



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION / CERTIFICATE OF APPROPRIATENESS

### PROPERTY (Location of Work)

Address 2707 E. Broad Street

Historic District St. John's Church

### PROPOSED ACTION

- Alteration (including paint colors)     
  Rehabilitation     
  Demolition  
 Addition     
  New Construction (Conceptual Review required)  
 Conceptual Review     
  Final Review

### OWNER

Name Kelley Banks / Heather Holub

Company \_\_\_\_\_

Mailing Address 2707 E Broad Street  
Richmond, VA 23223

Phone (804 ) 382-0251

Email kelley.banks@gmail.com

Signature *KBanks*

Date 6/26/2017

### APPLICANT (if other than owner)

Name \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone \_\_\_\_\_

Email \_\_\_\_\_

Signature \_\_\_\_\_

Date \_\_\_\_\_

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received: \_\_\_\_\_

Date/Time \_\_\_\_\_

By \_\_\_\_\_

10.17  
ECE VED

JUN 30 2017

COA-019843

Complete  Yes  No



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 2707 E. Broad Street

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### BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

### ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

**PHOTOGRAPHS** place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight

## WRITTEN DESCRIPTION

### Property Description:

This two-story Victorian house was built in 1870. It is a red brick structure with a membrane roof that slopes down toward the back. The double hung wood windows are painted black with light gray trim, some with original glass, some clearly from later replacement windows. In 1955, the house was converted to a two-family house, and currently is zoned as a duplex.

Since we took ownership in 2010, several improvements have been done to the exterior (and through approval by CAR.) These include a new black iron railing on the front porch stair, new storm windows installed, and restoration of the original wood windows (in progress). In 2011 we sought and received approval for a rear porch and deck to replace the existing rear stair. We put that project on hold to focus on necessary interior work, and are now returning to seek updated approval.

### Proposed Work:

The proposed work comprises the removal and replacement of two existing wood porches which provide rear egress from the first and second floor units of this two-family house. The proposed second floor design features a larger area than the existing to provide an outdoor seating area for the second floor unit. The current egress door from the second floor would be replaced with a wood double-hung window, and a new door is proposed directly off the deck into the second floor kitchen. The proposed first floor porch is slightly larger than the existing one to provide access to a new brick patio.

The rear dimension of the deck has been held just short of the rear wall of the adjacent house at 2705 East Broad Street to keep the rear elevation in proportion with the existing rhythm of the three attached houses to the west on Broad Street. The sides are aligned with the single-room rear width of the house. The second floor access stair to the ground begins its descent inbound of the porch's perimeter to minimize its visibility from adjacent properties and the public right-of-way at 27th Street. The second floor porch design also includes a planting shade trellis to provide a privacy buffer. The porch design uses traditional materials (painted/stained wood & metal) and sizes (6x6 posts, 1" wide balusters and a "Richmond rail," common on rear porches in Church Hill), however the design intention is for the structure to recede in favor of planted greenery.

### Current building material conditions and Proposed materials:

The existing rear porches are made of pressure-treated wood, and are in dire condition. They are splitting, curling and rotting, and need replacing. The existing window and door to be replaced are low quality white vinyl and aluminum respectively, and are not in keeping with the rest of the house.

The new porches shall be constructed of painted wood columns, beams, joists, railings, and stair, (black and light gray) and thermally-treated oak wood decking, (see cut-sheet) finished with Bioshield's clear "Penetrating Sealer". The planting shade trellis will be painted black metal. Finally, the existing asphalt shingles used as siding on a small portion of the upper floor rear of the house will be replaced with wood clapboard painted the gray trim color that currently exists on the house.

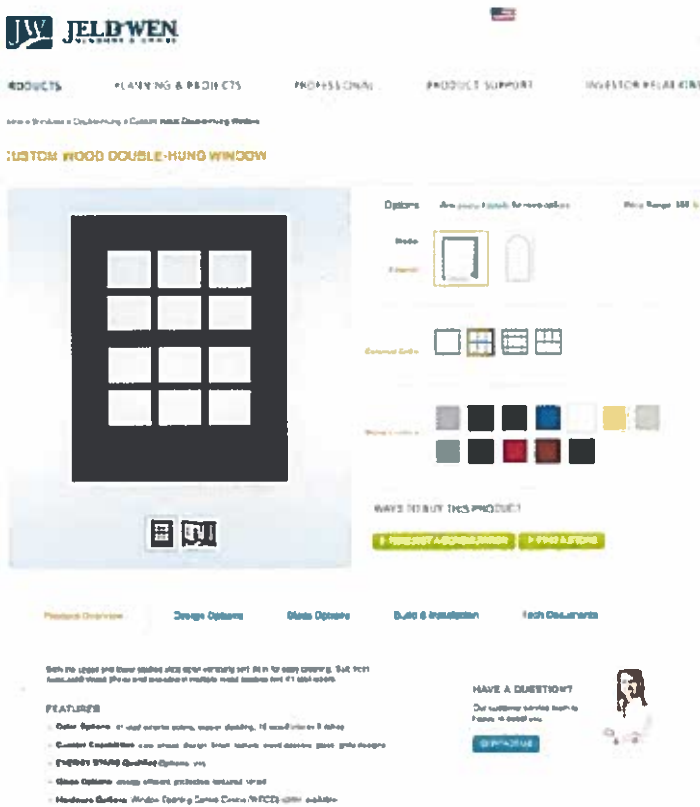
## MATERIALS

### JELD-WEN Wood window and door

One new window, one new door at 2nd Floor rear

Painted wood double hung, black sash with gray trim to match front & side of house.

Painted wood french door and sidelites, black with gray trim to match front & sides of house.



### Thermally Modified Decking

Heat-treated wood is a chemical free process to make natural wood moisture resistant and dimensionally stable. We would use this for the decking and stair treads, and this would be the only non-painted part of the design.

### Cooking Wood for an Exotic Look

By Bill Ester Added: August 03, 2010



Keystone Wood Specialties offers thermally treated ash, poplar and red oak (shown unfinished). It darkens during thermal treatment.

Several suppliers at the IWF 2010 International Woodworking Fair will be exhibiting products related to thermally treated wood. Basically the systems use specialized kilns to treat either hardwoods or softwoods, making them insect- and water-resistant and weatherproof without the use of chemicals. In the process, wood darkens, allowing certain lighter wood colors to substitute for darker and sometimes more expensive species.

Unlike pressure treated woods, the thermal modification process doesn't impregnate the wood with chemical preservatives.

Jartek, based in Lahiti, Finland, offers its ThermoWood kiln to thermally modify woods at high temperatures (approximately 200C). Thermal modification can be started from pre-dried or green timber. A software controller enables tailored recipes for different species of wood. Jartek will be at IWF 2010 in Booth #9056.

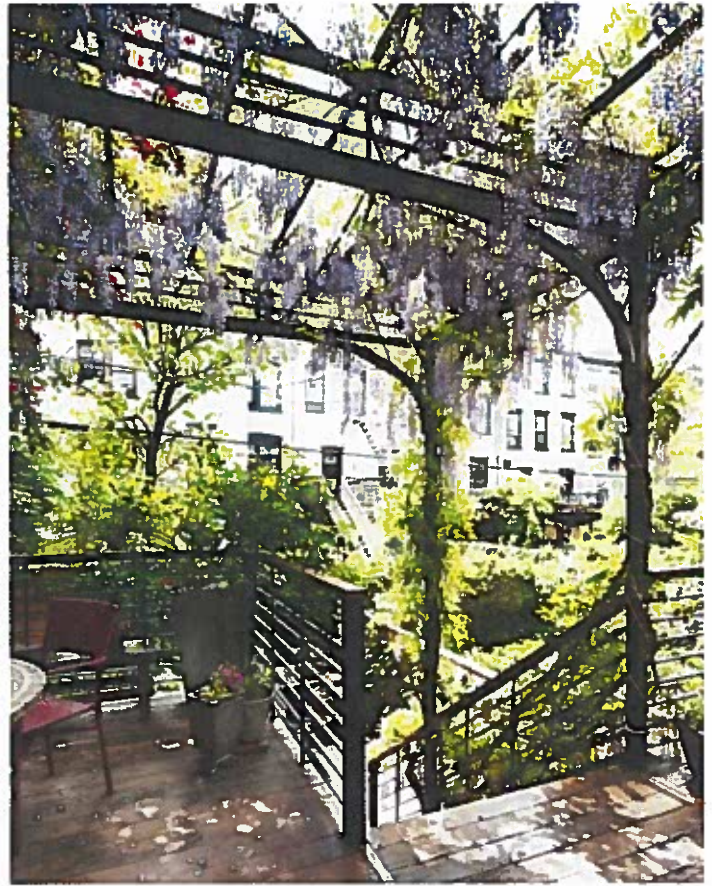
Arnold, PA-based Westwood (IWF Booth #7036), says woods treated in its process, designed specifically for hardwoods, can be used in extreme conditions — outdoor rooms, boat interiors, heavily trafficked wooden staircases, saunas and even sinks. The intense heat used in the kiln converts the molecular structure of the wood fibers, says Westwood President Igor Dachenko.

Kreamer, PA-based Bingaman Lumber, which will be at IWF Booth 4546, says the woods it offers that have been converted through the Westwood Thermo-treatment process provide 25-year outdoor durability.

This allows the use of softer, less expensive, more readily available hardwoods in applications to which they were not previously suited, says Bingaman. Treated poplar, ash, red oak and soft maple varieties used outdoors will resist decay or insect infestation. Bingaman says Thermo-treated hardwood can be

## MATERIALS

Inspiration image for second floor planting trellis, showing black-finished, thin tube steel frame.



**PHOTOGRAPHS**



View of rear of house from alley.

**PHOTOGRAPHS**



View of side of house from Broad Street.

## PHOTOGRAPHS



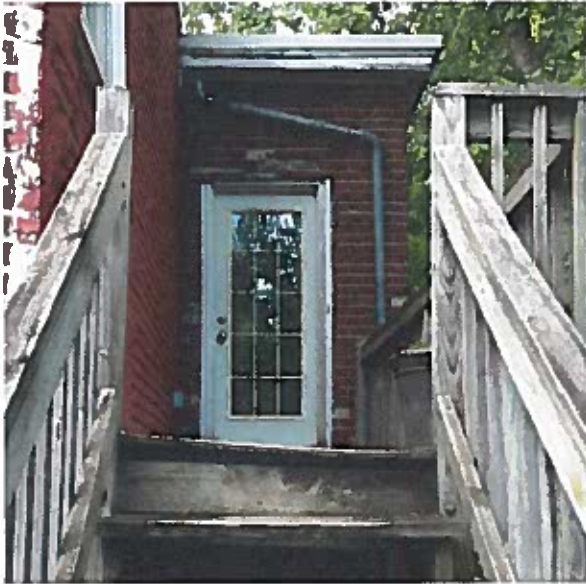
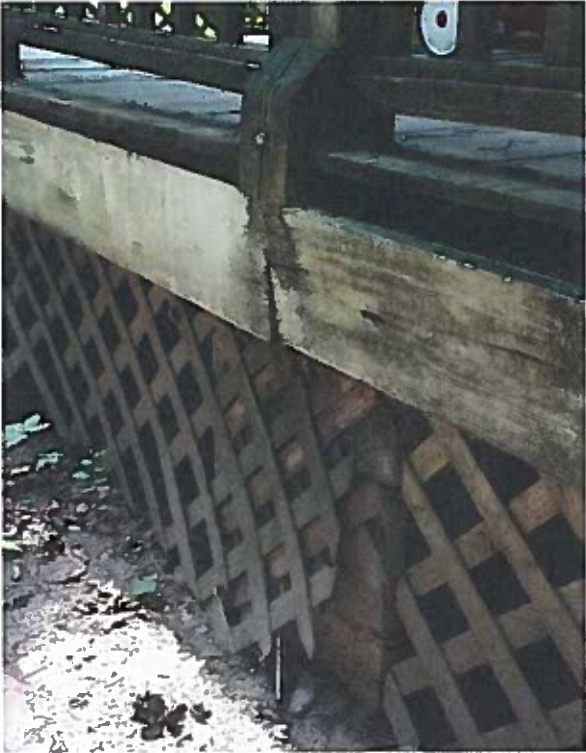
View of asphalt siding above brick wall, to be removed and replaced with wood clapboard.



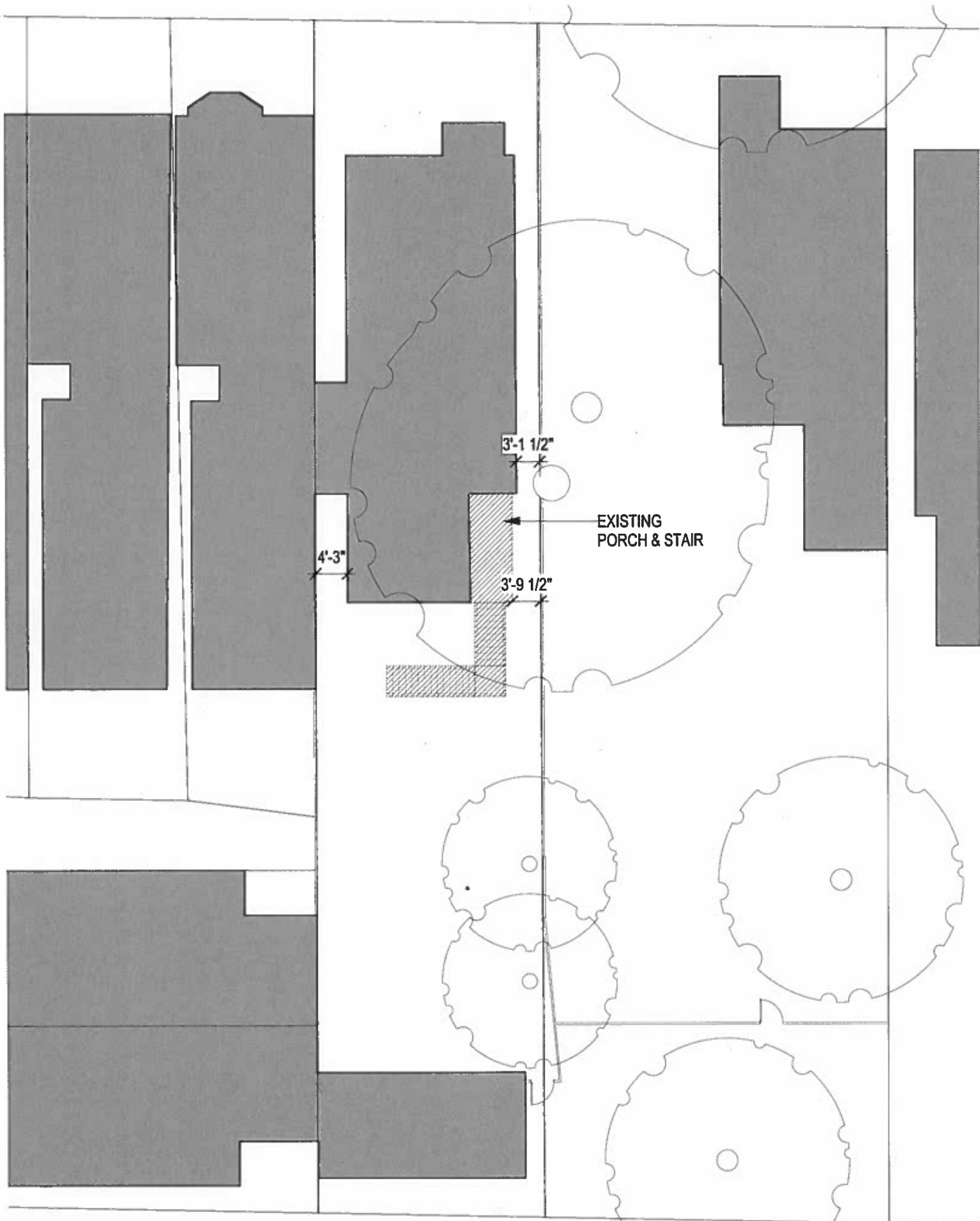
**PHOTOGRAPHS**



View of rear elevation facing alley between Broad Street and Grace Street.



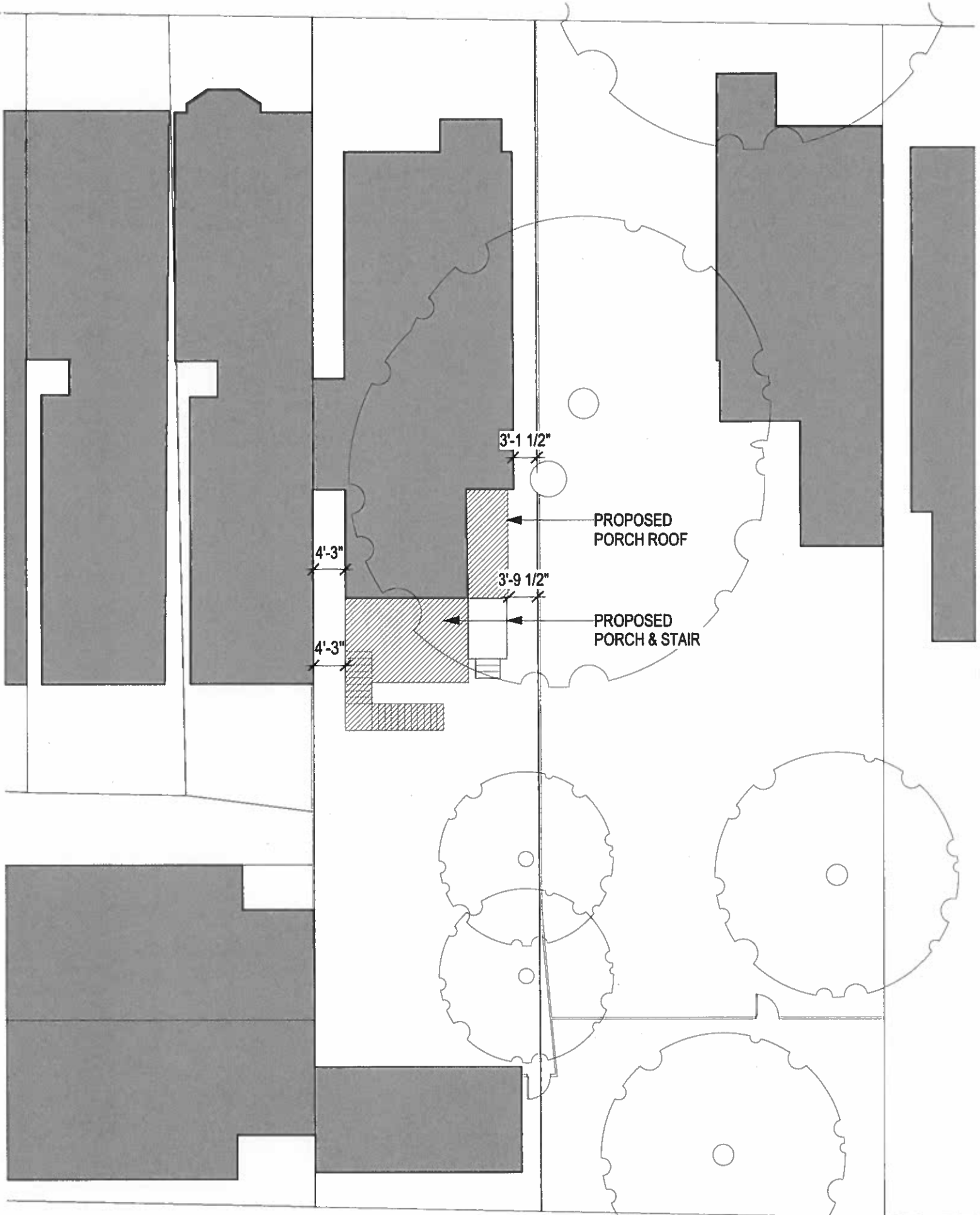
Views of condition of existing deck



REAR PORCHES  
2707 E. BROAD STREET

**EXISTING SITE PLAN**

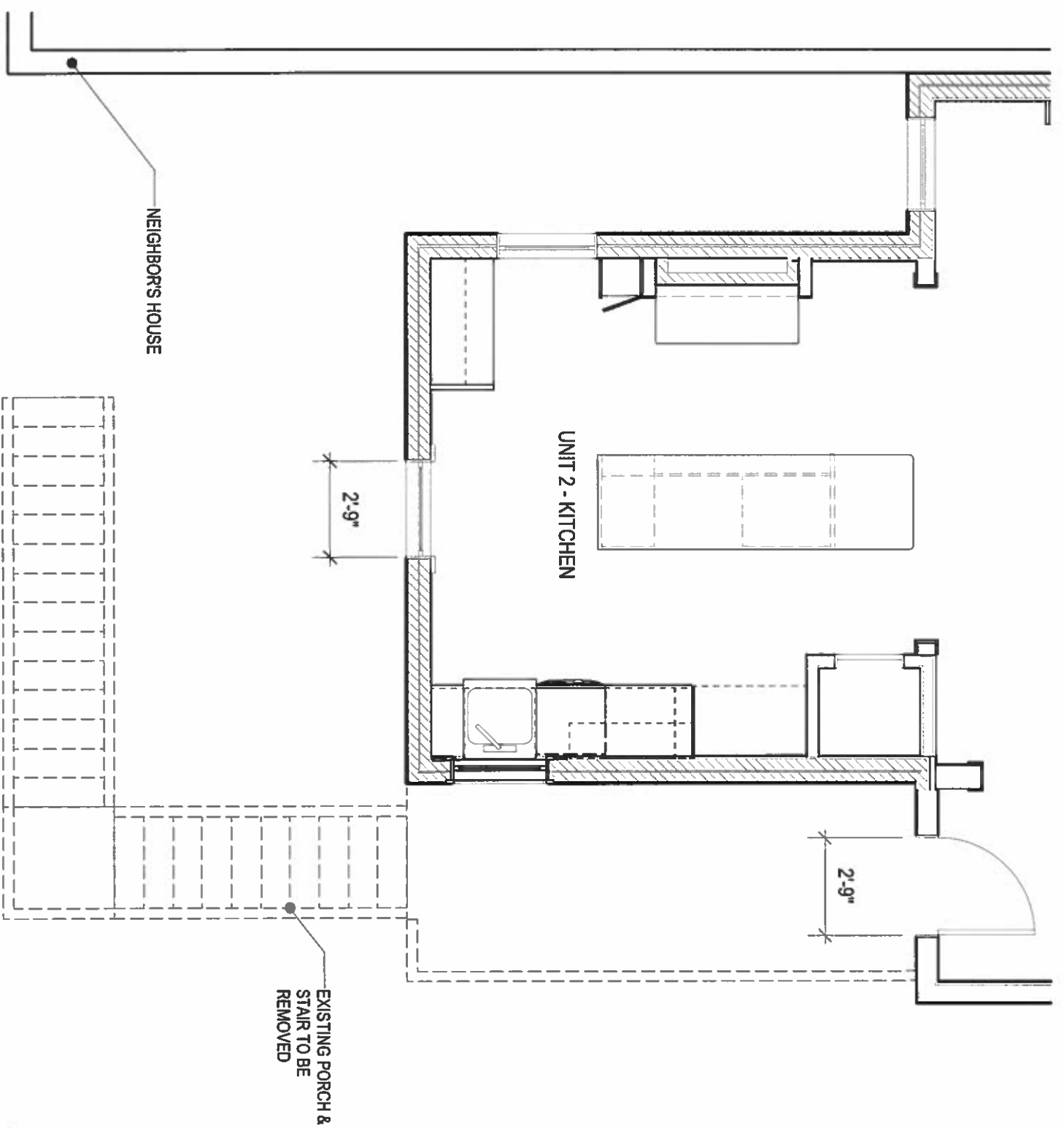
SCALE: 1/16" = 1'-0"  
6-20-2017



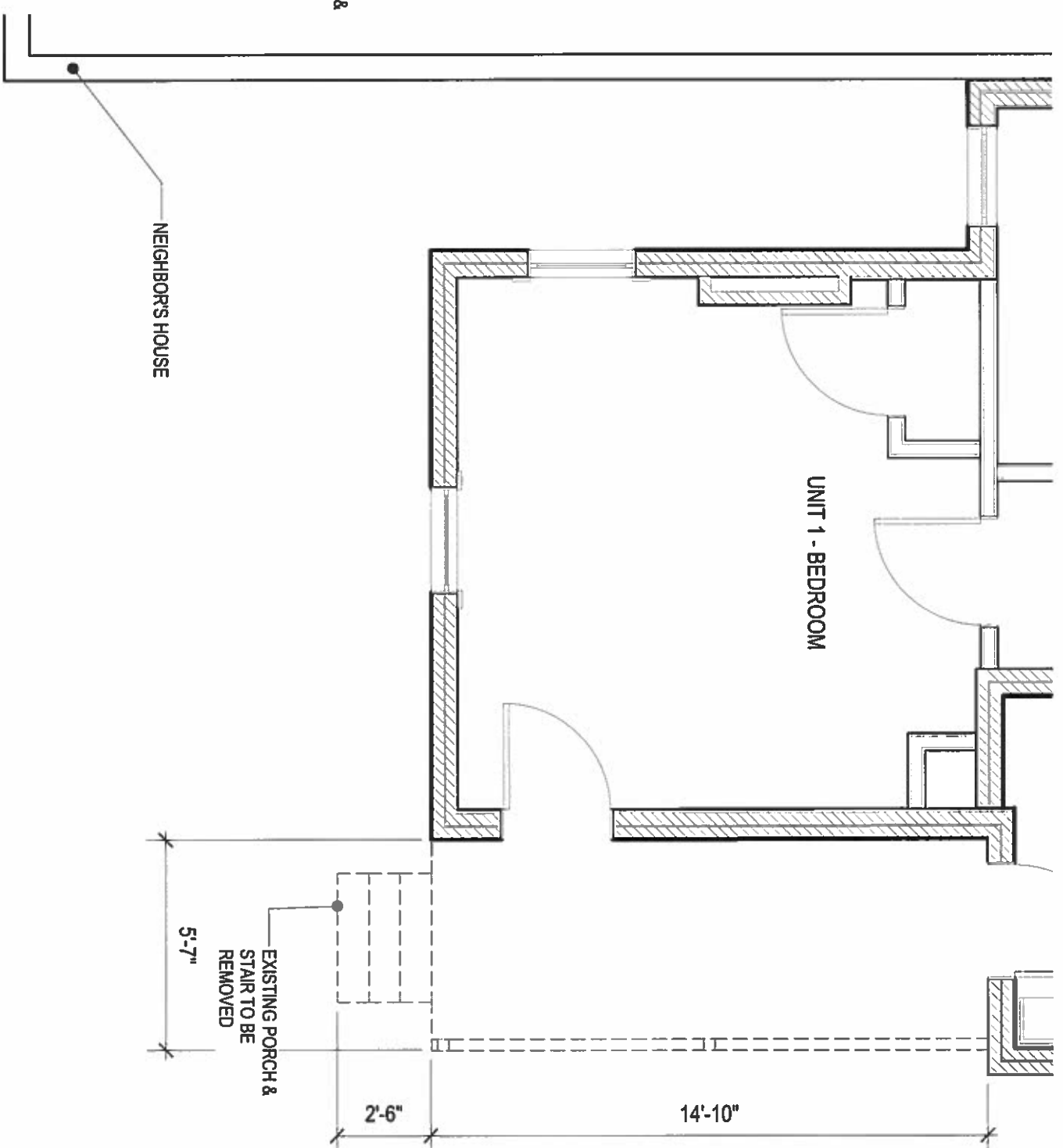
REAR PORCHES  
 2707 E. BROAD STREET

**PROPOSED SITE PLAN**

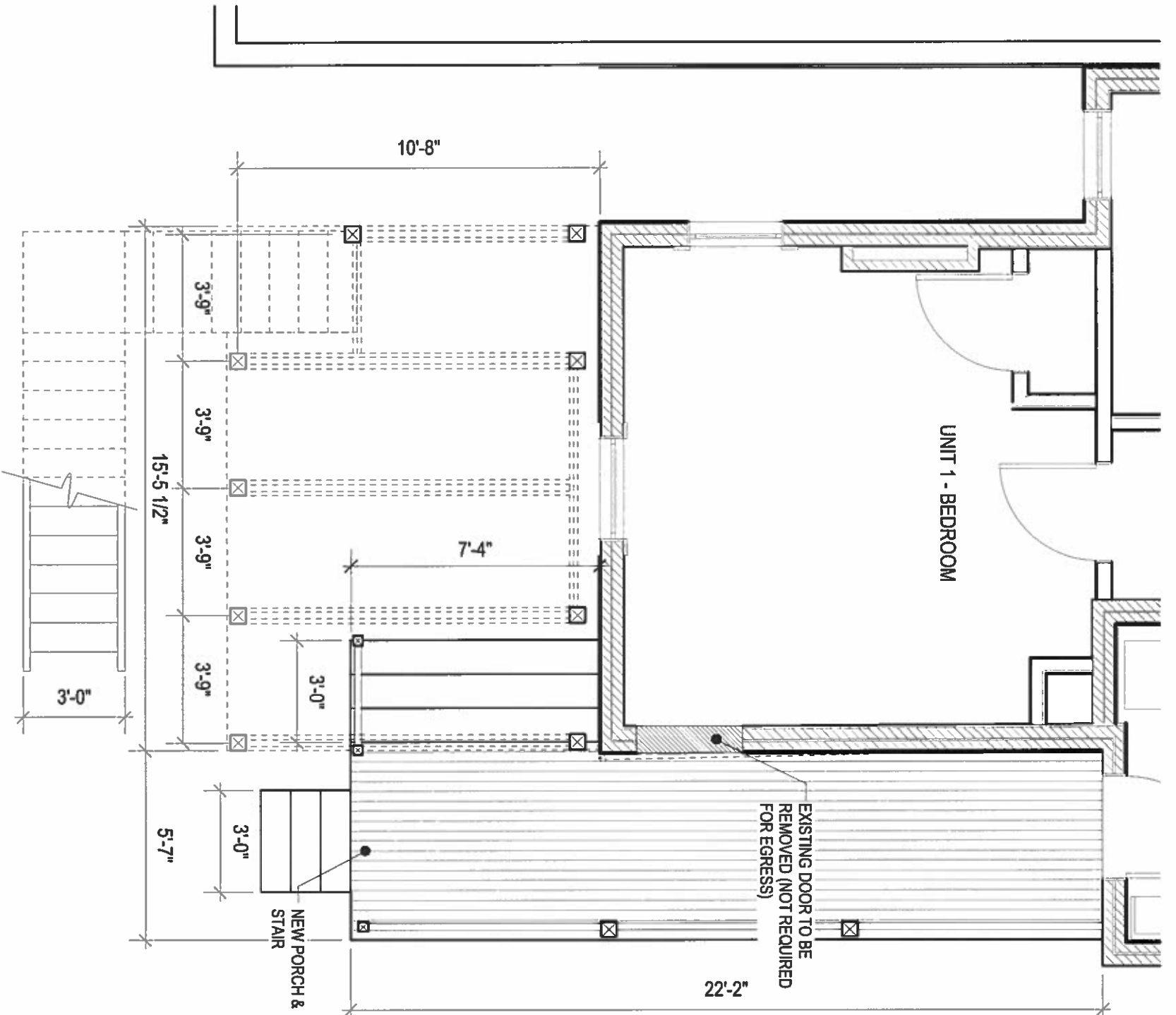
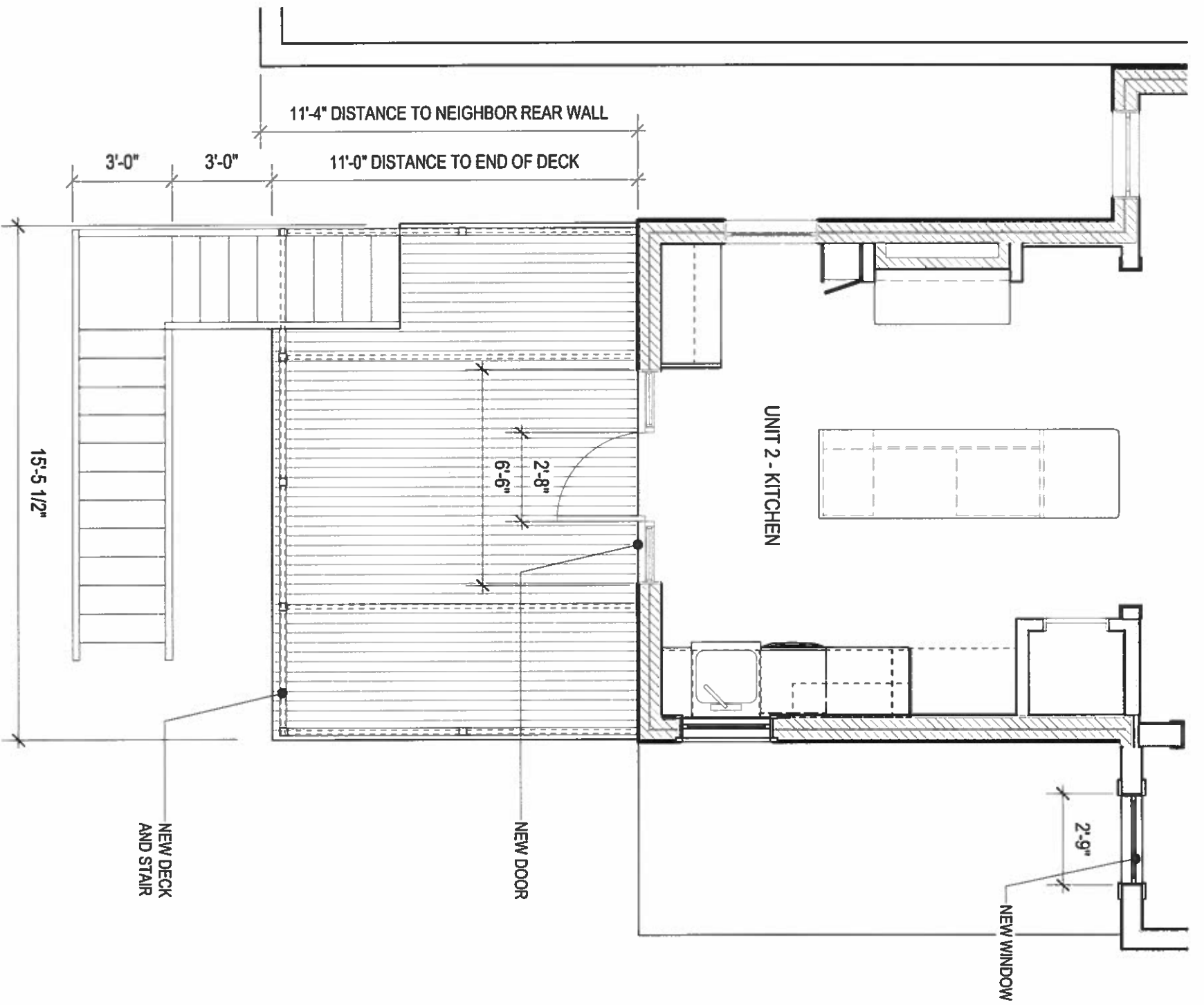
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 6-20-2017



**EXISTING/DEMOLITION SECOND FLOOR**

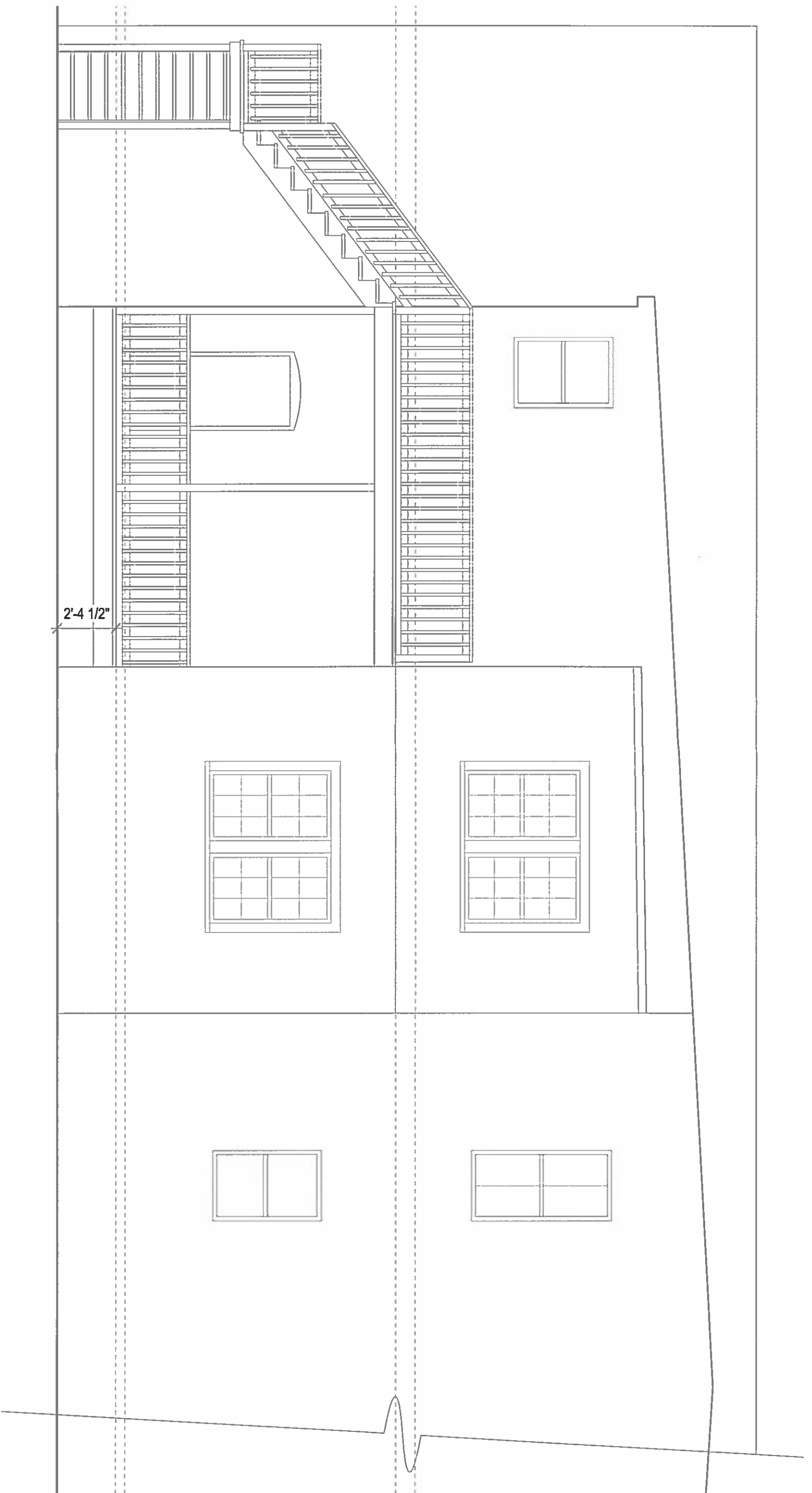


**EXISTING/DEMOLITION FIRST FLOOR**

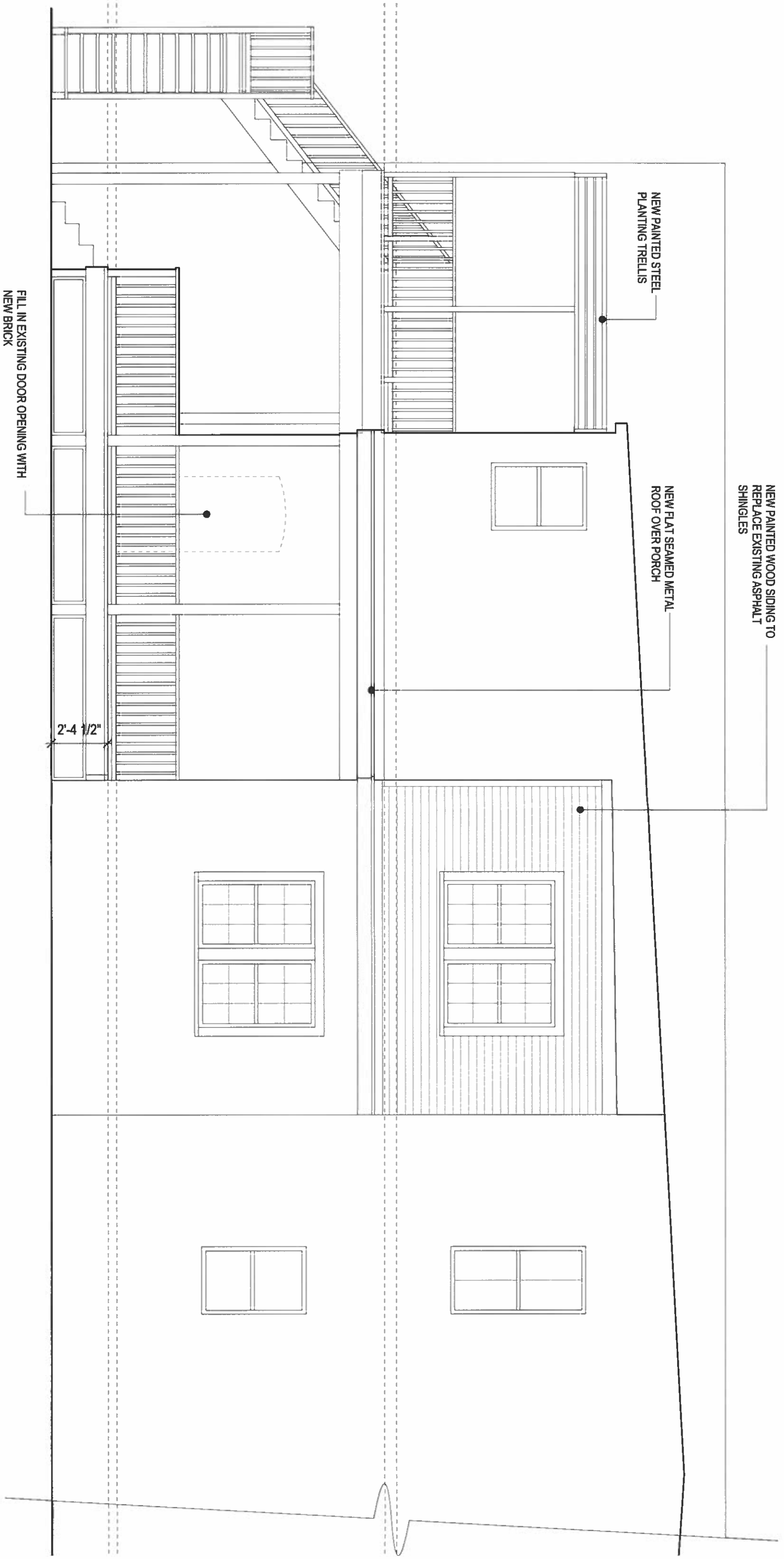


REAR PORCHES  
2707 E. BROAD STREET

EXISTING EAST ELEVATION



SCALE: 1/4" = 1'-0"  
6-27-2017



NEW PAINTED WOOD SIDING TO  
REPLACE EXISTING ASPHALT  
SHINGLES

NEW FLAT SEAMED METAL  
ROOF OVER PORCH

NEW PAINTED STEEL  
PLANTING TRELLIS

FILL IN EXISTING DOOR OPENING WITH  
NEW BRICK

2'-4 1/2"

**PROPOSED EAST ELEVATION**

REAR PORCHES  
2707 E. BROAD STREET

SCALE: 1/4" = 1'-0"  
6-27-2017





**EXISTING SOUTH ELEVATION**

REAR PORCHES  
2707 E. BROAD STREET

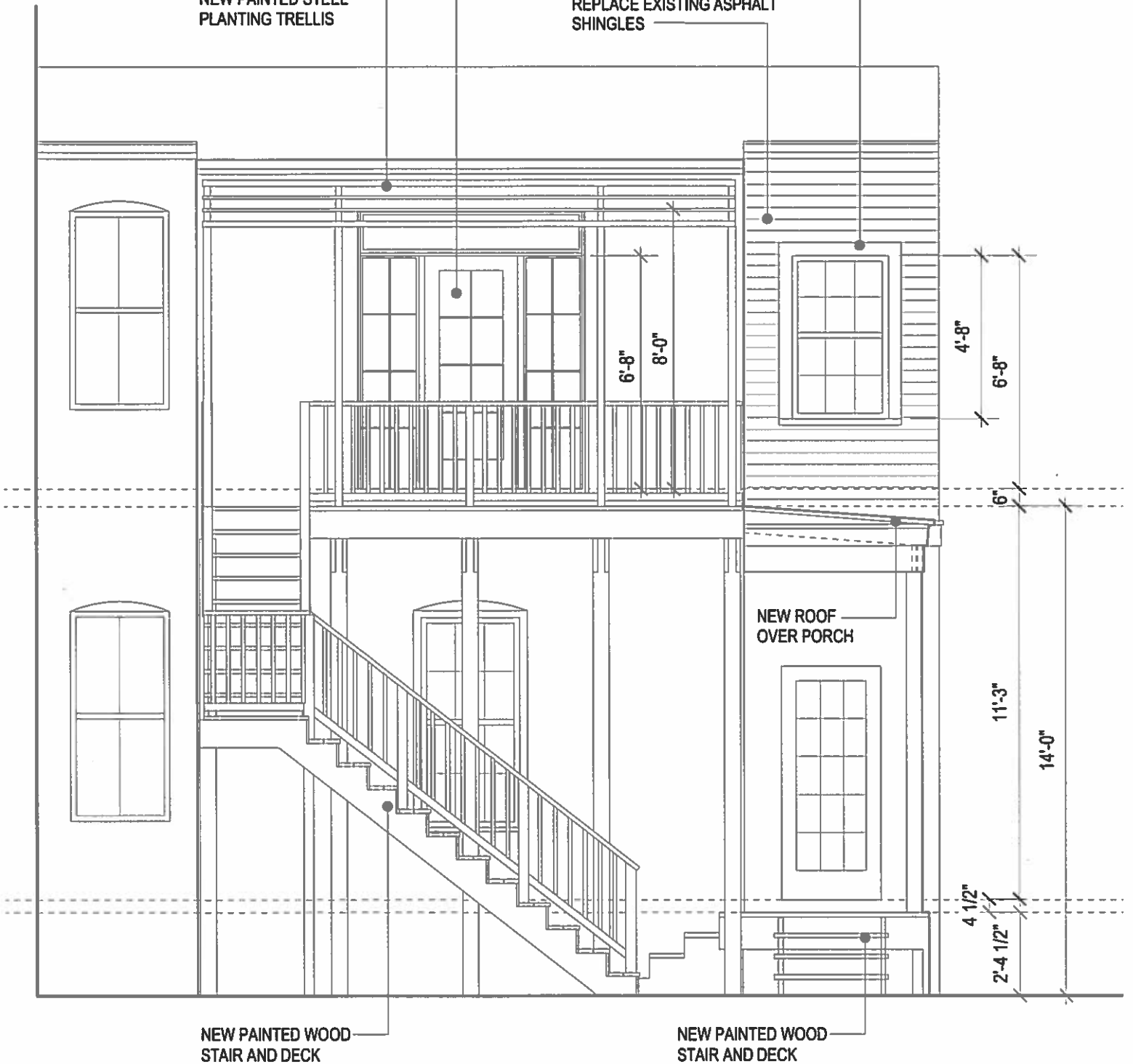
SCALE: 1/4" = 1'-0"  
6-27-2017

NEW ALUMINUM CLAD  
FRENCH DOOR IN  
EXISTING WINDOW  
OPENING

NEW WOOD DOUBLE-HUNG  
WINDOW IN EXISTING DOOR  
OPENING

NEW PAINTED STEEL  
PLANTING TRELLIS

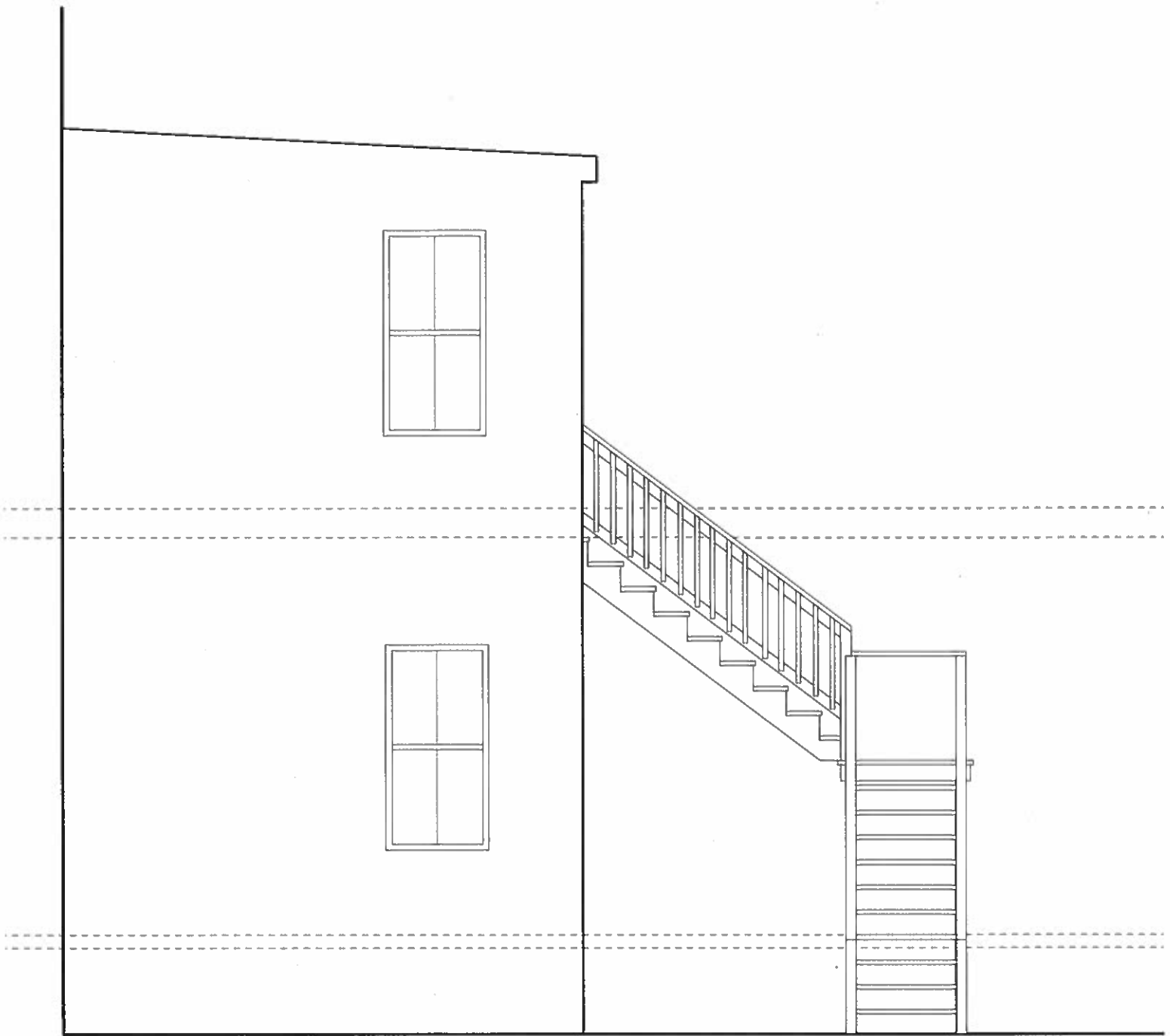
NEW PAINTED WOOD SIDING TO  
REPLACE EXISTING ASPHALT  
SHINGLES



**PROPOSED SOUTH ELEVATION**

REAR PORCHES  
2707 E. BROAD STREET

SCALE: 1/4" = 1'-0"  
6-27-2017



EXISTING WEST ELEVATION

REAR PORCHES  
2707 E. BROAD STREET

SCALE: 1/4" = 1'-0"  
6-27-2017



**PROPOSED WEST ELEVATION**

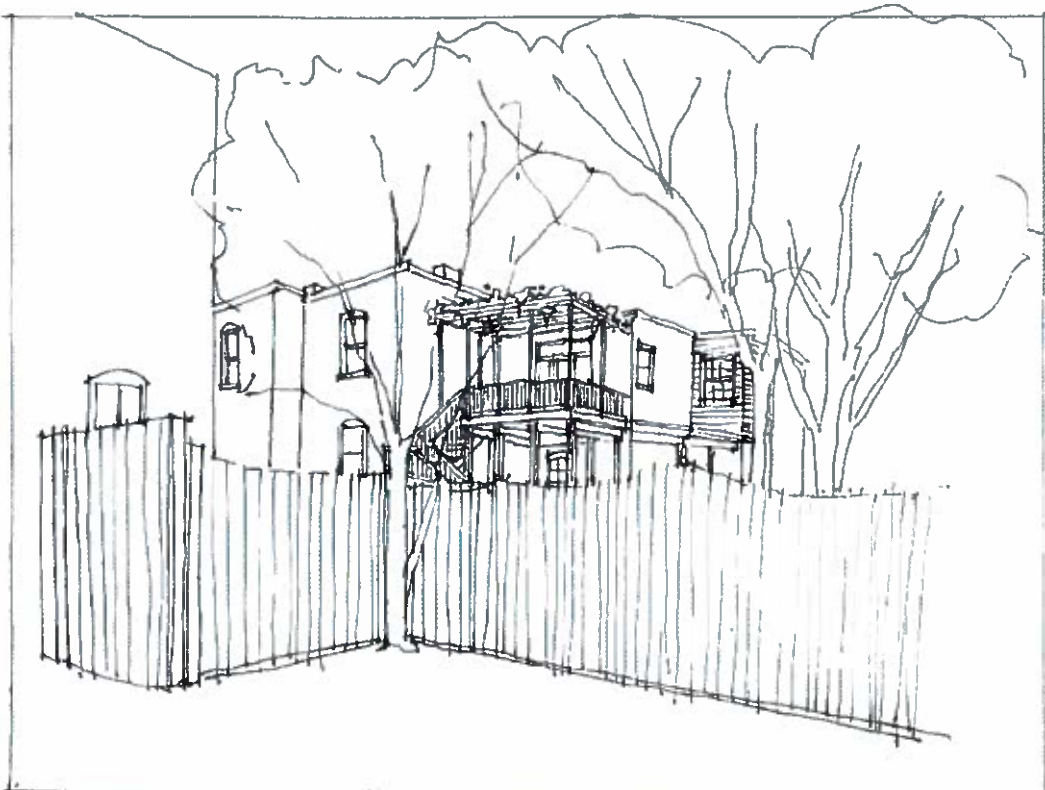
REAR PORCHES  
2707 E. BROAD STREET

SCALE: 1/4" = 1'-0"  
6-27-2017

**Perspective View**



Existing view from alley



Proposed view from alley