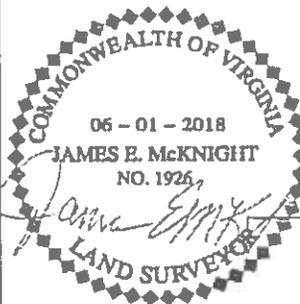
**WEST BROOKLAND
 PARK BOULEVARD**

60' +/- R/W

**PLAT SHOWING IMPROVEMENTS ON
 No. 205 WEST BROOKLAND PARK BOULEVARD,
 IN THE CITY OF RICHMOND, VIRGINIA.**

THIS IS TO CERTIFY THAT ON JUNE 01, 2018, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS SURVEY IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS.

SCALE: 1" = 25'



**McKNIGHT
 & ASSOCIATES, P.C.**
 LAND SURVEYORS PLANNERS

201 TWIN RIDGE I AVE
 RICHMOND, VIRGINIA 23235
 TELEPHONE (804) 320-2646

JOB NUMBER: 87100405