

INTRODUCED: September 11, 2017

AN ORDINANCE No. 2017-187

To amend Ord. No. 2014-226-207, adopted Nov. 10, 2014, which authorized the special use of the property known as 707 East Main Street for two signs, to permit instead the installation of one new roof sign, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: OCT 9 2017 AT 6 P.M.

THE CITY OF RICHMOND HEREBY ORDAINS:

I. That Ordinance No. 2014-226-207, adopted November 10, 2014, be and is hereby amended and reordained as follows:

WHEREAS, the owner of the property known as 707 East Main Street, which is situated in a B-4 Central Business District, desires to use such property for the purpose of installing [~~two~~ one new roof [~~signs~~ sign], which [~~signs~~ sign], among other things, [~~are~~ is] not currently allowed by section [~~114-516~~ 30-516] of the Code of the City of Richmond [~~(2004)~~ (2015)], as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: OCT 9 2017 REJECTED: _____ STRICKEN: _____

set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section [~~44-1050.1~~] 30-1050.1 of the Code of the City of Richmond [~~(2004)~~] (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools,

parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 707 East Main Street and identified as Tax Parcel No. W000-0011/014 in the ~~[2014]~~ 2017 records of the City Assessor, being more particularly shown on a survey entitled “ALTA/ACSM Land Title Survey of Three Parcels of Land Containing 0.726 Acres and Located at the Corner of Main Street, 8th Street & Cary Street, City of Richmond, Virginia,” prepared by Youngblood, Tyler & Associates, P.C., and dated October 17, 2007, a copy of which is attached to and made a part of ~~[this ordinance]~~ Ordinance No. 2014-226-207, adopted November 10, 2014, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of installing ~~[two (2) roof signs]~~ one new roof sign, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled ~~[“Eight & Main Building – Skyline Signage,”]~~ “Dominion Energy, Signage Recommendations, 8th & Main – Richmond, 707 East Main Street, Richmond, VA,” prepared by ssg., dated ~~[April 16, 2014]~~ February 23, 2017, and last revised ~~[April 23, 2014]~~ April 3, 2017, ~~[and substantially as shown on the plans entitled “Dominion,” prepared by Architectural Graphics Incorporated, and dated July 16, 2014, both]~~ hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) ~~[Two roof signs]~~ One roof sign shall be installed on the Property~~[. One of these signs shall be mounted on the roof above the south face of the building, and the other sign]~~ and shall be mounted on the roof above the west face of the building, substantially as shown on the Plans.

(b) The roof signage shall not exceed an ~~[aggregate]~~ area of ~~[five hundred (500)]~~ 335 square feet~~[, allowing a maximum of two hundred fifty (250) square feet per individual roof sign]~~. The height of ~~[each]~~ the sign shall not exceed ~~[twelve (12)]~~ 13 feet and the width of ~~[each]~~ the sign shall not exceed ~~[thirty eight and a half (38 1/2)]~~ 36 feet. All roof signage shall be substantially configured and arranged as shown on the Plans.

(c) Materials and colors for the roof signs shall be substantially as shown on the Plans.

(d) The roof signs shall be internally illuminated substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, shall be approved by the Director of Public Utilities prior to the issuance of building permits.

(b) Storm or surface water shall not be allowed to accumulate on the land. The owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond [~~(2004)~~ (2015)], as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section [~~114-1220~~ 30-1220] of the Code of the City of Richmond [~~(2004)~~ (2015)], as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final,

non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections [~~114-1050.7~~] 30-1050.7 through [~~114-1050.11~~] 30-1050.11 of the Code of the City of Richmond [~~(2004)~~] (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section [~~114-1080~~] 30-1080 of the Code of the City of Richmond [~~(2004)~~] (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void or when the Special Use of the Property as authorized by this ordinance is abandoned for a period of 730 consecutive calendar days, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

II. This amendatory ordinance shall be in force and effect upon adoption.

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request

File Number: PRE. 2017.350

RECEIVED

AUG 31 2017

OFFICE OF CITY ATTORNEY

O & R Request

O & R REQUEST

4-6947

AUG 23 2017

Office of the
Chief Administrative Officer

DATE: August 22, 2017 EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer

THROUGH: Peter L. Downey, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Mark A. Olinger, Director, Department of Planning and Development Review

RE: Special use permit amendment for roof signage at 707 East Main Street.

ORD. OR RES. No. _____

PURPOSE: To amend Ord. No. 2014-226-207, adopted November 10, 2014, to authorize the special use of the property known as 707 East Main Street for the purpose of installing one roof sign, upon certain terms and conditions.

REASON: The property is zoned in the B-4 Central Business district, which does not allow roof signs. A special use permit was approved in 2014, authorizing the two roof signs currently mounted on the roof above the west and south faces of the building. The applicant is proposing to remove the sign from above the south face of the building. The applicant is also proposing to replace the sign above the west face of the building with a new sign that does not meet the standards of the current special use permit, requiring an amendment to the special use permit.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its October 2, 2017, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property consists of a 0.697 acre (30,361 SF) parcel of land improved with a 20-story office building constructed, per tax assessment records, in 1976. The property is located at the southwest corner of the intersection of East Main Street and South 8th Street, in the City Center district of the City of Richmond's Downtown Plan.

The property is zoned in the B-4 district, which does not allow roof signs. A variance was issued by the Board of Zoning Appeals in 1998 (Case Nos. 39-98 & 74-98) to allow an oversized wall sign at the top of the southern face of the building. The variance did not contemplate signage pertaining to the western face of the building. Therefore, a special use permit was approved in 2014, authorizing two roof signs, one above the south face of the building, one above the west face of the building. The special use permit limited the signage to an aggregate area of 500 SF (250 SF per individual roof sign). The height of each sign is limited to 12' and the width is limited to 38 ½'.

The applicant is proposing to remove the sign from above the south face of the building. The applicant is proposing to replace the sign above the west face of the building with a new sign that would be limited to an area of 335 SF, a height of 13' and a width of 36'.

The Downtown Plan designates the subject property as being in the "Urban Core Area". This area is characterized by high density, an intense mix of uses, and civic buildings of regional significance, distributed along urban blocks with wide sidewalks, regular street tree plantings, and buildings that front the street. City Center is an example of the urban core condition in Downtown Richmond, with tall buildings that contain a range of office, residential and retail space (p. 3.27).

The Pulse Corridor Plan designates the property for Downtown Mixed-Use land use, which features high-density development with office buildings, apartments, and a mix of complementary uses, including regional destinations (p. xi).

The subject property and adjacent properties are part of the larger B-4 district that encompasses much of the City Center district. A mix of office, commercial, multifamily residential, and governmental land uses are present in the vicinity.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$1,200 application fee

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: September 11, 2017

CITY COUNCIL PUBLIC HEARING DATE: October 9, 2017

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission, October 2, 2017

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: Amend Ord. No. 2014-226-207

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Map

STAFF: Matthew J. Ebinger, AICP, Principal Planner
Land Use Administration (Room 511) 646-6308

PDR O&R No. 17-32



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304

<http://www.richmondva.gov/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address: 707 East Main Street
Tax Map #: W000-0011/014 Fee: \$1200.00
Total area of affected site in acres: 0.697

Date: 8/11/2017

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: B4
Existing Use: Office Building

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

We propose to install a new sign on the building's roof.
Existing Use: Currently there is a sign on the roof with our old name,

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: James L. Mallon
Company: Dominion Energy, Inc. formerly Dominion Resources, Inc.
Mailing Address: 707 East Main Street
City: Richmond State: VA Zip Code: 23219
Telephone: (804) 771 3090 Fax: ()
Email: jim.mallon@dominionenergy.com

Property Owner: Dominion Energy, Inc. formerly Dominion Resources, Inc.
If Business Entity, name and title of authorized signee: James L. Mallon Commercial Facilities Construction Consultant

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 707 East Main Street
City: Richmond State: VA Zip Code: 23219
Telephone: (804) 771 3090 Fax: ()
Email: jim.mallon@dominionenergy.com

Property Owner Signature: James L. Mallon

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

August 11, 2017

Department of Planning and Development Review

Land Use Administration Division, Room 511

City Hall, 900 East Broad Street, Richmond, VA 23219

Dominion Energy SUP Amendment

8th & Main Building Rooftop Sign Request

Applicant's Report

Per the filing procedures for Special Use Permit (Amendment), below is a description of the proposed sign and reasons why none of the conditions identified will be in existence when this sign has been installed.

- a. ***"Be detrimental to safety, health, morals and general welfare of the community involved"*** – the sign will be installed safely on a weekend with strict safety measures typical of a Dominion Energy project. Besides that there will be no detriment to health, morals nor general welfare of the community.
- b. ***"Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved"*** – The sign installation will be performed on a weekend day and a WISP (work in street permit), consequently there will be signage and other safety measures protecting public safety and the weekend day work will eliminate congestion.
- c. ***"Create hazards from fire, panic or other dangers"*** – Lifting one sign onto the roof and attaching it will not cause any fire, panic or danger.
- d. ***"Tend to cause overcrowding of land and undue concentration of population"*** – This building sign will not affect land or concentration of population in any way".
- e. ***"Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements"*** – This building sign will not affect any of the aforementioned items in any way.
- f. ***"Interfere with adequate light and air"*** – This building sign will not impact light and air in any way and will simply replace an existing sign due to company name change.



**Dominion
Energy**

**Signage Recommendations
8th & Main - Richmond**

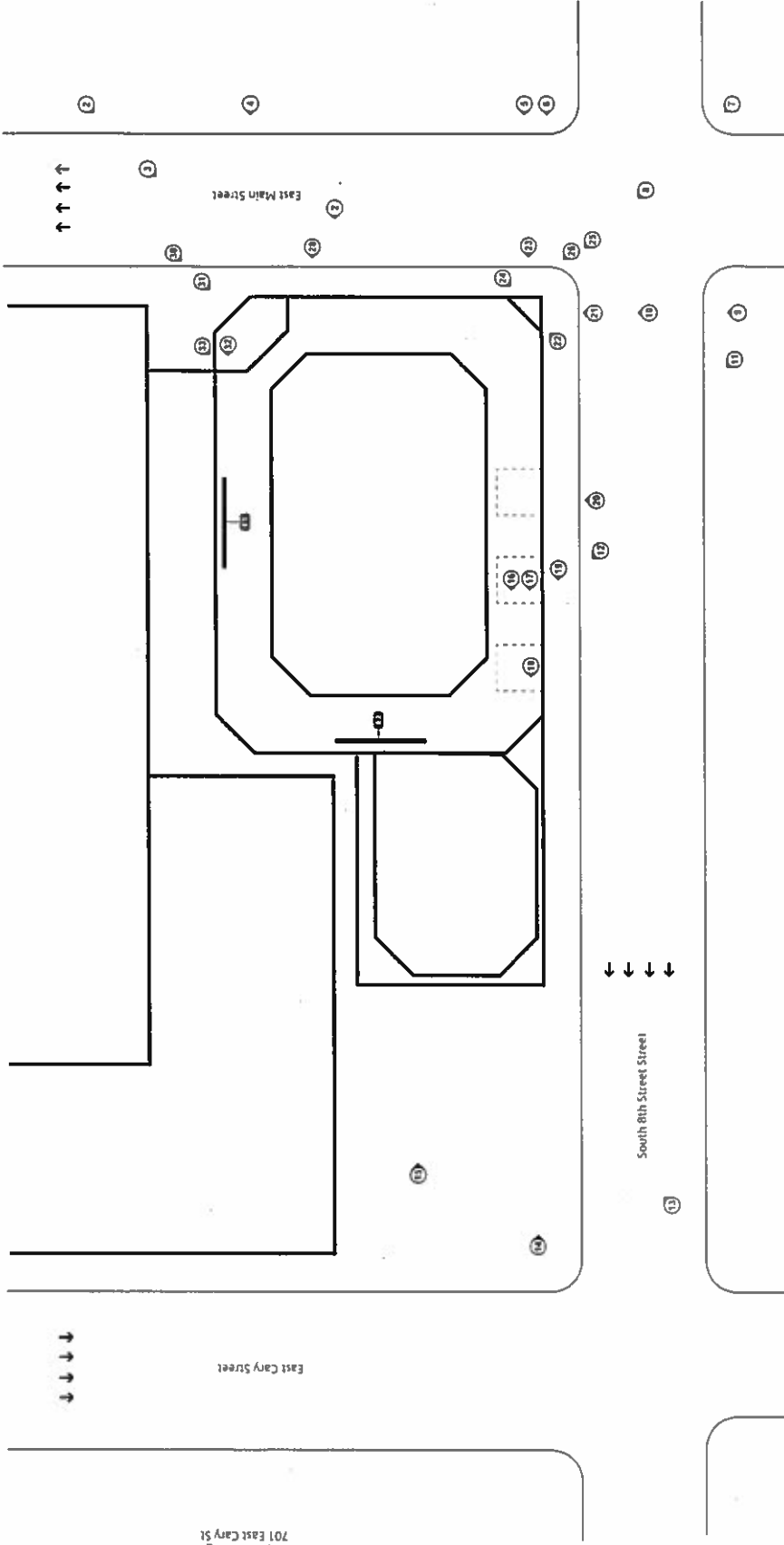
**707 East Main Street
Richmond, VA**

Date	Description of Revision
02/23/17	Final Design
02/22/17	01 Update
04/03/17	01 to 04 17-01 - Mechanical Markup, 3/2/17

SSG.

Site Plan

8th and Main - Richmond



List of Signs

8th and Main - Richmond

Existing Sign

- E1** 12'-6" Logo with 4'-0" Illuminated Rooftop Letters
- E2** 12'-6" Logo with 4'-0" Illuminated Rooftop Letters

Recommendation

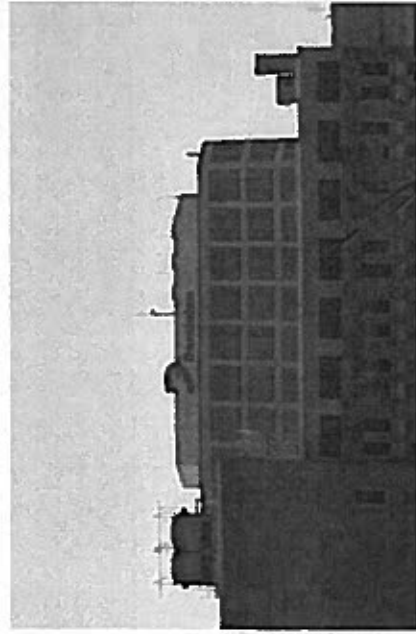
- R1** 12'-6" Illuminated Rooftop Sign with 3'-7" Letters
- R2** Remove, Do Not Replace

Recommended Signs

8th and Main - Richmond

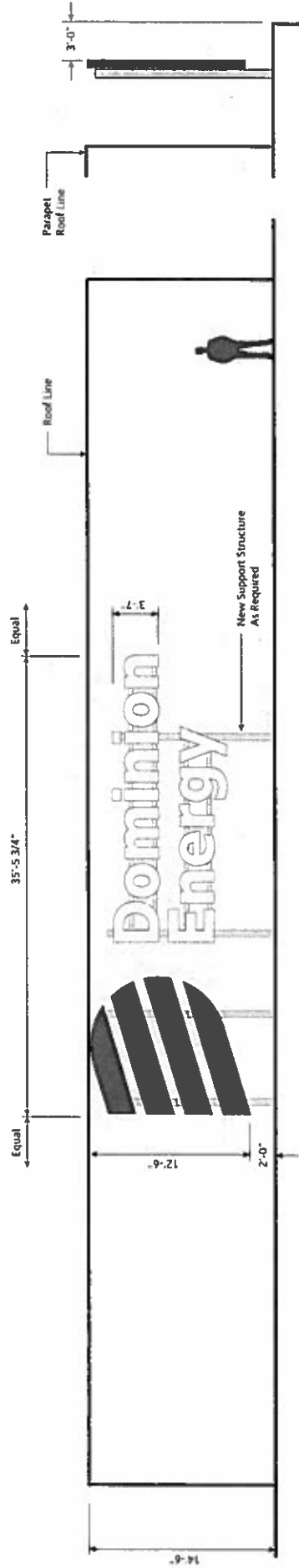
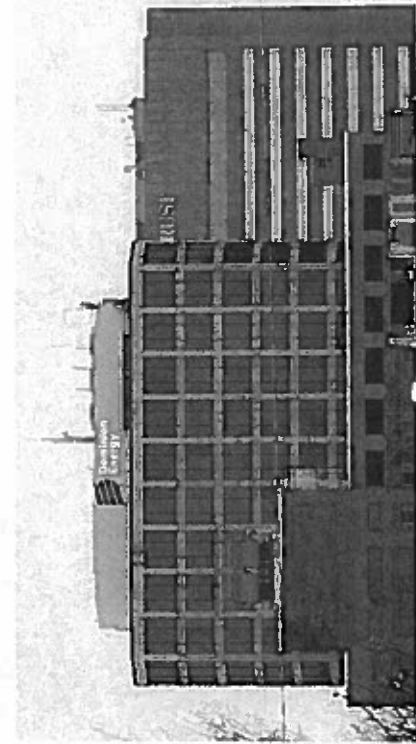
Existing Sign

E1 12'-6" Logo with 4'-0" Illuminated Rooftop Letters



Recommendation

R1 12'-6" Illuminated Rooftop Sign with 3'-7" Letters
Note: Sign to be centered on west elevation and not to exceed roof line



R1 12'-6" Skyline Building Sign with 3'-7" Letters (West Elevation)

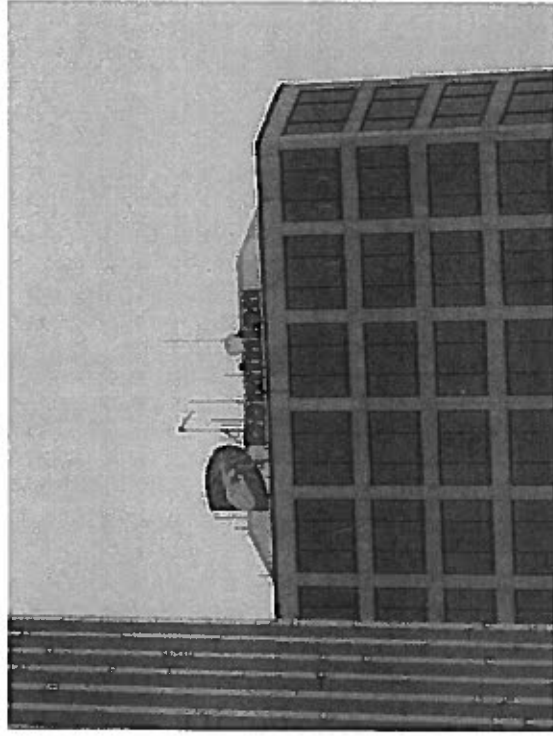
Scale: 1/8" = 1'-0"

Recommended Signs

8th and Main - Richmond

Existing Sign

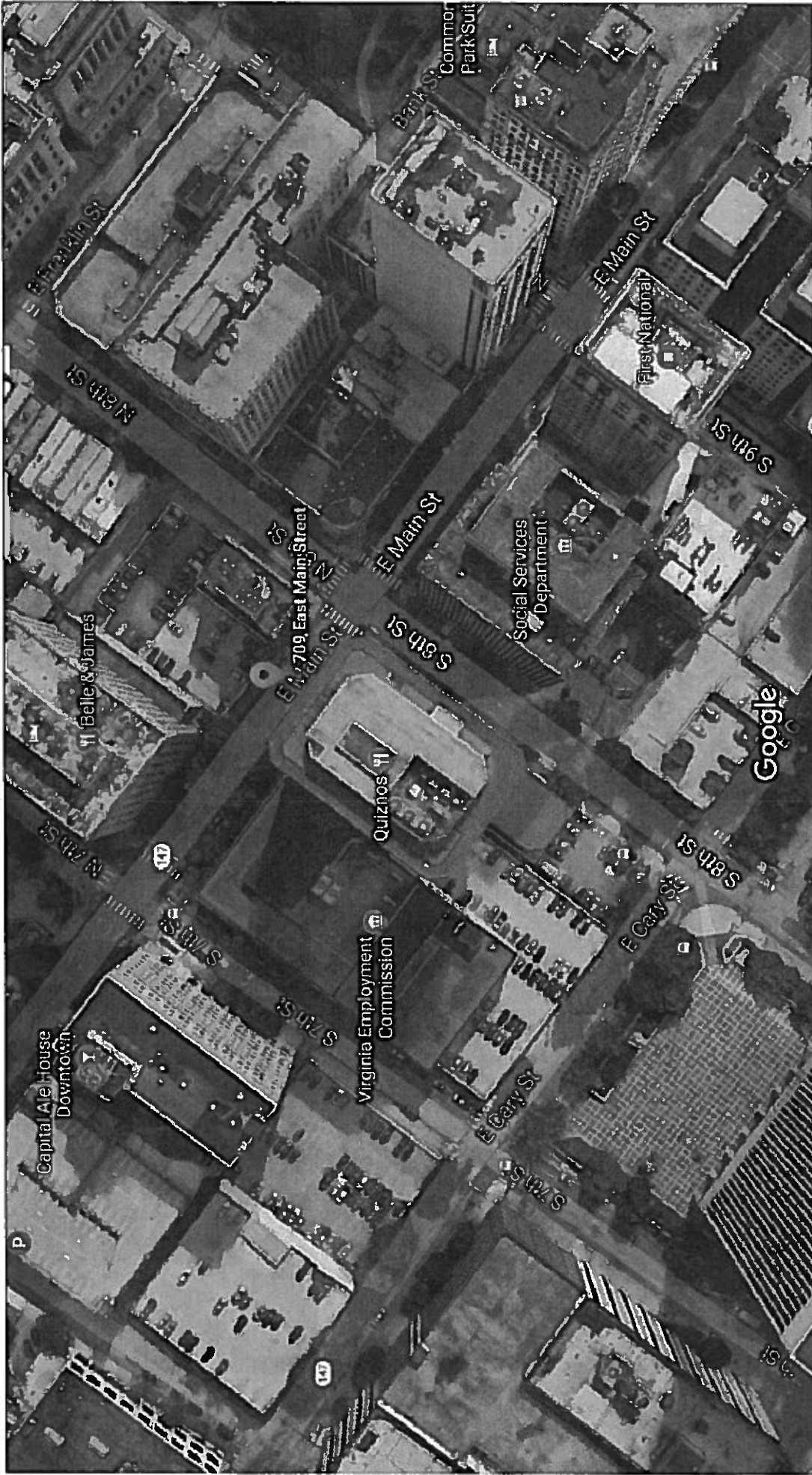
E2 12'-6" Logo with 4'-0" Illuminated Rooftop Letters

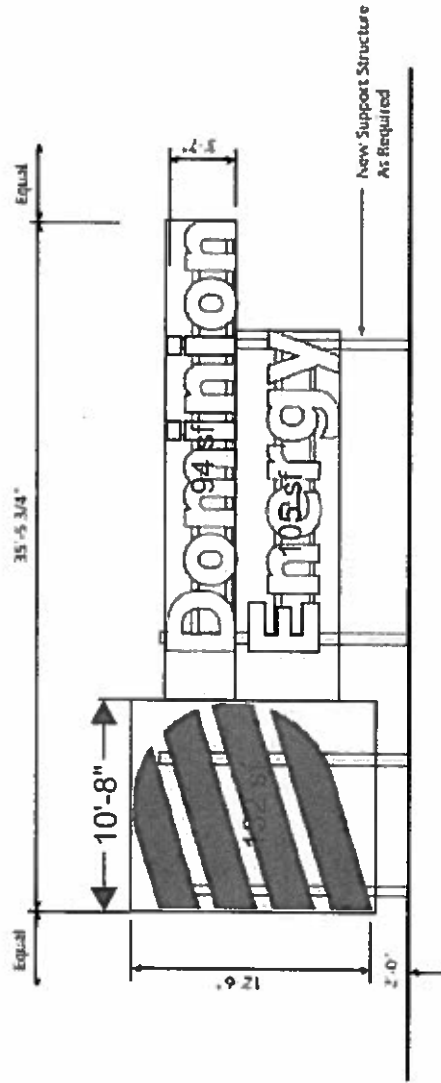


Recommendation

R2 Remove, Do Not Replace
Support Structure To Be Removed to 1'-0" Above Roof

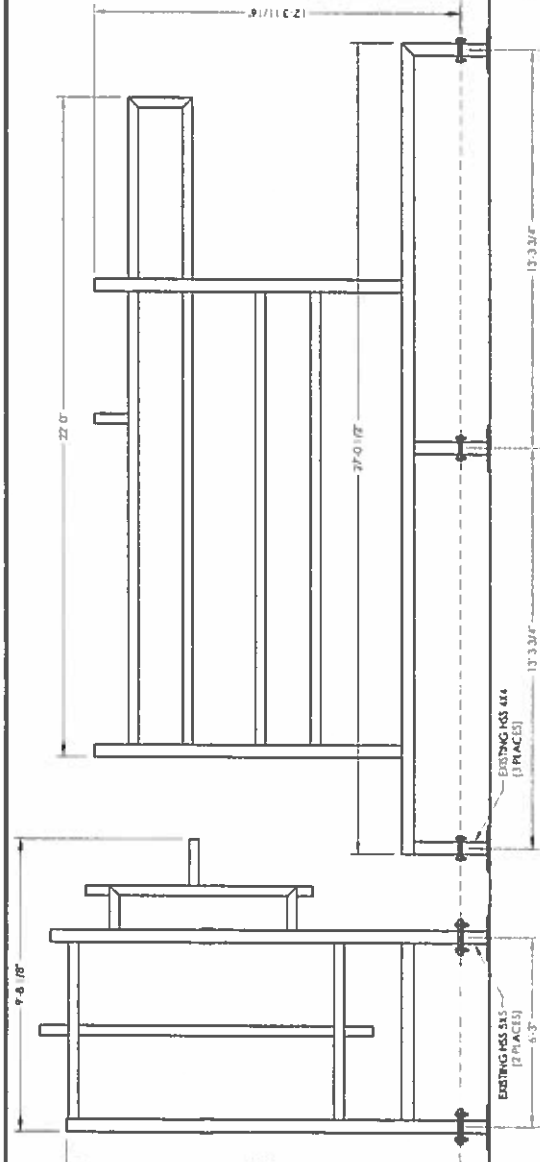
709 E Main St





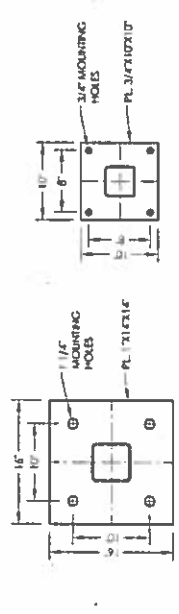
Custom Illuminated Logo

Qty: 1

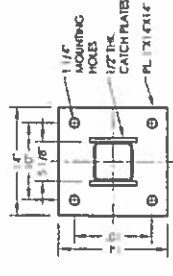


FRONT VIEW (SUPPORT FRAME)
SCALE 1:50

NOTE: SEE SHEET 3 OF 3 FOR CHANNEL LETTER INSTALLATION DETAILS.



LOGO MATCH PLATE DETAIL "A-A"
SCALE 1:18

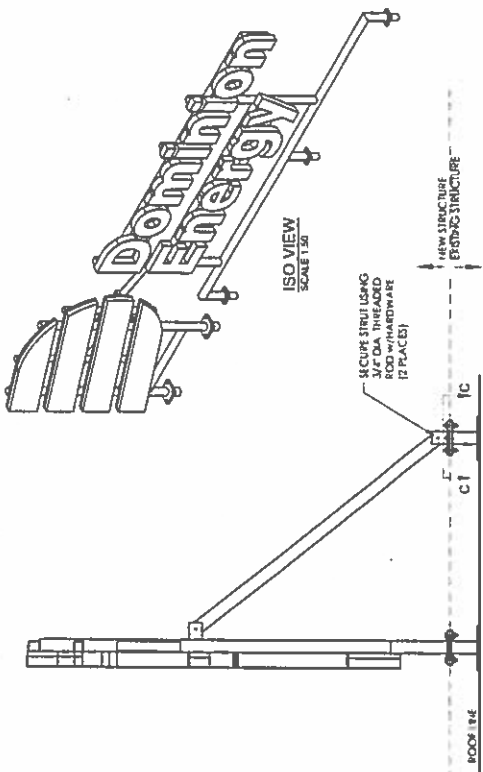


LETTERS MATCH PLATE DETAIL "B-B"
SCALE 1:18

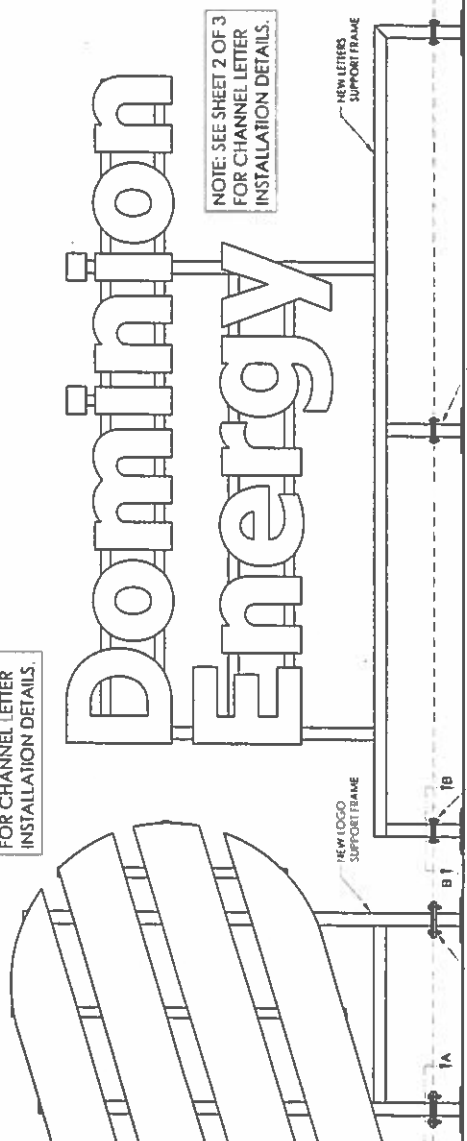


STRUT MATCH PLATE DETAIL "C-C"
SCALE 1:18

SIDE VIEW (FRAMEWORK)
SCALE 1:50



SIDE VIEW (SUPPORT FRAME W/SIGNS)
SCALE 1:50



FRONT VIEW (SUPPORT FRAME W/SIGNS)
SCALE 1:50

NOTE: SEE SHEET 2 OF 3 FOR CHANNEL LETTER INSTALLATION DETAILS.

<p>Everbrite 4949 SO. 1100th St. P.O. Box 20020 Greensfield, WI 53220 414.579.3200</p>	<p>INSTALLATION DRAWING</p> <p>THESE DRAWINGS ARE THE PROPERTY OF EVERBRITE, LLC. NO DUPLICATION IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION OF EVERBRITE, LLC IS STRICTLY PROHIBITED.</p>		<p>DATE: 5-25-17</p> <p>CHECKED BY: C.J.B.</p>	<p>DATE: 5-25-17</p> <p>CHECKED BY: C.J.B.</p>	<p>SCALE: AS SHOWN</p> <p>SHEET: 1 OF 3</p>	<p>PROJECT NO: 363029</p> <p>DRAWING NO: IN363029A1</p>	<p>REV: A</p>
	<p>DOMINION ENERGY STRUCTURAL SUPPORT FRAME FOR FLEX FACE ID, SIGN & CHANNEL LETTERS</p>		<p>DATE: 5-25-17</p> <p>CHECKED BY: C.J.B.</p>	<p>DATE: 5-25-17</p> <p>CHECKED BY: C.J.B.</p>	<p>SCALE: AS SHOWN</p> <p>SHEET: 1 OF 3</p>	<p>PROJECT NO: 363029</p> <p>DRAWING NO: IN363029A1</p>	<p>REV: A</p>

NOTE: IT IS THE INSTALLER'S RESPONSIBILITY TO IDENTIFY THE ACTUAL SITE CONDITIONS AND ADAPT THE INSTALLATION ACCORDINGLY

SEAL ALL PENETRATIONS!

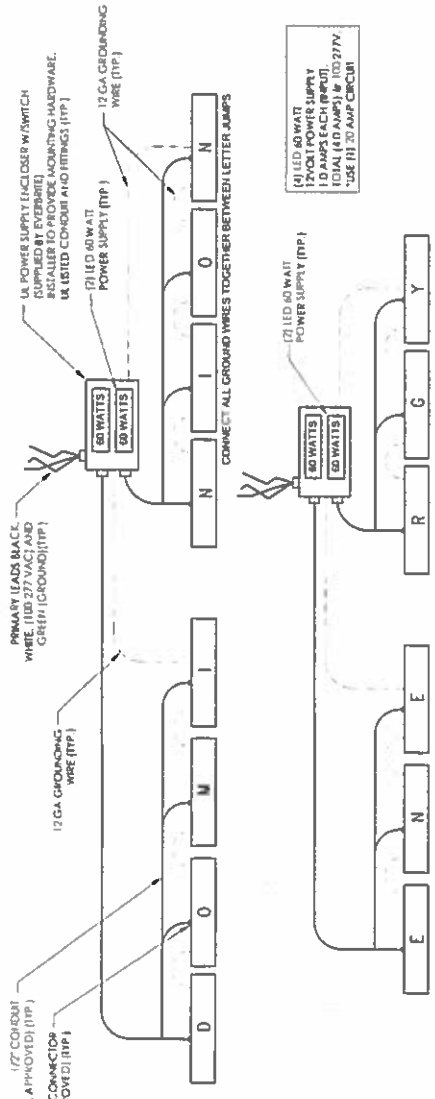
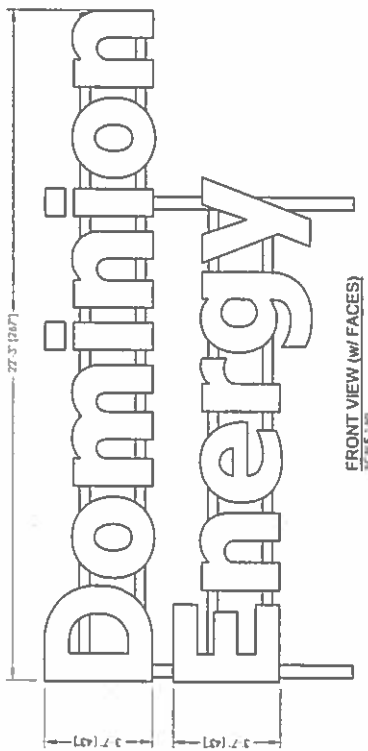
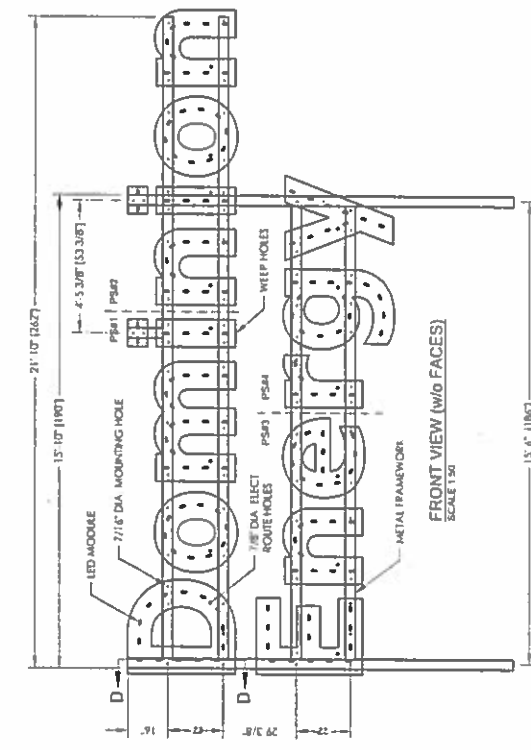
(1) 1/2" DIA ELECTRICAL INLET INSTALLER TO PROVIDE UL LISTED ELECTRICAL INLET (SEE WIRING DIAGRAM) (USE WIRING DIAGRAM)

(2) 3/8" DIA FASTENER TUBING DRILLED FOR 3/8" FASTENERS

WEEP HOLES

PLASTIC TRIM CAP W/ACRYL TUBING SUPPORT FRAME

WALL SECTION "D-D"
SCALE 1/8" = 1'-0"



GENERAL NOTES
INSTALLER TO PROVIDE COMPLETION PHOTOS OF MOUNTING/CONNECTION POINTS, WIRE ROUTING AND OVERALL ELEVATION.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

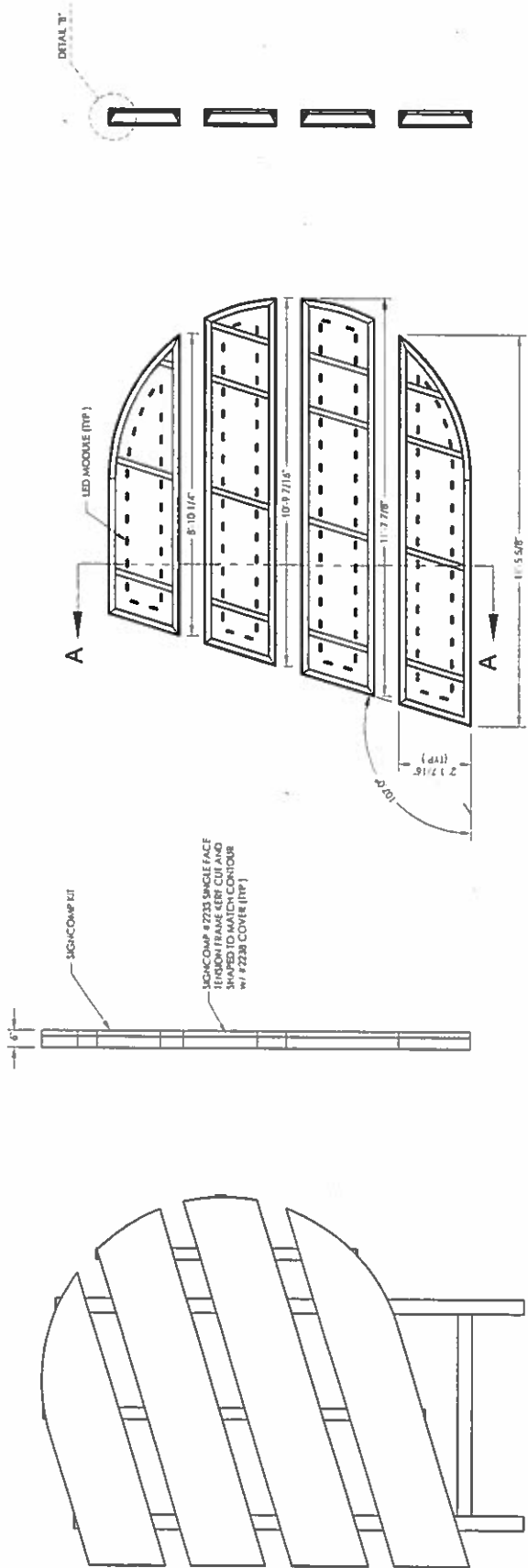
INSTALLER TO VERIFY SIGN IS PROPERLY INSTALLED, CONNECTED AND GROUNDING.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

INSTALLATION INSTRUCTIONS

1. OPEN PACKAGING CAREFULLY AND INSPECT FOR DAMAGE. IF DAMAGE IS FOUND, CLAIM IMST IMMEDIATELY.
2. PREPARE MOUNTING SURFACE TO BE SMOOTH AND LEVEL.
3. FILL ALL HOLES WITH SEALING FOAM TO MOUNTING THE SIGN.
4. ALIGN LETTERS TO MATCHING HOLES WHILE INSERTING FASTENERS THROUGH LETTERS INTO REARVUS.
5. MAKE FINAL ELECTRICAL CHECK UP TO PRIMARY WIRING OF POWER SUPPLIES THROUGH DRILLED HOLES.
6. TEST LIGHT FOR PROPER FUNCTION AND ILLUMINATION.
7. PERFORM TOUCH UP AS REQUIRED.
8. CLEAN INSTALLATION WORK SITE OF ALL EXCESS MATERIALS AND DEBRIS. DO NOT DISCARD ANY MATERIAL OR DEBRIS IN/ON SITE DUMPSTERS.

<p>Everbrite 4949 SO. 110TH ST. P.O. BOX 2000 GREENFIELD, WI 53720 414-579-3500</p>	<p>INSTALLATION DRAWING</p> <p>THIS DRAWING IS THE EXCLUSIVE PROPERTY OF EVERBRITE, LLC. USE OR REPRODUCTION IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION OF EVERBRITE, LLC IS STRICTLY PROHIBITED.</p>		<p>DATE: 5-25-17</p> <p>CHECKED BY: CJB</p> <p>DATE: 5-25-17</p>		<p>SCALE: AS SHOWN</p> <p>SHEET: 2 OF 3</p>	
	<p>PROJECT NO: 363029</p> <p>DRAWING NO: IN363029A2</p>		<p>DATE: 5-25-17</p> <p>CHECKED BY: CJB</p> <p>DATE: 5-25-17</p>		<p>SCALE: AS SHOWN</p> <p>SHEET: 2 OF 3</p>	
<p>CLIENT: DOMINION ENERGY 43" X 267" LED CHANNEL LETTER INSTALLATION TO SUPPORT FRAME</p> <p>ADDRESS: 709 EAST MAIN ST. RICHMOND, VA 23219</p>			<p>PROJECT NO: 363029</p> <p>DRAWING NO: IN363029A2</p>			



GENERAL NOTES
INSTALLER TO PROVIDE COMPLETION PHOTO OF MOUNTING/CONNECTION POINTS, WIRE ROUTING AND OVERALL ELEVATION.

THIS SIGN IS DESIGNED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

INSTALLER TO VERIFY SIGN IS PROPERLY INSTALLED, CONNECTED AND GROUNDED.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

INSTALLATION INSTRUCTIONS

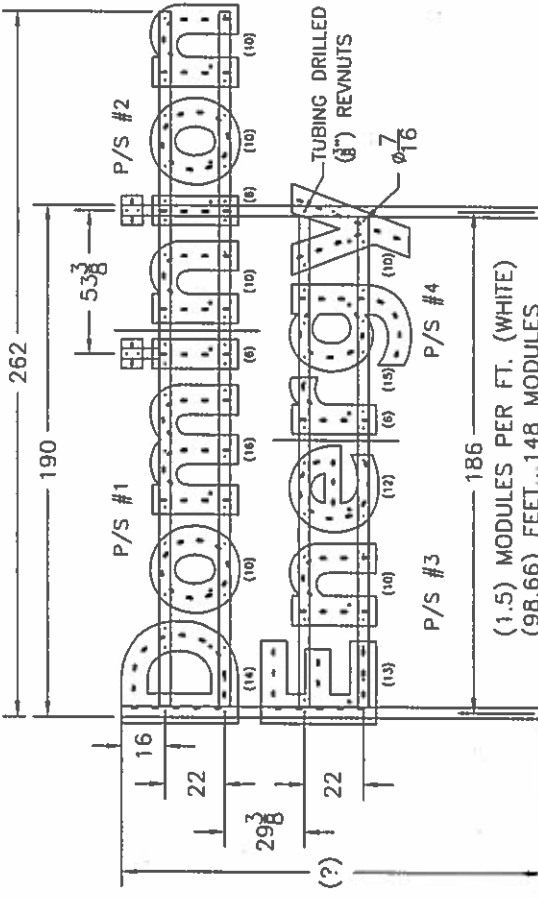
1. OPEN PACKAGING CAREFULLY AND INSPECT FOR DAMAGE. IF DAMAGE IS FOUND, CI/AMA MUST BE FILED WITHIN 30 DAYS WITH SHIPPING AGENT.
2. VERIFY SIGN IS CORRECTLY IDENTIFIED BY CHECKING THE SIGN.
3. ASSEMBLE SIGN FRAME TO MATCHING HOLES WHILE INSERTING FASTENERS THROUGH FRAME INTO REINFORCING.
4. ATTACH FLEX FACES PER ITR INSTRUCTIONS.
5. MAKE FINAL ELECTRICAL HOOK UP TO PRIMARY WIRING OF POWER SUPPLIES THROUGH DRILLED ELECTRICAL HOLES.
6. VERIFY SIGN IS PROPERLY GROUNDED AND ILLUMINATION.
7. PERFORM TOUCH UP AS REQUIRED.
8. CLEAN INSTALLATION WORK SITE OF ALL EXCESS MATERIALS AND DEBRIS. DO NOT DISCARD ANY MATERIAL OR DEBRIS ON-SITE DUMPSTERS.

ELECTRICAL SPECIFICATIONS

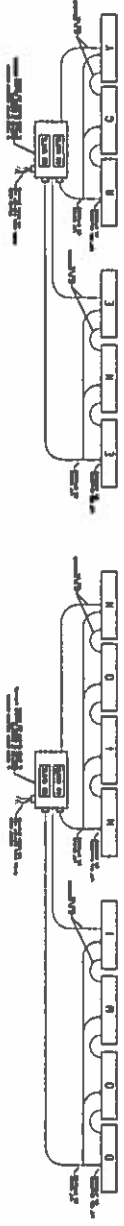
1. AREA OF SIGN: SQUARE: 133.3 SQ. FT.
2. AREA OF SIGN: ACTUAL (BUILT OUT): 133.3 SQ. FT.
3. POWER SUPPLY: (1) SLDAN MOD-40 40W
4. 4.0 AMP @ 120VAC
5. (1) 20 AMP CIRCUIT, 60 Hz, 120 V, 1.0 A, 1.0 EC
6. COMPLIANCE: WIRING WITH 12 GAUGE AWG WIRE. SIGN MUST BE GROUNDED WITH 12 GAUGE GREEN WIRE.

		INSTALLATION DRAWING		SITE		TITLE	
4947 SO. 110TH ST. P.O. BOX 20070 GREENFIELD, WI 53220 414.379.3500		SAJ 5-25-17 CJB 5-25-17		DE709 709 EAST MAIN ST. RICHMOND, VA 23219		DOMINION ENERGY 151" X 128" FLEX FACE I.D. SIGN INSTALLATION TO SUPPORT FRAME	
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REV. A DATE BY FOR [DESIGNATION]		DATE BY FOR [DESIGNATION]		SHEET 3 OF 3		REV. A	

Dominion Energy



*MODULAR 60, WET LOCATION, POWER SUPPLIES



- (4) LED 60 WATT POWER SUPPLIES
- 1.0 AMPS EACH (INPUT)
- TOTAL (4.0 AMPS) @100-277V
- *USE (1) 20 AMP CIRCUIT

AS INSTALLATIONS WILL VARY GREATLY FROM LOCATION TO LOCATION, IT IS IMPOSSIBLE TO PROVIDE SPECIFIC INSTALLATION INFORMATION. TYPICAL INSTALLATION WILL INCLUDE A TOTAL OF (68), 7/16" AND (14), 7/8" POWER HOLE LOCATIONS, UTILIZING 3/8" (SIZE) NUTS, BOLTS, LACS, SHIELDS, ETC. (NOT PROVIDED).

NOTE: FRANCHISEE IS RESPONSIBLE FOR PROVIDING A POWER SOURCE TO THE SIGN

FACE	THICK	COLOR
.177 POLY	#7328	WHITE
.080 ALUM		WHITE
TRIMCAP	1"	WHITE
LED	N/A	SLOAN PRISM WHITE, 6500K
RETURN	.040 ALUM	WHITE
REMOTE, ENCLOSED	POWER SUPPLIES (4)	

NOTE: 204.66 FT. OF FILLER

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

APPROVED BY: KAITLIN JACH FROM: BRIAN G. HALL DATE: 05/16/17

NOTE: ORDER CANNOT BE PROCESSED FROM ENGINEERING TO MANUFACTURING WITHOUT CUSTOMER APPROVAL DELAYS IN DELIVERING NECESSARY APPROVAL WILL AFFECT PROJECTED SHIP DATE

Everbrite
4949 So. 110th St.
P.O. Box 20020
Greenfield, WI 53220
414-529-3500

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SCALE: NTS

DATE: 05/16/17

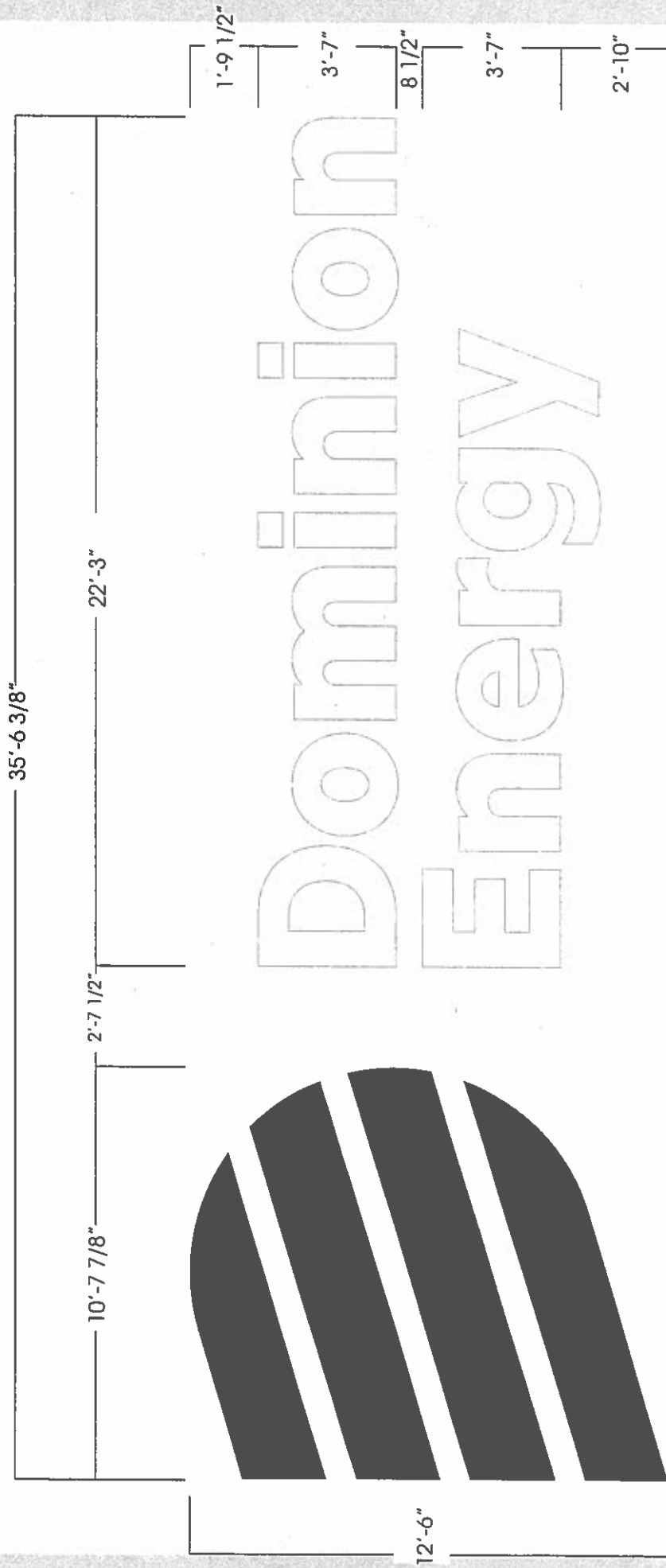
BY: BGH

CD: NTS

TITLE: LTR, DOM 43" LED

REV: A

SHEET 1 OF 1



**Dominion
Energy**



DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For actual requirements, actual dimensions and marking detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.

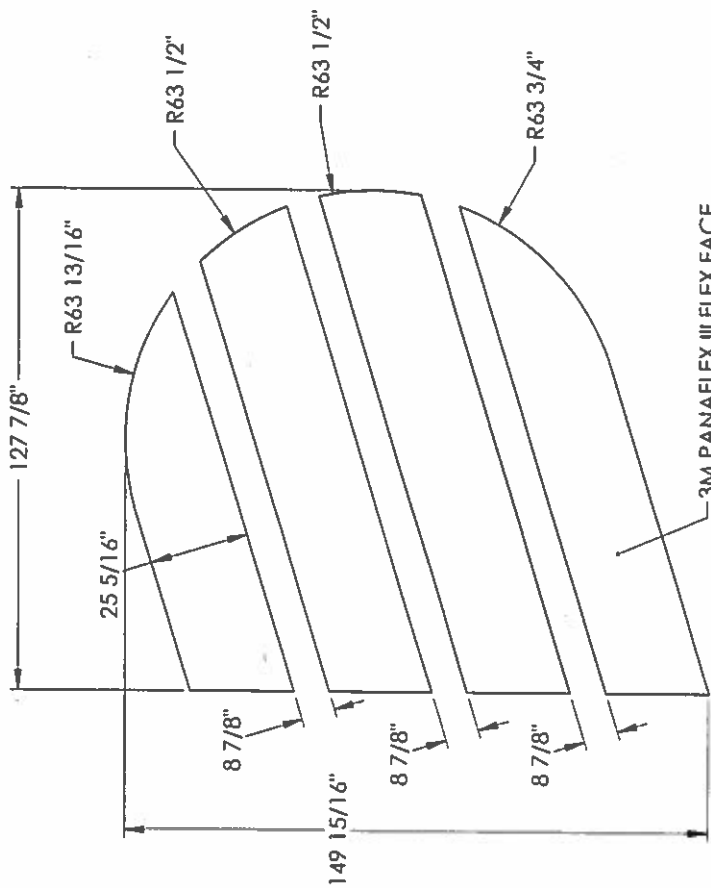
Customer Approval: Graphics and colors on file will be used unless otherwise specified by customer. Please review drawing carefully. By signing below, you agree to graphics as shown above, and to location of sign as shown. Please return signed copy back to Everbrite.

Customer: Dominion Energy
Project No: 363029-1
Date: 4/27/17
Location & Site No: 709 E. Main St. Richmond, VA Site: DE709

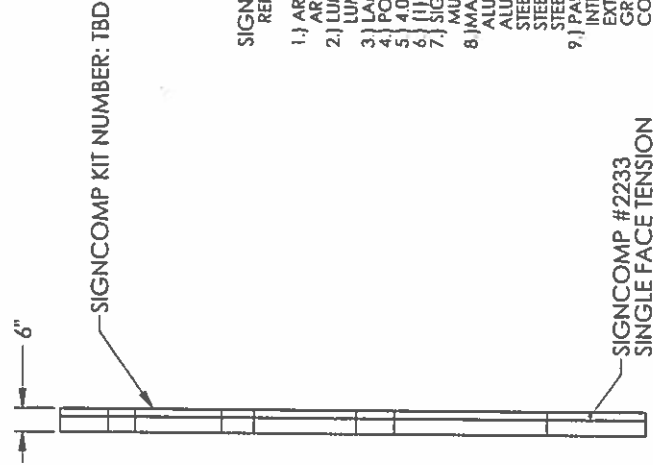
Description:
 43" Channel Letter Set

Scale: 1/4" = 1'-0"
Drawn By: RB

Revised:	CUSTOMER SIGNATURE	DATE
Revised:	LANDLORD SIGNATURE	DATE



3M PANAFLEX III FLEX FACE
 PRINTED BLUE TO MATCH MATTHEWS
 MP77904 TYP. FACE NUMBER: TBD



SIGN, DE 12'6"X10'8" LOGO FLEX
 REFERENCE PROJECT REQ.

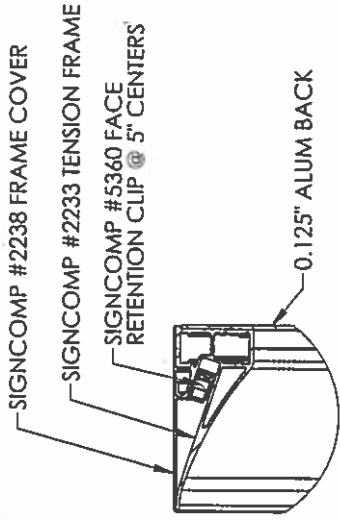
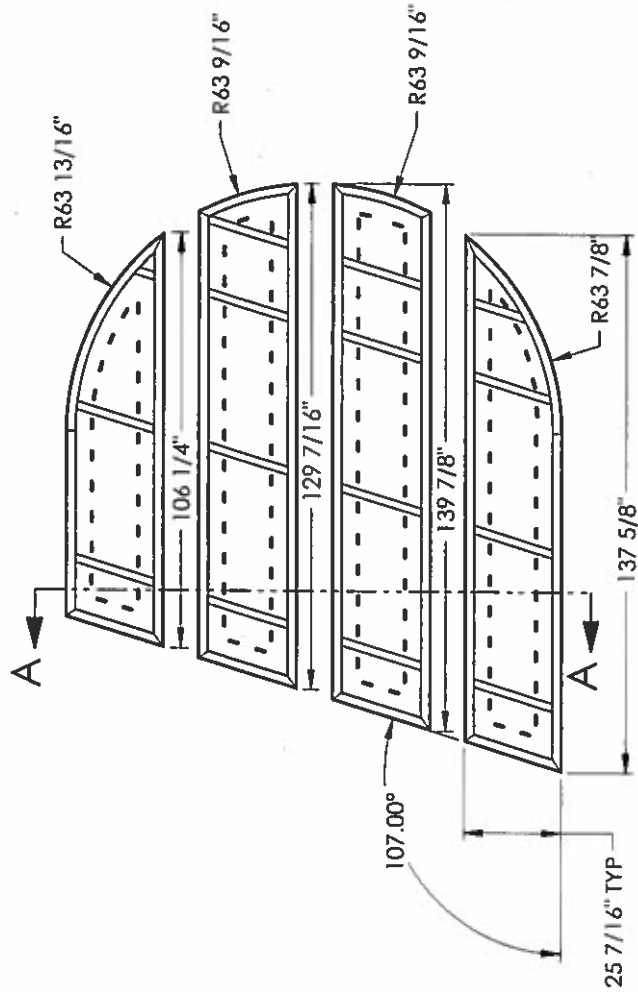
- 1.) AREA OF SIGN - SQUARED: 133.3 SQ. FT.
- 2.) AREA OF SIGN - ACTUAL: 81.0 SQ. FT.
- 3.) LUMENS TOTAL:
- 4.) LUMENS PER SQ. FOOT:
- 5.) LAMPS: SLOAN PRISM 6500K LED (115)
- 6.) POWER SUPPLY: SLOAN MOD-60 60W (4)
- 7.) 4.0 AMPS @ 120VAC
- 8.) (1) 20 AMP CIRCUIT, 60 Hz UL 48 & NEC COMPLIANT
- 9.) SIGN IS TO BE WIRED WITH 12 GAGE MTW WIRE. SIGN MUST BE GROUNDED WITH 12 GAGE GREEN WIRE.
- 10.) MATERIAL SPECIFICATIONS:
- 11.) ALUMINUM SHAPES: 6063-T5
- 12.) ALUMINUM SHEETS: 3003-H14
- 13.) STEEL SHAPES: ASTM A36
- 14.) STEEL SHEET: ASTM A591
- 15.) STEEL TUBE: ASTM A500B
- 16.) PAINT SPECIFICATIONS: (SIGN)
- 17.) INTERIOR: WHITE
- 18.) EXTERIOR: MATTHEWS MP77904 BLUE SATIN FINISH
- 19.) GRAPHIC AND COLOR SPECIFICATIONS: (FACE) COLOR: PMS ARLON
- 20.) PREFERRED DECORATION METHOD: PRINTED FLEX FACE
- 21.) MAXIMUM DESIGN WIND LOAD: MPH
- 22.) MAXIMUM WIND SPEED 3-SECOND GUST- EXPOSURE C.
- 23.) EST. WEIGHT OF UNCRATED SIGN:
- 24.) CRATED VOLUME OF SIGN:
- 25.) SIGN WILL BE SERVICEABLE BY ACCESS PANELS

SIGNCOMP #2233
 SINGLE FACE TENSION
 FRAME KERF CUT AND
 SHAPED TO MATCH
 CONTOUR W/ #2238
 COVER TYP

NAME	DATE	SCALE	1:32	WEIGHT	SHEET 1 OF 3
DAP	05/19/17	COMMENTS:			
DRAWN	CHECKED	ENG APPR.	MFG APPR	G.A.	TITLE:
UNLESS OTHERWISE SPECIFIED:					
DIMENSIONS ARE IN INCHES					
TOLERANCES:					
FRACTIONAL: 1/16"					
ANGULAR: MATCH: 1 DEG					
BEND: 1 DEG					
WELD: PLACE DECIMAL: ±.010					
HOLE: PLACE DECIMAL: ±.010					
INTERFERE GEOMETRIC TOLERANCE: PER					
MATERIAL:					
FINISH:					
DO NOT SCALE DRAWING					
USED ON	APPLICATION	DATE	BY	REV	REV
				B	PROJ363029A A
SIGN, DE 12'6"X10'8" LOGO FLEX					

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DETAIL B
SCALE 1 : 4

UNLESS OTHERWISE SPECIFIED:	NAME	DATE	SCALE:	WEIGHT:	SHEET 3 OF 3
DIMENSIONS ARE IN INCHES	DRAWN	08/19/17	1:32		
FRACTIONAL 1/16"	DATE				
ANGULAR MATCH 1 DEG	CHKD				
BEND 1 DEG	ENG APPR.				
TWO PLACE DECIMAL ± .010	DATE				
THREE PLACE DECIMAL ± .010	APPR.				
PERMIT GEOMETRIC TOLERANCING PER:	DATE				
MATERIAL	DATE				
FRESH	DATE				
USED ON	DATE				
APPLICATION	DATE				
TEST ASSY	DATE				
POSTED	DATE				

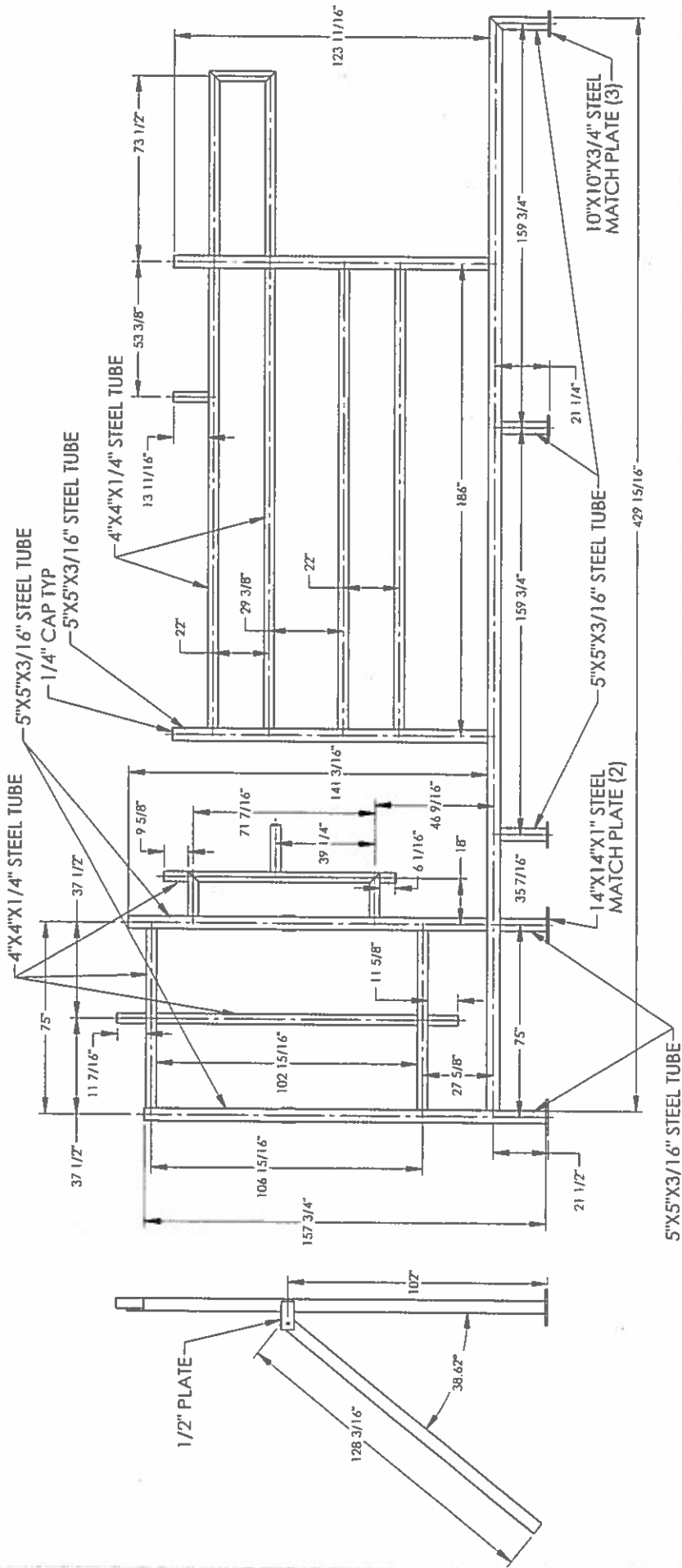


TITLE:
SIGN, DE 12'6"X10'8" LOGO FLEX

SIZE DWG. NO. REV
B PROJ363029A A

NOTES:

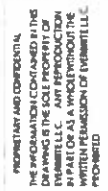
- 1.) SHIELDED METAL-ARC WELDED BY CERTIFIED WELDER IN ACCORDANCE WITH AWS D1.1-83 CODE WITH E70XX ELECTRODES
- 2.) ALL PLATES TO BE ASTM A36 UNLESS NOTED
- 3.) ALL TUBE STEEL TO BE A 500 UNLESS NOTED



UNLESS OTHERWISE SPECIFIED:	DRAWN	CHECKED	DATE	SCALE	WEIGHT	SHEET
DIMENSIONS ARE IN INCHES	DAP		05/19/17	COMMENTS		OF 2
FRACTIONAL						
ANGULAR MATCH 1 DEG						
BEND ± 1 DEG	ENG APPR					
TWO PLACE DECIMAL ± 0.01	MFG APPR					
THREE PLACE DECIMAL ± 0.001	Q.A.					
INTERFET GEOMETRIC TOLERANCING PER						
MATERIAL	TITLE:					
FINISH						
DO NOT SCALE DRAWING						

REV	SIZE	DWG. NO.
A	B	PROJ363029C

FRAME, DE SUPPORT FOR FFS & CL

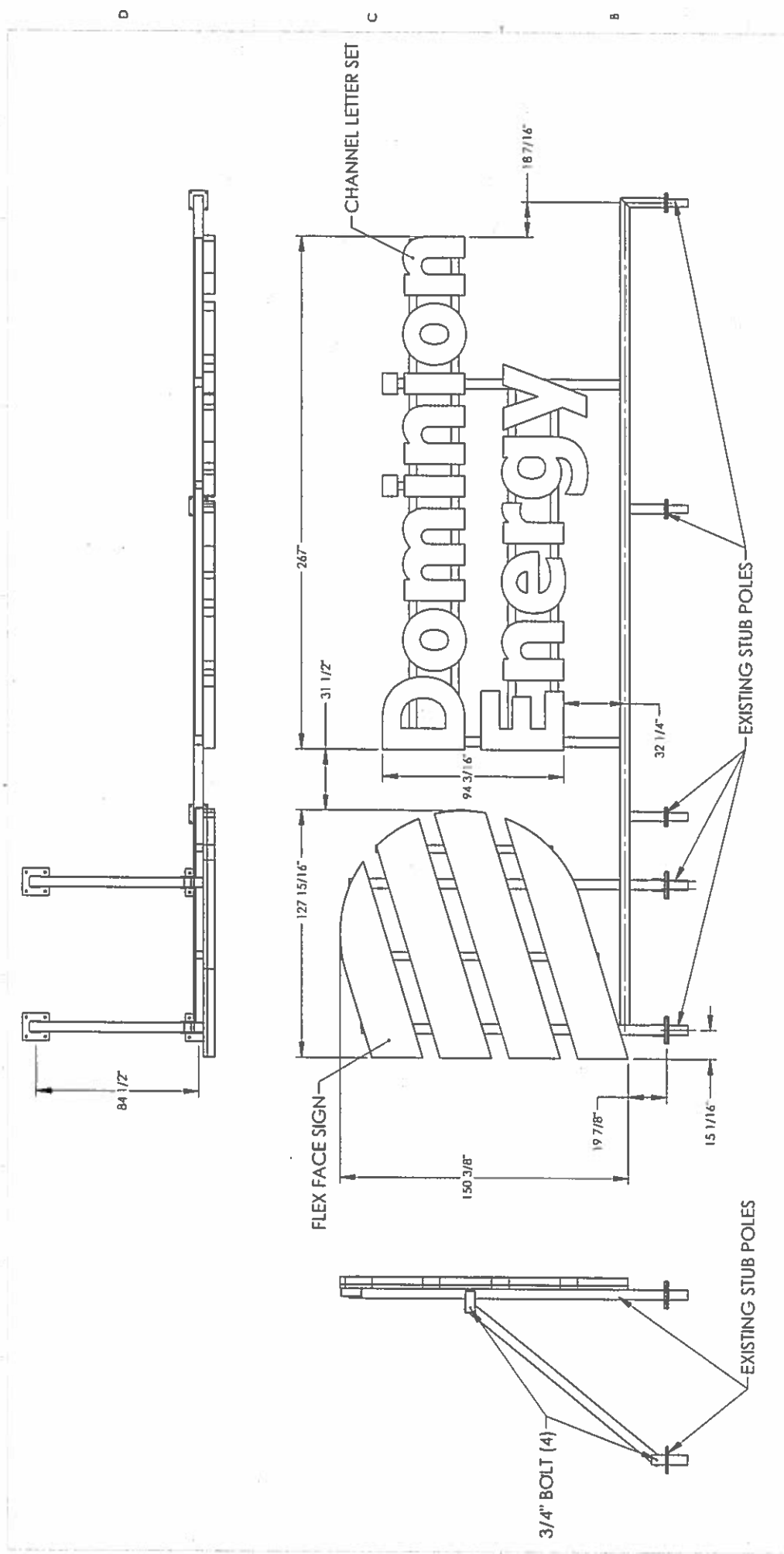


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1 2 3 4 5 6 7 8



UNLESS OTHERWISE SPECIFIED:	NAME	DATE	SCALE:	WEIGHT:	SHEET
DIMENSIONS ARE IN INCHES	DAP	05/17/17	1:50		2 OF 2
TOLERANCES:	DRAWN				
FRACTIONAL: 1/16"	CHECKED				
ANGULAR: MATCH: 1 DEG	ENG APPR				
BEND: 1 DEG	ENG APPR				
WELD: AS SHOWN	ENG APPR				
THREE PLACE DECIMAL: ±.010	O A				
TWO PLACE DECIMAL: ±.010	TITLE:				
PREFER GEOMETRIC TOLERANCING PER:					
MATERIAL:					
FRESH					
DO NOT SCALE DRAWING					

REV A
 B PROJ363029C
 TITLE: FRAME, DE SUPPORT FOR FFS & CL
 USED ON APPLICATION
 1/8" X 1/4" ASSY
 4
 5
 6
 7
 8