



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
BOARD OF ZONING APPEALS

March 8, 2021

City of Richmond Department of Public Works
900 East Broad Street, Room 701
Richmond, VA 23219

Louis "Dexter" Goode
900 East Broad Street, Room 602
Richmond, VA 23219

To Whom It May Concern:

RE: **BZA 20-2021**

You are hereby notified that the Board of Zoning Appeals will hold an electronic public hearing on Wednesday, April 7, 2021 due to the disaster represented by the spread of COVID-19 pursuant to and in compliance with Ordinance 2020-232 to consider an application for a building permit to construct a new fire station (FS 12) at 2223 WEST CARY STREET (Tax Parcel Number W000-0992/001), located in an R-63 (Multi-Family Urban Residential) District.

Please be advised that the applicant or applicant's representative is required to participate in the electronic public hearing by calling 804-316-9457 and entering code 956 320 039# beginning at 1:00 p.m. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2021 drop-down, click meeting details for April 7, 2021 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at William.Davidson@richmondgov.com for assistance. In accordance with Ordinance No. 2020-232, please be advised that an inability to access one of the enumerated public hearing through video means shall not be considered a prerequisite for participating in the subject public hearing. It will be necessary for you to stay on the line until such time as your case is called. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

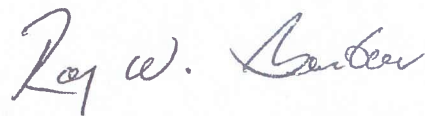
Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 20-2021
Page 2
March 8, 2021

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <http://www.richmondgov.com/PlanningAndDevelopmentReview/civicasociationgroupinformatio n.aspx> . Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in blue ink that reads "Roy W. Benbow". The signature is fluid and cursive, with the first name "Roy" being the most prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
Fax: (804) 646-5789
E-mail: Roy.Benbow@richmondgov.com

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

104 & 106 South Addison Assoc LLC Po Box 7262 Richmond, VA 23221	105 S Addison Street LLC Po Box 4228 Richmond, VA 23220	2209-2218 W Cary Street LLC 2513 W Main St Richmond, VA 23220
Aston Graham C 1803 W Marshall St Richmond, VA 23220	Bellona Arsenal Farm Associates LLC 3816 Old Gun Rd West Midlothian, VA 23113	Brandon Mark E 1800 Georgia Ave Richmond, VA 23220
Carter Ashley O 102 S Addison St Ricmond, VA 23220	Caryshields Mews LLC 1800 Roseneath Rd Richmond, VA 23230	Cousins J D Jr & Edna J 3331 Ottawa Rd Richmond, VA 23225
Curtis James W And Stacy V 4705 Grandway Rd Richmond, VA 23226	Donovan Properties LLC 408 Granite Ave Richmond, VA 23226	Early Donald L 5313 Dickens Rd Richmond, VA 23230
Greene Carol J 106 N Auburn Ave Richmond, VA 23221	Hassen David W 16 S Addison St Richmond, VA 23220	Hawthorne William C And Melhorn Jamie C 2212 Parkwood Ave Richmond, VA 23220
Hunt A Lee Jr Est 1807 Libbie Ave Ste 200 Richmond, VA 23226	King Harper 423 S Washington Hwy Ashland, VA 23005	Lopez Valentina 18 S Addison St Richmond, VA 23220
Patel Dhartiben N 2216 Parkwood Ave Richmond, VA 23220	River City Grp LLC 2308 Victoria Crossing Lane Midlothian, VA 23113	Rose Jennifer S And William L 2222 Parkwood Ave Richmond, VA 23220
Rosenthal Family Investments LLC 540 Mountain Trail Monroe, GA 30655	Sander Matthew George And Michaeline E 20 S Addison St Richmond, VA 23220	South Addison LLC 3442 Wood Valley Rd Mechanicsville, VA 23111
Spangler Robert Bruce And Sharon Dalton 2214 Parkwood Ave Richmond, VA 23220	Wimbrow Graham Bradley And Viar Laura Megan 108 S Addison St Richmond, VA 23220	

Property: 2223 W Cary St Parcel ID: W0000992001**Parcel**

Street Address: 2223 W Cary St Richmond, VA 23220-
Alternate Street Addresses: 2221 W Cary St
Owner: CITY OF RICHMOND PUBLIC WORKS
Mailing Address: 900 E BROAD ST RM 701, RICHMOND, VA 2321900000
Subdivision Name : NONE
Parent Parcel ID:
Assessment Area: 450 - Fan/Near West
Property Class: 466 - B Fire/Police/Public
Zoning District: R-63 - Residential (Multi-family Urban)
Exemption Code: 100 - General Government(Inside of Corp. Limits)

Current Assessment

Effective Date: 01/01/2021
Land Value: \$299,000
Improvement Value: \$500,000
Total Value: \$799,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 6561.5
Acreage: 0.151
Property Description 1: ENG CO NO 12
Property Description 2: 0055.00X0119.30 0000.000
State Plane Coords(?): X= 11781472.000020 Y= 3725127.695032
Latitude: 37.54923524 , **Longitude:** -77.47012140

Description

Land Type: Commercial S2
Topology:
Front Size: 55
Rear Size: 119
Parcel Square Feet: 6561.5
Acreage: 0.151
Property Description 1: ENG CO NO 12
Property Description 2: 0055.00X0119.30 0000.000
Subdivision Name : NONE
State Plane Coords(?): X= 11781472.000020 Y= 3725127.695032
Latitude: 37.54923524 , **Longitude:** -77.47012140

Other

Street improvement:
Sidewalk:

Assessments

Assessment Year	Land Value	Improvement Value	Total Value	Reason
2021	\$299,000	\$500,000	\$799,000	Reassessment
2020	\$299,000	\$500,000	\$799,000	Reassessment
2019	\$256,000	\$479,000	\$735,000	Reassessment
2018	\$213,000	\$476,000	\$689,000	Reassessment
2017	\$213,000	\$476,000	\$689,000	Reassessment
2016	\$170,000	\$474,000	\$644,000	Reassessment
2015	\$170,000	\$443,000	\$613,000	Reassessment
2014	\$151,000	\$367,000	\$518,000	Reassessment
2013	\$151,000	\$367,000	\$518,000	Reassessment
2012	\$151,000	\$367,000	\$518,000	Reassessment
2011	\$151,000	\$367,000	\$518,000	CarryOver
2010	\$151,000	\$367,000	\$518,000	Reassessment
2009	\$151,000	\$367,000	\$518,000	Reassessment
2008	\$151,000	\$342,000	\$493,000	Reassessment
2007	\$161,800	\$331,400	\$493,200	Reassessment
2006	\$80,900	\$276,200	\$357,100	Reassessment
2005	\$77,000	\$263,000	\$340,000	Reassessment
2004	\$39,100	\$299,200	\$338,300	Reassessment
2003	\$34,000	\$272,000	\$306,000	Reassessment
2002	\$34,000	\$272,000	\$306,000	Reassessment
1998	\$25,000	\$200,000	\$225,000	Not Available

Transfers

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
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Planning

Master Plan Future Land Use: COMM-MU
Zoning District: R-63 - Residential (Multi-family Urban)
Planning District: Near West
Traffic Zone: 1124
City Neighborhood Code: FAN
City Neighborhood Name: The Fan
Civic Code:
Civic Association Name: Fan Area Business Alliance
Subdivision Name: NONE
City Old and Historic District:
National historic District: Fan Area Extension
Neighborhoods in Bloom:
Redevelopment Conservation Area:

Economic Development

Care Area: -
Enterprise Zone: III

Environment

100 YEAR Flood Plain Flag: Contact the Water Resources Division at 646-7586.
500 YEAR Flood Plain Flag: N
Resource Protection Flag: Contact the Water Resources Division at 646-7586.
Wetland Flag: N

Census

Census Year	Block	Block Group	Tract
2000	3012	0411003	041100
1990	313	0411003	041100

Schools	
	Elementary School: Fox
	Middle School: Binford
	High School: Jefferson
Public Safety	
	Police Precinct: 3
	Police Sector: 313
	Fire District: 12
	Dispatch Zone: 038A
Public Works Schedules	
	Street Sweep: TBD
	Leaf Collection: TBD
	Refuse Collection: Wednesday
	Bulk Collection: TBD
Government Districts	
	Council District: 5
	Voter Precinct: 504
	State House District: 69
	State Senate District: 9
	Congressional District: 4

Extension 1 Details

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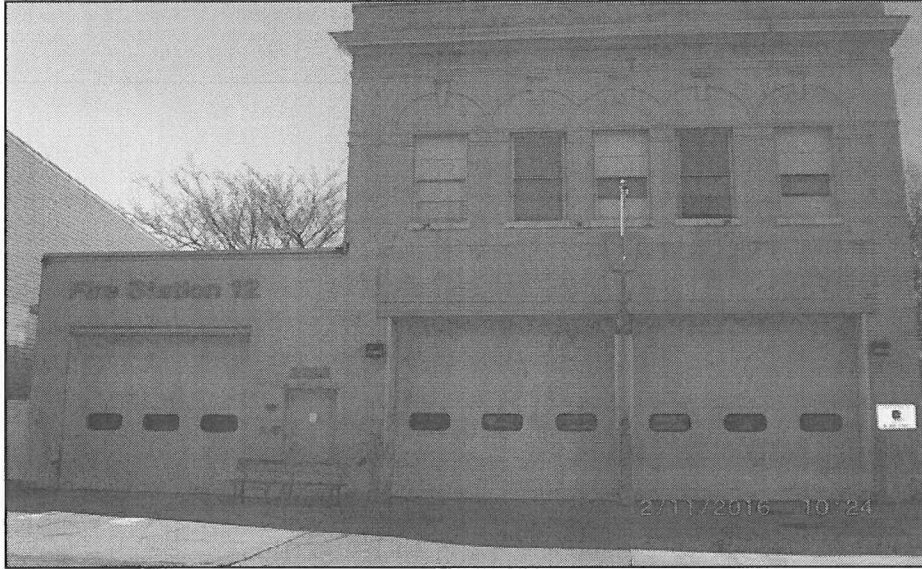
Extension Name: C01 - Fire Station Complex
Year Built: 1940
Stories: 2
Units: 0
Number Of Rooms: 0
Number Of Bed Rooms: 0
Number Of Full Baths: 0
Number Of Half Baths: 0
Condition: normal for
Foundation Type:
1st Predominant Exterior:
2nd Predominant Exterior: N/A
Roof Style: 1
Roof Material:
Interior Wall:
Floor Finish:
Heating Type: 0 sf
Central Air: N
Basement Garage Car #: 0
Fireplace: N
Building Description (Out Building and Yard Items) :

Extension 1 Dimensions

Finished Living Area: 6360 Sqft
Attic: 0 Sqft
Finished Attic: 0 Sqft
Basement: 0 Sqft
Finished Basement: 0 Sqft
Attached Garage: 0 Sqft
Detached Garage: 0 Sqft
Attached Carport: 0 Sqft
Enclosed Porch: 0 Sqft
Open Porch: 0 Sqft
Deck: 0 Sqft

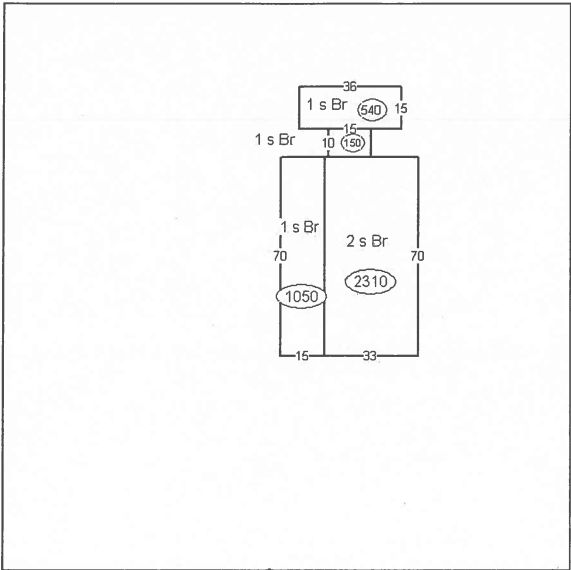
Property Images

Name:W0000992001 Desc:C01

[Click here for Larger Image](#)

Sketch Images

Name:W0000992001 Desc:C01



RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY

OWNER: City of RichmondPHONE: (Home) (804) 646-7531 (Mobile) () _____ADDRESS: Department of Public WorksFAX: (804) 646-6316 (Work) () _____900 East Broad Street, Room 701

E-mail Address: _____

Richmond, Virginia 23219

PROPERTY OWNER'S

REPRESENTATIVE: Louis "Dexter" Goolsby

PHONE: (Home) () _____ (Mobile) () _____

(Name/Address) Capital Projects ManagerFAX: (804) 646-6316 (Work) (804) 646-7531900 East Broad Street, Room 602E-mail Address: louis.goolsby@richmond.govRichmond, Virginia 23219

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 2223 West Cary StreetTYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____ZONING ORDINANCE SECTION NUMBERS(S): 30-300, 30-419.6(2)b, 30-419.8, 30-419.10(1) & 30-710.1(a)APPLICATION REQUIRED FOR: A building permit to construct a new fire station (FS 12).TAX PARCEL NUMBER(S): W000-0992/001 ZONING DISTRICT: R-63 (Multi-Family Urban Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The side yard (setback), lot coverage, maximum story height, and parking requirements are not met. A side yard of five (5) feet is required; 3.6 feet is proposed along the southern property line. A maximum lot coverage of sixty-five percent (65%) is permitted; 69.65 % + is proposed. A maximum story height of 12 feet is permitted; a first floor story height of 18 feet is proposed and a third floor story height of 20 feet is proposed. Four (4) off-street parking spaces are required to be provided; 1 is proposed.

DATE REQUEST DISAPPROVED: February 12, 2021FEE WAIVER: YES ☐ NO: ☒DATE FILED: February 12, 2021 TIME FILED: 2:00 p.m. PREPARED BY: Josh Young RECEIPT NO. BZAC-087001-2021AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) (C) OF THE CHARTER OF THE CITY OF RICHMONDSECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]

SECTION 1040.3 PARAGRAPH(S) _____ OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter* ☒

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature]DATE: 2-25-21

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 20-2021 HEARING DATE: April 7, 2021 AT 1:00 P.M.

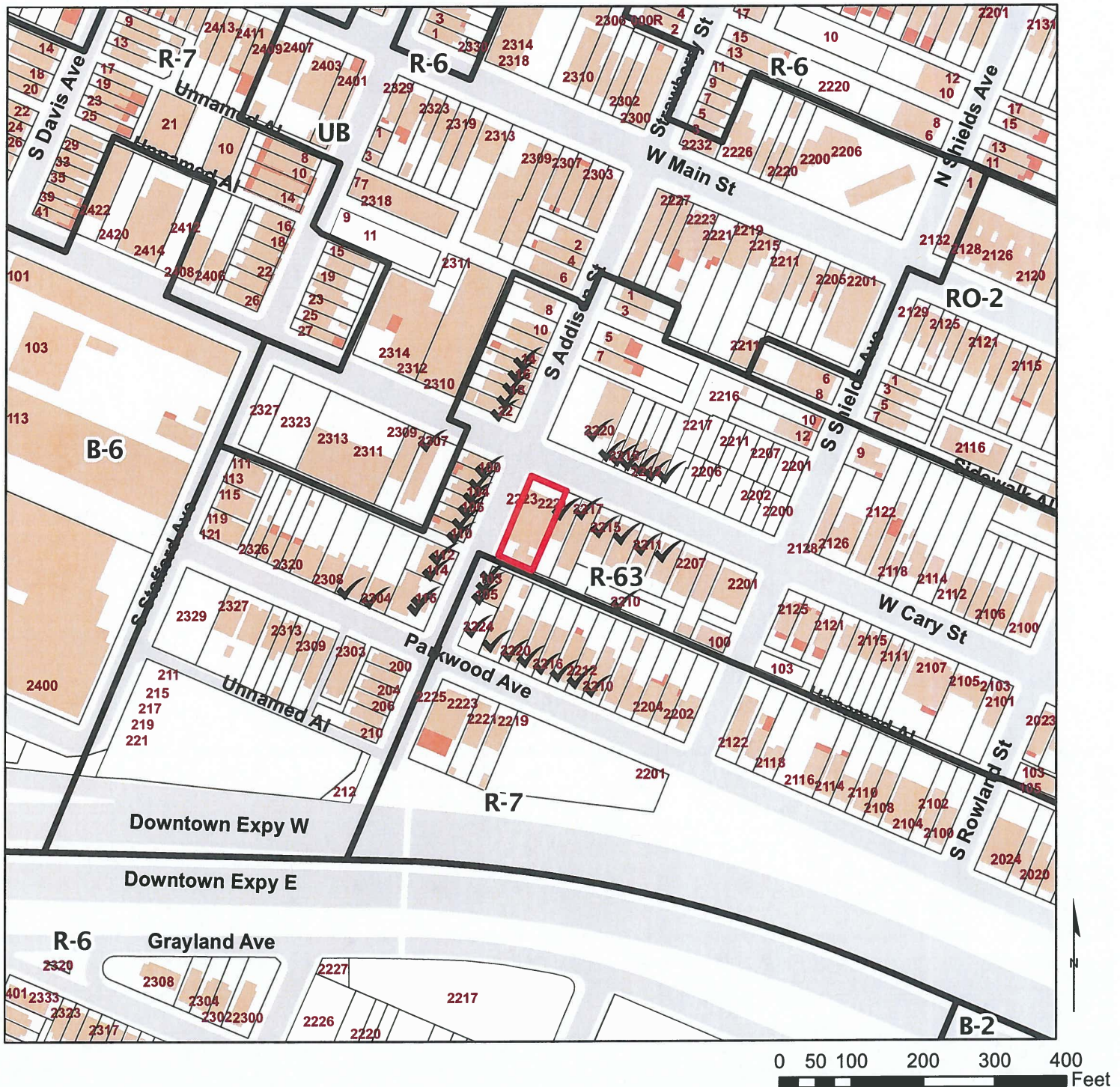
BOARD OF ZONING APPEALS CASE BZA 20-2021
150' Buffer

APPLICANT(S): City of Richmond Department of Public Works

PREMISES: 2223 West Cary Street
(Tax Parcel Number W000-0992/001)

SUBJECT: A building permit to construct a new fire station (FS 12).

REASON FOR THE REQUEST: Based on Sections 30-300, 30-419.6(2)b, 30-419.8, 30-419.10(1) & 30-710.1(a) of the Zoning Ordinance for the reason that:
The side yard (setback), lot coverage, maximum story height,
and parking requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

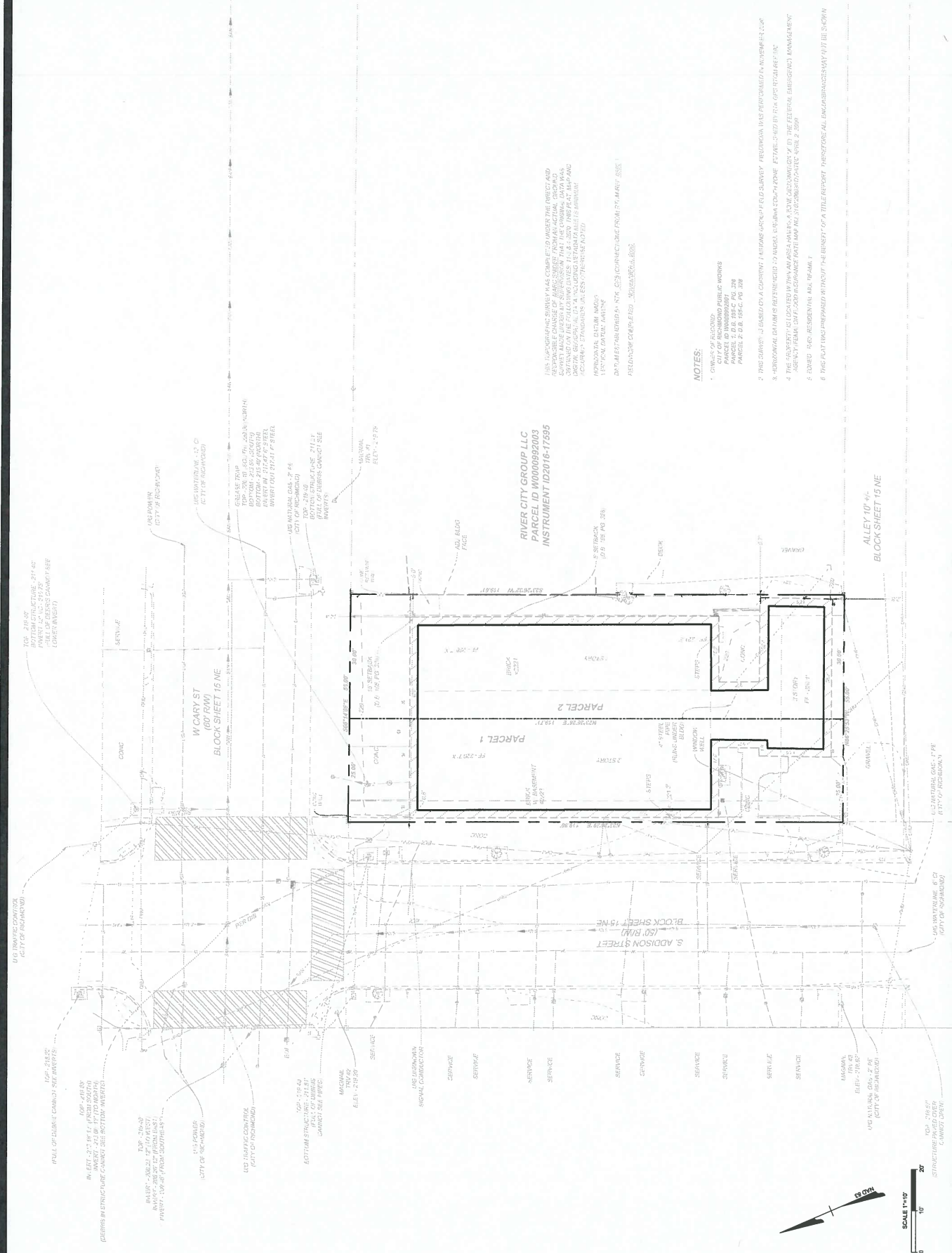
1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing.** The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: 

PROJECT NO.	DATE
100000992003	DEC 11, 2016
REVISIONS	DESCRIPTION



THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND SUPERVISORY CONTROL OF THE SURVEYOR. THE SURVEYOR HAS REVIEWED THE DATA AND SURVEY RESULTS AND HAS DETERMINED THAT THE DATA IS ACCURATE AND THE SURVEY RESULTS ARE RELIABLE. THE SURVEYOR HAS REVIEWED THE DATA AND SURVEY RESULTS AND HAS DETERMINED THAT THE DATA IS ACCURATE AND THE SURVEY RESULTS ARE RELIABLE. THE SURVEYOR HAS REVIEWED THE DATA AND SURVEY RESULTS AND HAS DETERMINED THAT THE DATA IS ACCURATE AND THE SURVEY RESULTS ARE RELIABLE.

NOTES:

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SCALE 1"=10'

FIRE STATION #12 REPLACEMENT

PROJECT 0-28930
RICHMOND CITY FIRE DEPARTMENT
2223 W. CARY ST., RICHMOND VA 23220

DATE	DESCRIPTION
2/25/2021	REVISED

SITE PLAN

CS101

PAVEMENT HATCHING LEGEND

- HEAVY DUTY CONCRETE
- CONCRETE SIGNALA
- LIGHT DUTY ASPHALT
- ASPHALT SEAL AND OVERLAY

SITE PLAN INFORMATION

COMMISSIONER'S OFFICE INFORMATION

3000 W. CARY ST.
RICHMOND, VA 23220
PH: 804.646.3000
FAX: 804.646.3000

ENGINEER'S OFFICE INFORMATION

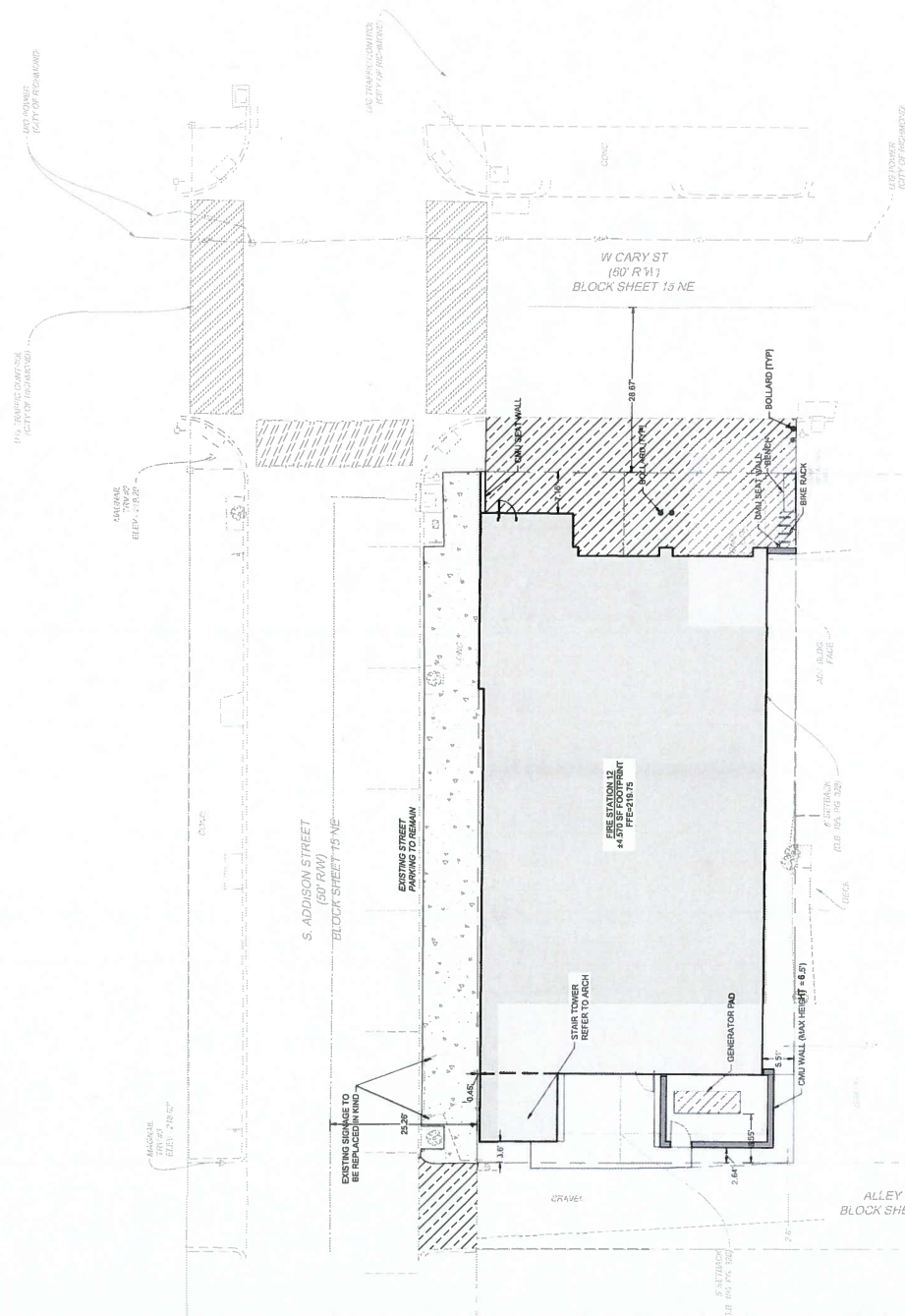
MOSELEY ARCHITECTS
1001 E. MAIN ST.
RICHMOND, VA 23220
PH: 804.646.3000
FAX: 804.646.3000

PARCEL INFORMATION

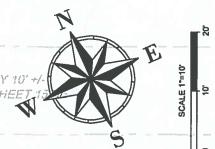
PARCEL 1: 0.11 AC, PLS. 320
PARCEL 2: 0.11 AC, PLS. 320
ADDRESS: 2223 W. CARY ST.
RICHMOND, VA 23220

GENERAL SITE NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. EXISTING UTILITIES AND STRUCTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO THE CITY OF RICHMOND'S RECORD DRAWINGS FOR DETAILS.
3. REFER TO DRAWING CARDS AND CITY 11 FOR SITE DISTANCE PLAN AND CITY 11 FOR SITE DISTANCE PLAN AND CITY 11 FOR SITE DISTANCE PLAN.
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RIVER CITY GROUP LLC
PARCEL ID W0000992003
INSTRUMENT ID2016-17595



PROGRESS
PRINT NOT FOR
CONSTRUCTION

FIRE STATION #12 REPLACEMENT

2223 W. CARY ST. RICHMOND VA 23220
RICHMOND CITY FIRE DEPARTMENT
PROJECT 0-28930

PROJECT NO.	0-28930
DATE	05/22/2021
REVISION	
DESCRIPTION	

BUILDING ELEVATION

A4.1

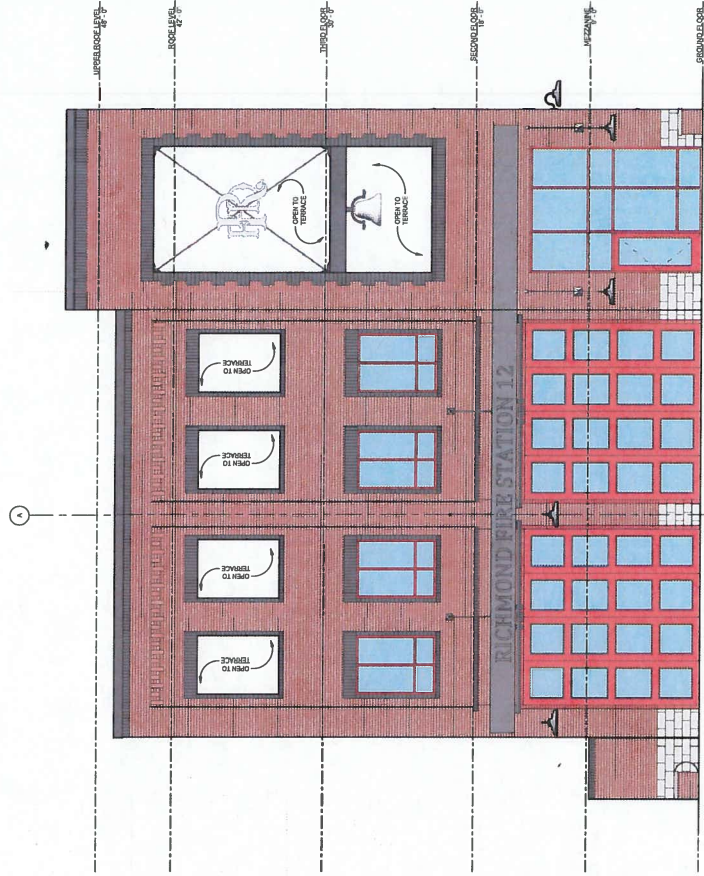
GENERAL NOTES

- A. GENERAL NOTE 1.
- B. GENERAL NOTE 2.

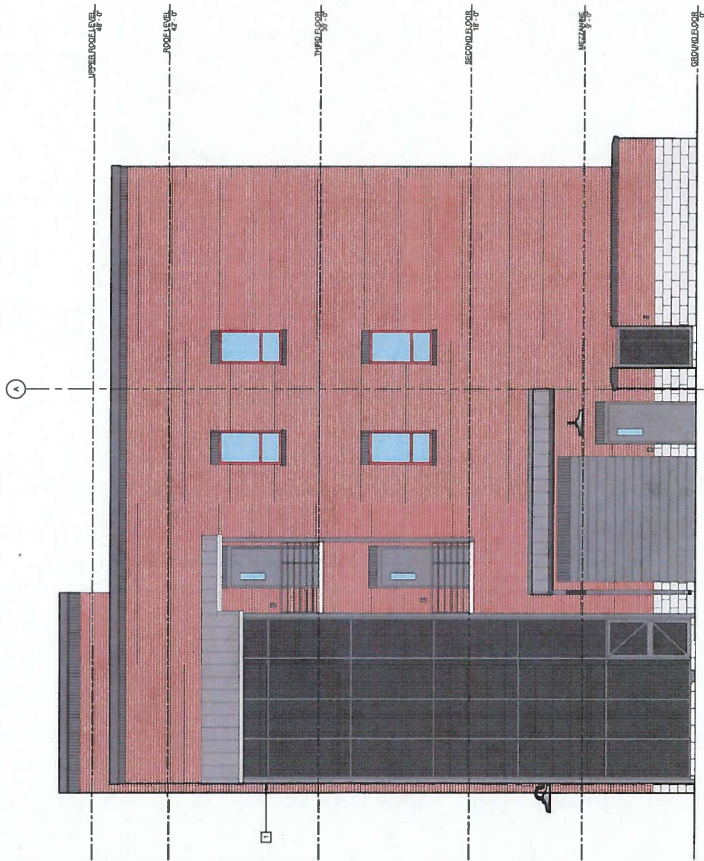
BUILDING ELEVATION KEYNOTES

APPLIES TO DRAWINGS A4.1 - A4.2

1. REFER TO DRAWING A4.1 FOR ADDITIONAL INFORMATION. REFER TO FIRE STATIONING SIGN SHEET FOR ADDITIONAL INFORMATION.
2. EXTERIOR BRICK: BRICK, TYPICAL
3. CONCRETE BRICK: TOP
4. RED FACE BRICK
5. METAL CANOPY
6. METAL COPING
7. FACE BRICK: GABLE, TYPICAL
8. FACE BRICK: BELL, TYPICAL
9. ALUMINUM SUNSCREEN, TRANSPARENT GLAZING. REFER TO SPECIFICATION FOR TYPICAL TYPICAL, THIS COLOR.
10. ALUMINUM SUNSCREEN, TRANSPARENT GLAZING. REFER TO SPECIFICATION FOR TYPICAL TYPICAL, THIS COLOR.
11. GROUND FACE CONCRETE MASONRY UNIT, TYPICAL
12. WALL MOUNTED: REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.



2 NORTH BLDG ELEVATION

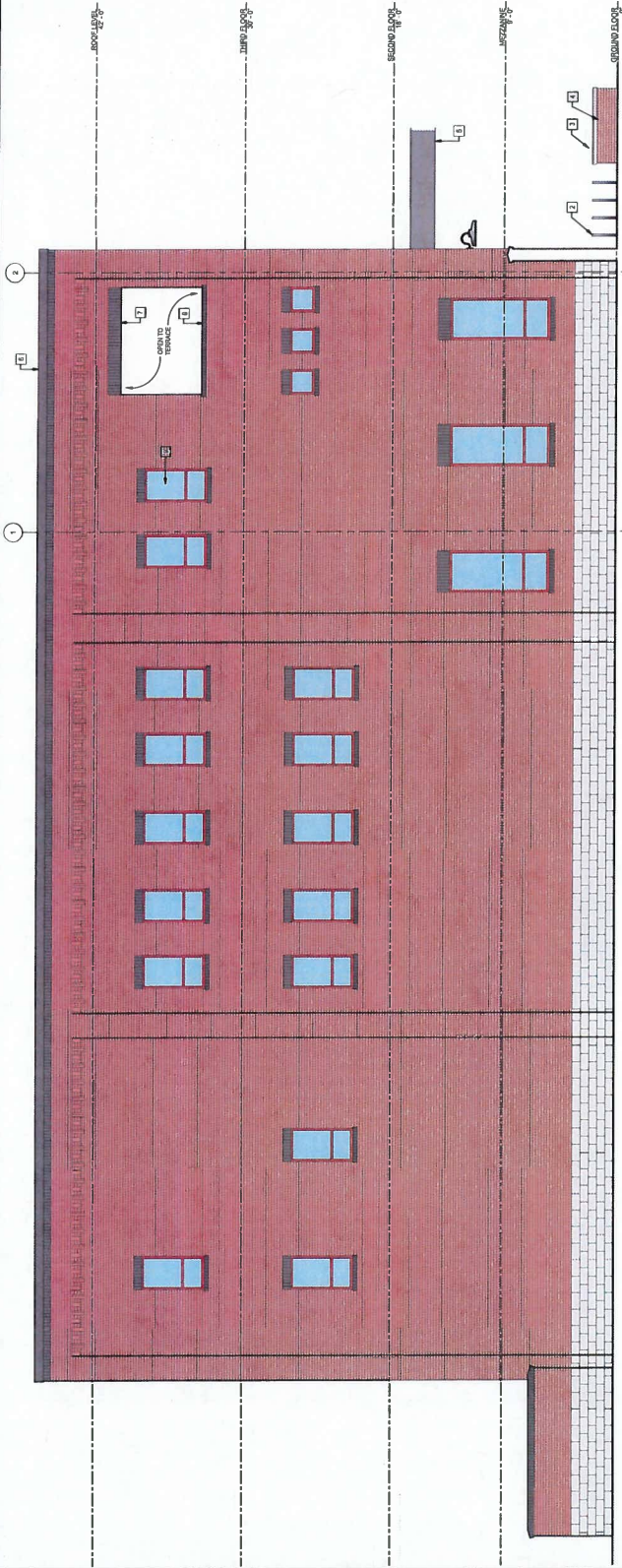


1 SOUTH BLDG ELEVATION

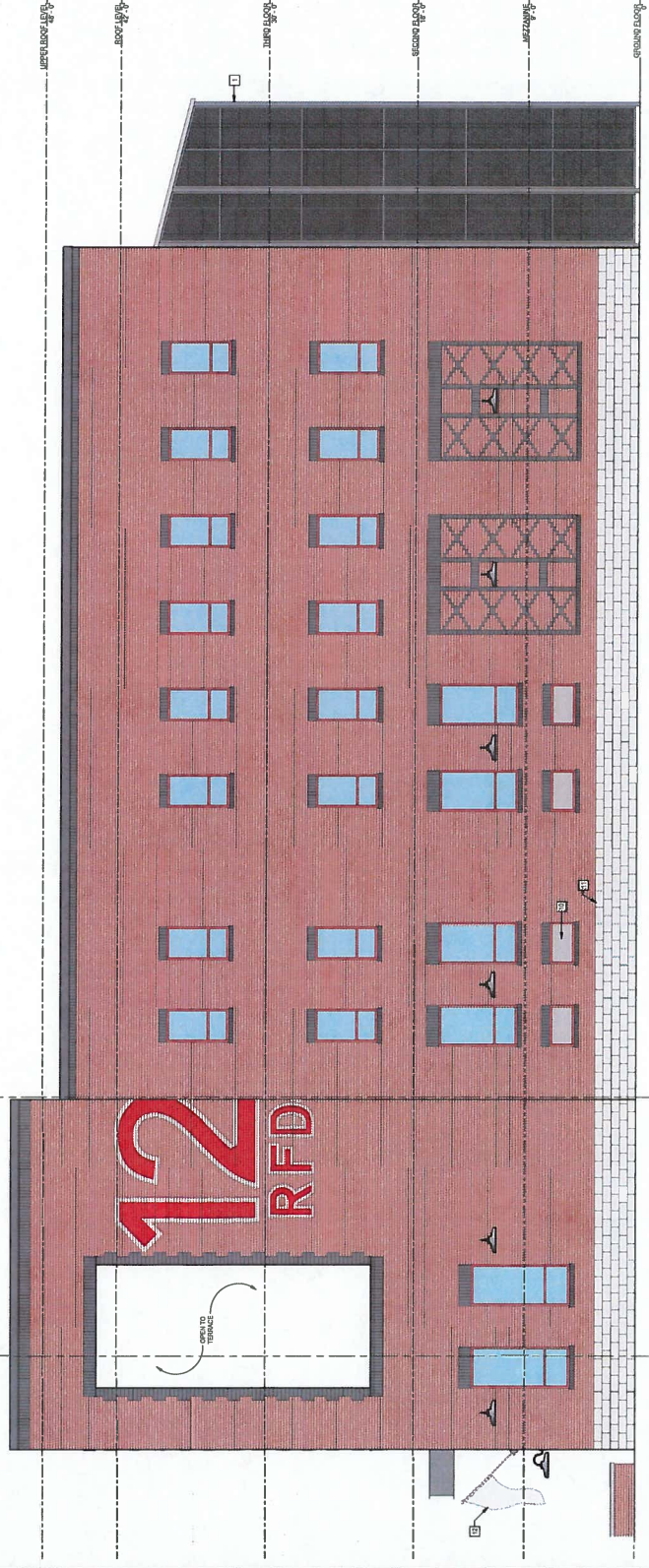
BUILDING ELEVATION KEYNOTES

APPLIES TO DRAWINGS AM.1 - AM.2

- 1 FREE STANDING STAIR NOT DRAWN FOR CLARITY, REFER TO FHS STANDING STAIR SHEET FOR ADDITIONAL INFORMATION
- 2 EXTERIOR BICYCLE RACK, TYPICAL
- 3 CONCRETE BENCH 10'P
- 4 RED FACE BRICK
- 5 METAL CANOPY
- 6 METAL CORING
- 7 FACE BRICK REASER, TYPICAL
- 8 FACE BRICK SILL, TYPICAL
- 9 ALUMINUM FLOORTOP, TRANSPARENT GLAZING, REFER TO ALUMINUM FLOORTOP FOR TYPING, TYPICAL, THIS COLOR
- 10 ALUMINUM STONEFROT, FROSTED GLAZING, TYPICAL, THIS COLOR
- 11 GROUND FACE CONCRETE MASONRY UNITS, TYPICAL

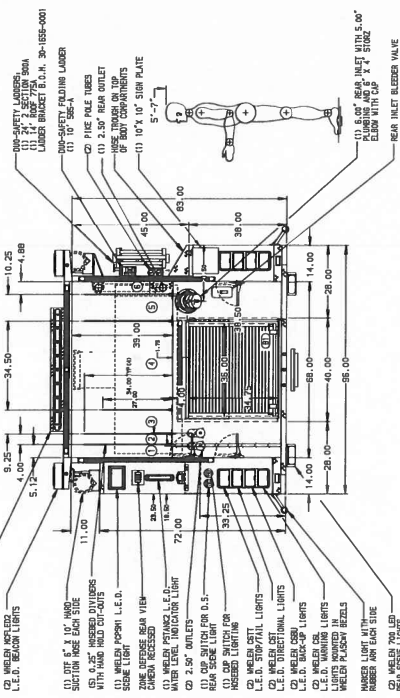
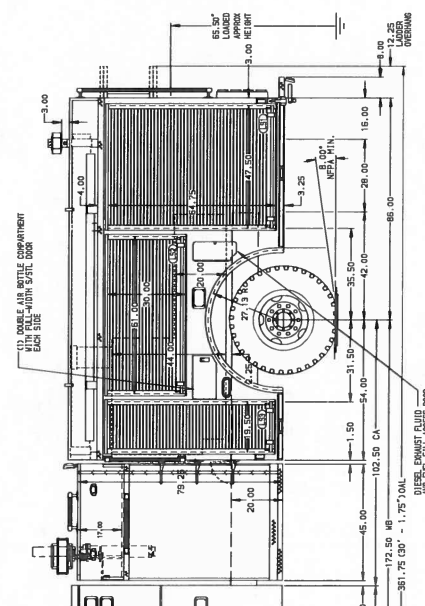
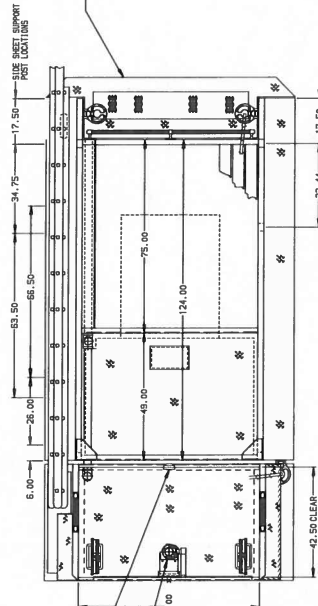
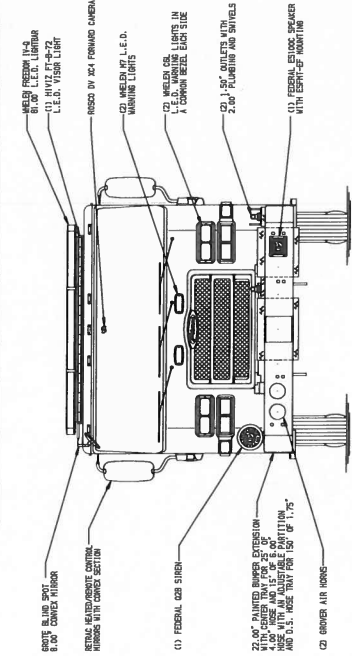


1 EAST BLDG ELEVATION



2 WEST BLDG ELEVATION





HOSERED CAPACITIES

①	200' OF 2.50" O.J. POLY HOSE
②	200' OF 1.75" O.J. POLY HOSE
③	500' OF 2.50" O.J. POLY HOSE
④	1000' OF 4.00" O.J. POLY HOSE
⑤	500' OF 2.50" O.J. POLY HOSE
⑥	200' OF 1.75" O.J. POLY HOSE

SIDE ROLL & FRONTAL IMPACT PROTECTION

CUSTOMER APPROVAL **APPROVED BY:** _____ **Pierce** **MANUFACTURING INC**

CUSTOMER APPROVAL		Pierce		MANUFACTURING INC.		JOB NO. 3441		3441	
APPROVED BY:		DATE:		TITLE		DRAWN BY		DATE	
				1500-D-500P 140" FH FR DS, LOW SIDE PS		100CT1		100CT1	
				(2)JSH, DELUGE, REAR INLET, LADDERS ON PS SIDE SHEET		SHEET SIZE		DATE	
				FOR PIERCE		CITY OF RICHMOND, VIRGINIA		1 OF 1	
				RICHMOND, VIRGINIA		SHEET NO.		1 OF 1	
				ING		34411AD			
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				ENF-ORDER					

NOTE

DIMENSIONS SHOWN ARE APPROXIMATE
AND ARE SUBJECT TO MINOR DEVIATIONS
AS MAY OCCUR OR BE NECESSARY IN
CONSTRUCTION.

HINOR DETAILS NOT SHOWN.

File Created: 28-JUL-2020 12:13:27

Google Maps 110 S Addison St

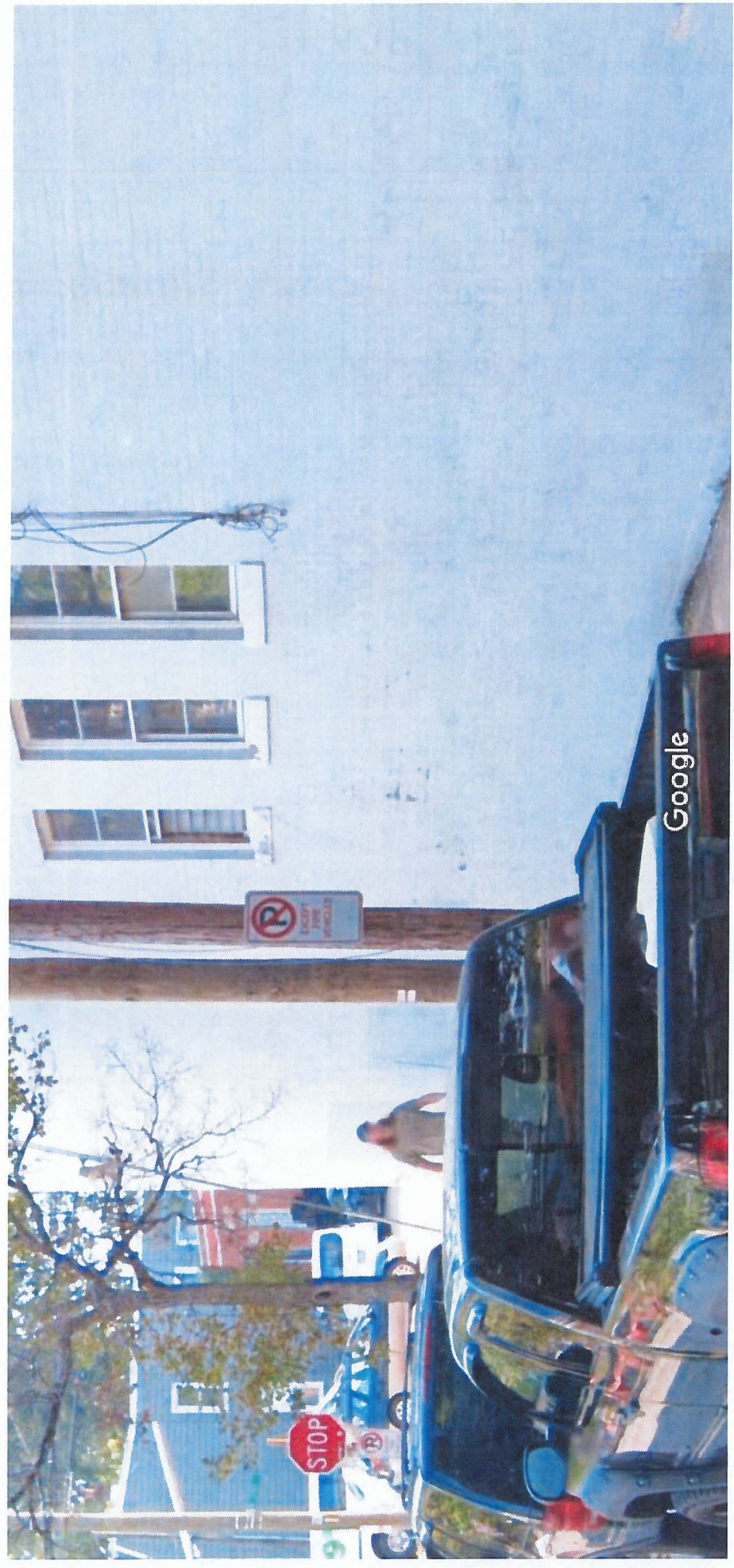


Image capture: Jul 2019 © 2021 Google

Richmond, Virginia



Street View



City of Richmond, Virginia
Department of Planning and Development Review
City Hall, Richmond, Virginia 23219
804.646.6335 (f) 804.646.5789 www.richmondgov.com

To: Planning Commission
From: Urban Design Committee
Date: February 16, 2021
Plan#: UDC-071352-2020
RE: **Conceptual location, character and extent review of a new Fire Station #12; 2223 W. Cary Street; UDC 2021-03**

I. APPLICANTS

Louis Goode, City of Richmond Department of Public Works

II. LOCATION

Fire Station #12, 2223 W. Cary Street

Property Owner:

City of Richmond Department of Public Works

III. PURPOSE

The application is for conceptual location, character, and extent review of a new Fire Station #12.

IV. SUMMARY & RECOMMENDATION

The City of Richmond's Department of Public Works has engaged Moseley Architects to design a new Fire Station #12 which will replace the existing Fire Station #12, a two-story masonry Italianate building in need of significant upgrades in order to continue to serve the surrounding community and the fire personnel that use the space. The City of Richmond Department of Public Works proposes to demolish the existing building and replace it with a new fire station.

Moseley Architects has proposed two preliminary designs, both are three-story, masonry construction, though one is a more traditional design and the other is a more contemporary design.

The new building will allow for more space for fire engines and emergency vehicles, as well as common and living space for fire personnel. In addition to the new building, the applicant also proposes new concrete sidewalks, lighting, and site furnishings.

The Urban Design Committee recommends that the Planning Commission grant conceptual approval to the applicant, with the following considerations and conditions:

- Undergrounding of any existing overhead utilities as part of the final plan
- A landscape plan be submitted that shows the location of any trees that are being removed, planted, or maintained be submitted for final review.
- A contemporary roof form be considered for the projecting corner bay of the building
- The lite configuration of the building's windows be consistent and relate to the style of the final building design

- Additional tree wells be added to the new sidewalk that utilize structured soil, rooting, or stormwater runoff curb cuts for irrigation, along with new street tree plantings to replace any trees that are removed during construction.
- A set of floor plans and elevations, as detailed as possible be submitted for final review
- The location of all lighting units (this should be noted on a site plan), including wall-mounted, as well as other site details, such as benches, trash containers, and bike racks be submitted for final review. Include specification sheets for each item.
- The location of all HVAC equipment, generators, and dumpsters, including specifications on screening, be submitted for final review.
- A product specification sheet for all proposed exterior building materials, including but not limited to brick, mortar, roofing material, siding, glass, paint and stain colors be submitted for final review\
- The sidewalk in the front of the building be improved with planting and/or seating
- More openings at balconies, stairs, and public room be provided; specifically on the eastern elevation of the proposed building
- Explore maximizing connection between interior and exterior of the proposed building with transparent glass in the windows

Staff Contact:

Alex Dandridge, (804) 646-6569 // alex.dandridge@richmondgov.com

V. FINDINGS OF FACT

a. Site Description and Surrounding Context

The existing Fire Station #12 building, a two-story masonry Italianate building, is located at the southeast corner of W. Cary Street and Addison Street. The main entrance to the building and the two bays for firetrucks face W. Cary Street, with additional entrances on S. Addison Street and the alley behind the building. West Cary Street in this location is a one-way eastbound street with two travel lanes and street parking on both the north and south side of the street. The intersection of Addison Street and W. Cary Street is signalized, and is triggered to stop traffic when fire trucks are entering and exiting the fire station. This block consists of an auto repair shop; two--story masonry Italianate row homes with single story front porches, and three-story mixed use new construction.

b. Scope of Review

The project is subject to location, character, and extent review under Section 17.07 of the City Charter as a "park or other public way, ground, open space, public building or structure".

c. UDC Review History

The Urban Design Committee has not previously reviewed projects at this location.

d. Project Description

The applicant requests conceptual review of the preliminary design of a replacement Fire Station #12. The scope of this project includes the demolition of the existing fire station, which is a two-story, masonry, Italianate building with two entry bays for firetrucks on the front façade. Demolition will also include the removal of the concrete sidewalk, curb, light poles, and utility connections and trees.

The proposed improvements to the site include the construction of a new three-story fire station with two apparatus bays for firetrucks and a single apparatus bay for a support vehicle. The entrance to W. Cary Street from the concrete apron will remain and no expansion is anticipated. Dumpster and generator pads are proposed to be located behind the building and will be accessible from the alley. ADA-complaint sidewalks are proposed around the fire station where existing sidewalk will be removed due to construction and demolition. Telecommunications and power will be provided through existing overhead lines in the area.

The proposed fire station will be 14,670 gross square feet, including a mezzanine between the first and second story. Two apparatus bays will be located on Cary Street for the fire engines, and the Battalion Commander will have vehicular access to the rear of the building via the alley, Stones Way. No dedicated parking will be provided on the property – fire station staff will utilize street parking, as they do now. The building will have two roof areas, the higher portion of which will cover the elevator overrun, and access to the roof via a shipladder. Including the parapet height, the building shall be 46' above grade, and the higher roof area will be 50' above grade. The building will have a low-slope single-ply fully-adhered membrane roof with parapets approximately 3' higher than the roof deck.

Exterior walls are anticipated to be constructed of a CMU masonry core with a brick veneer. Exterior windows shall be an aluminum storefront framing system with tempered one-inch insulating glazing. The proposed windows will have steel lintels supporting brick headers. Exterior doors to storage spaces, mechanical spaces, vehicle bays, and the bay support spaces shall be painted flush steel doors in steel frames. All other exterior access doors will be aluminum entrance doors with tempered one-inch insulating glazing mounted in aluminum storefront frames. Bi-folding apparatus bay doors will be constructed of prefinished metal panels and with glass lites.

A large existing tree along the rear of the building is proposed for removal as it has been a nuisance in the past, both for fire apparatus and the existing utility/sidewalk infrastructure. Discussions regarding removal of this tree are ongoing, in conjunction with professional arborist services. Should the tree be removed, it is likely that it will be replaced offsite, but within reasonable proximity to the property. For the remainder of the parcel, given the building footprint fills the majority of the site, and the critical use of the facility, limited landscaping elsewhere is anticipated. Minimal greenspace will be provided in the rear around the dumpster and generator pads.

Both a traditional and a contemporary design are proposed for the building. The final exterior design will be selected with input from local community members. A virtual community meeting is scheduled for January 26th, 2021. Moseley Architects has prepared two options as detailed below, both of which locate the main building entrance at the corner of West Cary Street & South Addison Street

TRADITIONAL

Prominent exterior materials include red brick, black panels, and red aluminum window frames. Black brick will be strategically placed to highlight openings and

provide contrast. Mural artistry is also proposed to identify the station number and create painted artwork which relates to firefighting. Mural proposals will be discussed with the appropriate City department as the project progresses.

CONTEMPORARY

Prominent exterior materials include gray and black brick, red panels, and black aluminum storefront. A mural may also be included in this option, potentially behind the storefront at the main entry, running the full height of the elevator shaft across multiple lobby walls.

e. Master Plan

The Richmond 300 Master Plan notes that Fire Station #12 is situated within a micro node, which is defined as a notable place within a neighborhood that generally provides goods and services to the immediate residents but may attract visitors. The Richmond 300 Plan also states that it is necessary to “co-locate, consolidate, and modernize community-serving public facilities, and locate them in or near Nodes (pg.87).” This project proposes to modernize a public-serving facility so that it can better meet the needs of fire staff and the surrounding community.

f. Urban Design Guidelines

Regarding the construction of new public facilities, the Urban Design Guidelines state the following:

“A new building should have the same or similar setback as existing buildings on the same street. There will be situations, however, where a different setback would be appropriate for the type of building and the desired environment. Examples would include larger public buildings, such as schools and recreation centers, located within urban residential areas. In certain cases, a new building should be constructed with a minimal setback to reinforce the traditional street wall (pg.14).” The new fire station will have a 15 foot setback from the curb on West Cary Street, matching that of the existing fire station and a majority of the other buildings on the south side West Cary Street. The rear of the new fire station will built out over the entire parcel, unlike the existing fire station, which does not fill the entire lot.

“Facilities required for the ongoing operation of the building, such as loading docks, maintenance sheds, or HVAC equipment, should be to the rear of the site and screened from view (pg.14).” The trash receptacles and generators associated with the new construction will be located at the rear of the building and will be accessible from the alley. The applicant has confirmed that there will be screening installed around these units, but a design and material has yet to be determined. Staff would recommend that the final specifications be submitted for the final review.

“Public buildings, such as hospitals, schools, libraries and community centers, may require larger proportions than adjacent buildings. To minimize the visual impact on a neighborhood with smaller scaled structures, the public building should incorporate design techniques which strengthen its design relationship to adjacent buildings (pg. 15).” Staff finds that the proposed fire station is larger in

scale than the adjacent structures; however, both the traditional and contemporary designs utilize similar materials and a similar fenestration pattern to the adjacent structures. Staff noticed on a site visit that there are several examples of three-story new construction on the north side of West Cary Street, setting the precedent for three-story new construction on this block. Staff finds that the height of the building is appropriate due to its location on a corner lot, and the presence of other three-story new construction buildings in the immediate area.

“A corner building may use its roof form to define an entry point location to the block. Larger scaled buildings should have varied roof forms and roof lines in order to minimize monolithic visual impacts. Roof materials and colors should blend with building materials and colors (pg. 16).” Both the traditional and contemporary designs of the building utilize a projecting corner bay to address the corner of Addison Street and W. Cary Street. The Traditional design proposes a flat roof form on the projecting bay with a simple brick cornice line and dentil detailing, while the contemporary design utilizes a modern shed roof design. Staff finds that the shed roof form on the corner projecting bay better addresses the corner, and breaks up the roof form, deviating from that of the larger portion of the building. Staff recommends that a contemporary roof form be utilized on the corner projecting bay.

“New building materials should be compatible with and complement adjacent buildings. The selection and use of colors should be coordinated and compatible with each other and with adjacent buildings (pg. 17).” Staff finds that the brick veneer being proposed is compatible with the subject block, as brick is present on many of the existing buildings.

“The number, size, style and type of windows should be appropriate for the architecture of the building. The rhythm, patterns, and ratio of walls to windows should be proportional and be compatible with adjacent buildings. Too many different window variations on a building can lead to visual confusion and should be avoided. Window design is also influenced by and should be compatible with details such as sills, sashes, lintels, depth of reveal, decorative caps and shutters (pg. 18).” The front façade of both the traditional and contemporary designs proposes aluminum windows with a contemporary, decorative pane configuration, whereas the side elevation proposes one-over-one aluminum windows. Brick sills and lintels are proposed as well. Staff recommends that the building have a consistent window design with a pane configuration that is compatible with the block, as well as the ultimate design of the building. Staff notes that the third floor front balcony contains window openings without window sashes, creating an open air design, which is not a common architectural characteristic of the surrounding block.

“New development should provide sidewalks along streets where there are currently no sidewalks or sidewalks in disrepair (pg. 4).” and *“significant healthy trees should be preserved and maintained. Trees on public and private property should be appropriately trimmed around utility lines. Hazardous dead or dying trees on City-owned property should be removed and replaced (pg. 10).”*

The existing sidewalks contain tree wells and have been uplifted by tree roots in certain locations. New sidewalks are being proposed within the scope of this

project. One tree is proposed for removal along Addison Street. Staff would recommend that the applicant consider adding tree wells to the new sidewalk that utilize structured soil, rooting, or curb cuts for irrigation through storm water runoff, along with new street tree plantings to replace any trees that are removed during construction.

VII. ATTACHMENTS

- a. Vicinity Map**
- b. Application**
- c. Plans**