



COMMISSION OF ARCHITECTURAL REVIEW
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 128 W. Clay Street

Historic district _____

Date/time rec'd:	_____
Rec'd by:	_____
Application #:	_____
Hearing date:	_____

APPLICANT INFORMATION

Check if Billing Contact

Name Michelle Pebbles

Phone (804) 304-8172

Company Architecturally Yours

Email architecturallyyours@hotmail.com

Mailing Address 1371 Cedar Lawn Ave

Richmond VA 23231

Applicant Type: Owner Agent

Lessee Architect Contractor

Other (please specify): _____

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name Clifford Chambliss

Company _____

Mailing Address P.O. Box 25541

Phone (804) 986-1325

Richmond VA

Email chamblisscb@gmail.com

PROJECT INFORMATION

Project Type:

Alteration

Demolition

New Construction for addition
 (Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Interior Renovation, new roof top multi-purpose room & roof top deck

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

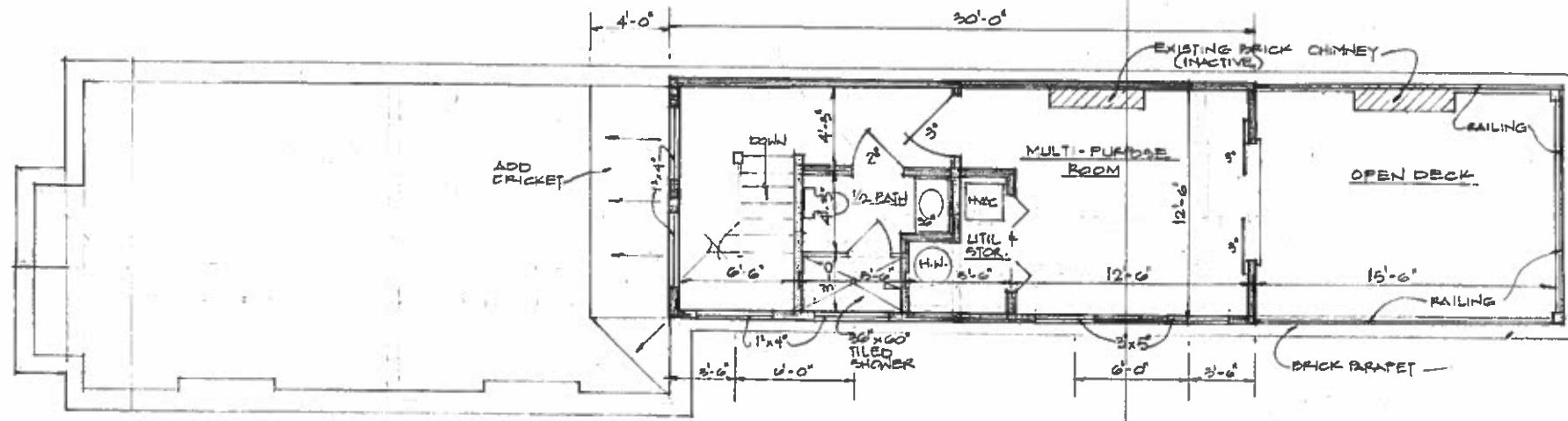
Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

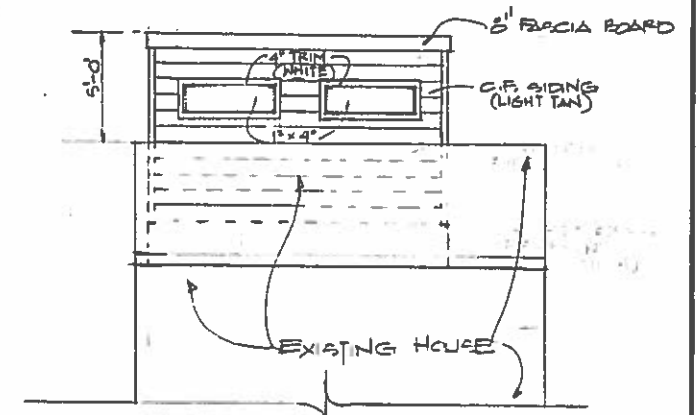
Signature of Owner

Cliff Chambliss

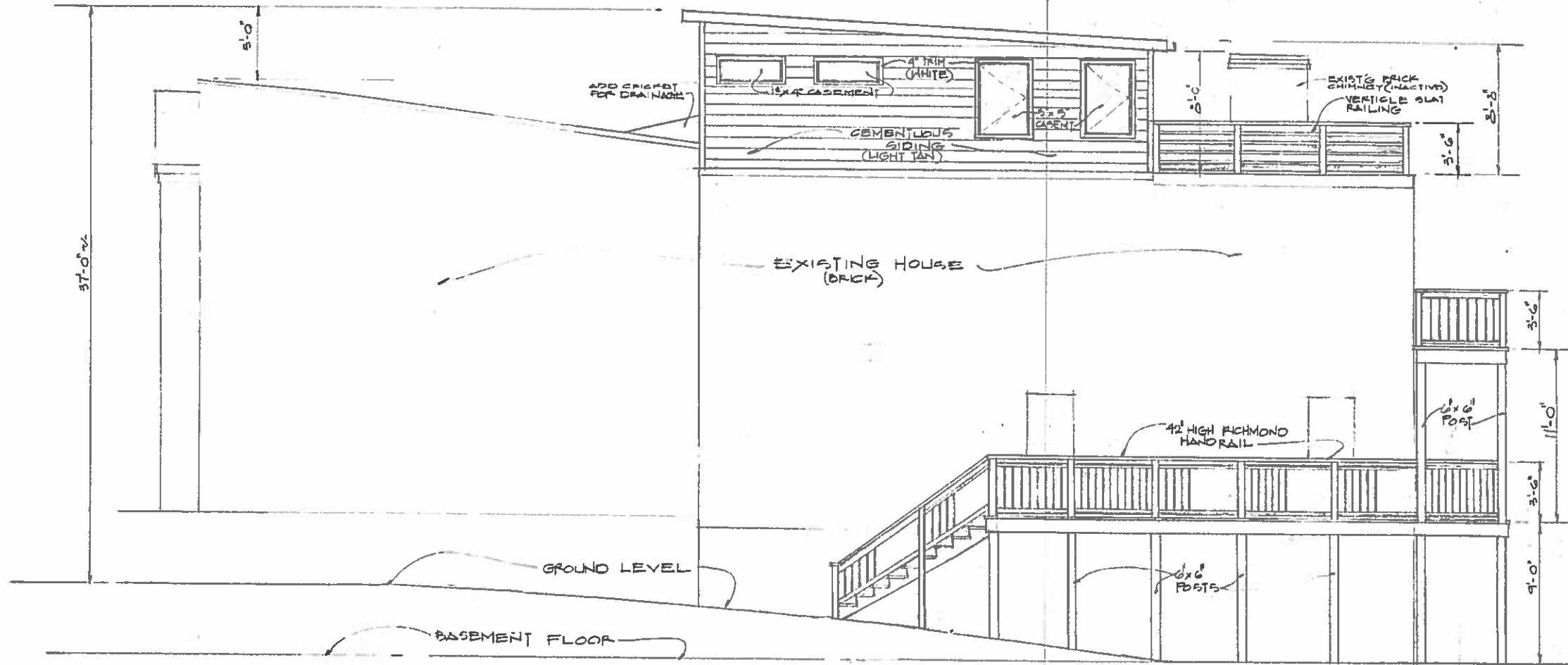
Date 5-11-21



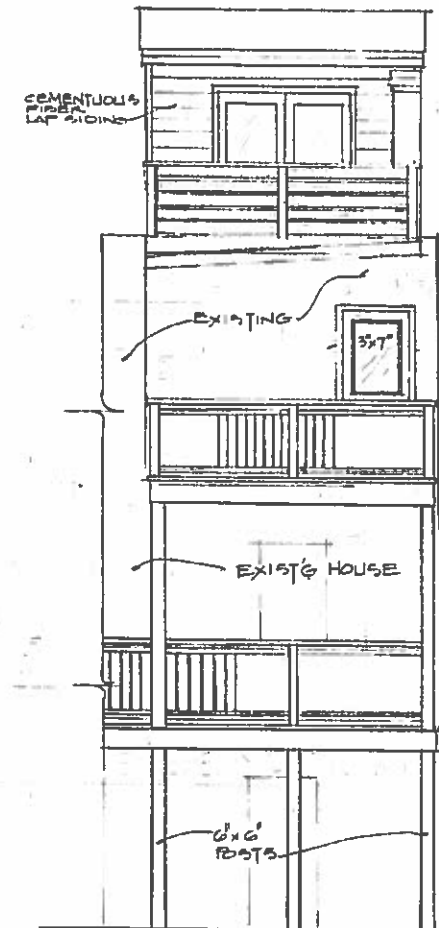
ROOF TOP PLAN 1/4"=1'-0"



FRONT ELEVATION 1/4"=1'-0"



SIDE ELEVATION 1/4"=1'-0"



REAR ELEVATION 1/4"=1'-0"

REVISIONS	BY

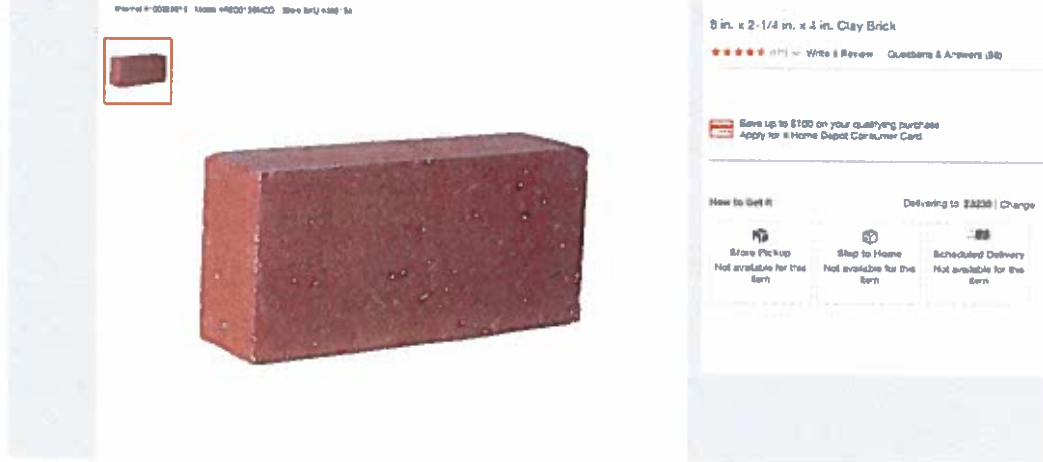
KEJ ARCHITECTS
 ARCHITECTURE - INTERIORS - URBAN DESIGN
 100 WEST FRANKLIN STREET, SUITE 400
 RICHMOND, VA
 (804) 788-0338

PROPERTY RENOVATION
 128 WEST CLAY ST., RICHMOND
 MR. CLIFF CHAMBLISS

Date 5-4-21
 Scale 1/4"=1'-0"
 Draw n6
 Job CHAMBLISS
 Sheet 3
 of 3 Sheets

128 W. Clay St.

Siding – Brick siding to match the existing home; likely to be painted with the home.



Rail – cast iron railing to match the front façade and general character of the neighborhood.



Door – black folding doors to match the wrought iron

