



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 524 N 21st St
Historic district Union Hill

Date/time rec'd:	_____
Rec'd by:	_____
Application #:	_____
Hearing date:	_____

APPLICANT INFORMATION

Name Ernie Chamberlain
Company Wayne Ventures LLC
Mailing Address 413 N Stafford Ave
Richmond, VA 23220

Phone 804-921-4307
Email ernie@georgeRVA.com
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

See Attached.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner *Ernie Chamberlain* Date 9/16/19



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 524 N 21st St, Richmond, VA 23223

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

September 16, 2019
Watney Ventures LLC (Ernie Chamberlain) – Owner
524 N 21st St, Richmond, VA 23223

Commission of Architectural Review:

We are very excited about the prospect of getting started with a new multi-family home in the Union Hill neighborhood. The general concept for the home is very similar to other multi-family homes found throughout the neighborhood, including 966 Pink St and 821 N 24th St.

This multi-family home features 2,376 finished square feet with 1,188 square feet on both floors. Each unit will have 2 bedrooms and 2 full baths, hardwood floors throughout with tile in the bathrooms. Each unit will be equipped with onsite washer/dryer.

Foundation: Per the soil report obtained on 9/6/19 by KBJW, all concrete shall be minimum 3000 psi, only new deformed reinforcing steel shall be used, grade 60 ksi, all reinforcing steel shall be tied and supported with rebar stakes or chairs, all interior pier footings shall be excavated and reinforced as continuous footings, all footings shall bear on undisturbed soil unless fill has been tested, and certified as being capable of supporting the structure planned. Minimum soil bearing pressure shall be 2000 psf. All steel shall have a minimum overlap of 12 inches.

Siding: Smooth Hardie plank boards.

Windows: The preference here would be aluminum clad windows, white in color.

Doors: The front and rear doors are planned to be steel, tempered with 14" transom.

Roof: Pre-engineered wood trusses with white TPO roofing material.

Paint Colors: We're open to suggestions but will use the Richmond Old and Historic Districts Handbook.

Per the Richmond Old and Historic Districts Handbook, page 46:

"New construction should use a building form compatible with that found elsewhere in the historic district. Building form refers to the specific combination of massing, size, symmetry, proportions, projections and roof shapes that lend identity to a building. Form is greatly influenced by the architectural style of a given structure. New residential construction should maintain the existing human scale of nearby historic residential construction in the district."

We believe our proposed multi-family unit meets the above standard and is very much compatible with the surrounding buildings and structures.

Materials Used in Construction of the home include but may not be limited to:

(taken from attached plans)

BLDG ELEVATION MATERIAL KEYNOTES									
1	PARGED CONCRETE TO GRADE, TYP.	6	WOOD FRAMED PORCH, PAINTED.	11	STEEL DOOR W/TRANSOM AND PAINTED MOULDING SURROUND	16	EPMD ROOFING AT PORCH ROOF	22	1X6 PAINTED RAKE BOARD
2	6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH	7	T&G WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD.	12	ARCHITECTURAL SHINGLES, TYP	17	BEADED VINYL SOFFIT, TYP	23	PVC BEADED PORCH PANELING
3	FIBER CEMENT SIDING TRIM AT CORNERS	8	6X6 DECORATIVE WOOD PAINTED COLUMN	13	BRICK PIERS, TYP	18	PVC PICTURE FRAME MOULDING, TYP	24	GLASS GILDED HOUSE NUMBERS
4	PVC BRACKET BKT12X12GP	9	1X6 PAINTED WOOD TRIM FASCIA	14	WOOD LATTICE BELOW DECK	19	PVC DENTIL MOULDING FYPON MLD354-12	25	ARCHITECTURAL SHINGELS
5	WOOD "RICHMOND RAIL" RAILING, PAINT FINISH	10	TWO PANEL WOOD DOOR W/TRANSOM & MOULD SURROUND	15	DECORATIVE FYPON WINDOW HEADER	20	PVC BRACKET FYPON BKT7X18	26	12"X32" FOUNDATION VENT
						21	VENTS, SEE FOUNDATION PLAN	27	18"X24" GABLE VENT, TYP

Please let me know what else we can do to improve our proposal and any necessary changes required by the committee.

Thank you,

Ernie & Tawny Chamberlain
Watney Ventures LLC

524 N 21ST STREET DEVELOPMENT

NORTH CHURCH HILL CORNER - RICHMOND, VA

DATE	DESCRIPTION	BY	APPR
9-2-19	ELEVATIONS CORRECT		
7-20-19	FINAL PLANS		
7-13-19	CLIENT REVIEW		
11-3-18	CLIENT REVIEW		

PENN & CO.
 42296 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 675-4592 PHONE
STRUCTURAL ENGINEER INFO

SEA

HOMETOWN REALTY
 "The Exceptional Exception"
MATT JARREAU
 (804) 762-8092 PHONE
INVESTOR REPRESENTATIVE

APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	--- [DRW, JRP, S] CHK [JRP, S]

524 N 21ST STREET DEVELOPMENT
 CITY OF RICHMOND, VIRGINIA
 COVERSHEET

SCALE	
PROJECT NO.	2019-02
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
C-001	

SYMBOL LEGEND

COLUMN TAG	DETAIL LETTER
BEAM TAG	POINT OF VIEW
FOOTING TAG	SHEET NUMBER
STAIR TAG	SECTION CUT PLANE
POINT LOAD	SECTION NUMBER
	POINT OF VIEW
	SHEET NUMBER

PENN & CO.
 P.O. BOX 4481
 FAIRFAX, VA 22038
 Phone: (703) 675-4592

SQUARE FOOTAGE CALCULATIONS

ELEVATION:	ITALIANATE	AREA	UNFINISHED
1ST FLOOR	1,188 SF	FRONT PORCH	108 SF
2ND FLOOR	1,188 SF	REAR PORCH	108 SF
TOTAL	2,376 SF	TOTAL	216 SF

BUILDING CODE:
 PROJECT SHALL CONFORM TO THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

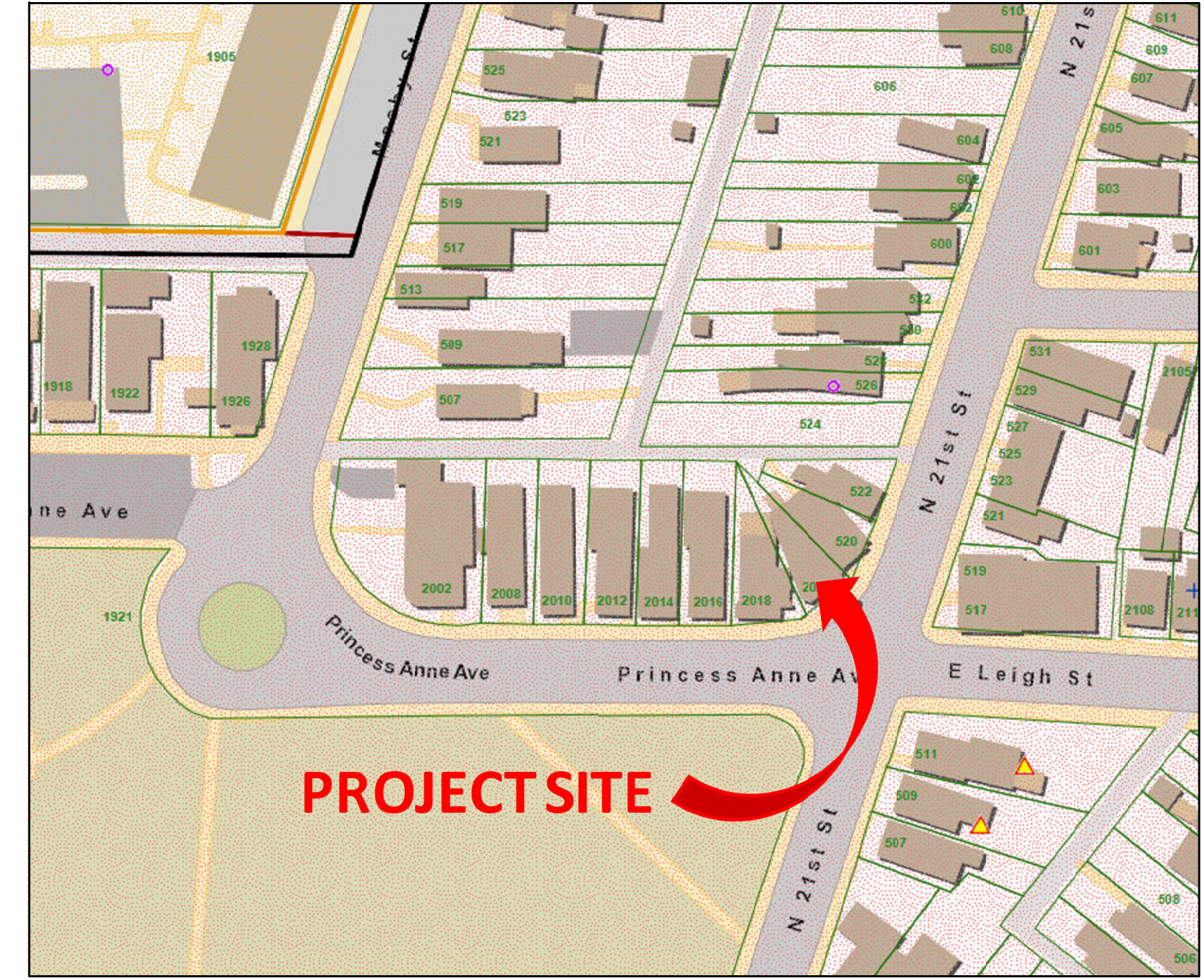
CITY OF RICHMOND APPLICABLE DOCUMENTS/PERMITS:
 COMMISSION OF ARCHITECTURAL REVIEW PROJECT NUMBER:

RICHMOND CITY ORDINANCE:
 ZONED R-63
 SETBACKS:
 REQUIRED FRONT YARD: 15' DESIGNED FRONT YARD: 26'
 REQUIRED SIDE YARD: 3' DESIGNED SIDE YARDS: 3.5'
 REQUIRED REAR YARD: 5' DESIGNED REAR YARD: 57'
 DESIGNED HEIGHT: 2 STORIES, 26'±

LOT SIZE & COVERAGE:
 LOT AREAS: 3,765 S.F.
 DESIGNED COVERAGE: 1,188 S.F.
 MAX COVERAGE: 32%
 DESIGNED COVERAGE RATIO: 47%

SHEET INDEX

PAGE NUMBER	DESCRIPTION
C-001	COVERSHEET
A-101	FOUNDATION AND FIRST FLOOR PLAN
A-102	SECOND FLOOR AND ROOF PLAN
A-103	BUILDING SECTION
A-104	SCHEDULES AND FIRE WALL INFORMATION
A-201	FRONT AND LEFT ELEVATIONS
A-202	REAR AND RIGHT ELEVATIONS
S-001	GENERAL NOTES
S-101	FIRST AND SECOND FLOOR FRAMING PLAN
S-102	ROOF FRAMING PLAN
S-103	FIRST AND SECOND FLOOR BRACED WALL PLAN
S-104	SECTIONS AND DETAILS AND BRACED WALL CALCULATIONS
S-105	TYPICAL SECTIONS AND DETAILS



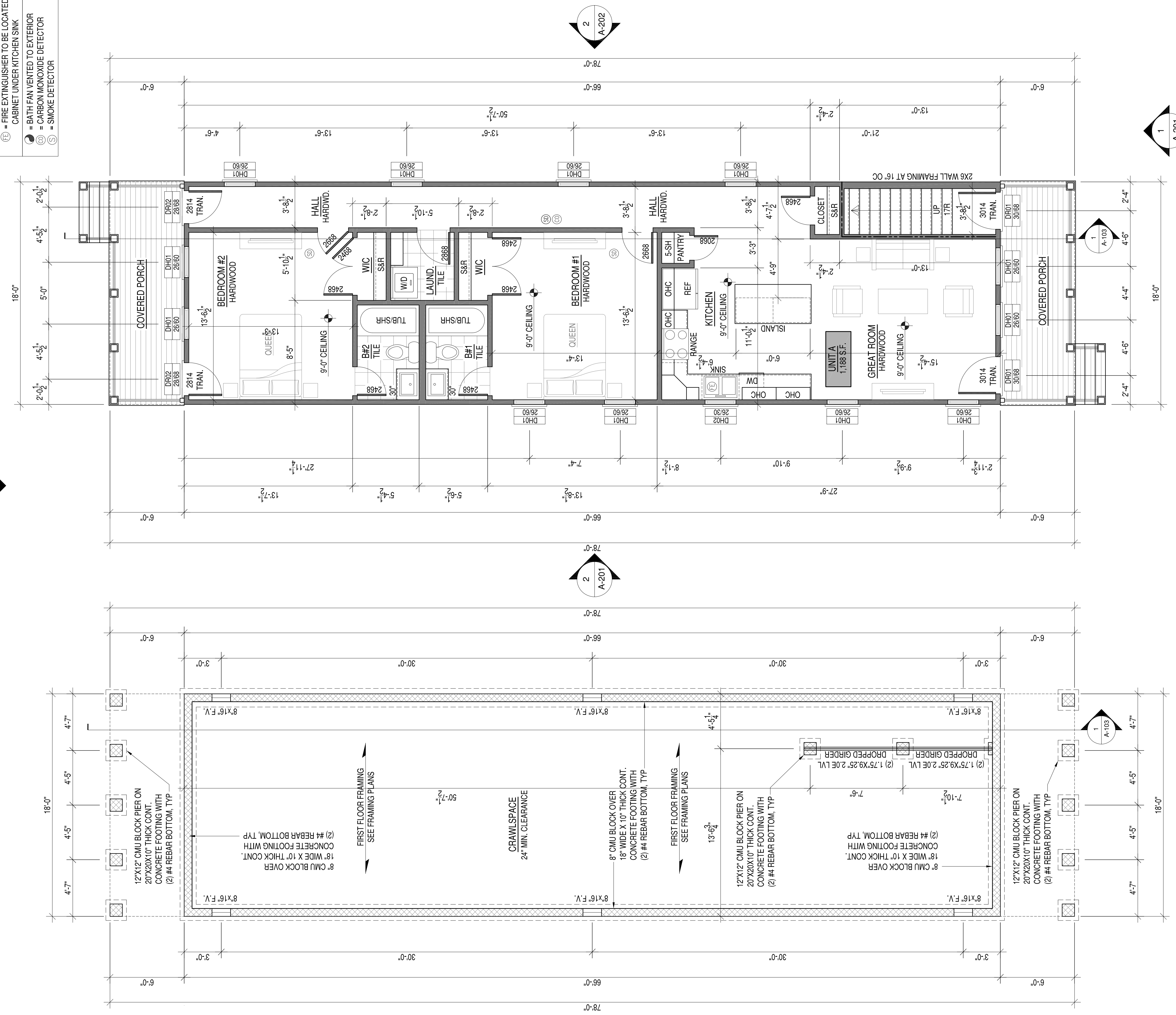
VICINITY MAP

STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE.
TREADS TO BE 9" MIN. WITH 1" NOSING.
HANDRAILS & PICKETS:
36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
LABEL DRYER VENT LENGTH ON DUCT
ALL DRYWALL TO BE 1/2"

FE = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
= BATH FAN VENTED TO EXTERIOR
= CARBON MONOXIDE DETECTOR
= SMOKE DETECTOR

FIRE-RATED STAIR WELL WALLS
STAIR WELL FIRE WALLS TO BE 1 HOUR FIRE-RATED ASSEMBLY U344.
SEE SHEET A-104

FIRE-RATED FLOORING
CEILING TO BE WEYERHAEUSER 1 HOUR FIRE-RATED CEILING ASSEMBLY E.
SEE SHEET A-104



FIRST FLOOR PLAN

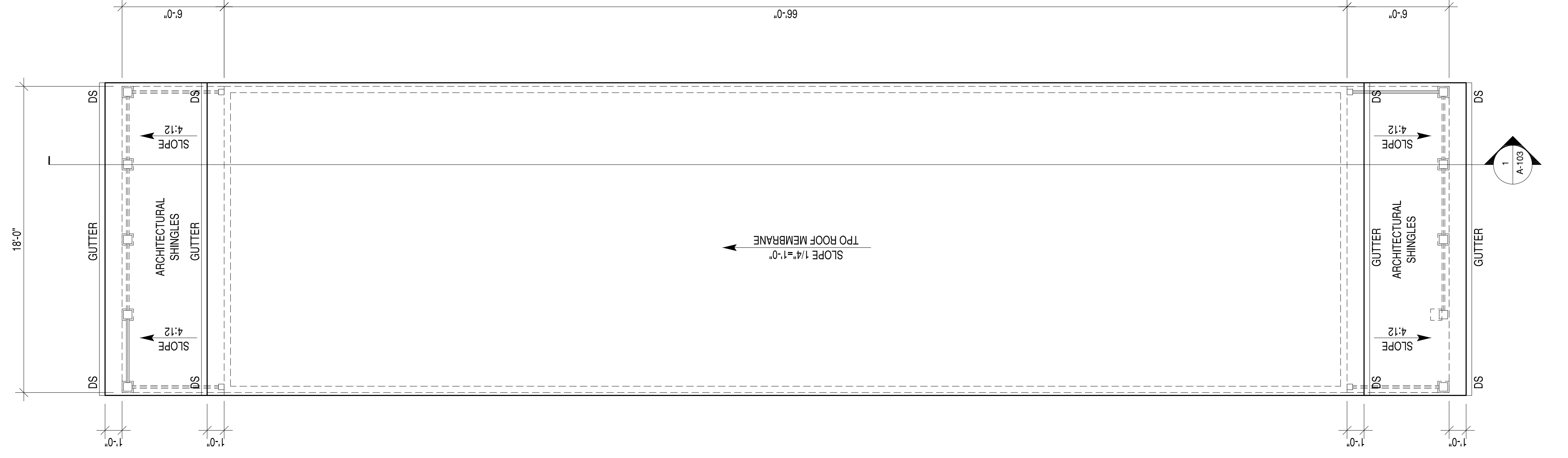
FOUNDATION PLAN

- PLAN AND FRAMING NOTES
- ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
 - ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
 - ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
 - INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
 - CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
 - DOOR MANUFACTURER INSTALLERS DIMENSIONS ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR SIZES PROVIDED (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
 - PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETRY LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVEING, AND WALL MOUNTED TV LOCATIONS.
 - CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE ABOVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.

- FOUNDATION NOTES:
- SEE SOIL REPORT FOR FOOTING SIZE AND REINFORCEMENT.
 - CRAWL SPACE ACCESS DOOR TO BE FIELD LOCATED. HEADER FOR CRAWL DOOR TO BE (2) LVL FLUSH IN FLOOR SYSTEM WITH TOP MOUNT JOIST HANGERS.
 - CRAWL SPACE INTERIOR GROUND SURFACE TO BE COVERED WITH 6 mil POLY VAPOR BARRIER.

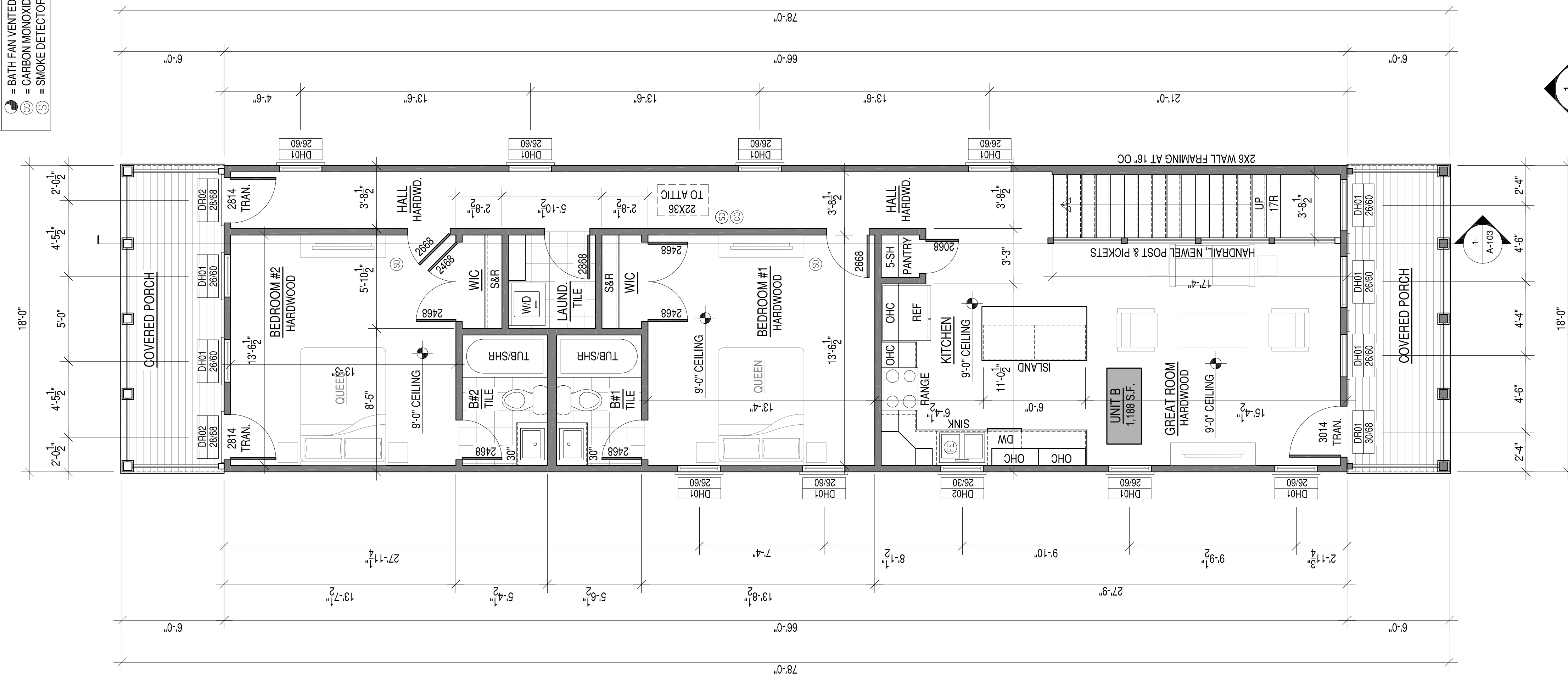
<p>42296 BENFOLD SQUARE ASHBURN, VA 20148 (703) 675-4592 PHONE</p> <p>STRUCTURAL ENGINEER (PE)</p>		<p>ELEVATIONS CORRECT 9-2-19</p> <p>FINAL PLANS 7-20-19</p> <p>CLIENT REVIEW 7-13-19</p> <p>CLIENT REVIEW 11-3-18</p>
<p>MATT JARREAU (804) 762-8092 PHONE</p> <p>INVESTOR REPRESENTATIVE</p>		<p>DATE</p> <p>DESCRIPTION</p>
<p>524 N 21ST STREET DEVELOPMENT</p> <p>CITY OF RICHMOND, VIRGINIA</p> <p>FOUNDATION AND FIRST FLOOR PLAN</p>		
<p>SCALE: PROJECT NO.: 2019-02 CONSTR. CONTR. NO. DRAWING NO. SHEET OF A-101</p>		

- STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
- HANDRAILS & PICKETS:
 - 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
 - LABEL DRYER VENT LENGTH ON DUCT
 - ALL DRYWALL TO BE 1/2"
 - FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
 - BATH FAN VENTED TO EXTERIOR
 - CARBON MONOXIDE DETECTOR
 - SMOKE DETECTOR



ROOF PLAN

- PLAN NOTES
- 12' OVERHANGS AND NO GABLE END EXTENSIONS, TYP.
 - ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.
 - MAIN HOUSE ROOFING TO BE 60 MIL. TPO ROOFING MEMBRANE, TYP



SECOND FLOOR PLAN

- PLAN AND FRAMING NOTES
- ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
 - ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
 - ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
 - INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
 - CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
 - DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER'S REQUIREMENTS AND CLEARANCES.
 - DOOR MANUFACTURER INSTALLERS REQUIREMENTS AND CLEARANCES.
 - PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETS LOCATIONS. REQUIRED GRAB BAR LOCATIONS. CLOSET SHELVEYS, AND WALL MOUNTED TV LOCATIONS.
 - THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.

SYMBOL	DESCRIPTION	DATE	APPROVED
	ELEVATIONS CORRECT	9-2-19	
	FINAL PLANS	7-20-19	
	CLIENT REVIEW	7-13-19	
	CLIENT REVIEW	11-3-18	

PENN & CO.
 42296 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 675-4592 PHONE
 STRUCTURAL ENGINEER INFS

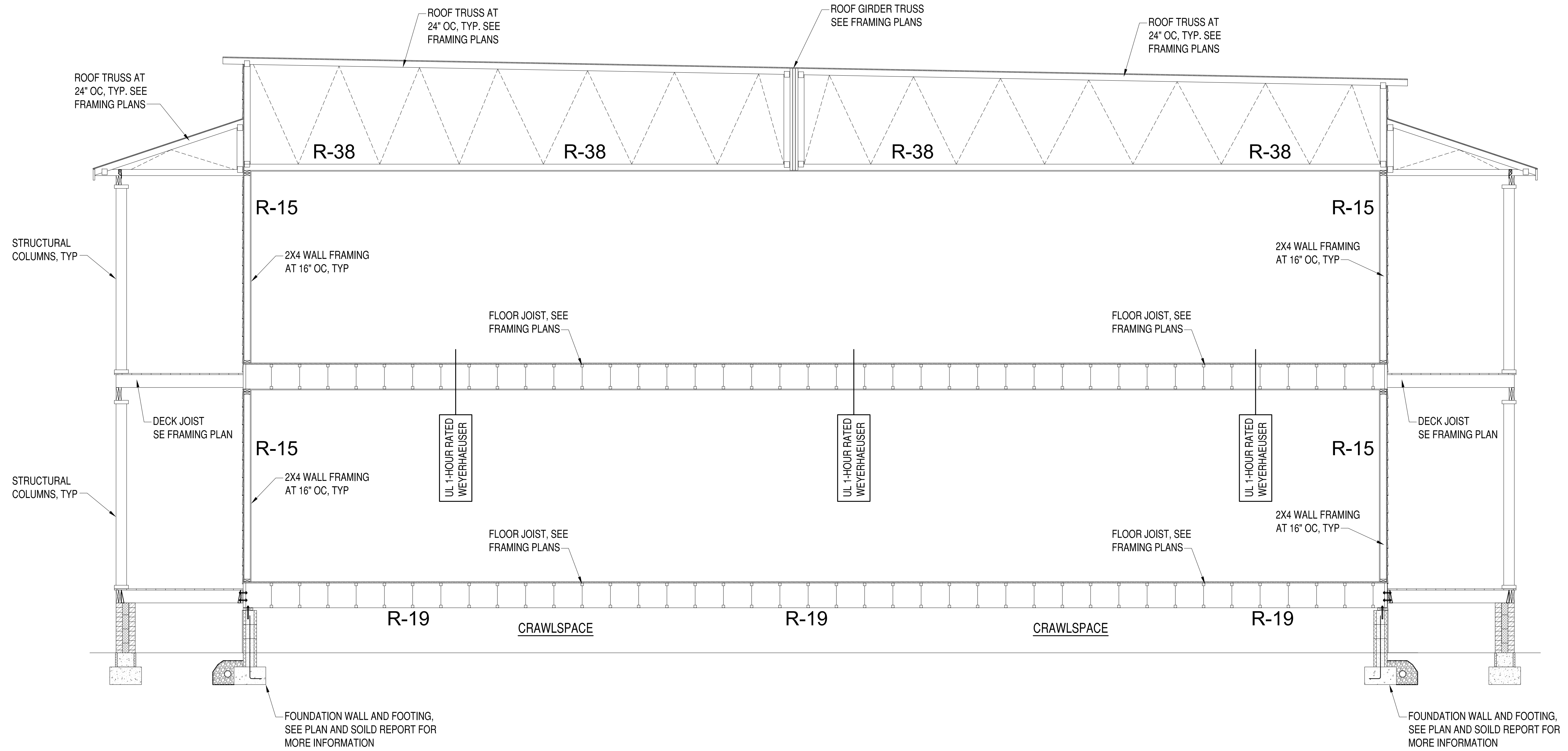
HOMETOWN REALTY
 "The Exceptional Exception"
MATT JARREAU
 (804) 762-8092 PHONE
 INVESTOR REPRESENTATIVE

APPROVED	DES	CHK
	---	---
SATISFACTORY TO DATE	DES	CHK
	---	---

524 N 21ST STREET DEVELOPMENT
 CITY OF RICHMOND, VIRGINIA
 SECOND FLOOR PLAN AND ROOF LINE

SCALE:	
PROJECT NO.:	2019-02
CONSTR. CONTR. NO.:	
DRAWING NO.:	
SHEET	OF
	A-102

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



SYN	DESCRIPTION	DATE	APPR
	ELEVATIONS CORRECT	9-2-19	
	FINAL PLANS	7-20-19	
	CLIENT REVIEW	7-13-19	
	CLIENT REVIEW	11-3-18	

PENN & CO.
 42296 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 675-4592 PHONE

HOMETOWN REALTY
 "The Exceptional Exception"
MATT JARREAU
 (804) 762-8092 PHONE

524 N 21ST STREET DEVELOPMENT
 CITY OF RICHMOND, VIRGINIA
 BUILDING SECTION

SCALE:
 PROJECT NO.: 2018-02
 CONSTR. CONTR. NO.:
 DRAWING NO.:
 SHEET OF
A-103

U344	1 HOUR	DS#
LOAD-BEARING	WOOD STUDS	INTERIOR PARTITION
		N/A
		N/A

EXTERIOR PARTITIONS: WOOD STUD (LOAD-BEARING)

FIRE RATING: 1 HOUR
 STC: N/A
 SOUND TEST: N/A
 SYSTEM THICKNESS: 5-7/32"

ASSEMBLY

GYPSUM BOARD:
 WOOD STUDS:
 INSULATION:
 PLYWOOD SHEATHING:

OPTIONS:

5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 24 IN. O.C.
 MIN. 3-1/2 IN. THICK FIBERGLASS FRICTION FIT.
 MIN. 15/32 IN. THICK PLYWOOD APPLIED VERTICALLY, WITH VERTICAL JOINTS CENTERED ON STUDS. SHEATHING ATTACHED TO STUDS WITH 6D CEMENT COATED STEEL BOX NAILS SPACED 12 IN. O.C. ALONG INTERIOR STUDS AND 6 IN. O.C. AT PERIMETER.
 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

GYPSUM BOARD:

DOOR SCHEDULE						
MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT ENTRY	3'-0"	6'-8"	SEE PLAN	01	STEEL, TEMPERED WITH 14" TRANSOM
DR02	REAR ENTRY	2'-8"	6'-8"	SEE PLAN	01	STEEL, TEMPERED WITH 14" TRANSOM

DOOR NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
- ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
- ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

DOOR HARDWARE SETS:

- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

WINDOW SCHEDULE					
MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES
DH01	DOUBLE HUNG	2'-6"	6'-0"	SEE PLAN	VINYL 2 OVER 2
DH02	DOUBLE HUNG	2'-6"	3'-0"	SEE PLAN	VINYL 2 OVER 2

WINDOW NOTES:

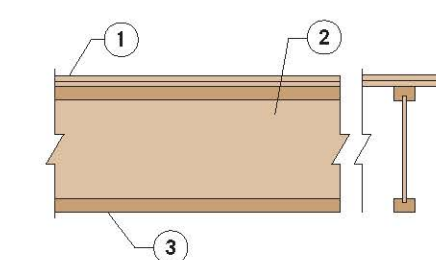
- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
- ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
- SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
- NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
- SAFETY GLAZING SHALL BE TEMPERED.

ONE-HOUR FLOOR/CEILING, ROOF/CEILING ASSEMBLIES

Lightweight concrete or approved gypsum concrete topping with appropriate sheathing can be substituted for the decking material shown in any of these assemblies.

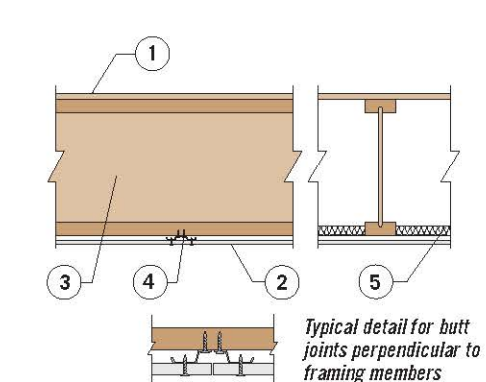
Assembly E
ICC-ES ESR-1153

- Double wood floor or single layer of 48/24 tongue-and-groove span-rated sheathing (Exposure 1)
- TIP® joist
- An approved ceiling system that will provide a 40-minute finish rating



Assembly F
Intertek WNR FCA 60-07
ICC-ES ESR-1153

- 48/24 tongue-and-groove, span-rated sheathing (Exposure 1), glued with a subfloor adhesive and nailed
- 5/8" Type C gypsum board
- 1 1/4" deep TIP® 560D joist minimum (minimum flange size for this assembly is 1 1/2" thick x 3 1/2" wide). Joists spaced at 24" on-center, maximum.
- Resilient channel at 16" on-center
- Minimum 1 1/2" thick (2.5 pct minimum) mineral wool batts

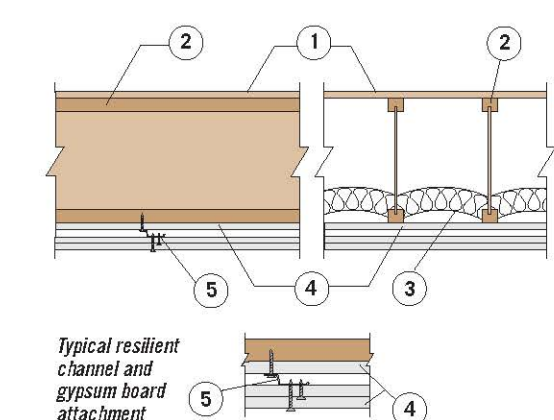


TWO-HOUR FLOOR/CEILING, ROOF/CEILING ASSEMBLY

Lightweight concrete or approved gypsum concrete topping with appropriate sheathing can be substituted for the decking material shown in any of these assemblies.

Assembly G
Intertek WNR FCA 120-3
ICC-ES ESR-1153

- 48/24 tongue-and-groove, span-rated sheathing (Exposure 1)
- TIP® joist, 24" on-center maximum
- Optional glass fiber insulation, unfaced batts, 3 1/2" thick in plenum, supported by stay wires 12" on-center and centered on joist below flanges
- Three layers of 5/8" Type C gypsum board
- Resilient channels at 16" on-center located between first and second layers of gypsum board



For additional construction information on these assemblies, see ICC-ES reports for the U.S. and Intertek listings for Canada.

Weyerhaeuser Fire-Rated Assemblies and Sprinkler Systems Guide T1-1500 | October 2018

ELEVATIONS CORRECT	9-2-19
FINAL PLANS	7-20-19
CLIENT REVIEW	7-13-19
CLIENT REVIEW	11-3-18

DATE

DESCRIPTION

SYN

APPR

PENN & CO.

42296 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 675-4592 PHONE

STRUCTURAL ENGINEER INFO

SEA

HOMETOWN REALTY
 "The Exceptional Exception"

MATT JARREAU
 (804) 762-8092 PHONE

INVESTOR REPRESENTATIVE

APPROVED

ACTIVITY

SATISFACTORY TO DATE

DES --- | DRW JRP3 | CHK JRP3

524 N 21ST STREET DEVELOPMENT

CITY OF RICHMOND, VIRGINIA

SCHEDULES AND FIRE WALL INFORMATION

SCALE:

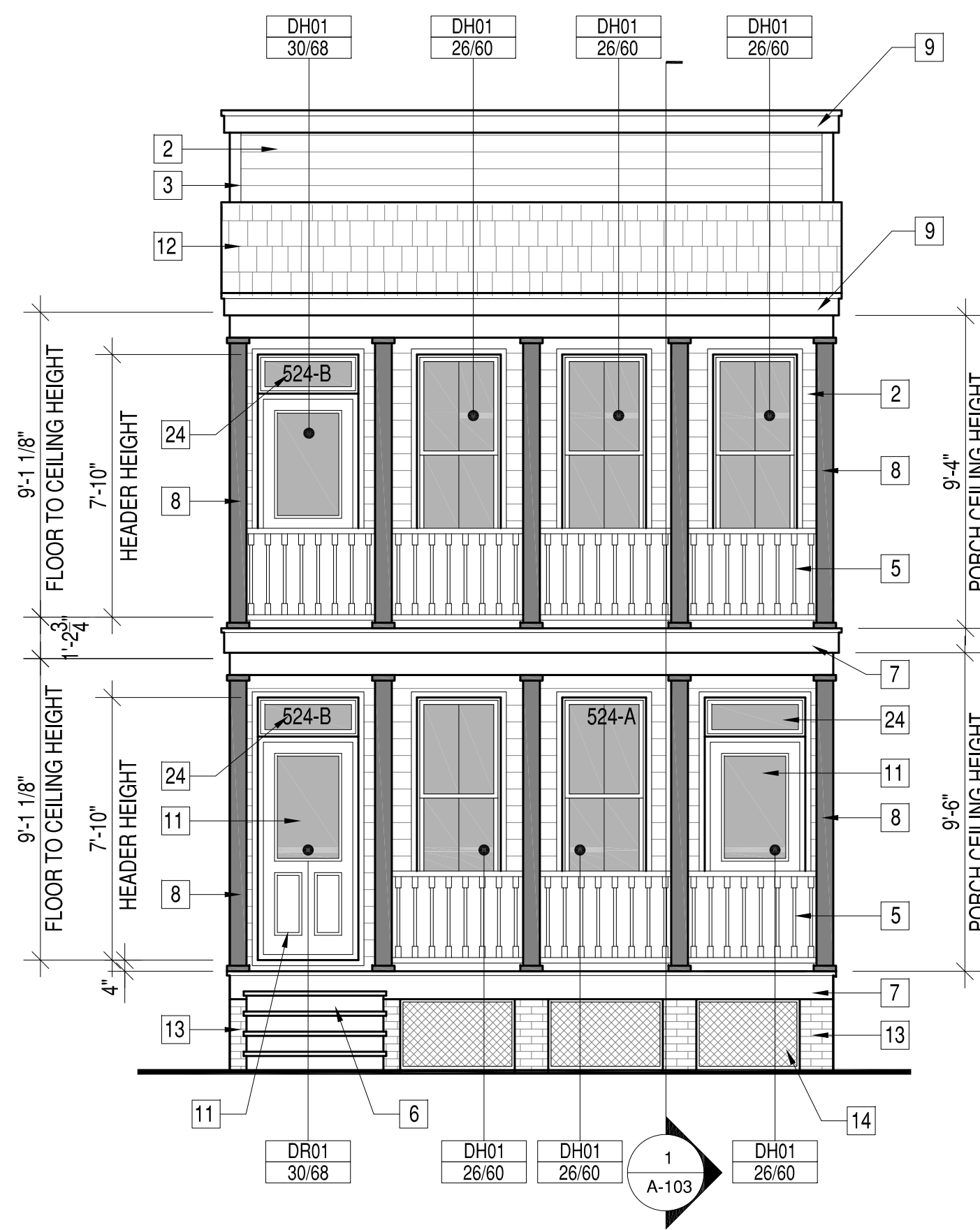
PROJECT NO.: 2018-02

CONSTR. CONTR. NO.

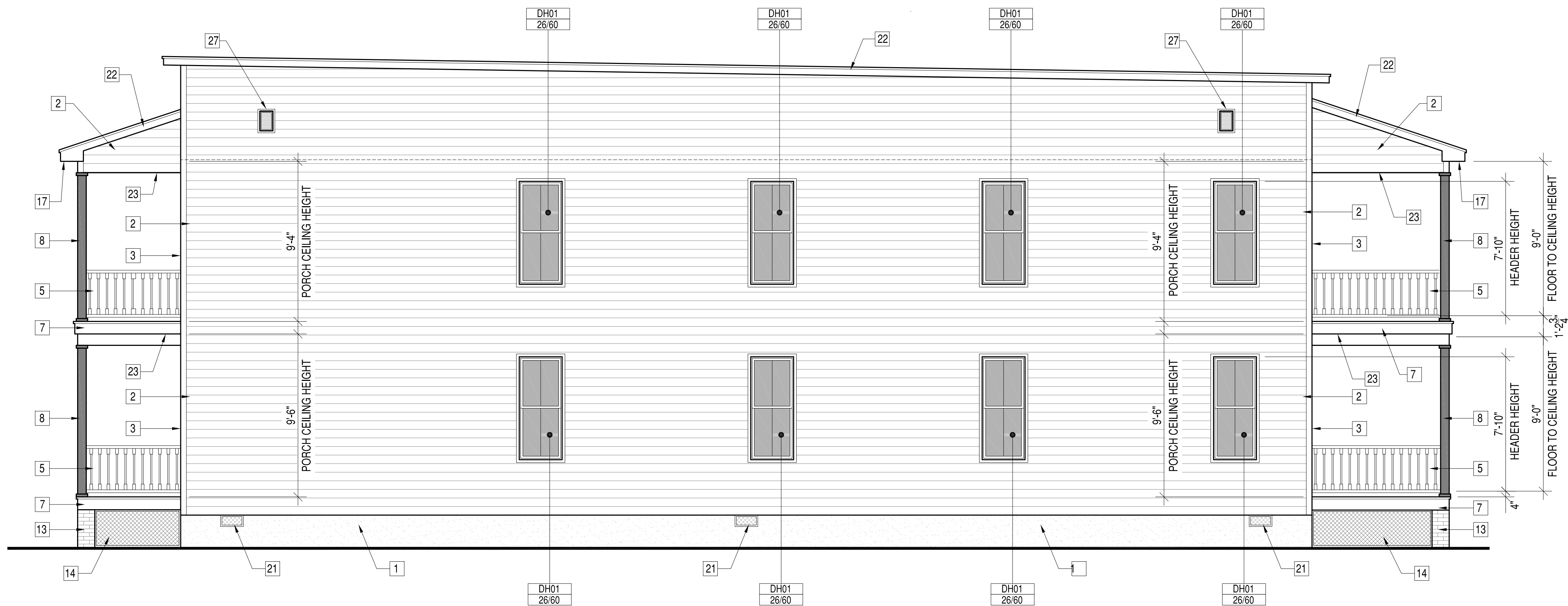
DRAWING NO.

SHEET OF

A-104



1 FRONT ELEVATION
A-201



2 RIGHT ELEVATION
A-201

BLDG ELEVATION
MATERIAL KEYNOTES

- | | | | | |
|--|--|---|--|-------------------------------|
| 1 PARGED CONCRETE TO GRADE, TYP. | 6 WOOD FRAMED PORCH, PAINTED. | 11 STEEL DOOR W/TRANSOM AND PAINTED MOULDING SURROUND | 16 EPMD ROOFING AT PORCH ROOF | 22 1X6 PAINTED RAKE BOARD |
| 2 6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH | 7 T&G WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD. | 12 ARCHITECTURAL SHINGLES, TYP | 17 BEADED VINYL SOFFIT, TYP | 23 PVC BEADED PORCH PANELING |
| 3 FIBER CEMENT SIDING TRIM AT CORNERS | 8 6X6 DECORATIVE WOOD PAINTED COLUMN | 13 BRICK PIERS, TYP | 18 PVC PICTURE FRAME MOULDING, TYP | 24 GLASS GILDED HOUSE NUMBERS |
| 4 PVC BRACKET BKT12X12GP | 9 1X6 PAINTED WOOD TRIM FASCIA | 14 WOOD LATTICE BELOW DECK | 19 PVC DENTIL MOULDING FYPON MLD354-12 | 25 ARCHITECTURAL SHINGELS |
| 5 WOOD "RICHMOND RAIL" RAILING, PAINT FINISH | 10 TWO PANEL WOOD DOOR W/TRANSOM & MOULD SURROUND | 15 DECORATIVE FYPON WINDOW HEADER | 20 PVC BRACKET FYPON BKT7X18 | 26 12"X32" FOUNDATION VENT |
| | | | 21 VENTS, SEE FOUNDATION PLAN | 27 18"X24" GABLE VENT, TYP |

DATE	DESCRIPTION	BY	APPR
9-2-19	ELEVATIONS CORRECT		
7-20-19	FINAL PLANS		
7-13-19	CLIENT REVIEW		
11-3-18	CLIENT REVIEW		

PENN & CO.
 42296 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 675-4592 PHONE
 STRUCTURAL ENGINEER INFO

SEAL

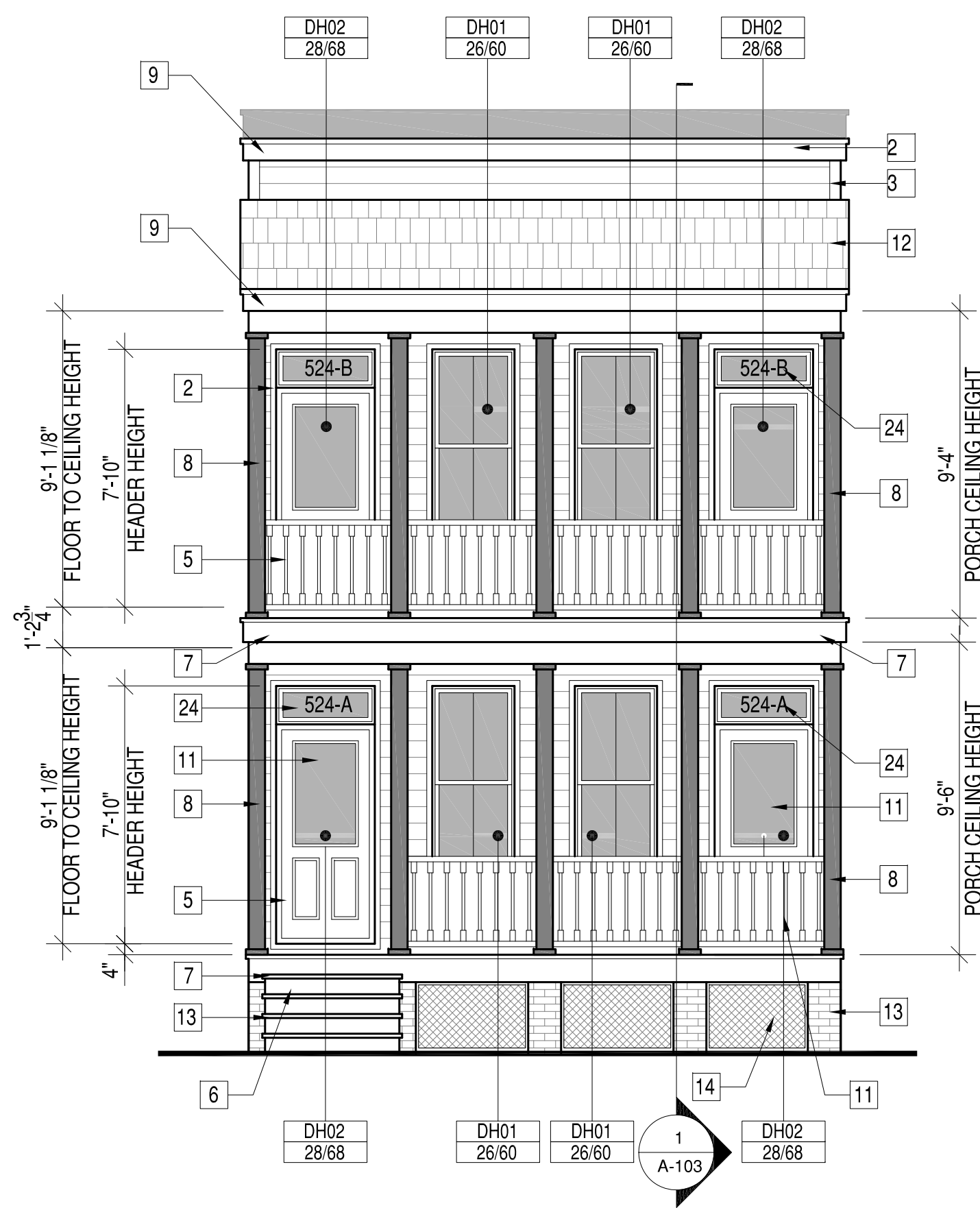
HOMETOWN REALTY
 "The Exceptional Exception"
MATT JARREAU
 (804) 762-8092 PHONE
 INVESTOR REPRESENTATIVE

APPROVED

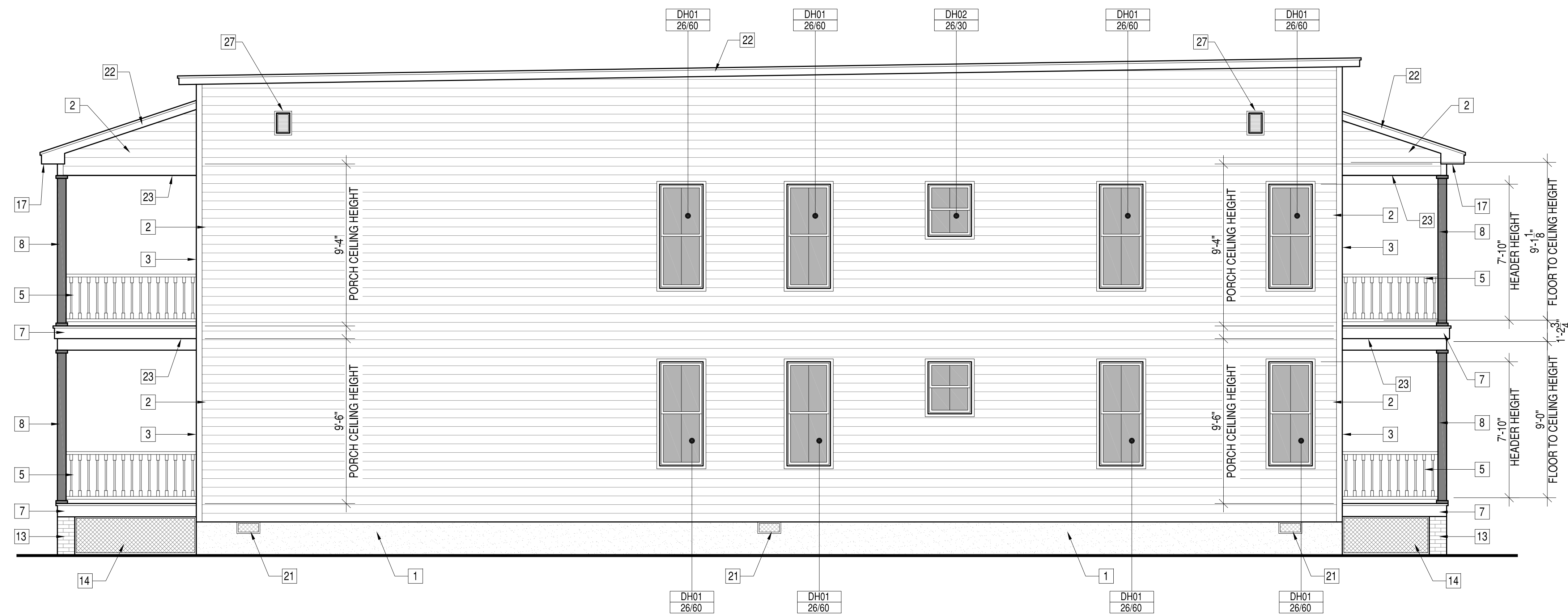
ACTIVITY
 SATISFACTORY TO DATE
 DES --- [DRW JRP] CHK JRP

524 N 21ST STREET DEVELOPMENT
 CITY OF RICHMOND, VIRGINIA
 FRONT AND LEFT ELEVATIONS

SCALE:
 PROJECT NO.: 2018-02
 CONSTR. CONTR. NO.
 DRAWING NO.
 SHEET OF
 A-201



1 REAR ELEVATION
A-202



2 LEFT ELEVATION
A-202

BLDG ELEVATION
MATERIAL KEYNOTES

- | | | | | |
|--|--|---|--|-------------------------------|
| 1 PARGED CONCRETE TO GRADE, TYP. | 6 WOOD FRAMED PORCH, PAINTED. | 11 STEEL DOOR W/TRANSOM AND PAINTED MOULDING SURROUND | 16 EPMD ROOFING AT PORCH ROOF | 22 1X6 PAINTED RAKE BOARD |
| 2 6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH | 7 T&G WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD. | 12 ARCHITECTURAL SHINGLES, TYP | 17 BEADED VINYL SOFFIT, TYP | 23 PVC BEADED PORCH PANELING |
| 3 FIBER CEMENT SIDING TRIM AT CORNERS | 8 6X6 DECORATIVE WOOD PAINTED COLUMN | 13 BRICK PIERS, TYP | 18 PVC PICTURE FRAME MOULDING, TYP | 24 GLASS GILDED HOUSE NUMBERS |
| 4 PVC BRACKET BKT12X12GP | 9 1X6 PAINTED WOOD TRIM FASCIA | 14 WOOD LATTICE BELOW DECK | 19 PVC DENTIL MOULDING FYPON MLD354-12 | 25 ARCHITECTURAL SHINGLES |
| 5 WOOD "RICHMOND RAIL" RAILING, PAINT FINISH | 10 TWO PANEL WOOD DOOR W/TRANSOM & MOULD SURROUND | 15 DECORATIVE FYPON WINDOW HEADER | 20 PVC BRACKET FYPON BKT7X18 | 26 12"X32" FOUNDATION VENT |
| | | | 21 VENTS, SEE FOUNDATION PLAN | 27 18"X24" GABLE VENT, TYP |

ELEVATIONS CORRECT	9-2-19	DATE
FINAL PLANS	7-20-19	DATE
CLIENT REVIEW	7-13-19	DATE
CLIENT REVIEW	11-3-18	DATE
SYN	DESCRIPTION	APPRO

PENN & CO.
42296 BENFOLD SQUARE
ASHBURN, VA 20148
(703) 675-4592 PHONE
STRUCTURAL ENGINEER INFO

HOMETOWN REALTY
"The Exceptional Exception"
MATT JARREAU
(804) 762-8092 PHONE
INVESTOR REPRESENTATIVE

APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	--- [DRW, JRP, S] CHK [JRP, S]

524 N 21ST STREET DEVELOPMENT
CITY OF RICHMOND, VIRGINIA
REAR AND RIGHT ELEVATIONS

SCALE:
PROJECT NO.: 2018-02
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-202

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2012 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.

CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.

MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.

Table with columns for ELEVATIONS CORRECT, FINAL PLANS, CLIENT REVIEW, and DATE.

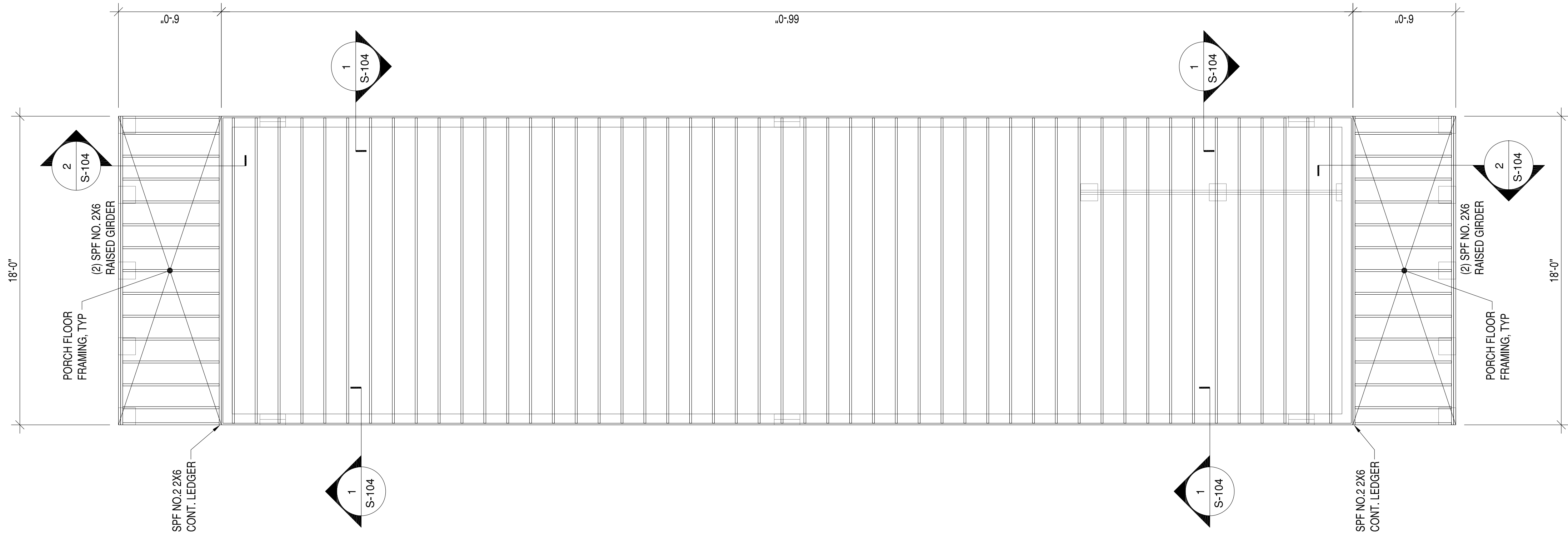
PENN & CO. logo and address: 42296 BENFOLD SQUARE, ASHBURN, VA 20148

HOMETOWN REALTY logo and agent name: MATT JARREAU

APPROVED, ACTIVITY, SATISFACTORY TO DATE, DES --- [DRW] JRP3 [CHK] JRP3

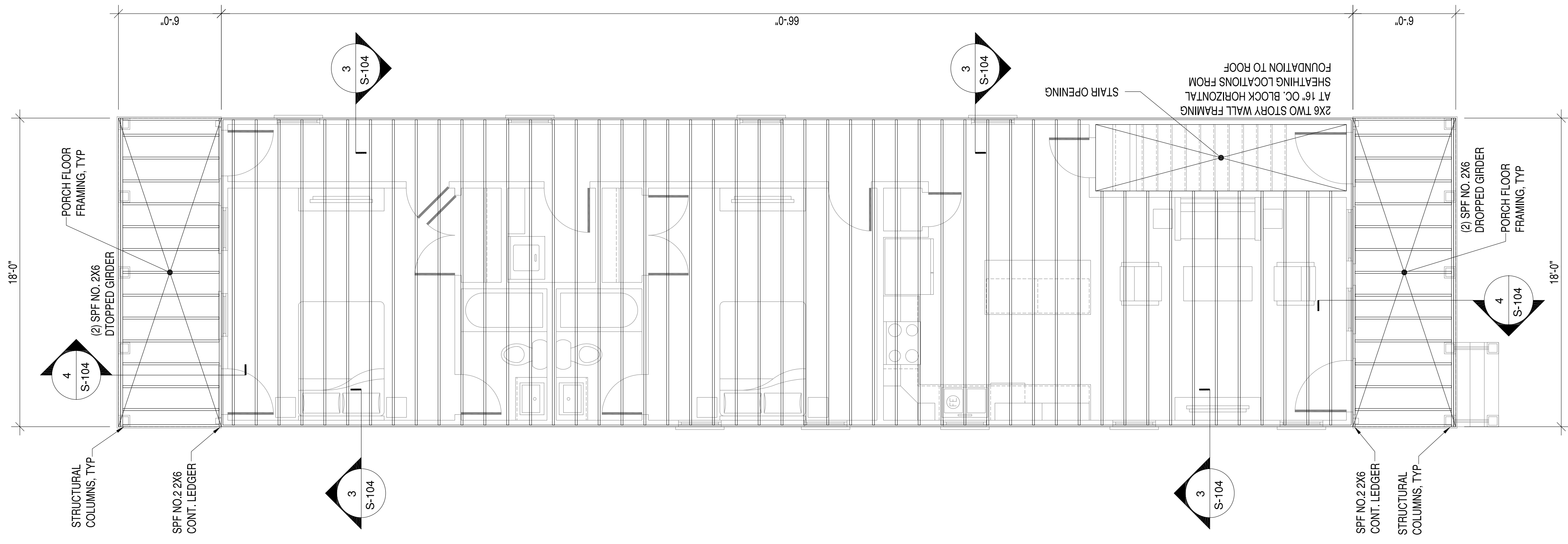
524 N 21ST STREET DEVELOPMENT, CITY OF RICHMOND, VIRGINIA, STRUCTURAL GENERAL NOTES

SCALE, PROJECT NO.: 2014-02, CONSTR. CONTR. NO., DRAWING NO., SHEET OF, S-001



FIRST FLOOR FRAMING PLAN

- FLOOR FRAMING NOTES:
- FLOOR FRAMING SHALL BE 14" TJI JOIST AT 16" OC UON. 110 SERIES
 - ALL RIM BOARDS TO BE 1-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
 - ALL PORCH FLOOR JOIST TO BE SPF. NO. 2X6'S AT 16" OC.
 - ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUS6. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
 - PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.



SECOND FLOOR FRAMING PLAN

- FLOOR FRAMING NOTES:
- FLOOR FRAMING SHALL BE 14" TJI JOIST AT 16" OC UON. 360 SERIES
 - ALL RIM BOARDS TO BE 1-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
 - ALL PORCH ROOF FRAMING TO BE SPF. NO. 2X6'S AT 16" OC.
 - ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUS6. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
 - PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.

SCALE:	
PROJECT NO.: 2018-02	
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
S-101	

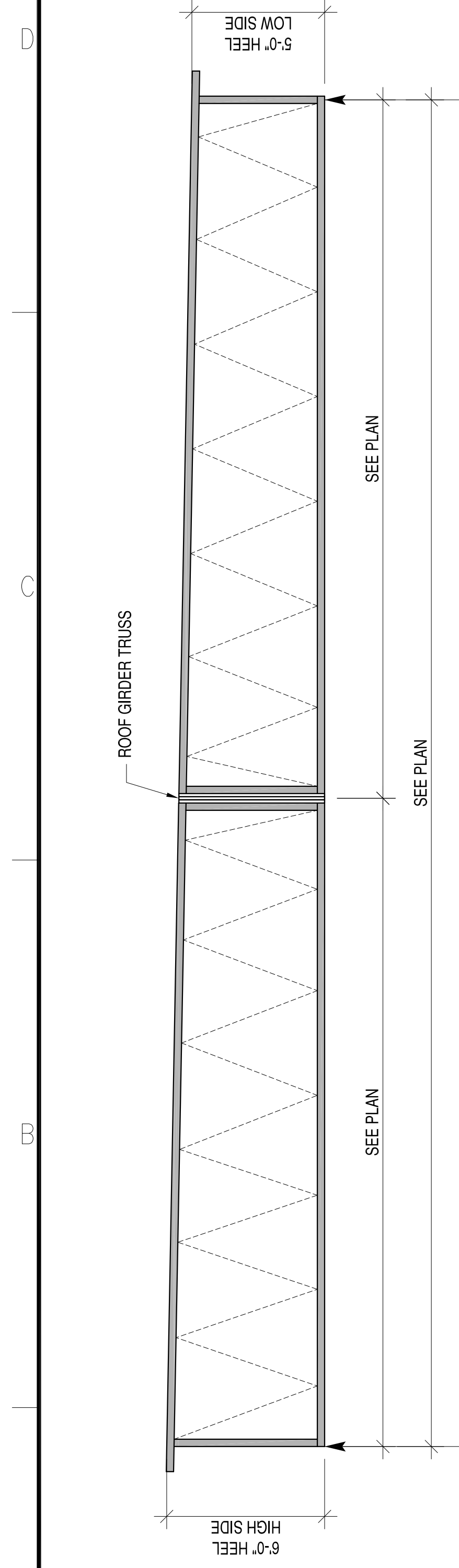
524 N 21ST STREET DEVELOPMENT
CITY OF RICHMOND, VIRGINIA
FIRST AND SECOND FLOOR FRAMING PLAN

APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES --- [DRW JRP] CHK JRP	

HOMETOWN REALTY
"The Exceptional Exception"
MATT JARREAU
(804) 762-8092 PHONE

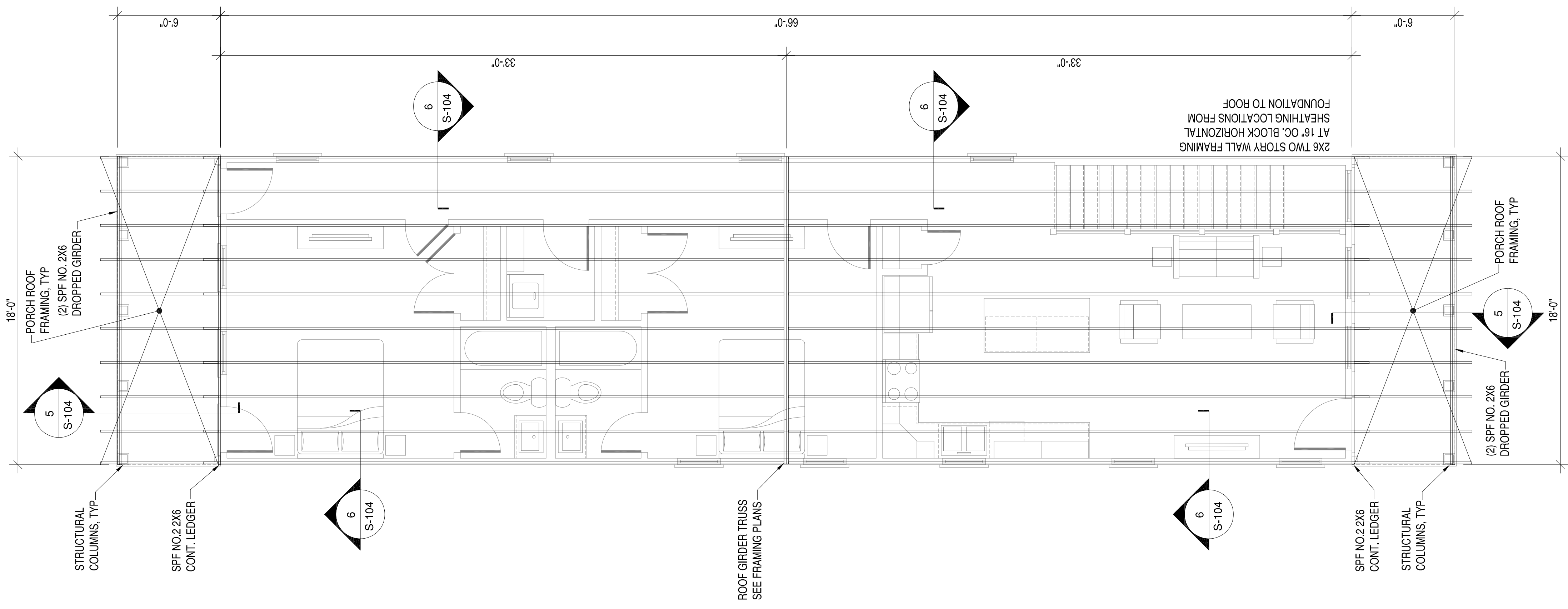
PENN & CO.
42296 BENFOLD SQUARE
ASHBURN, VA 20148
(703) 675-4592 PHONE

ELEVATIONS CORRECT	9-2-19	DATE
FINAL PLANS	7-20-19	DATE
CLIENT REVIEW	7-13-19	DATE
CLIENT REVIEW	11-3-18	DATE



TRUSS PROFILE NOTES:
 1. TRUSS WEB CONFIGURATION SHOWN IS REPRESENTATIONAL ONLY. TRUSS MANUFACTURER TO DETERMINE CONFIGURATION.

ROOF TRUSS PROFILE



ROOF FRAMING PLAN

ROOF FRAMING NOTES:
 1. ALL ROOF FRAMING SHALL BE PRE-ENGINEERED TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.
 2. ALL PORCH ROOF FRAMING TO BE PRE-ENGINEERED MONO TRUSSES AT 24" OC.

PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

1. THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
2. REFERENCE STANDARDS
 - 2.1. NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
 - 2.2. TP-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
3. MATERIALS
 - 3.1. THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPARATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
 - 3.2. LUMBER SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
4. DESIGN
 - 4.1. THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
 - 4.2. THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
 - 4.3. METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A663, COATING CLASS 660. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
 - 4.4. IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
 - 4.5. DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 - 4.6. DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
 - 4.7. DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
5. DESIGN LOADS
 - 5.1. ROOF

5.1.1. TOP CHORD DEAD LOAD	=	10	PSF
5.1.2. TOP CHORD LIVE LOAD	=	20	PSF
5.1.3. BOTTOM CHORD DEAD LOAD	=	10	PSF
5.1.4. BOTTOM CHORD LIVE LOAD	=	0	PSF
5.1.5. WIND LOADING:	=	SEE DESIGN LOADS SECTION ON SHEET S 001	
 - 5.1.5.1. NET WIND UPLIFT

5.2.1. DEFLECTIONS	=	8	PSF
--------------------	---	---	-----
 - 5.2.1.1. ROOF

5.2.1.1. MAXIMUM LIVE LOAD DEFLECTION	=	L/360, OR 625" MAXIMUM
5.2.1.2. MAXIMUM TOTAL LOAD DEFLECTION	=	L/240, OR 1.0" MAXIMUM
 - 5.3. DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
6. SUBMITTALS
 - 6.1. SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
 - 6.2. SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
 - 6.3. SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
 - 6.4. INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

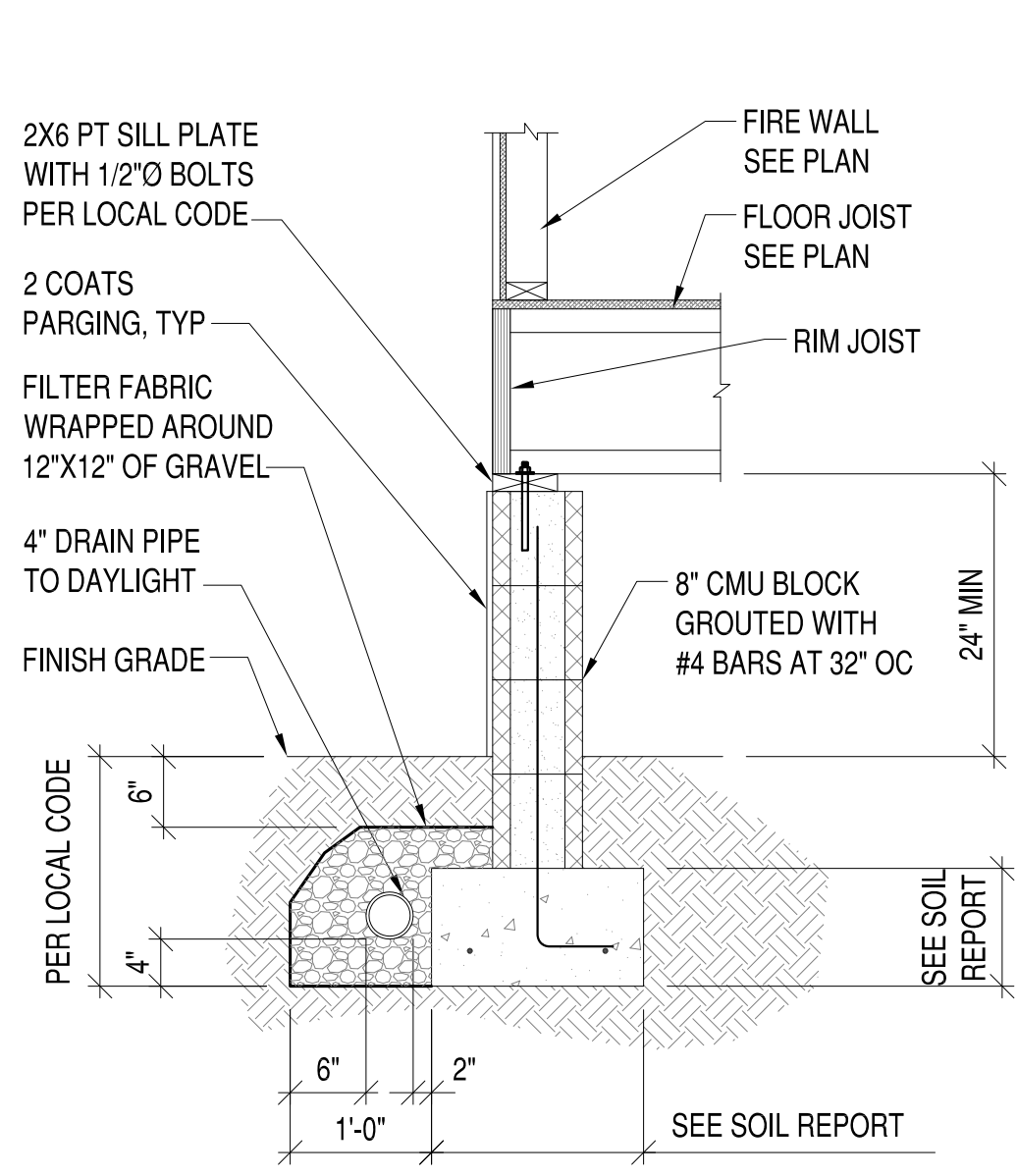
SCALE:	
PROJECT NO.:	2018-02
CONSTR. CONTR. NO.:	
DRAWING NO.:	
SHEET	OF
S-102	

524 N 21ST STREET DEVELOPMENT
 CITY OF RICHMOND, VIRGINIA
 ROOF FRAMING PLAN

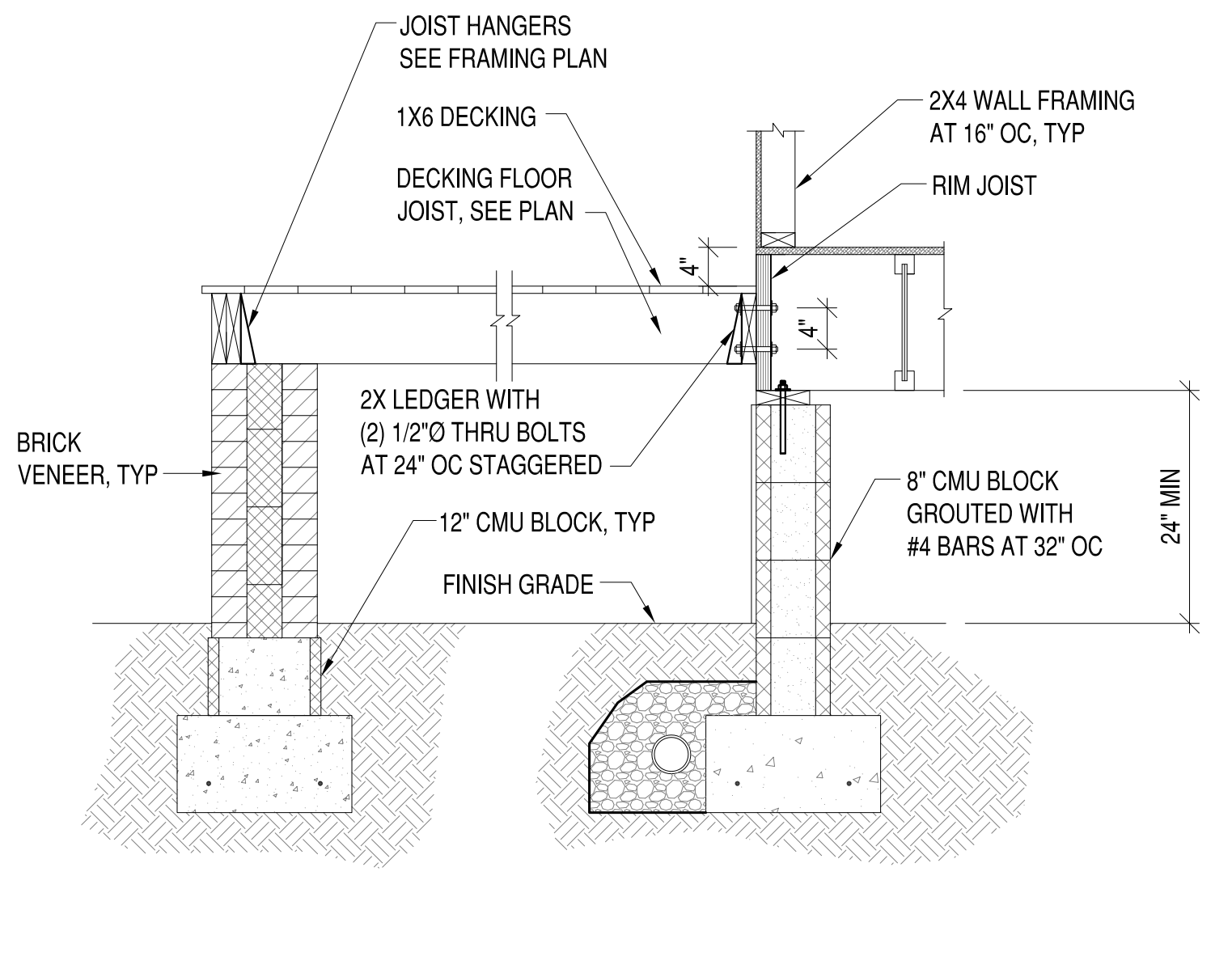
HOMETOWN REALTY
 "The Exceptional Exception"
MATT JARREAU
 (804) 762-8092 PHONE

PENN & CO.
 42296 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 675-4592 PHONE

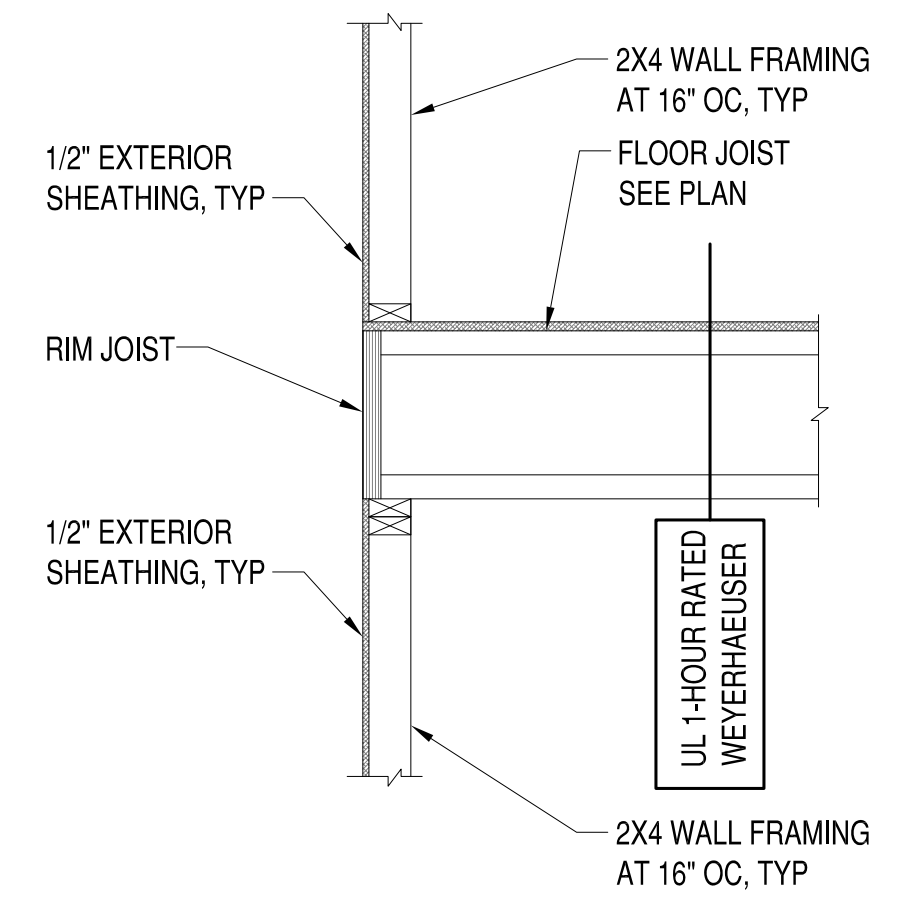
ELEVATIONS CORRECT	9-2-19
FINAL PLANS	7-20-19
CLIENT REVIEW	7-13-19
CLIENT REVIEW	11-3-18
SYN. DESCRIPTION	DATE
	APPR.



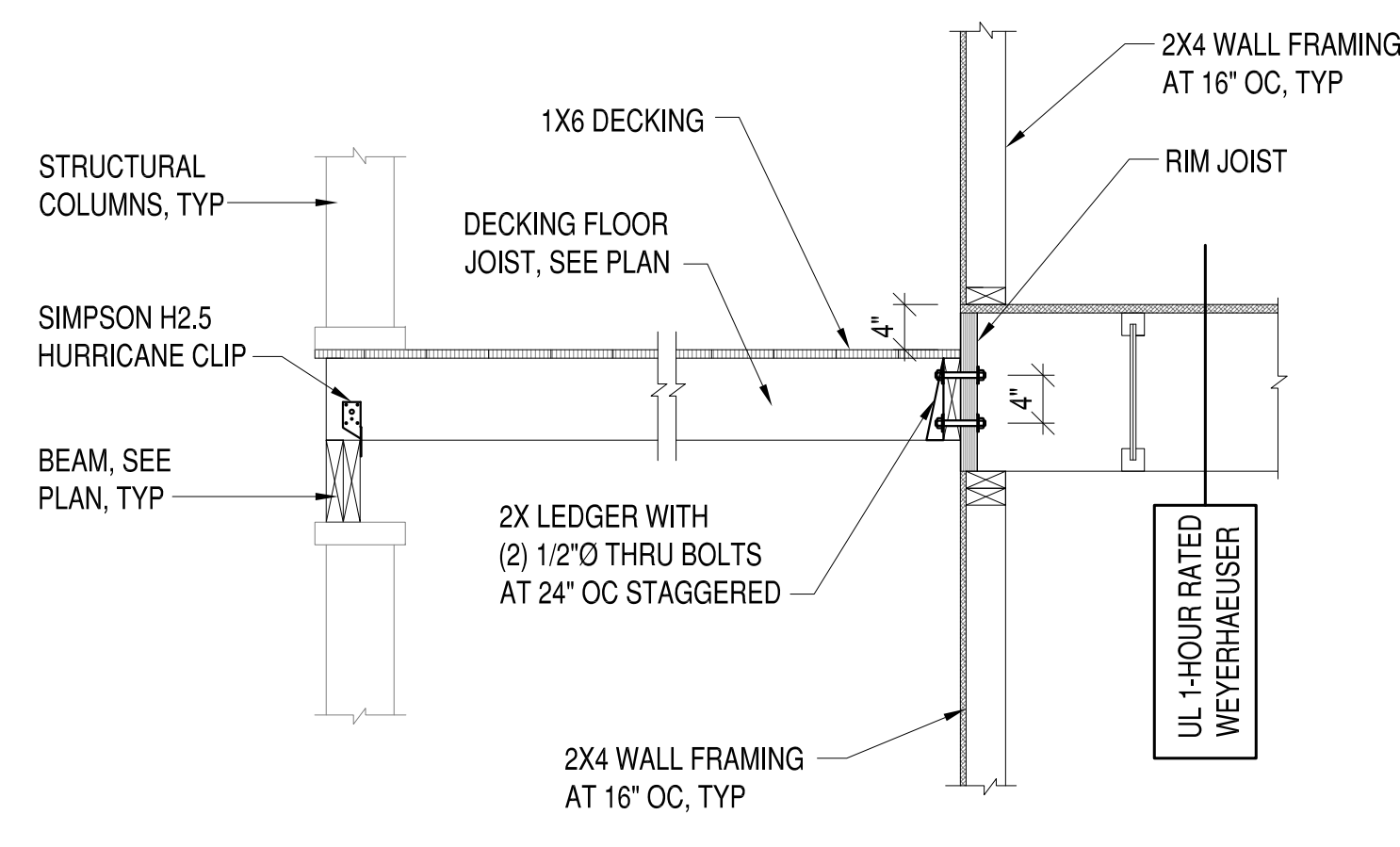
1 SECTION
S-104 3/4"=1'-0"



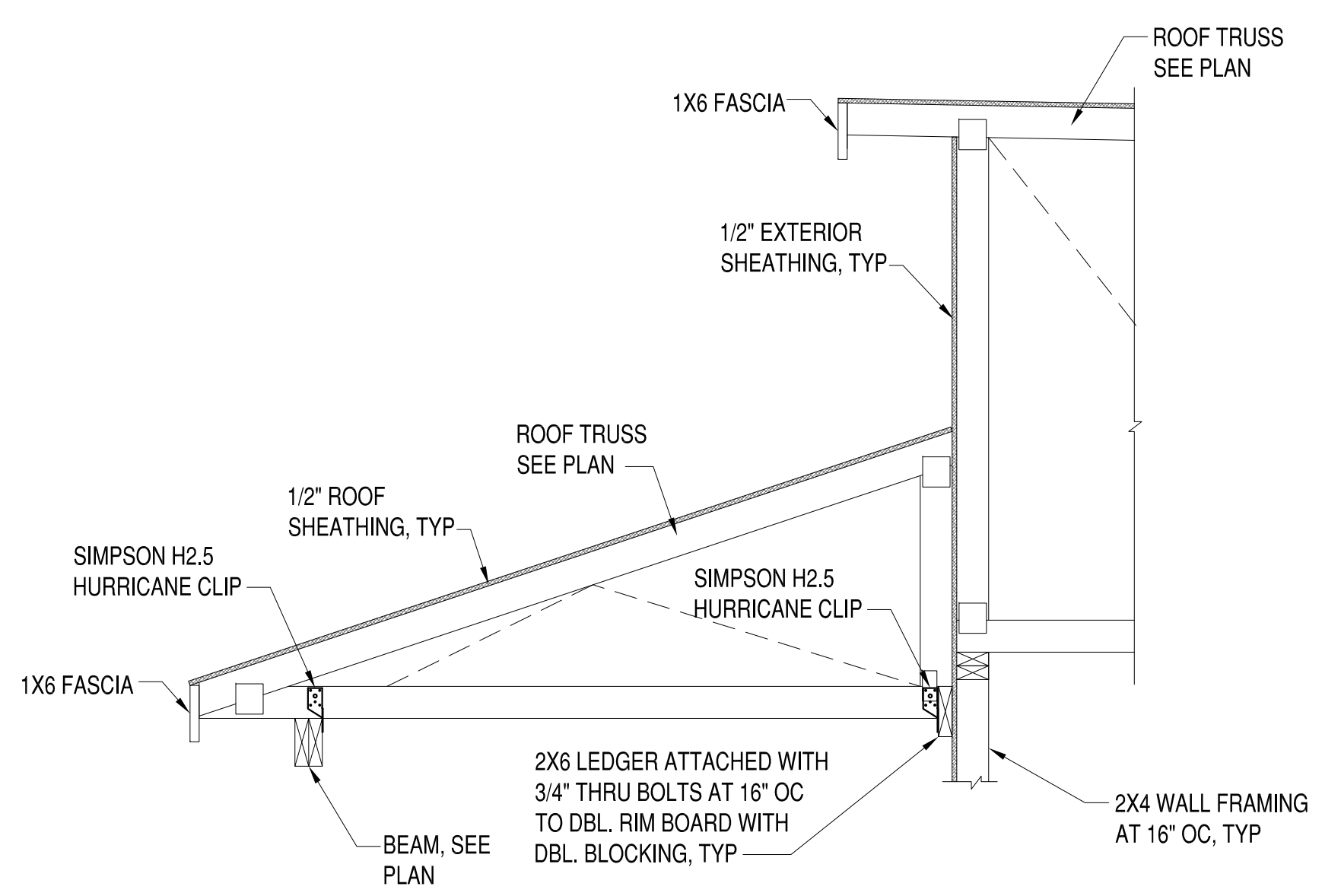
2 SECTION
S-104 3/4"=1'-0"



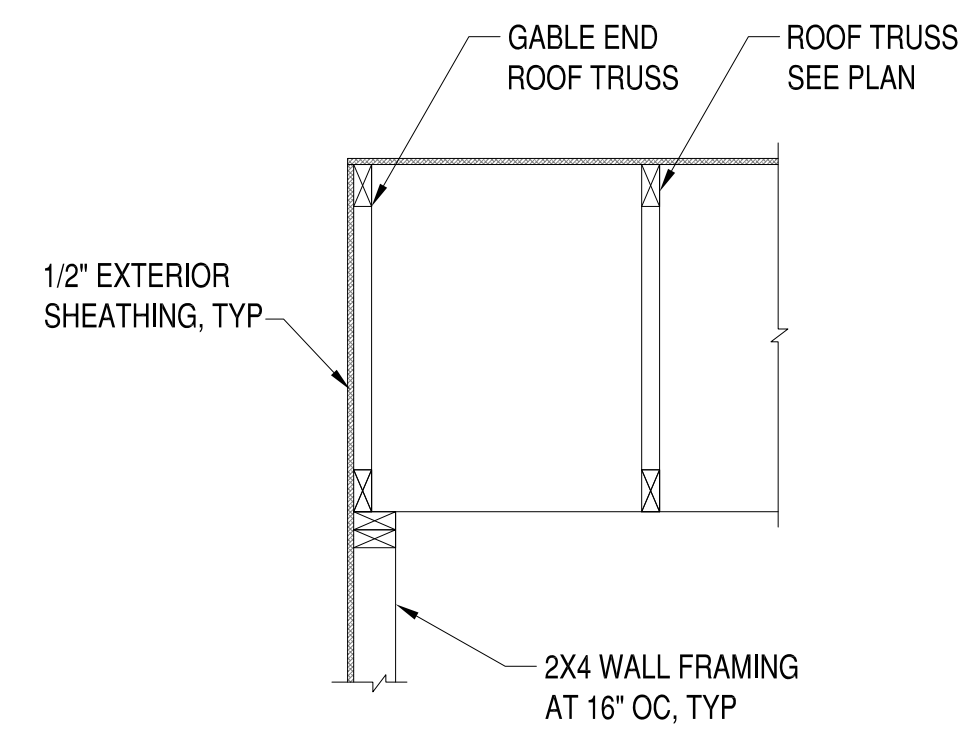
3 SECTION
S-104 3/4"=1'-0"



4 SECTION
S-104 3/4"=1'-0"



5 SECTION
S-104 3/4"=1'-0"



6 SECTION
S-104 3/4"=1'-0"

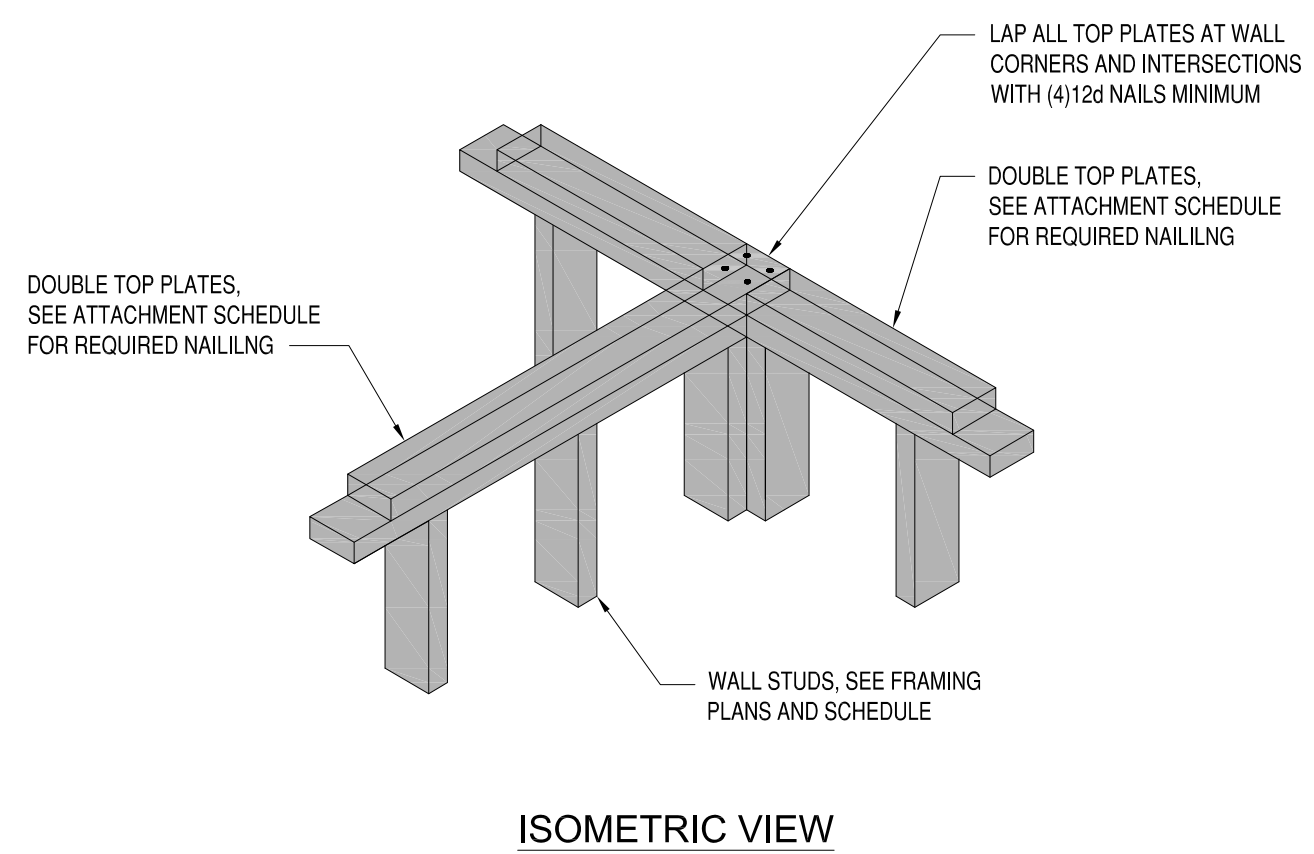
DATE	DESCRIPTION	BY	APPR.
9-2-19	ELEVATIONS CORRECT		
7-20-19	FINAL PLANS		
7-13-19	CLIENT REVIEW		
11-3-18	CLIENT REVIEW		

PENN & CO.
42296 BENFOLD SQUARE
ASHBURN, VA 20148
(703) 675-4592 PHONE

HOMETOWN REALTY
"The Exceptional Exception"
MATT JARREAU
(804) 762-8092 PHONE

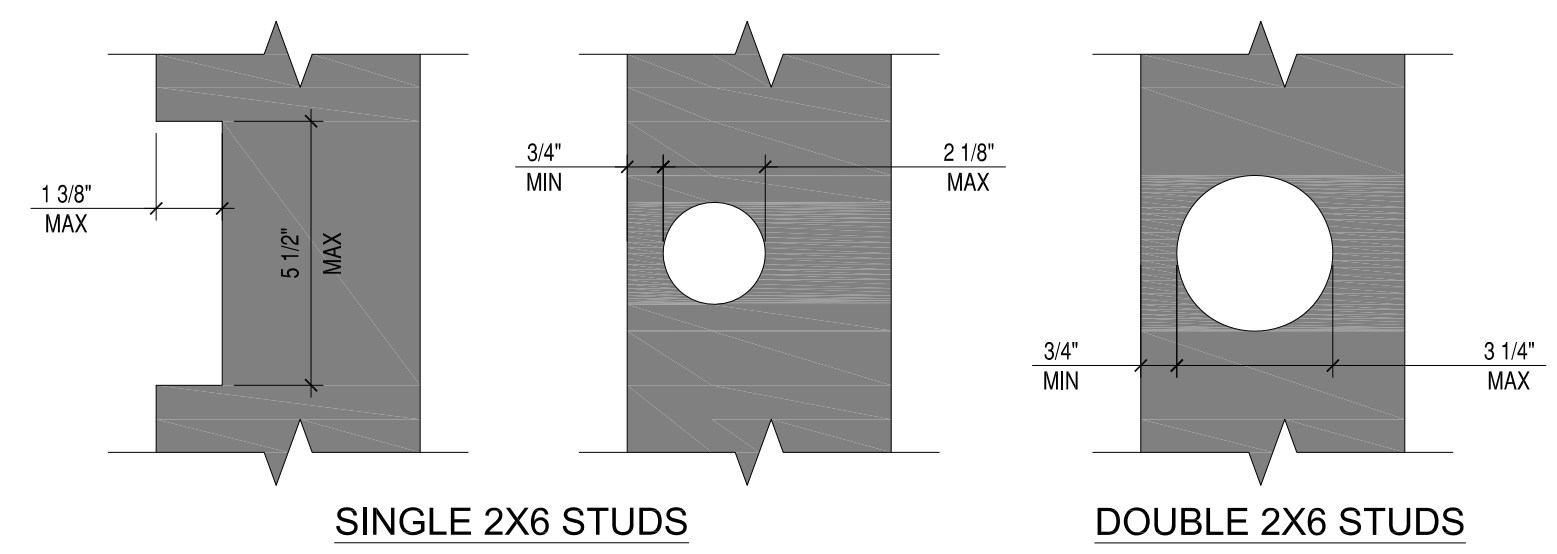
524 N 21ST STREET DEVELOPMENT
CITY OF RICHMOND, VIRGINIA
SECTIONS AND DETAILS

SCALE:
PROJECT NO.: 2018-02
CONSTR. CONTR. NO.:
DRAWING NO.:
SHEET OF
S-104



ISOMETRIC VIEW

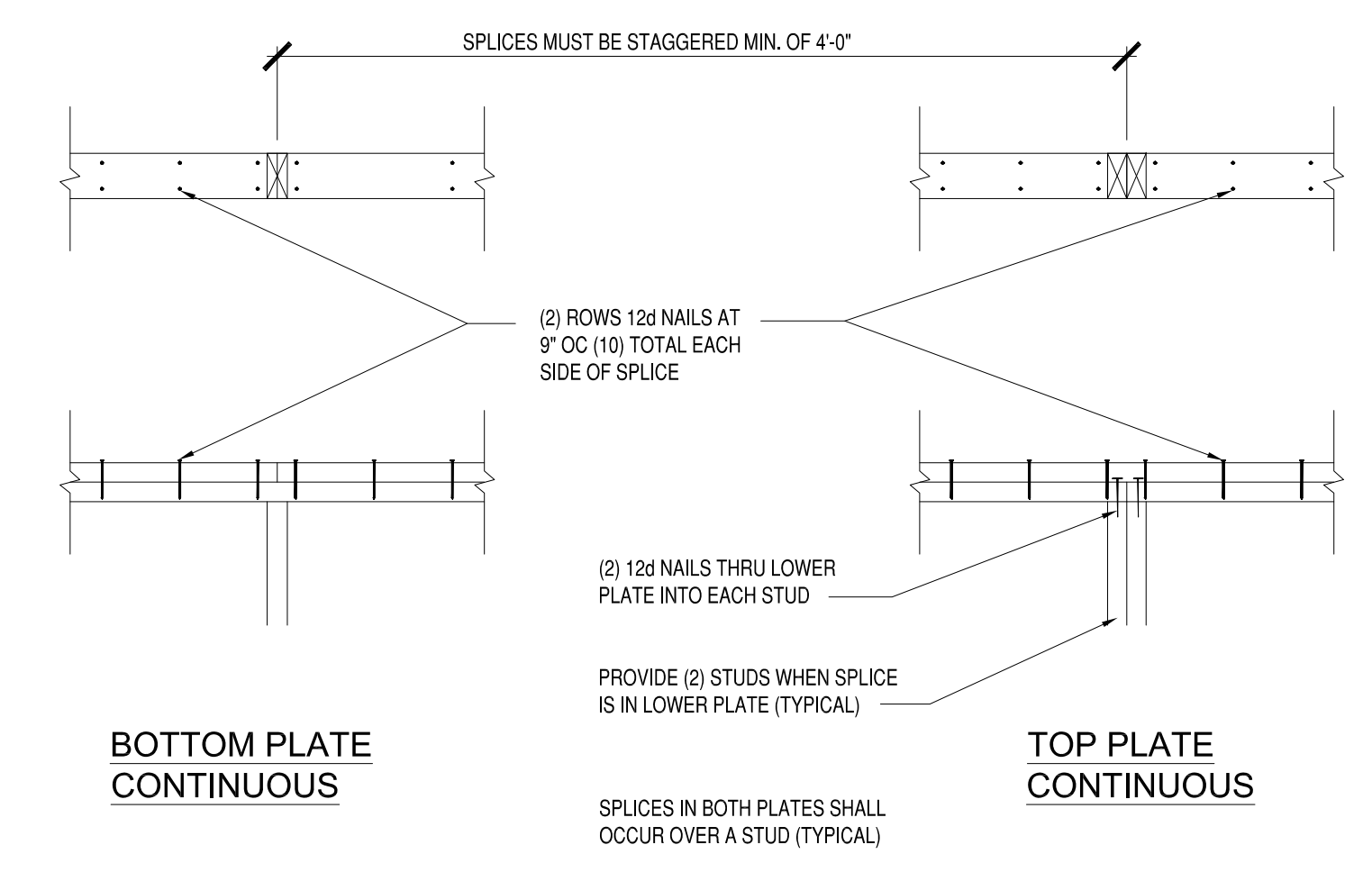
1 TYPICAL SHEAR WALL INTERSECTION
S-105 1'-1/2"=1'-0"



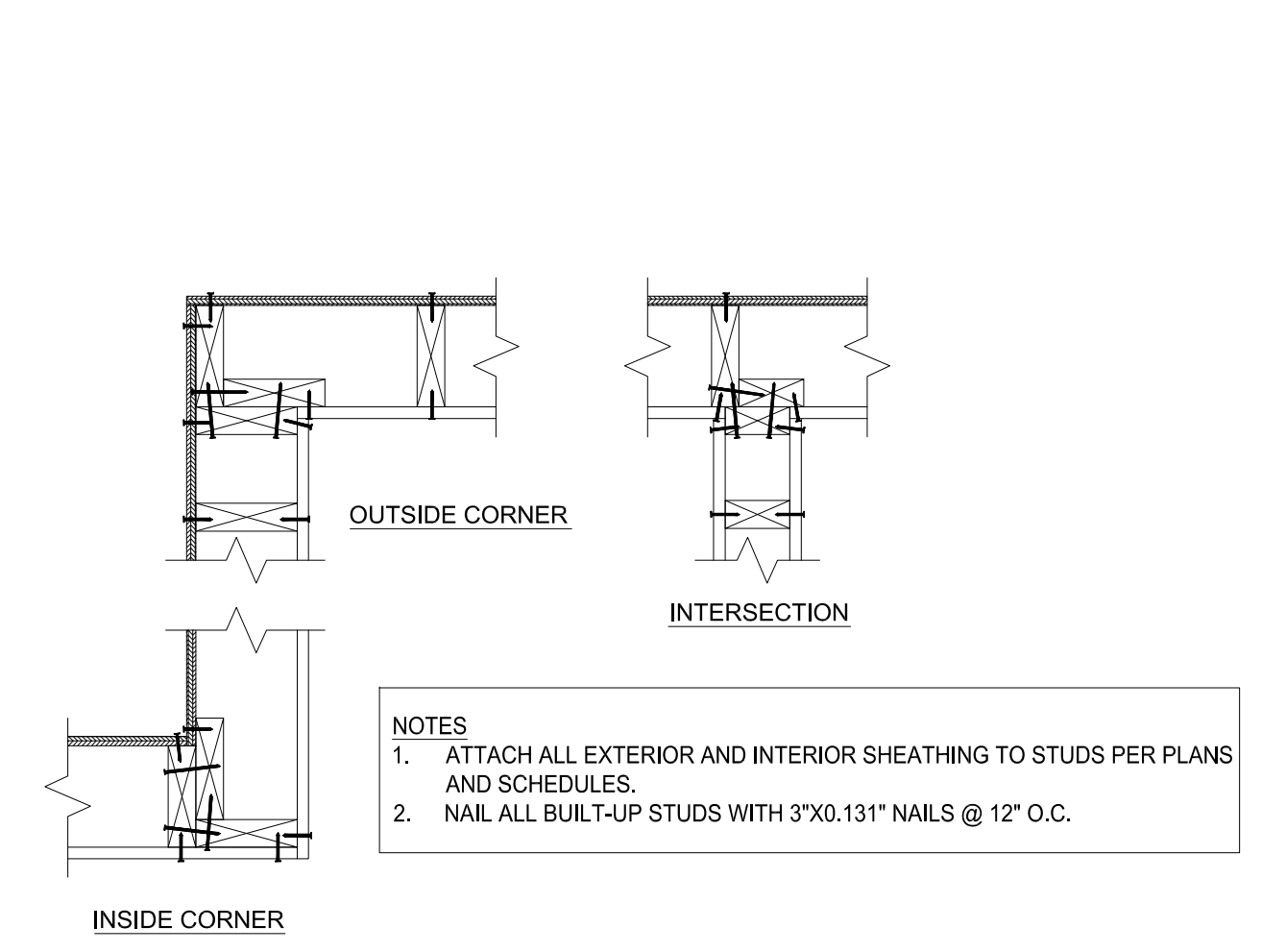
2012 INTERNATIONAL BUILDING CODE
2308.9.10 CUTTING AND NOTCHING
IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40% OF THE WIDTH OF THE STUD IS PERMITTED IN NONBEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.
2308.9.11 BORED HOLES
A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED IN NONBEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED, PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED.

- IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD.
- BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

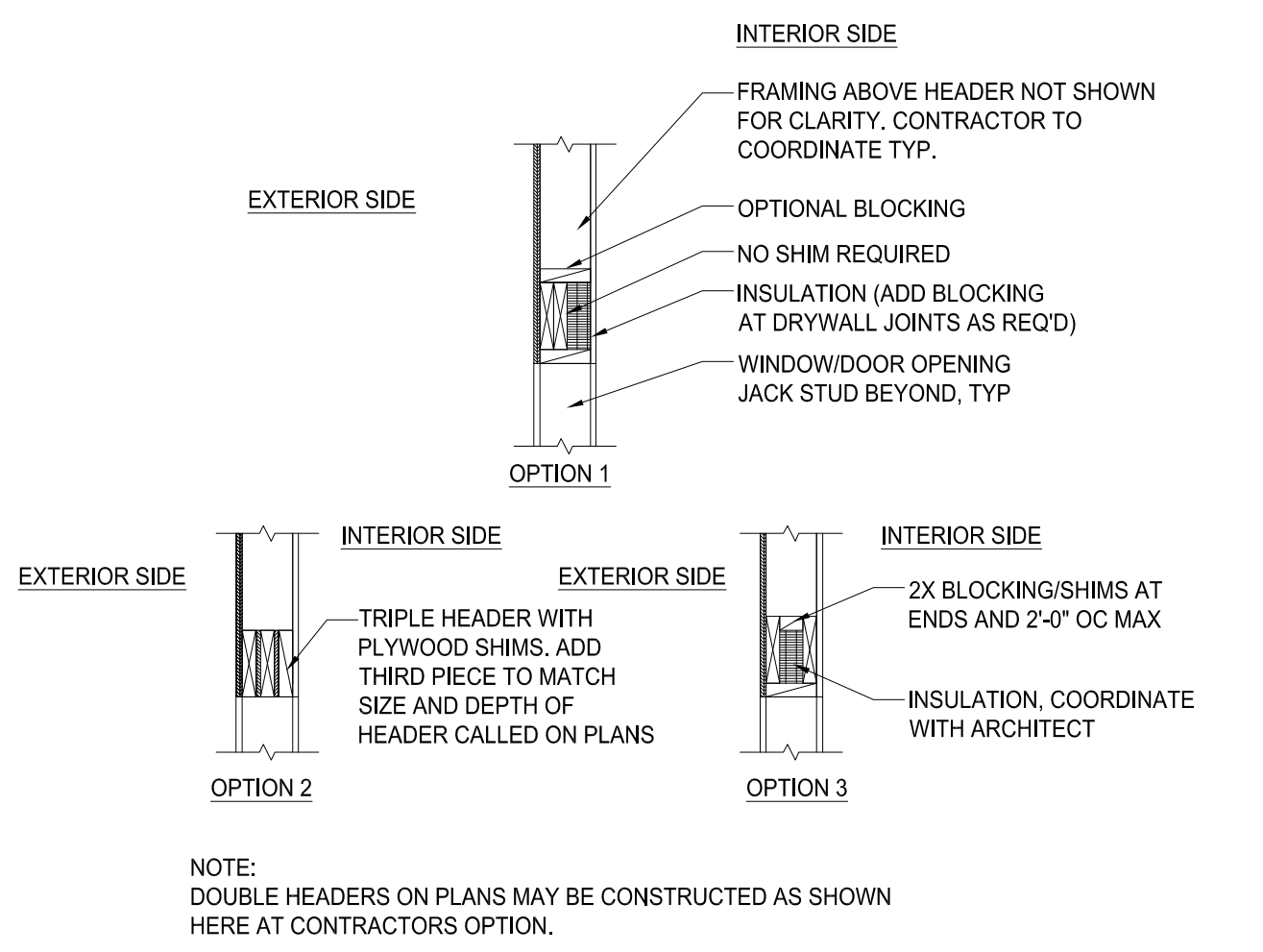
2 ALLOWABLE STUD NOTCH & BORING
S-105 3"=1'-0"



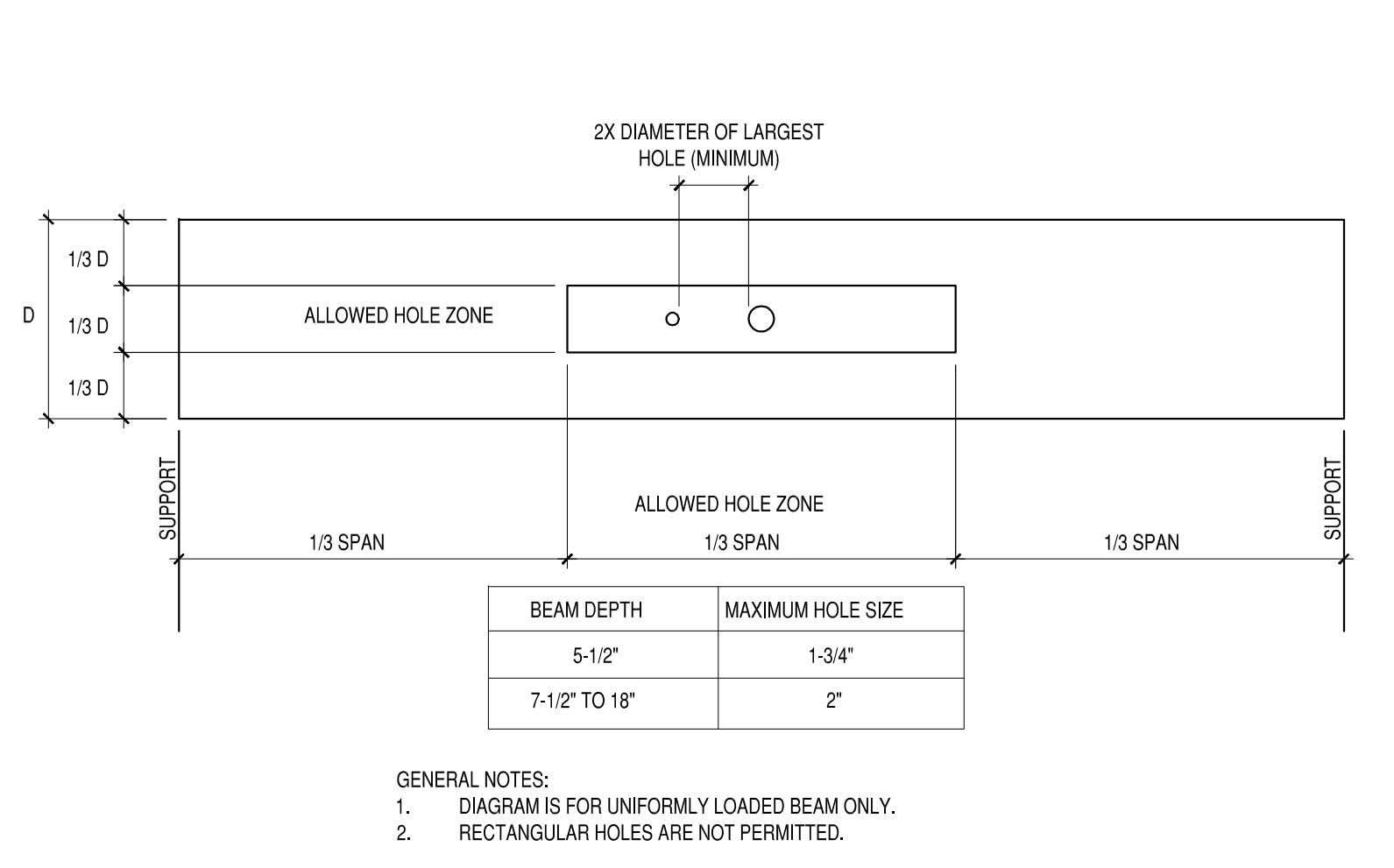
3 TYP TOP PLATE SPLICE AT BEARING WALLS
S-S02 1'-1/2"=1'-0"



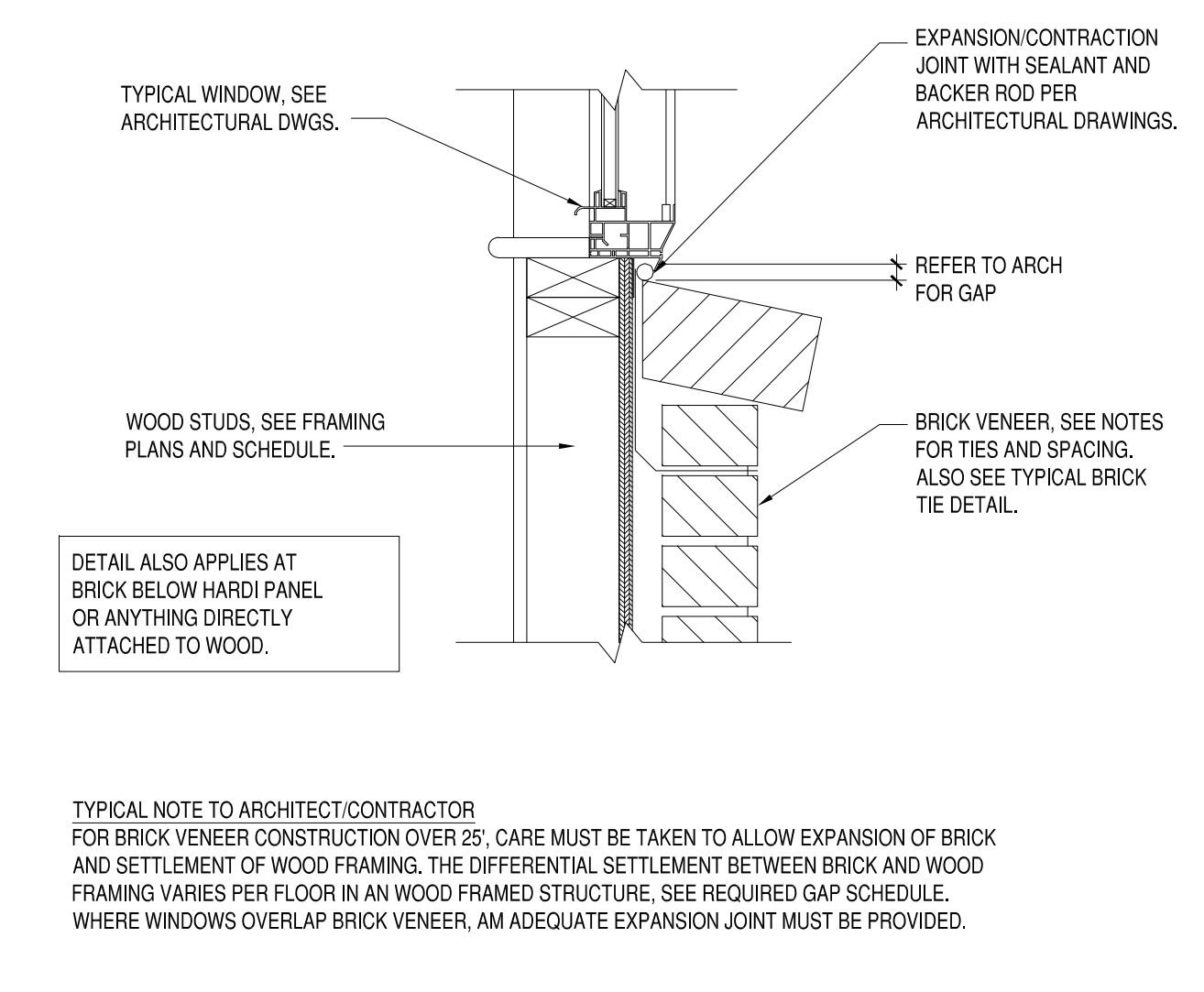
4 CORNER AND INTERSECTION FRAMING
S-105 1"=1'-0"



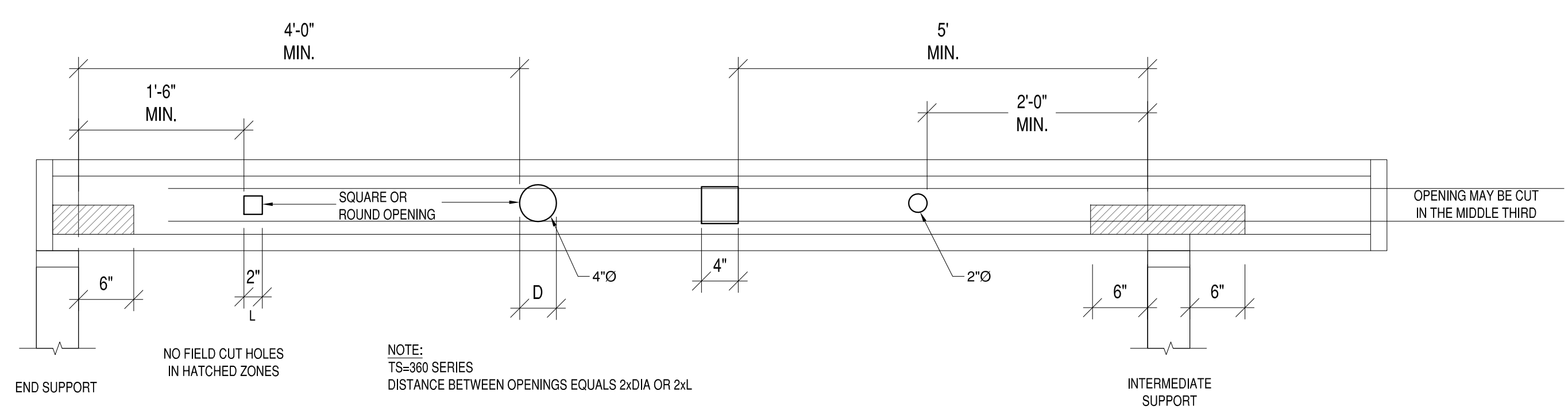
5 2-PLY HEADER FOR 2X6 WALLS
S-105 1"=1'-0"



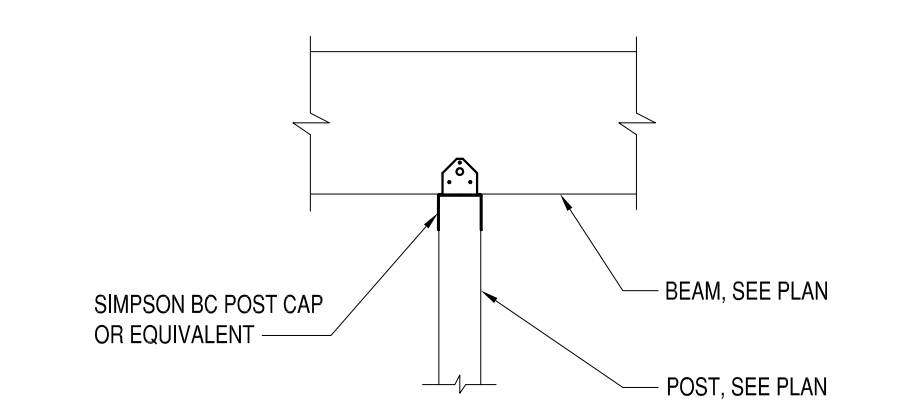
6 ALLOW HOLES FOR BEAM/HEADER
S-105 1'-1/2"=1'-0"



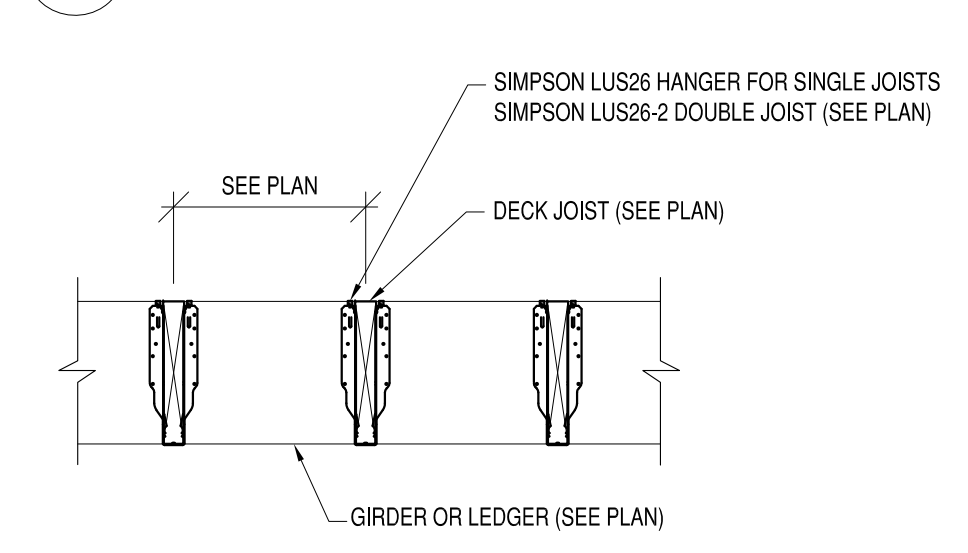
7 TYPICAL EXPANSION JOINT AT BRICK VENEER
S-105 1'-1/2"=1'-0"



10 TYPICAL OPENINGS IN JOIST
S-105 1"=1'-0"



11 TYP DECK POST TO BEAM DETAIL
S-105 3/4"=1'-0"



12 2X6 & 2X8 DECK JOIST DETAIL
S-105 3/4"=1'-0"

DATE	DESCRIPTION	BY	APP'D
9-2-19	ELEVATIONS CORRECT		
7-20-19	FINAL PLANS		
7-13-19	CLIENT REVIEW		
11-3-18	CLIENT REVIEW		

PENN & CO.
42296 BENFOLD SQUARE
ASHBURN, VA 20148
(703) 675-4592 PHONE

STRUCTURAL ENGINEER INFS

SEAL

HOMETOWN REALTY
"The Exceptional Exception"

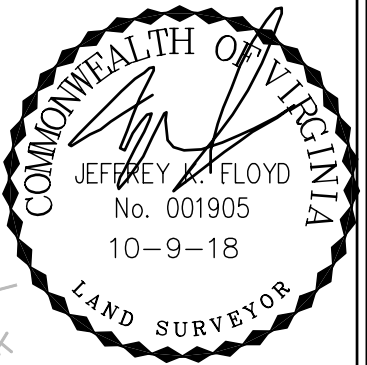
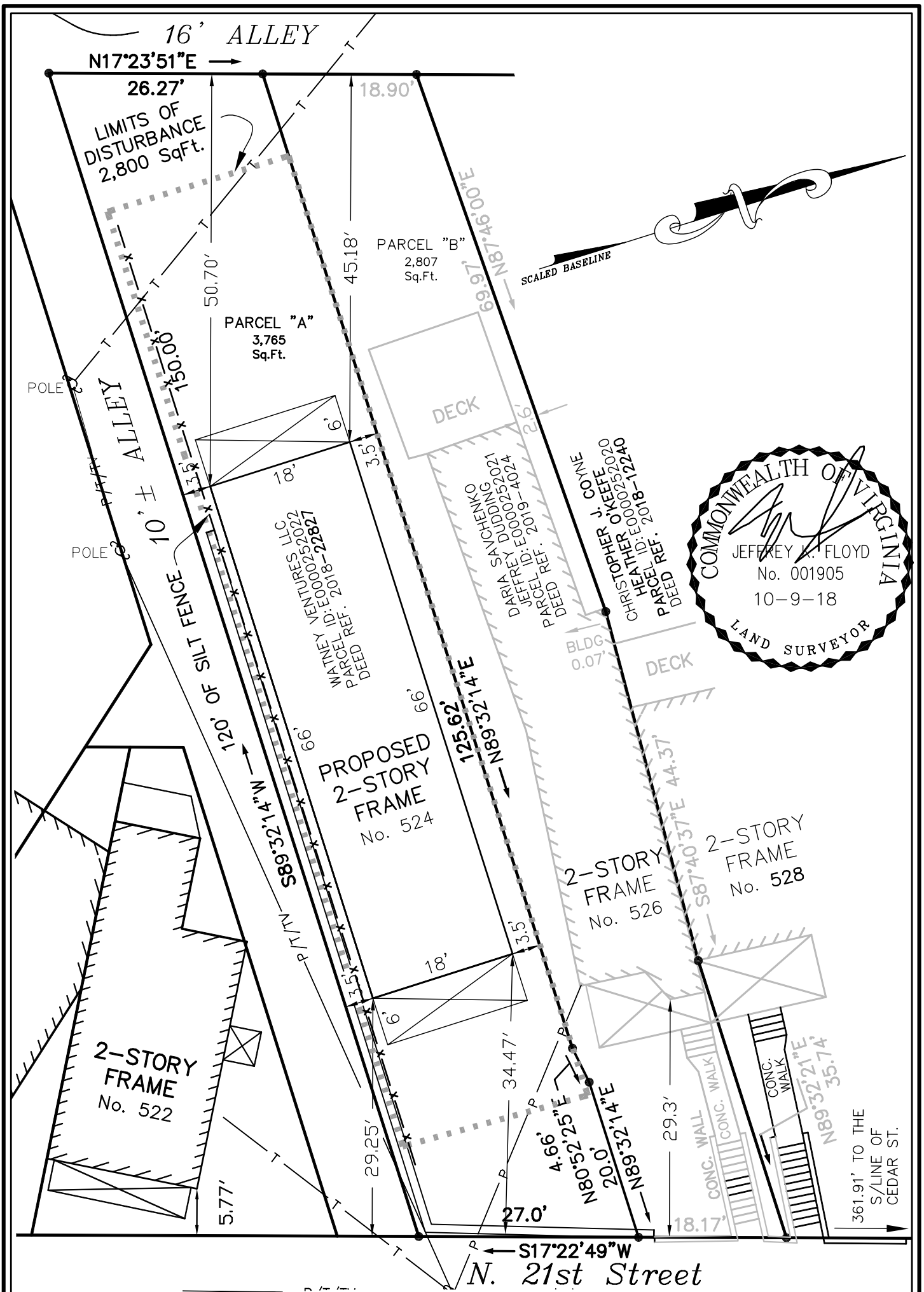
MATT JARREAU
(804) 762-8092 PHONE

INVESTOR REPRESENTATIVE

APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES --- [DRW, JRP, J] CHK [JRP, J]	

524 N 21ST STREET DEVELOPMENT
CITY OF RICHMOND, VIRGINIA
TYPICAL SECTIONS AND DETAILS

SCALE	
PROJECT NO. 2014-02	
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET OF	
S-105	



Virginia Surveys

P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
COPYRIGHT © VIRGINIA SURVEYS
All rights reserved.

SKETCH SHOWING THE PROPOSED
IMPROVEMENTS ON 524 N 21st STREET
IN THE CITY OF RICHMOND, VA.

DATE: 9-9-19
CERTIFIED BY JEFFREY K. FLOYD
VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=15'
JOB NO. 180612202

9'-1 1/8"

FLOOR TO CEILING HEIGHT

1'-2 3/4"

9'-1 1/8"

FLOOR TO CEILING HEIGHT

524-B

524-B

524-A

18'-0"