

INTRODUCED: July 27, 2026

AN ORDINANCE No. 2026-175

To amend and reordain Ord. No. 2025-022, adopted Feb. 24, 2025, which authorized the special use of the property known as 1001 Barlen Drive for the purpose of up to two single-family detached dwellings, upon certain terms and conditions, to modify the plans and the terms and conditions.

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: SEP 14 2026 AT 6 P.M.

THE CITY OF RICHMOND HEREBY ORDAINS:

I. That Ordinance No. 2025-022, adopted February 24, 2025, be and is hereby amended and reordained as follows:

WHEREAS, the owner of the property known as 1001 Barlen Drive, which is situated in a R-4 Single-Family Residential District, desires to use such property for the purpose of up to two single-family detached dwellings, which use, among other things, is not currently allowed by sections ~~[30-408.2]~~ 30-408.4, concerning ~~[permitted accessory uses and structures]~~ lot area and width, and ~~[30-620.2]~~ 30-408.5, concerning ~~[more than one main building on a lot]~~ yards, in the

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

Code of the City of Richmond (2020), as amended; and

WHEREAS in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys

and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this amendatory ordinance, the property known as 1001 Barlen Drive and identified as Tax Parcel No. C007-0201/026 in the ~~[2025]~~ 2026 records of the City Assessor, being more particularly shown on a survey entitled “Survey of Lot 1 Block D, Barleth Heights Richmond, Virginia,” prepared by A.G. Harocopos & Associates P.C., and dated July 1, 2024, a copy of which is attached to and made a part of ~~[this ordinance]~~ Ordinance No. 2025-022, adopted February 24, 2025, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to two single-family detached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled ~~“Survey of Lot 1 Block D, Barleth Heights Richmond, Virginia,”~~ “Plat Showing a Proposed Division for the Use of Obtaining a SUP Before Moving to the Resubdivision of Lot 1 Block D, Barleth Heights, Richmond, Virginia,” prepared by A.G. Harocopos & Associates P.C., and dated July 1, 2024, ~~“1001 Barlen Dr Back House Elevation Drawings,” prepared by an unknown preparer, and undated]~~ and ~~“1001 Barlen Dr Exterior Measurements,” prepared by an unknown preparer, and undated]~~ “1001 Barlen Drive Detached Dwelling Unit,” prepared by AEZ Architecture + Design PLLC, and dated January 26, 2026, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this amendatory ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit

for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to two single-family detached dwellings, substantially as shown on the Plans.

(b) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any adjoining public right-of-way.

(c) Prior to the issuance of any certificate of zoning compliance for the Special Use, the establishment of no more than two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall

cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Zoning Administrator is authorized to issue a certificate of zoning compliance for the Special Use subject to the terms and conditions set forth in this amendatory ordinance. An application for the certificate of zoning compliance shall be made within 1,096 calendar days following the date on which this amendatory ordinance becomes effective. If the application for the certificate of zoning compliance is not made within the time period stated in the previous sentence, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

II. This amendatory ordinance shall be in force and effect upon adoption.



City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: June 17, 2026

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)

(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Odie Donald II, Chief Administrative Officer

THROUGH: Sharon L. Ebert, DCAO for Economic Development and Planning

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To amend and reordain Ord. No. 2025-022, adopted Feb. 24, 2025, which authorized the special use of the property known as 1001 Barlen Drive for the purpose of up to two single-family detached dwellings, upon certain terms and conditions, to modify the plans and the terms and conditions.

ORD. OR RES. No. _____

PURPOSE: The special use authorized by Ord. No. 2025-022 permitted two single-family dwellings on the same parcel. The proposed amendment will authorize the subdivision of the parcel into two fee simple properties. While single-family dwellings are a permitted use in the R-4 Single-Family Residential district, not all lot feature requirements can be met. Therefore, an amendment to the special use permit is requested.

BACKGROUND: The property is located on the southeast corner of Barlen Drive and Cross Road. The parcel is 50 feet wide and 105 feet in depth for a total of 9,719 square feet. The property is improved with an 1,152 single-story home built in 1959. A second dwelling unit is in the rear of the property.

The City's Richmond 300 Master Plan designates the property for Residential uses where the single-family detached structures are a primary secondary use.

COMMUNITY ENGAGEMENT: The property is not located within a civic association area
Notices shall be mailed to surrounding property owners and a sign shall be placed on the property.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: None

FISCAL IMPACT: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: July 27, 2026

CITY COUNCIL PUBLIC HEARING DATE: September 14, 2026

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission August 18, 2026

AFFECTED AGENCIES: Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Supporting documents

David Watson, AICP Planner, Land Use Administration (Room 511) 646-1036

Applicants Report – 1001 Barlen Dr, Richmond, VA 23225

This Special Use Permit amendment is to divide the parcel into two. This would be a win for the city in that it would (1) create another taxable parcel and (2) revert the parcels to the norm of one dwelling per parcel. The second dwelling has existed outside of compliance for decades and this division would make it easier to finance the process necessary to bring it into compliance.

2007



2023

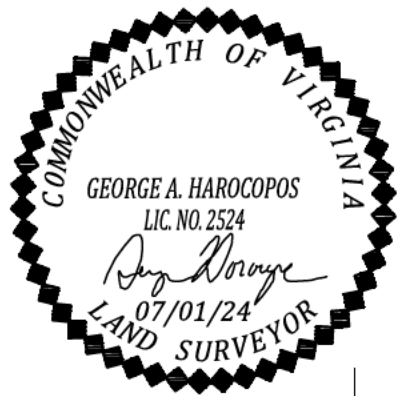


This is to certify that on 07/01/2024
I made an accurate field survey of the known premises shown hereon; that all improvements known or visible are shown hereon; that there are no encroachments by improvements either from adjoining premises, or from subject premises upon adjoining premises, other than shown hereon.

NOTE: THIS LOT APPEARS
TO BE IN FEMA FLOOD ZONE
X AS SHOWN ON FEMA
FLOOD INSURANCE RATE MAP
PANEL 5101290057D

NOTE:
This survey has been prepared without
the benefit of a title report and does
not therefore necessarily indicate all
encumbrances on the property.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.27'	35.36'	N 68°50'30" E	90°00'01"

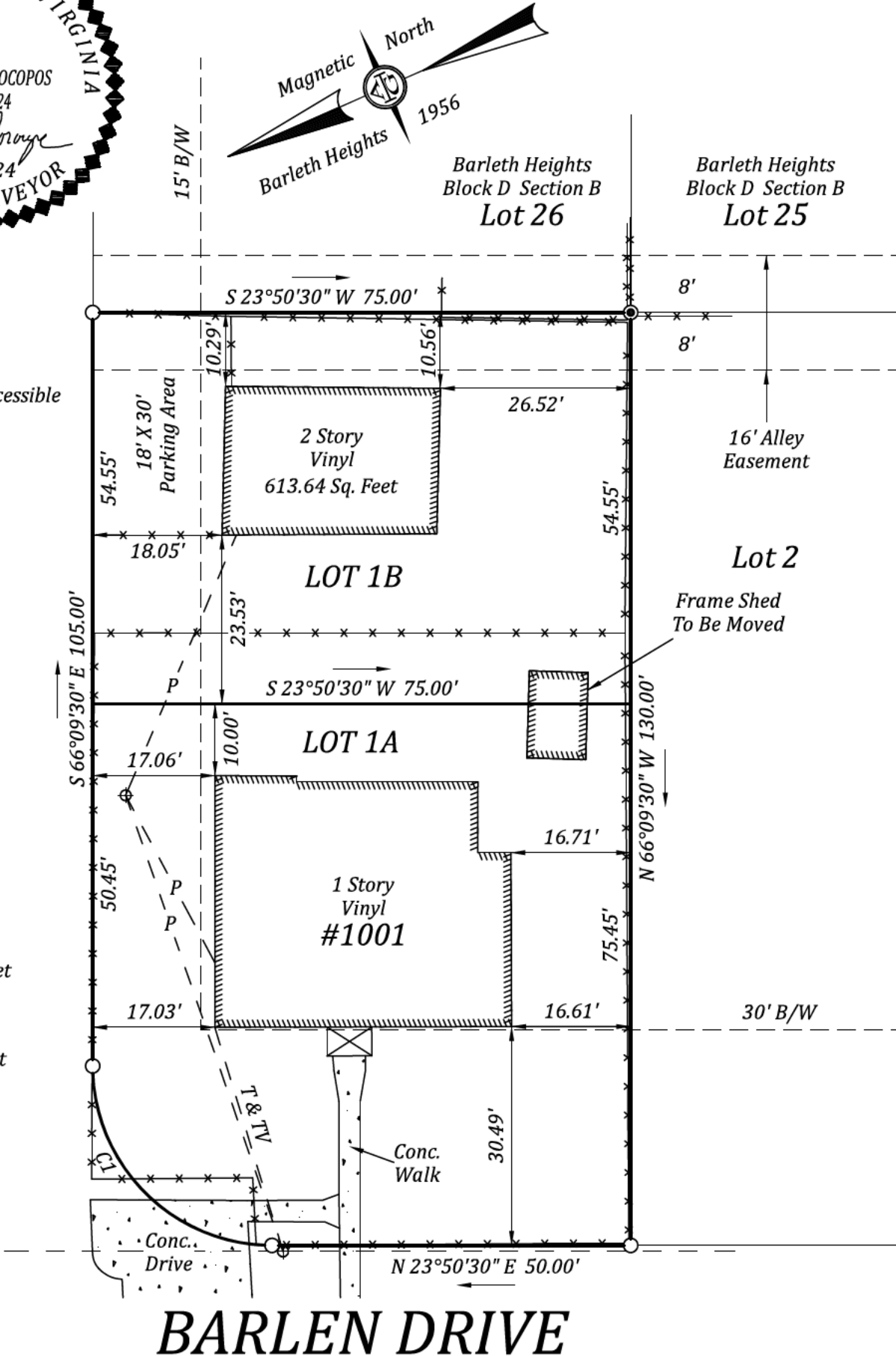


LEGEND

- ⊕ Power Pole
- Rod/F
- ⊙ Corner Inaccessible

Cross Road

Area Of Lots
LOT 1A
5524.92 Sq. Feet
0.127 Acres
LOT 1B
4090.95 Sq. Feet
0.094 Acres



BARLEN DRIVE

PLAT SHOWING A PROPOSED DIVISION FOR THE USE OF
OBTAINING A SUP BEFORE MOVING TO THE RESUBDIVISION OF
LOT 1 BLOCK D
BARLETH HEIGHTS
RICHMOND, VIRGINIA

NOTE: PLAT PREPARED FOR THE EXCLUSIVE
USE OF THE CONVEYANCE TO
FERNANDO LUIS PEREZ, II

JN 53563

A. G. HAROCOPOS & ASSOCIATES, P.C.

CERTIFIED LAND SURVEYOR AND CONSULTANT

4920 E. MILLRIDGE PKWY. SUITE 200 MIDLOTHIAN VA. 23112
Office 804 744 2630 FAX 804 744 2632
E-MAIL AGHAROCOPOS72@GMAIL.COM

Scale 1"=20' Date 07/01/24 Drawn by GAH

1001 BARLEN DRIVE DETACHED DWELLING UNIT



1 3D VIEW

PROJECT SCOPE

THE PROPOSED PROJECT IS AN EXISTING DETACHED DWELLING UNIT THAT HAS BEEN RE-REVIEWED FOR CURRENT CODE COMPLIANCE (2021 VIRGINIA RESIDENTIAL CODE, VRC). THE INTENT OF THIS DRAWING SET IS TO DEMONSTRATE THE NECESSARY ARCHITECTURAL RENOVATIONS TO OBTAIN A PERMIT AND OCCUPANCY.

- SUMMARY:
- MODIFY EXISTING SECOND FLOOR WINDOWS TO MEET PROPER EGRESS SIZES.
A. REPLACE AND RELOCATE UNDERSIZED EXISTING WINDOWS WITH 3'-0" X 5'-0" SINGLE HUNG WINDOWS.
B. REPLACE AND RELOCATE ALL OTHER WINDOWS FOR UNIFORM LOOK, AND AS REQUIRED FOR NEW SIDING APPLICATION.
 - DEMO AND/OR TEMPORARILY REMOVE WALLS, FIXTURES, AND FURNISHINGS ON THE MAIN FLOOR LEVEL TO REMOVE THE EXISTING FLOOR STRUCTURE AND REPLACE WITH CONCRETE FOUNDATION. SEE STRUCTURAL FOUNDATION AND BRACING NOTES. MAIN LEVEL NOT SHOWN AS DEMO'D FOR THE PURPOSE OF THIS DRAWING SET, AS THE INTENTION IS TO MAINTAIN EXISTING LAYOUT.
 - REMOVE EXTERIOR CLADDING (2 LAYERS) AND INCREASE INSULATION CAPACITY FOR CODE COMPLIANT R VALUE. STIFFEN EXTERIOR WALLS PER STRUCTURAL TO MEET BRACING REQUIREMENTS. SEE DETAILS.
 - DEMO EXISTING 2ND FLOOR CEILING GYP BD AS REQUIRED TO PROVIDE NEW CEILING JOISTS AND INCREASE EXISTING R VALUE FOR CURRENT CODE. SEE DETAILS.

NOT INCLUDED UNDER THE ARCHITECTURAL SCOPE:

- HVAC, PLUMBING, ELECTRICAL AND ALL OTHER DISCIPLINES.
- CIVIL WORK, SITE PLANS AND LANDSCAPING PLANS.
- FINISHES, FURNITURE AND EQUIPMENT.
- PHASE OF WORK.

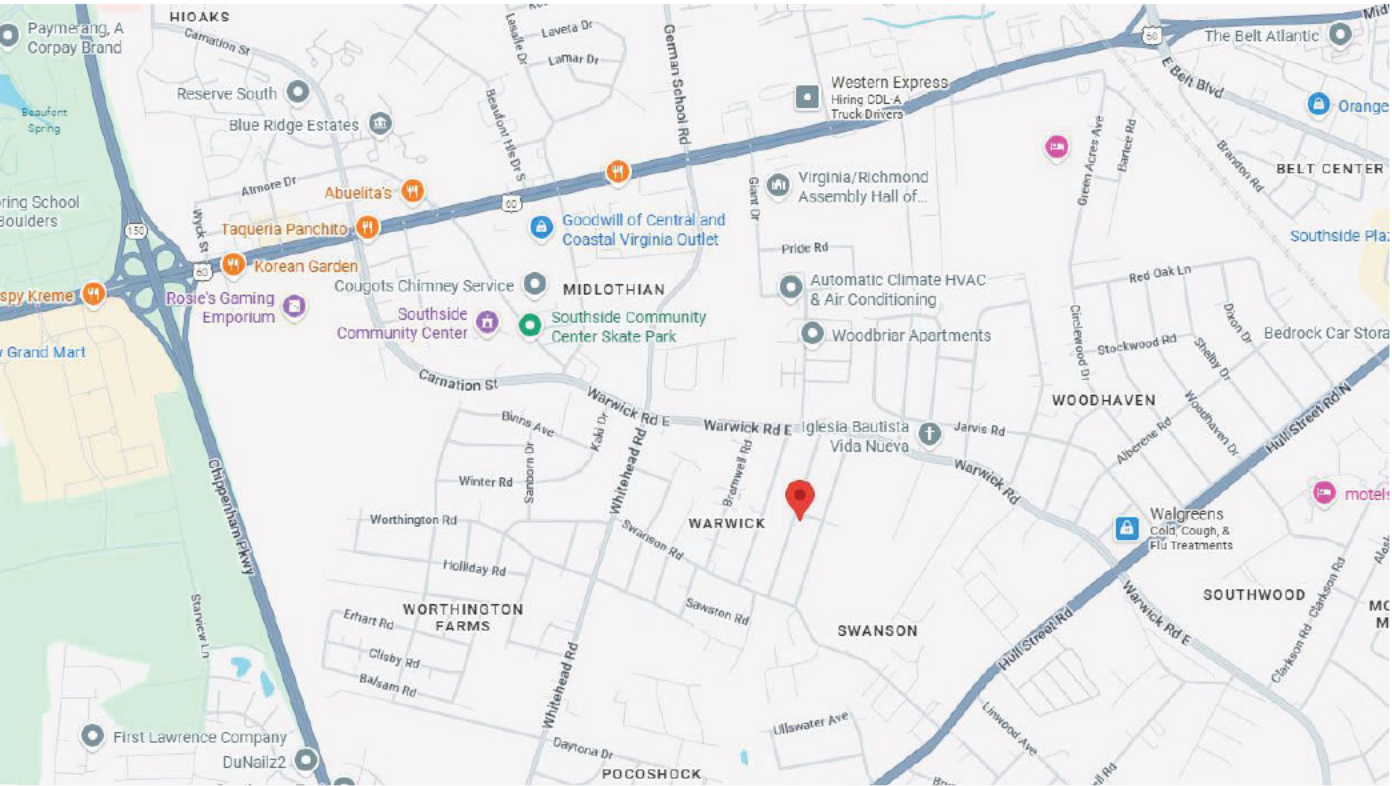
IT IS ASSUMED THAT ALL ITEMS THAT MUST BE REMOVED TEMPORARILY WILL BE REINSTALLED IN SIMILAR CONDITIONS, INCLUDING HVAC, WATER HEATER, FLOORING TYPES, GENERAL KITCHEN LAYOUT AND ROUGH-INS, ETC.

PROJECT AREA

MAIN FLOOR: 610 SF
2ND FLOOR: 610 SF
TOTAL AREA: 1,220 SF

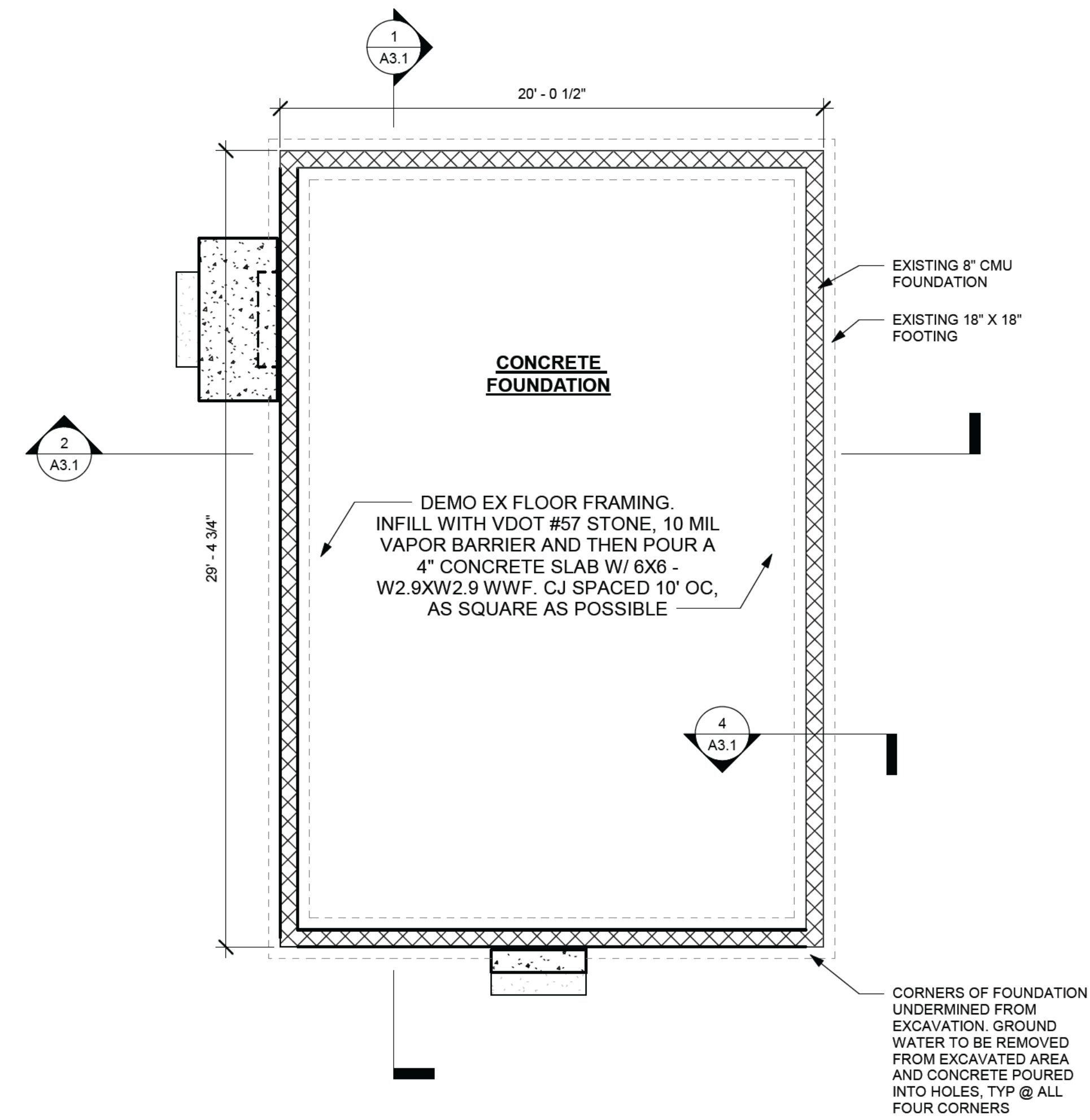
PROJECT LOCATION

1001 Barlen Dr,
Richmond, VA 23225

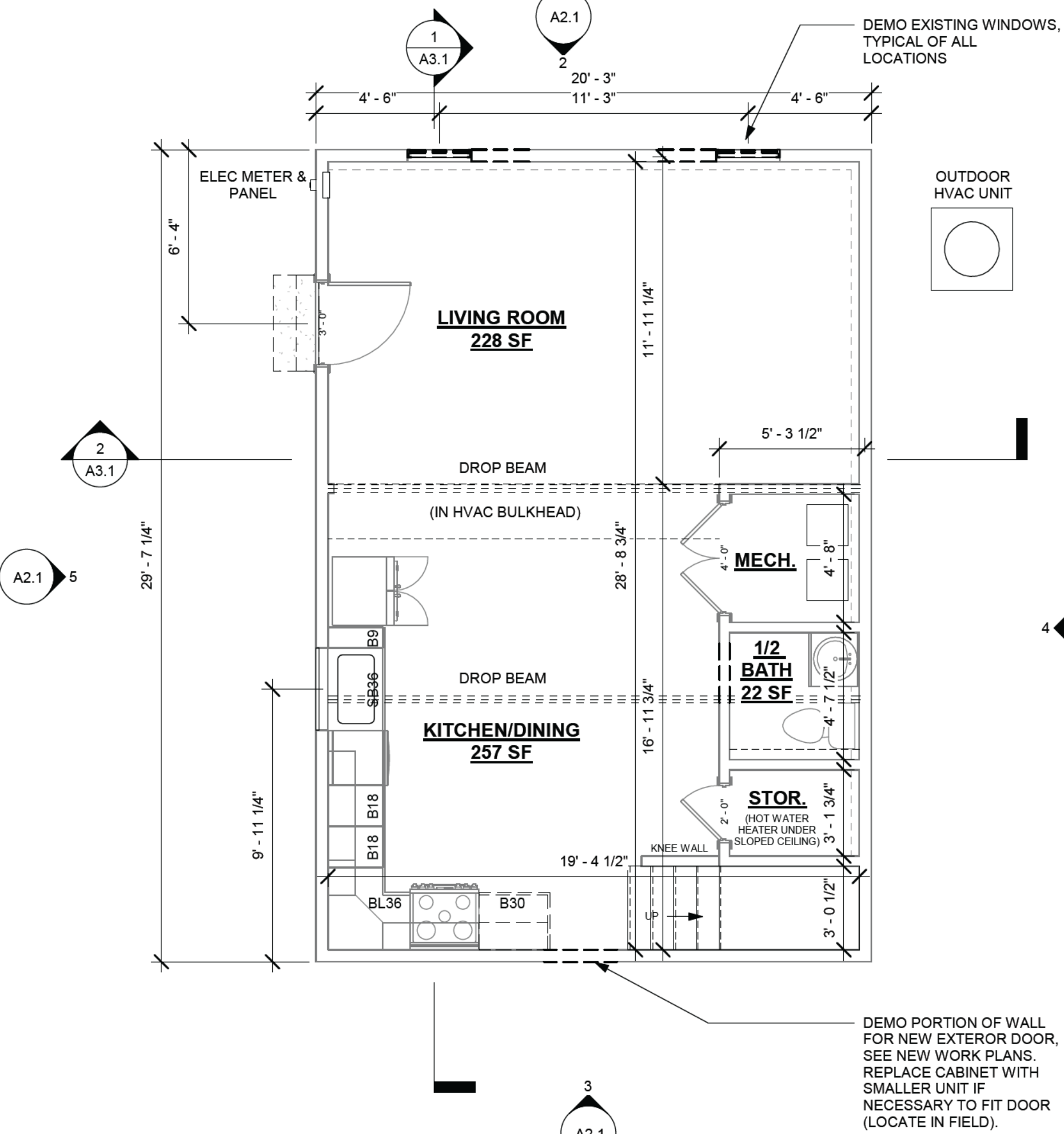


GENERAL DEMOLITION NOTES

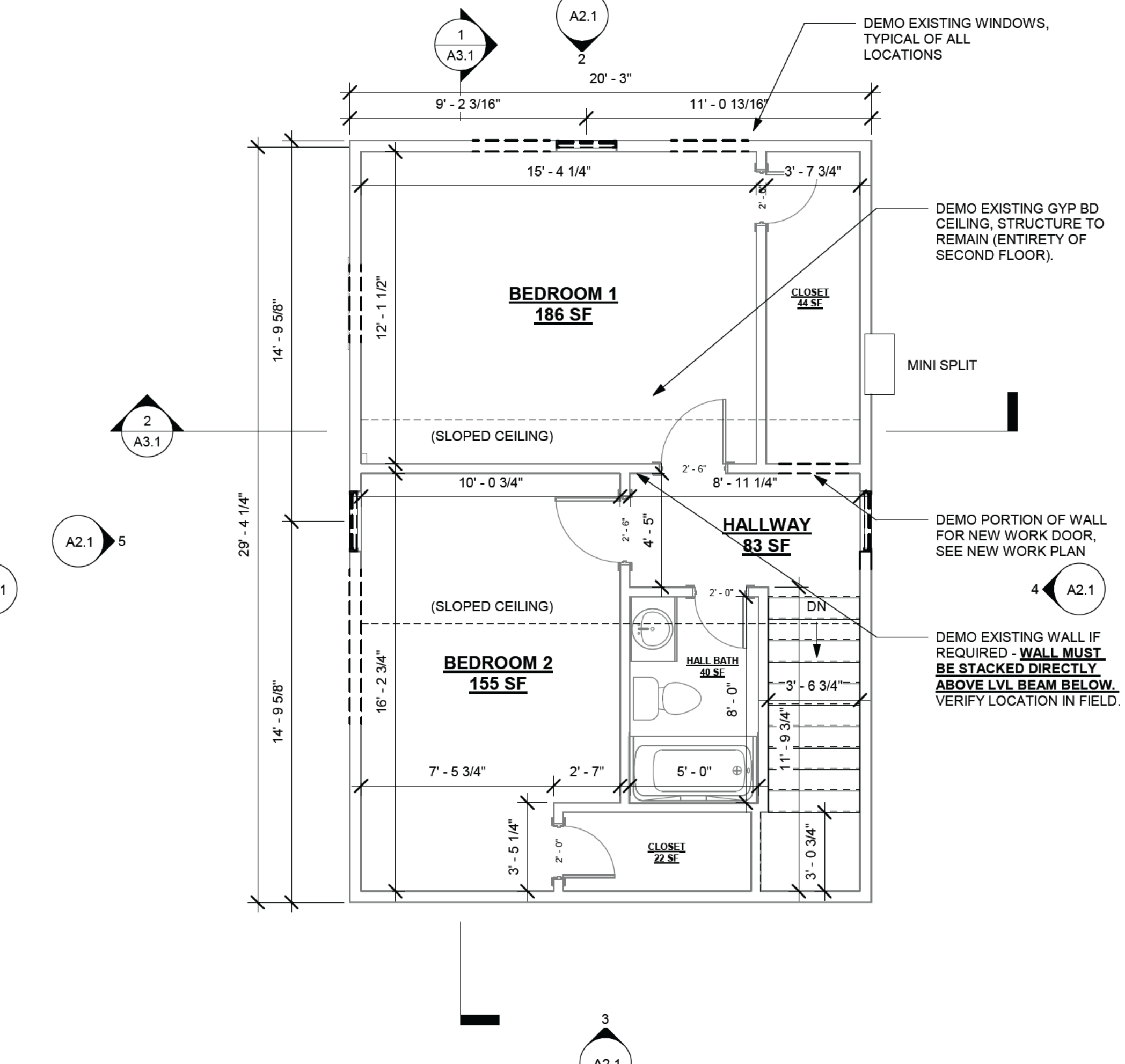
- PHASING, MEANS, AND METHODS NOT INCLUDED AS PART OF THIS SCOPE.
- VERIFY ALL DIMENSIONS IN FIELD.
- GC TO PATCH AND REPAIR AS NECESSARY ALL EXISTING CONDITIONS TO MATCH CURRENT INSTALLATION.
- REMOVE EXISTING SIDING (2 LAYERS), AIR BARRIER, AND SHEATHING FROM EXTERIOR. SEE BRACING PLANS AND DETAILS.
- EXISTING INTERIOR TO REMAIN, WITH THE FOLLOWING EXCEPTIONS:
A. TEMPORARILY REMOVE EXISTING MAIN LEVEL FURNISHINGS, FIXTURES, AND EQUIPMENT AS NECESSARY TO PROVIDE NEW WORK FLOOR. ANY ITEMS THAT CANNOT BE SALVAGED AND REINSTALLED TO BE REPLACED IN LIKE, INCLUDING, BUT NOT LIMITED TO WALLS, KITCHEN CABINETRY, ETC.
B. REMOVE EXISTING SECOND FLOOR CEILING GYP BD (STRUCTURE TO REMAIN) AND INSULATION.
C. REMOVE EXISTING WINDOWS AND PORTIONS OF EXTERIOR WALLS WHERE REQUIRED FOR NEW WORK. SEE DASHED AREAS AND COORDINATE WITH NEW WORK PLANS.
D. REMOVE KITCHEN CABINETRY AND REPLACE IN KIND. ALL ROUGH-INS TO REMAIN. ALL UTILITIES TO REMAIN.
E. REMOVE PORTION OF EXISTING EXTERIOR PER NEW ROOF OVER EXISTING ENTRY DOOR.



2 FOUNDATION PLAN
1/4" = 1'-0"



3 EXISTING FIRST FLOOR PLAN
(W/ DEMO NOTES)
1/4" = 1'-0"



4 EXISTING SECOND FLOOR PLAN
(W/ DEMO NOTES)
1/4" = 1'-0"



AEZ
ARCHITECTURE +
DESIGN PLLC
bryan@aezarchitecture.com
703.850.0128



1001 BARLEN DR
DETACHED
DWELLING UNIT

Project Number: 2502

Project Address:
1001 BARLEN DR
RICHMOND, VA 23225

Owner Contact:
FERNANDO PEREZ

Revisions:

COVER SHEET

SCALE: 1/4" = 1'-0"
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SHEET #

GENERAL NEW WORK NOTES

1. VERIFY ALL DIMENSIONS IN FIELD.
2. ALL SECOND FLOOR WINDOWS TO BE ALIGNED BELOW, SEE ELEVATIONS FOR CLARITY.
3. ALIGN LEVEL 2 BISECTING WALL TO LVL BELOW (DEMO AND RELOCATE IF NECESSARY).
4. WHERE NEW WINDOWS ARE REQUIRED, RE-FLASH ENTIRE EXTERIOR INTO EXTERIOR WALL ASSEMBLY PER MANUFACTURER'S RECOMMENDATIONS (COMPATIBLE ZIP SYSTEM TAPE)
5. INFILL EXTERIOR WALLS/FRAMING WHERE DEMO WINDOWS ARE NOT REPLACED IN THE SAME LOCATION.
6. MAIN LEVEL TO REMAIN, UNLESS REQUIRED DEMOLISHING FOR NEW WORK FOUNDATION SCOPE. REINSTALL NEW OR LIKE FIXTURES IN THE SAME LOCATIONS THEY EXIST IN NOW.
7. UPDATE ELECTRICAL TO MEET 2021 VEC REQUIREMENTS, NOT INCLUDED IN PART OF THIS SCOPE.
8. PATCH AND REPAIR ALL FLOORING, FINISHES, ETC AS REQUIRED (INCLUDING BUT NOT LIMITED TO OLD AND NEW WINDOW LOCATIONS, BASE TRIM, DOOR TRIM, MISC DRYWALL, DEMO WORK REQUIRED FOR NEW ELECTRICAL, NEW DOOR INSTALLATION, ETC)

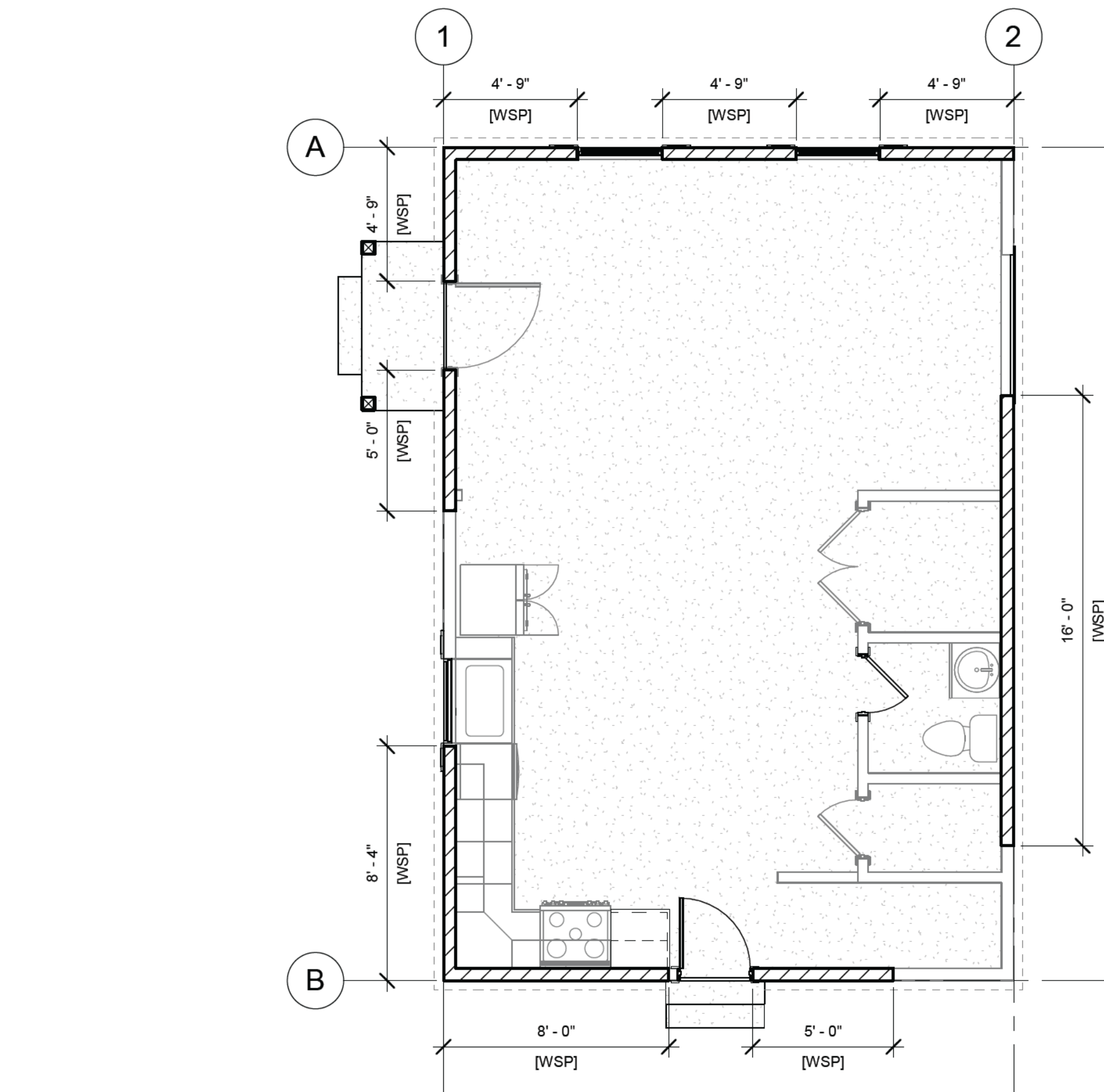
SCHEDULES

- WINDOWS:
1. 3'-0" X 5'-0" SINGLE HUNG
 2. 3'-0" X 3'-0" SINGLE HUNG*
 - *VERIFY THIS HEIGHT WILL CLEAR INTERIOR BEAM, REDUCE IF NECESSARY*
 3. 5'-0" X 1'-0" FIXED TRANSOM WINDOW
 4. (2) 3'-0" X 5'-0" SINGLE HUNG
- DOORS:
- A. EXISTING 3'-0" X 6'-8" ENTRY DOOR TO REMAIN. REPLACE HEAD AND JAMB TRIM.
 - B. PROVIDE NEW 2'-6" X 6'-8" HALF LITE DOOR AT REAR OF HOME.
 - C. NEW WORK 2'-6" CLOSET DOOR.

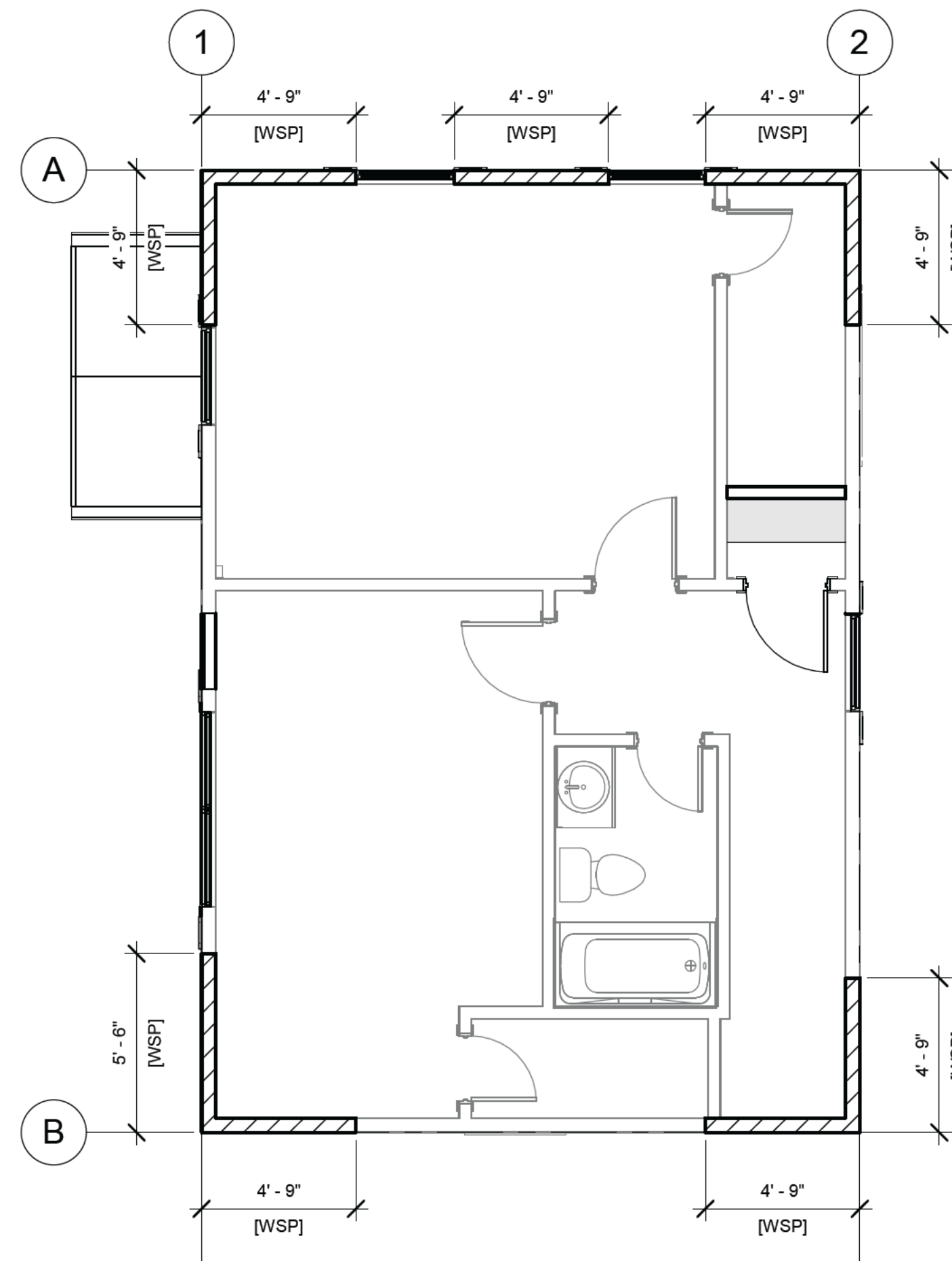
WALL BRACING IN METHOD FROM IRC 2021 PER R602.10

WSP = 7/16" WOOD STRUCTURAL PANEL W/ 8d COMMON NAILS (2.5" x 0.131") SPACED 6" EDGE AND 12" FIELD (ALTERNATE OPTION: R-6 1-1/2" ZIP SHEATHING W/ 3" X 0.131" SHANK NAILS SPACED 4" EDGE AND 12" FIELD)

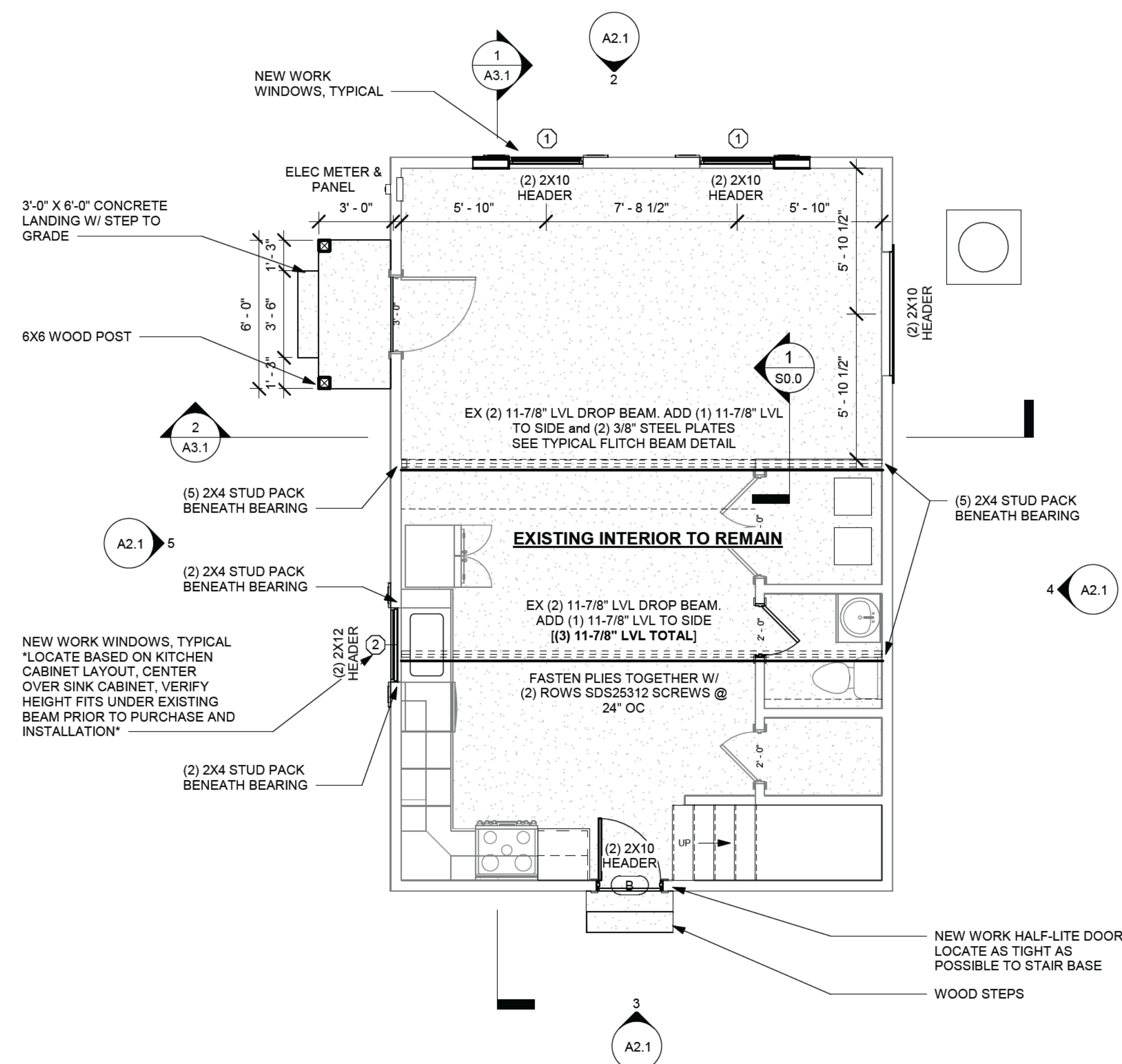
LEVEL	BWP	BWP Line Spacing	BWP Method	REQ'D LENGTH (FT)	PROVIDED LENGTH (FT)	Blocking Req'd at horizontal edges
2nd	1	20	WSP	6.65	10.3	N
	2	20	WSP	6.65	10.3	N
	A	30	WSP	5.325	9.5	Y
	B	30	WSP	5.325	9.5	Y
1ST	1	20	WSP	14.25	18.08	N
	2	20	WSP	14.25	18.08	N
	A	30	WSP	9.975	14.3	Y
	B	30	WSP	9.975	16.00	Y



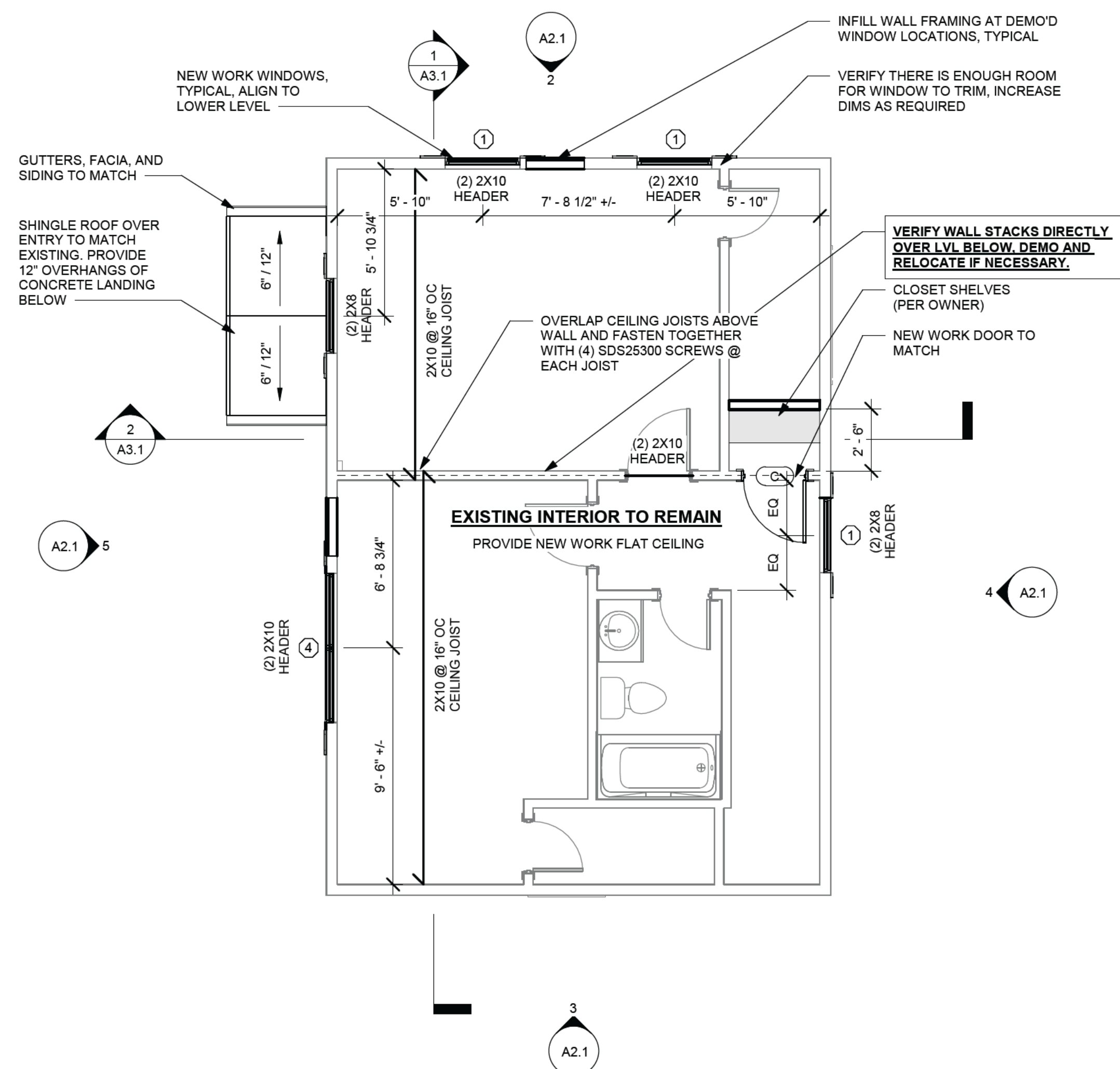
1 FIRST FLOOR BRACING PLAN
1/4" = 1'-0"



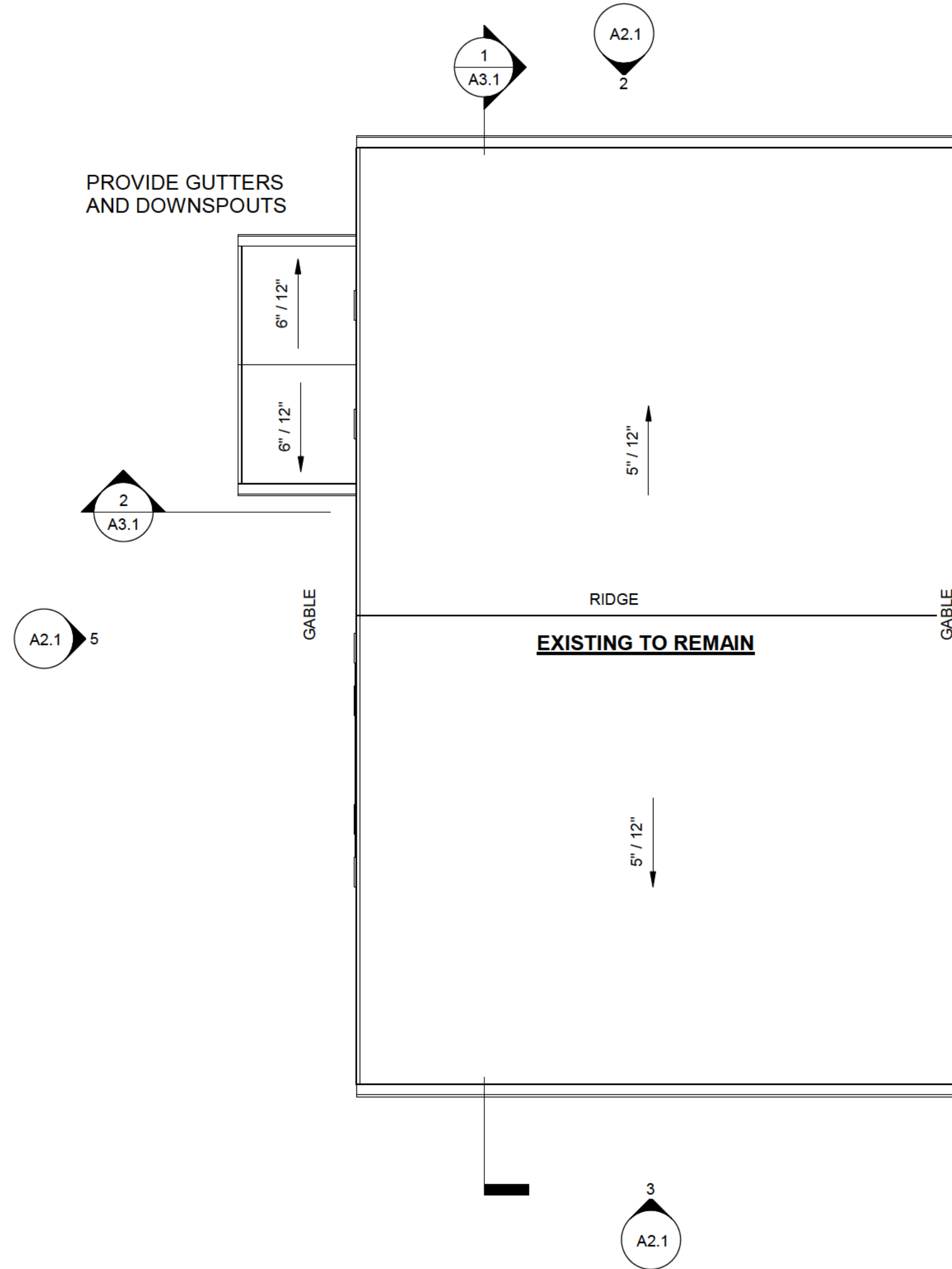
2 SECOND FLOOR BRACING PLAN
1/4" = 1'-0"



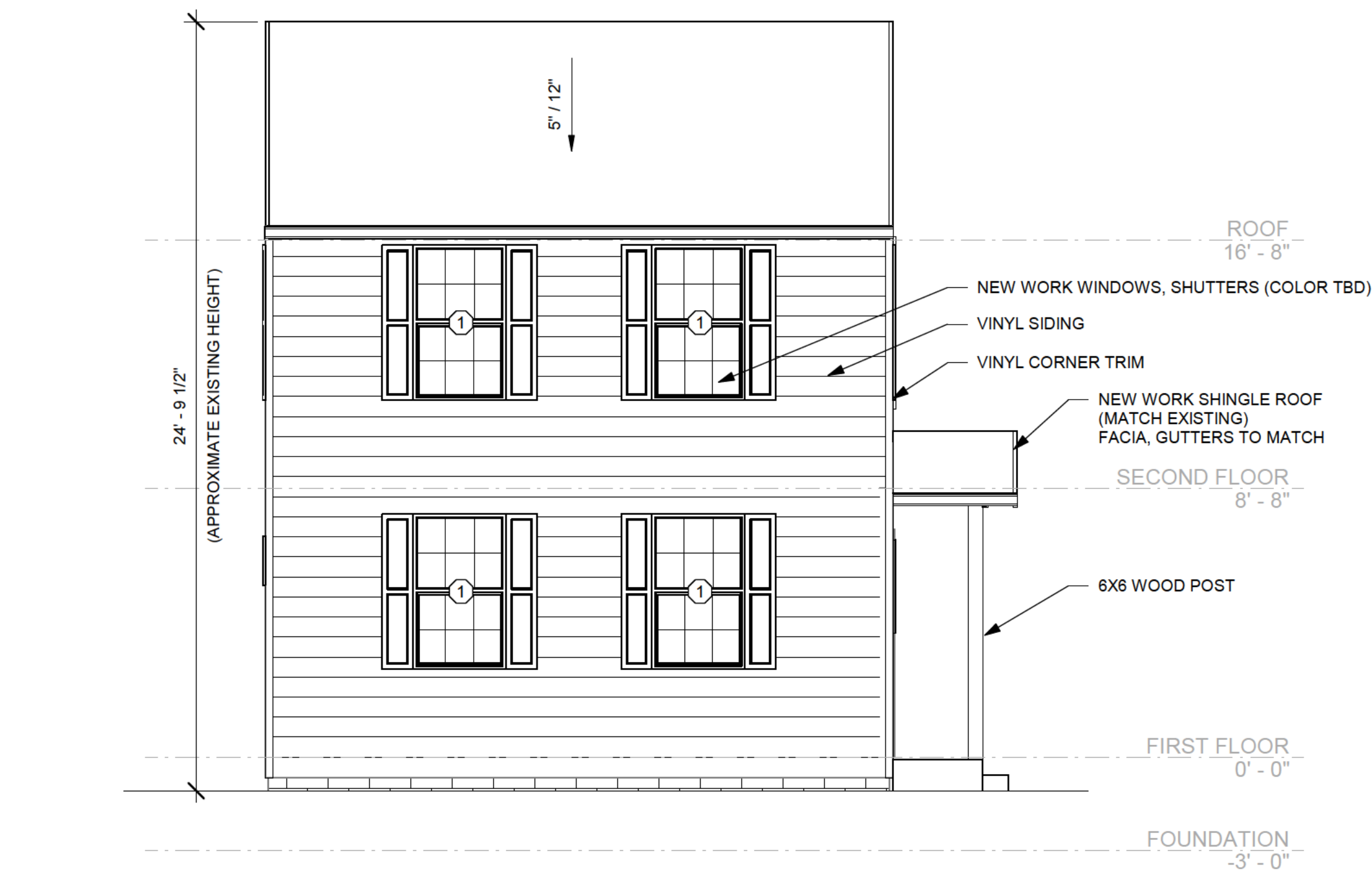
3 FIRST FLOOR PLAN
1/4" = 1'-0"



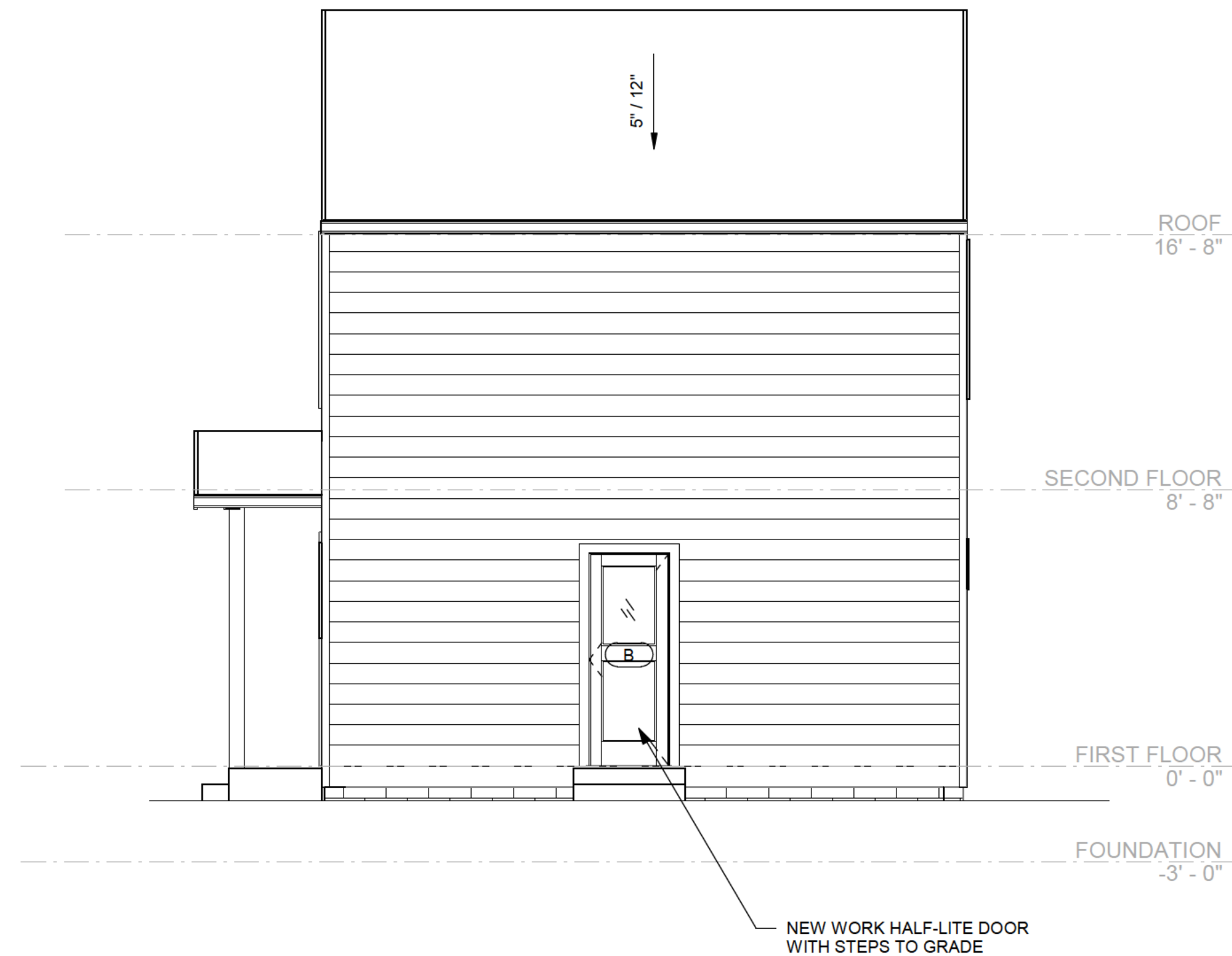
4 SECOND FLOOR PLAN
1/4" = 1'-0"



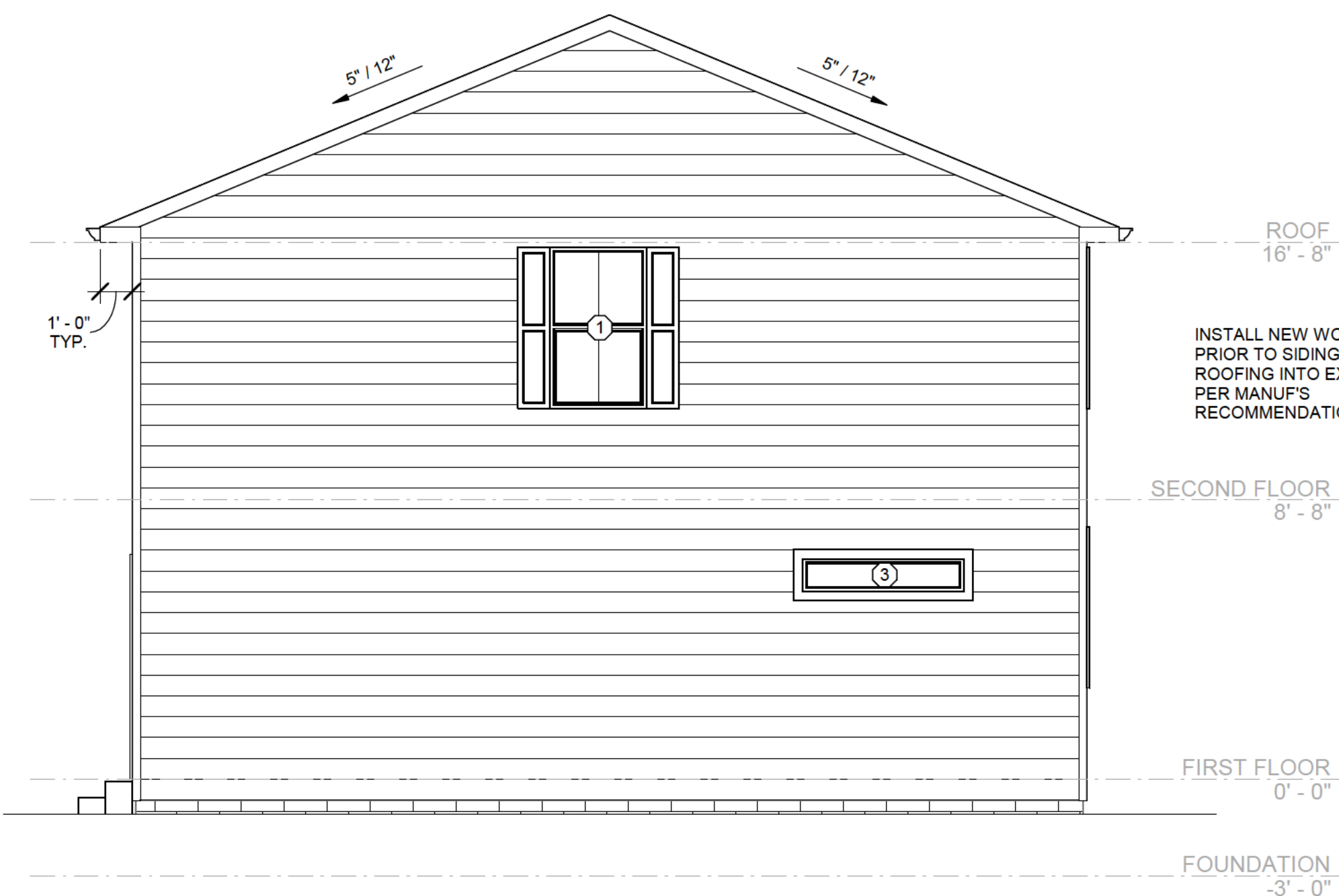
1 ROOF PLAN
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



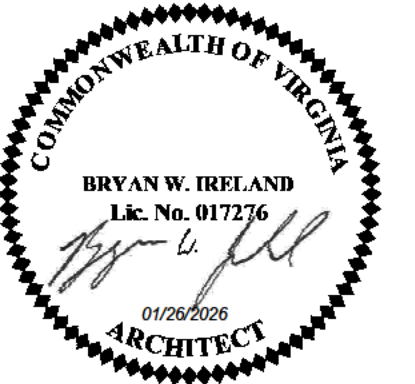
4 EAST ELEVATION
1/4" = 1'-0"



5 WEST ELEVATION
1/4" = 1'-0"

AEZ
ARCHITECTURE +
DESIGN PLLC

bryan@aezarchitecture.com
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1001 BARLEN DR
DETACHED
DWELLING UNIT

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Owner Contact:
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Revisions:

ROOF PLAN AND
ELEVATIONS

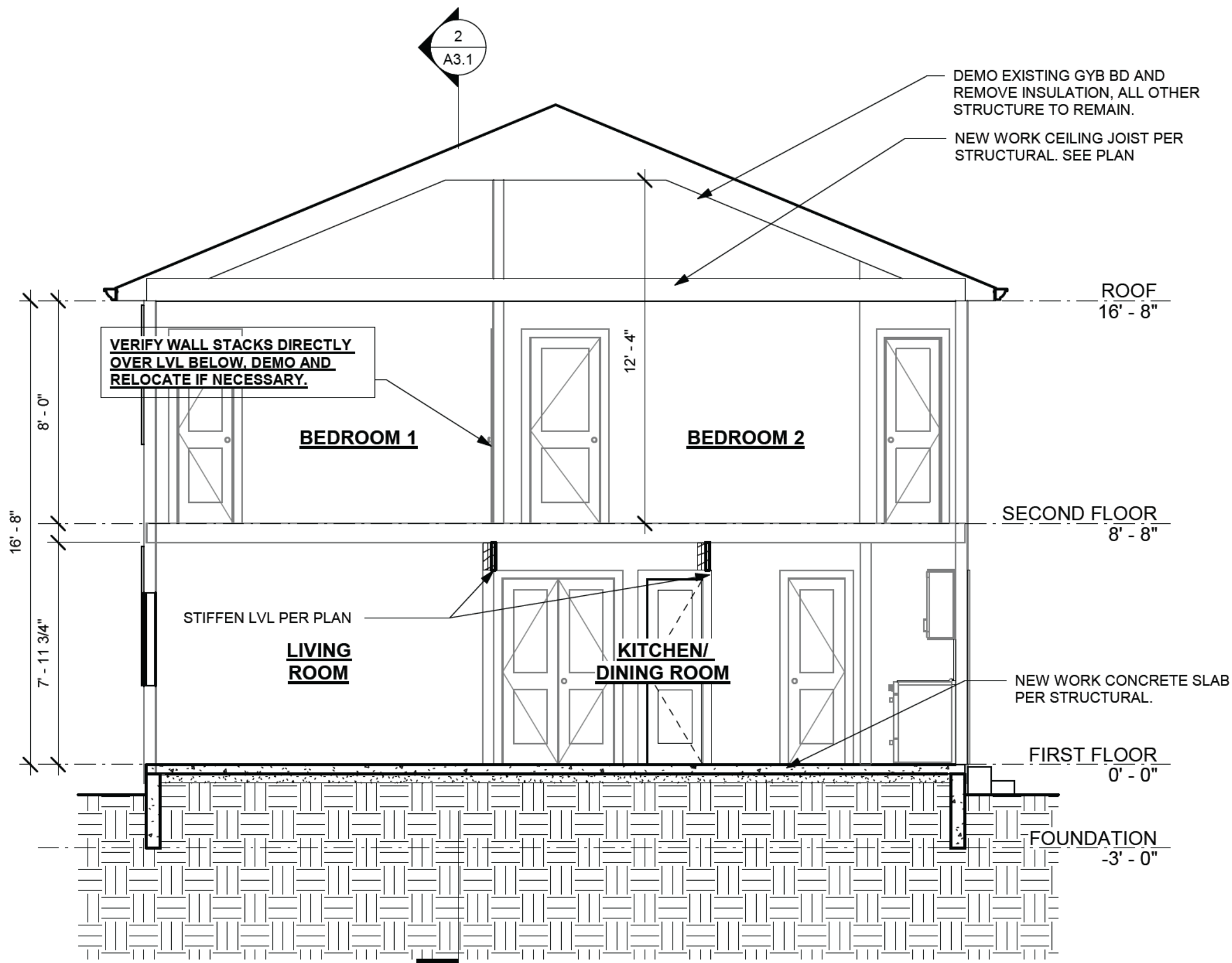
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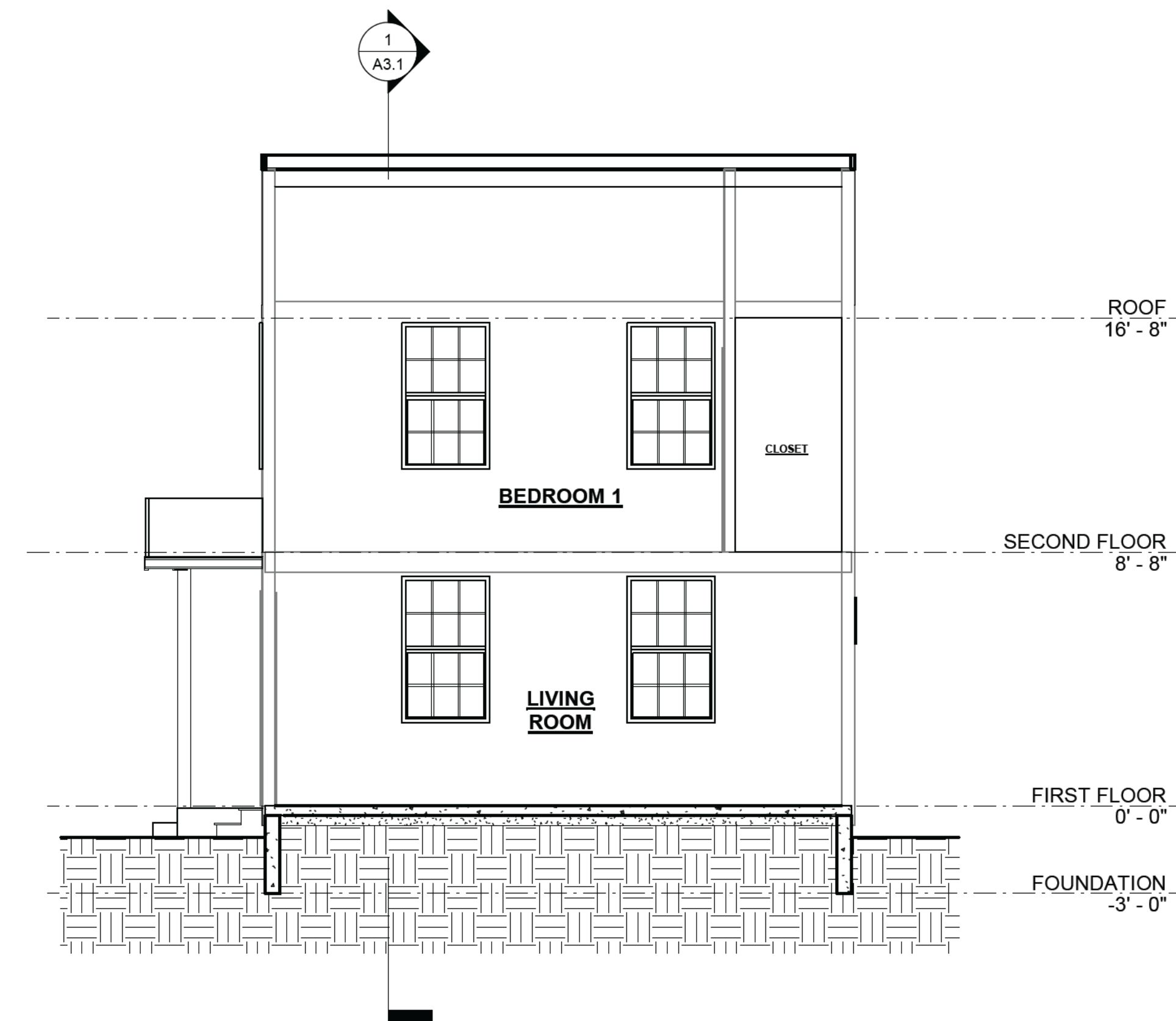
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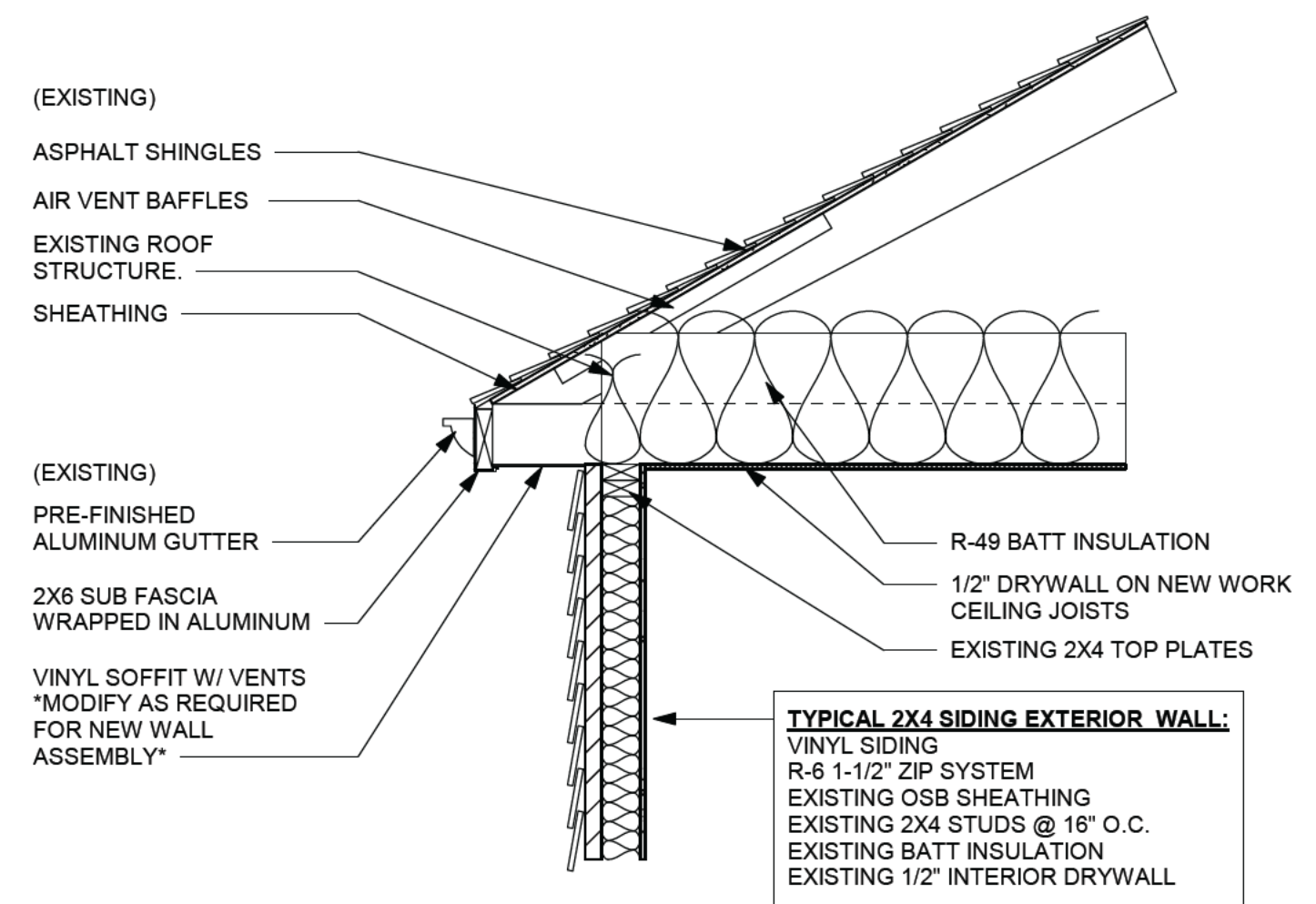
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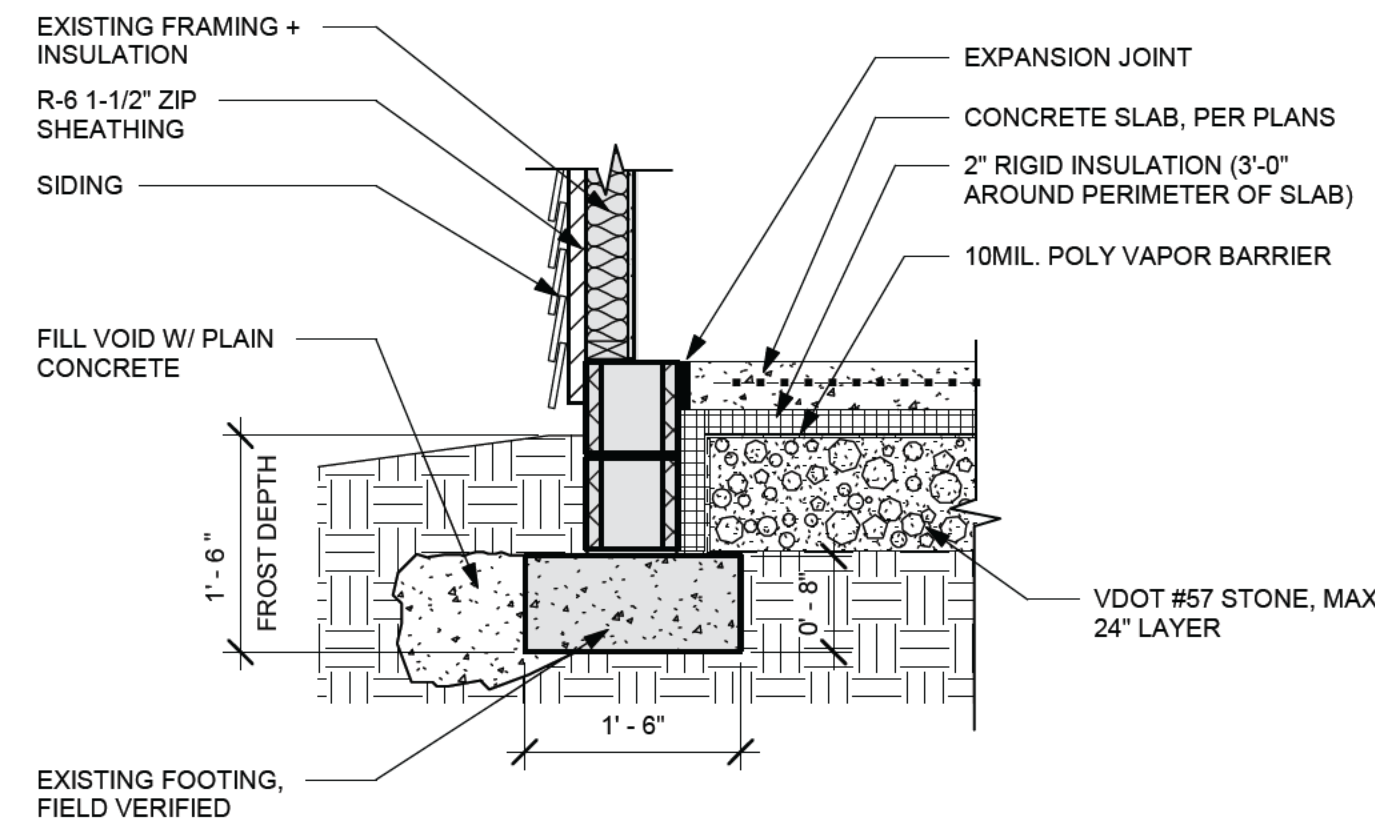
1 NORTH-SOUTH SECTION
1/4" = 1'-0"



2 EAST-WEST SECTION
1/4" = 1'-0"



3 ROOF EAVE DETAIL
3/4" = 1'-0"



4 FOUNDATION DETAIL
3/4" = 1'-0"

1001 BARLEN DR
DETACHED
DWELLING UNIT

Project Number: 2502

Project Address:
1001 BARLEN DR
RICHMOND, VA 23225

Owner Contact:
FERNANDO PEREZ

Revisions:

BUILDING AND WALL
SECTIONS

SCALE: As indicated
DRAWN BY: BWI
DATE: 1/26/2028 2:15:52 PM

A3.1

SHEET #

Design Loads and Parameter Table		
Governing Code:	VRC 2021	
Risk Category:	II	
Loads:		
RLL	20 psf	Roof Live Load
LL	40 psf	Residential Live Load
LL	30 psf	Sleeping Rooms Load
LL	20 psf	Attic - Light Storage
Pg	20 psf	Ground Snow Load
V	112 mph	Ultimate Wind Speed
	B	Wind Exposure Category

General Notes

- Structural Scope of Work: The proposed project is an existing detached dwelling unit that has been re-reviewed for current code compliance (2021 Virginia Residential Code, VRC). The intent of this drawing set is to demonstrate the necessary architectural and structural renovations to obtain a permit and occupancy.
- All structural work shall be coordinated with architectural drawings and shall conform to the project specifications, including the 2021 IRC, as modified by the Virginia Residential Code (VRC).
- Use structural and architectural drawings in close coordination. Direct and dimensional discrepancy or omission to architect/designer and Valerie Hill, PE, PLLC for resolution prior to commencement of construction.
- During construction, the contractor shall be responsible for the temporary bracing and shoring to withstand all loads to which the structure may be subjected, including lateral loads, stockpiles of material and equipment. Such bracing shall be left in place as long as required for safety and until all framing including roof deck is in place.
- Where standards are referenced herein, it shall be assumed the edition is the current referenced standard by the governing jurisdiction.
- All existing dimensions pertinent to the design are to be verified in field prior to construction. Direct all and any discrepancies to architect/designer and Valerie Hill, PE, PLLC for resolution.

Foundations

- Design based on an assumed soil bearing capacity of 1500 psf.
- Establish exterior footing elevations such that the bottoms of footings are not less than 18" below final finished grades. Geotechnical engineer may require additional depth if unsuitable soils are encountered.
- Provide construction site drainage to prevent surface runoff from entering footing excavations.
- Consolidate granular fill below slabs on grade with vibrating compactors according to the directions of the geotechnical engineer, but not less than 95% of maximum density in accordance with ASTM D698 or D1557.
- The contractor shall protect the footing and slabs from damage from frost heave during construction until the final design structure is complete.

Cast in Place Concrete

- General
 - All concrete work shall conform to the ACI following governing standards.
 - American Concrete Institute (ACI) "Code Requirements for Structural Concrete" (ACI 318), latest edition per governing building code.
 - ACI "Manual of Concrete Practice", latest edition per governing building code.
 - Concrete Steel Reinforcing Institute (CRSI) "Manual of Standards Practice", latest edition per governing building code.
 - Concrete Mix Designs - Concrete mix designs shall be prepared in accordance with the most recent edition of ACI 318 and with the information indicated in the mix design table.

Location	f'c(psi)	Water/Cement Ratio	Air Entrainment
EXTERIOR SLAB ON GRADE AND FOOTINGS	4000	0.5	4-6%
INTERIOR SLAB ON GRADE	4000	0.5	3-5%

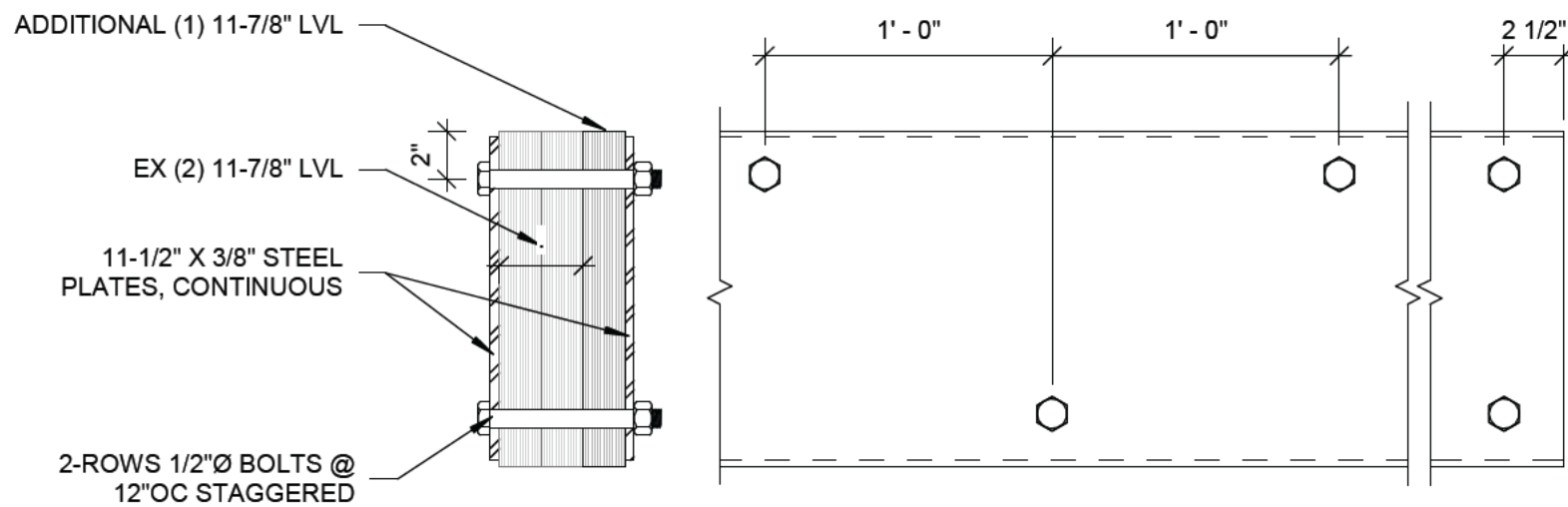
- Products
 - Refer to specifications for allowable concrete materials including cement, aggregate, water and admixtures.
 - Reinforcing steel shall be deformed bars conforming to ASTM A615, Grade 60 or A775 epoxy coated when called out on plan. Reinforcing steel shall be detailed according to the ACI "Details and Detailing of Reinforcement", (ACI 315), latest edition per governing building code.
 - Welded wire fabric (WWF) shall conform to ASTM A1064, with a minimum yield strength of 65,000 PSI.
 - All grout shall be non-shrink with a minimum compressive strength of 5,000 PSI.
- Execution
 - Provide clearance from face of concrete to reinforcement as follows unless noted otherwise:
 - Slabs: 3/4"
 - Beams and columns: 1-1/2"
 - Footings: 3"
 - Exterior walls: 2" for #6 or larger, 1-1/2" for #5 or smaller
 - Interior walls: 3/4"
 - Clean and roughen to 1/4" amplitude all existing concrete surfaces to receive new concrete prior to placement.
 - Welded wire fabric reinforcement in composite construction shall have tension splices and be anchored at discontinuous edges.
 - Reinforcing dowels, waterstops and other embed items shall be installed and secured prior to concrete. No wet setting of anchors is permitted.
 - Coordinate size and location of all openings and pipe sleeves with all other disciplines drawings. Minimum concrete between sleeves shall be 6".
 - Aluminum shall not be placed, touching or embedded in concrete.

06100 Rough Carpentry

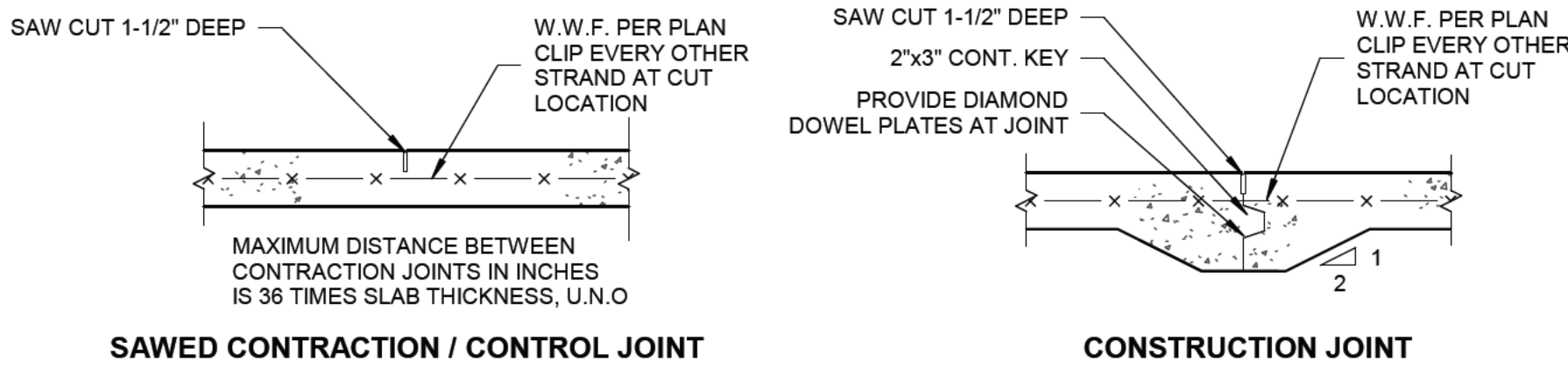
- General
 - Framing lumber work shall conform to the following governing standards:
 - American Institute of Timber Construction, "Timber construction Manual" latest edition.
 - National Forest Products Association "National Design Specifications for Wood Construction", latest edition.
- Products
 - Framing lumber shall have each piece grade stamped, shall be surfaced dry (except studs, which shall be kiln dried) and shall conform to the following species and grade:
 - Rafter, joists, beams, girders, studs and plates: Southern Yellow Pine #2
 - Preservative-treated wood shall conform to the following:
 - Provide treated southern yellow pine #2 lumber complying with ACQ-D (carbonate). Copper azole (CA-B) or sodium borate (SBX (dot) with NAS10/2)
 - ACZA treatment is not permitted.
 - Field treatment for cut or drilled treated wood shall be copper naphthenate. The concentration shall contain a minimum of 2% copper metal.
 - Engineered wood products shall conform to the following:
 - Wood I-joists: provide engineered wood I-joists, sizes and series as shown, as manufactured by Weyerhaeuser or approved equal.
 - Micro-lam (LVL) or Parallam (PSL) beams: provide engineered beams, sizes as shown, as manufactured by Weyerhaeuser or approved equal.
 - Rim boards: provide continuous 1-1/4" thick rim boards, Timberstrand LSL, as manufactured by Weyerhaeuser or approved equal.
 - Roof trusses: provide manufactured roof trusses, as shown on plan, to resist loads tabulated (including net uplift).
 - Wood structural panel sheathing shall conform to the following:
 - Provide structural I plywood sheathing with bond classifications appropriate to the use:
 - Exterior - permanent exposure
 - Exposure I - construction exposure only
 - Floor sheathing: nominal 3/4" thick T&G plywood (48/24 span rating), unless noted otherwise.
 - Roof sheathing:
 - Standard: nominal 5/8" T&G plywood (48/24 span rating), unless noted otherwise.
 - Under slate or clay tile: nominal 3/4" thick T&G plywood (32/16 span rating), unless noted otherwise.
 - Wall sheathing: nominal 1/2" thick WSP plywood sheathing, unless noted otherwise.
- All wood framing fasteners and hangers shall conform to the following:
 - Nails
 - Fasteners shall match the hanger finish and material.
 - Light gauge hangers:
 - Standard: required loads, finish and suggested hanger as indicated in the connection schedule.
 - In contact with preservative treated wood: hanger shall meet or exceed G1885 (1.85 oz. of zinc per square foot) or shall be stainless steel.

06100.3

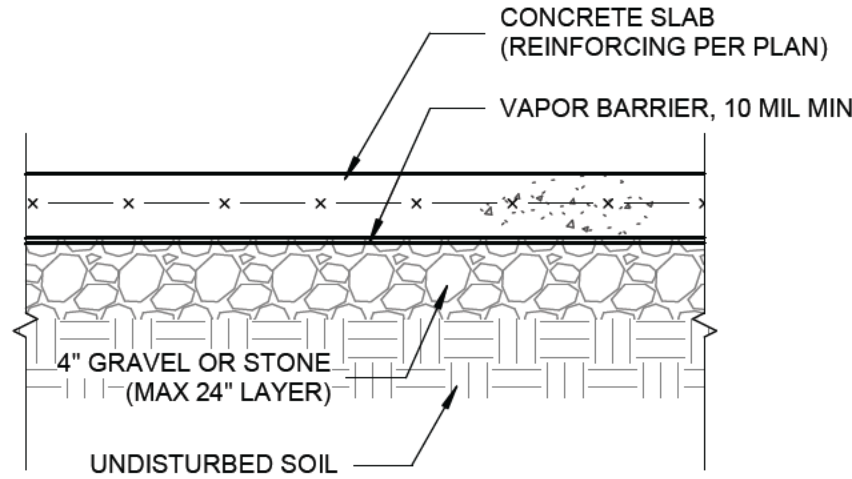
- All wood framing including details for bridging, blocking, fire stopping, etc., shall conform to the latest edition of the "National Design Specification for Wood Construction" and its supplements and shall be installed in accordance with the NFPA "Manual for House Framing" or the governing local/ state building code.
- All flush framed connections shall be made with approved galvanized steel joist or beam hangers, minimum 18 gauge, installed according to manufacturer's recommendations, unless noted otherwise.
- Stud bearing walls are to be 2x4 @ 16" on center at the interior and 2x6 @ 16" on center at the exterior, unless noted otherwise on plan.
- Lap all plates at corners and at intersection of partitions.
- Stagger all top and bottom plate splices a minimum of 32 inches.
- Use double studs at ends of wall and ends of openings.
- Where there is no plywood wall sheathing, provide diagonal at all exterior corners of stud walls at each floor. (1x4 braces let into studs and nailed at each stud crossing with (2) 10d nails.)
- No new or existing joists shall be cut or notched without approval.
- All lumber in contact with concrete or masonry, or otherwise indicated on plan, shall be pressure treated. All lumber in permanent exposure to the exterior shall be pressure treated.
- All sill plates shall be pressure treated and anchored to foundation walls with 1/2" diameter headed anchor bolts (ASTM F1554) 4'-0" on center and within 12" of all sill plates splices. (minimum 7" embedment)
- Treated lumber and/ or plywood that is cut or drilled after treatment shall be field treated with copper naphthenate by repeating brushing, dipping, or soaking until the wood absorbs no more preservatives.
- Use ply clips or other edge support as required for plywood sheathing.
- Leave 1/16" space at all plywood panel and joints and 1/8" space at all panel edge joints.
- Unless noted otherwise, wall sheathing shall fastened to framing with 8d common nails @6" on center at each sheet perimeter and 12" on center in field. Provide 2x6 blocking at all free edges.
- Unless noted otherwise, roof sheathing shall fastened to framing with 8d common nails @6" on center at each sheet perimeter and 12" on center in field.
- All floor sheathing shall be glued and fastened to floor joists using an APA approved adhesive and 10d common nails @6" on center at each sheet perimeter and 12" on center elsewhere, unless noted otherwise.
- Install engineered wood products in accordance with manufacturer's standard recommendations and details.
- Install rim boards at the perimeter of all floor platforms.



1 TYPICAL FLITCH BEAM



3 TYPICAL SLAB DETAILS



- NOTES:
- SAWED CONTRACTION JOINTS SHALL BE LOCATED AT A MAXIMUM SPACING IN INCHES OF 36 TIMES THE SLAB THICKNESS. JOINTS SHALL BE SAWED NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED.
 - CONSOLIDATE CRUSHED STONE SLAB BASE USING WALK-BEHIND PLATE COMPACTORS.

2 TYPICAL SLAB ON GRADE



**City of Richmond
Department of Planning
& Development Review**

Special Use Permit

LOCATION: 1001 Barlen Drive

APPLICANT: Fernando Pereze

COUNCIL DISTRICT: 9

PROPOSAL: To authorize the special use of the properties known as 1001 Barlen Drive for the purpose of two single-family detached dwellings, upon certain terms and conditions.

