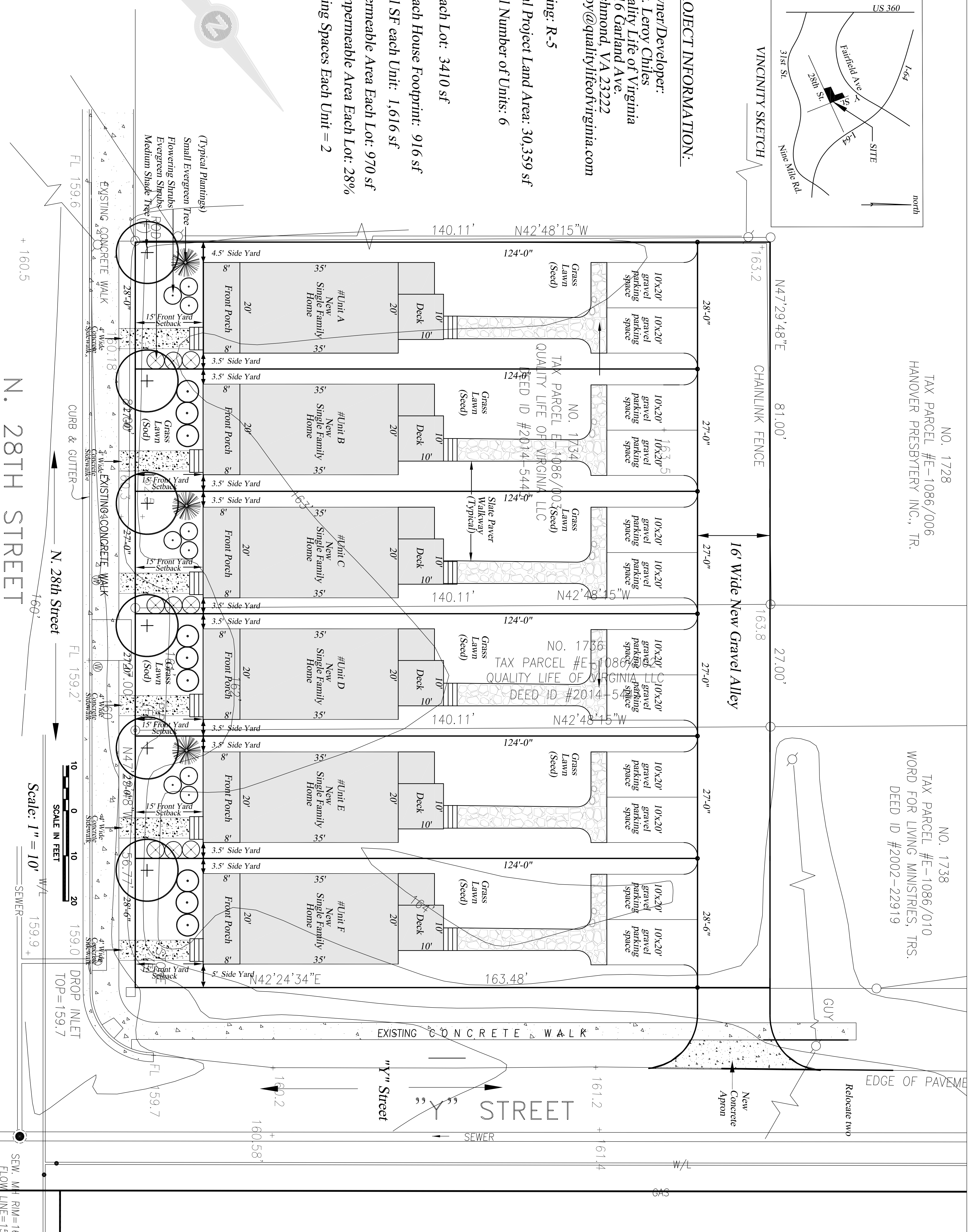


**PROJECT INFORMATION:**

- \* Owner/Developer:  
Mr. Leroy Chiles  
Quality Life of Virginia  
3416 Garland Ave.  
Richmond, VA 23222  
leroy@qualitylifeofvirginia.com
- \* Zoning: R-5
- \* Total Project Land Area: 30,359 sf
- \* Total Number of Units: 6
- \* SF each Lot: 3410 sf
- \* SF each House Footprint: 916 sf
- \* Total SF each Unit: 1,616 sf
- \* Impermeable Area Each Lot: 970 sf
- \* % Impermeable Area Each Lot: 28%
- \* Parking Spaces Each Unit = 2

NO. 1728  
TAX PARCEL #E-1086/006  
HANOVER PRESBYTERY INC., TR.

NO. 1738  
TAX PARCEL #E-1086/010  
WORD FOR LIVING MINISTRIES, TRS.  
DEED ID #2002-22919



Scale: 1" = 10'



**Site Layout Plan**

Date: 12-5-14  
Scale: 1"=10'  
Designed By: C.G. Shead  
Drawn By: S.P.  
Checked By: C.G. Shead  
Project Number: \_\_\_\_\_

Sheet Number:  
C1 of 1

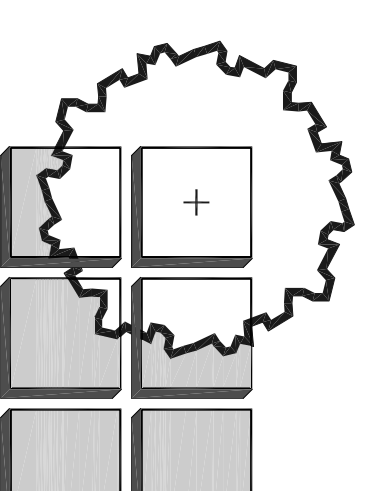
**Revisions:**

No.	Description	Date

**GRACE PLACE**  
New Single Family  
Detached Homes  
1734-1738 N. 28th St.  
RICHMOND, VA 23223

**Shead Associates, P.C.**  
• Landscape Architecture •  
• Land Use Planning •  
8005 Creighton Parkway #703  
Mechanicsville, VA 23111  
Tel: (804) 649-8500 Cell: (804) 240-7823





**Sneed Associates, P.C.**  
 •Landscape Architecture•  
 •Land Use Planning•  
 Richmond, Virginia 23220  
 101 West Broad St., Suite 100A  
 Tel: (804) 649-8500 Fax: (804) 649-8502

## Site Details For

**GRACE PLACE**  
 New Single Family  
 Detached Homes

1734-1738 N. 28th St.  
 RICHMOND, VA 23223

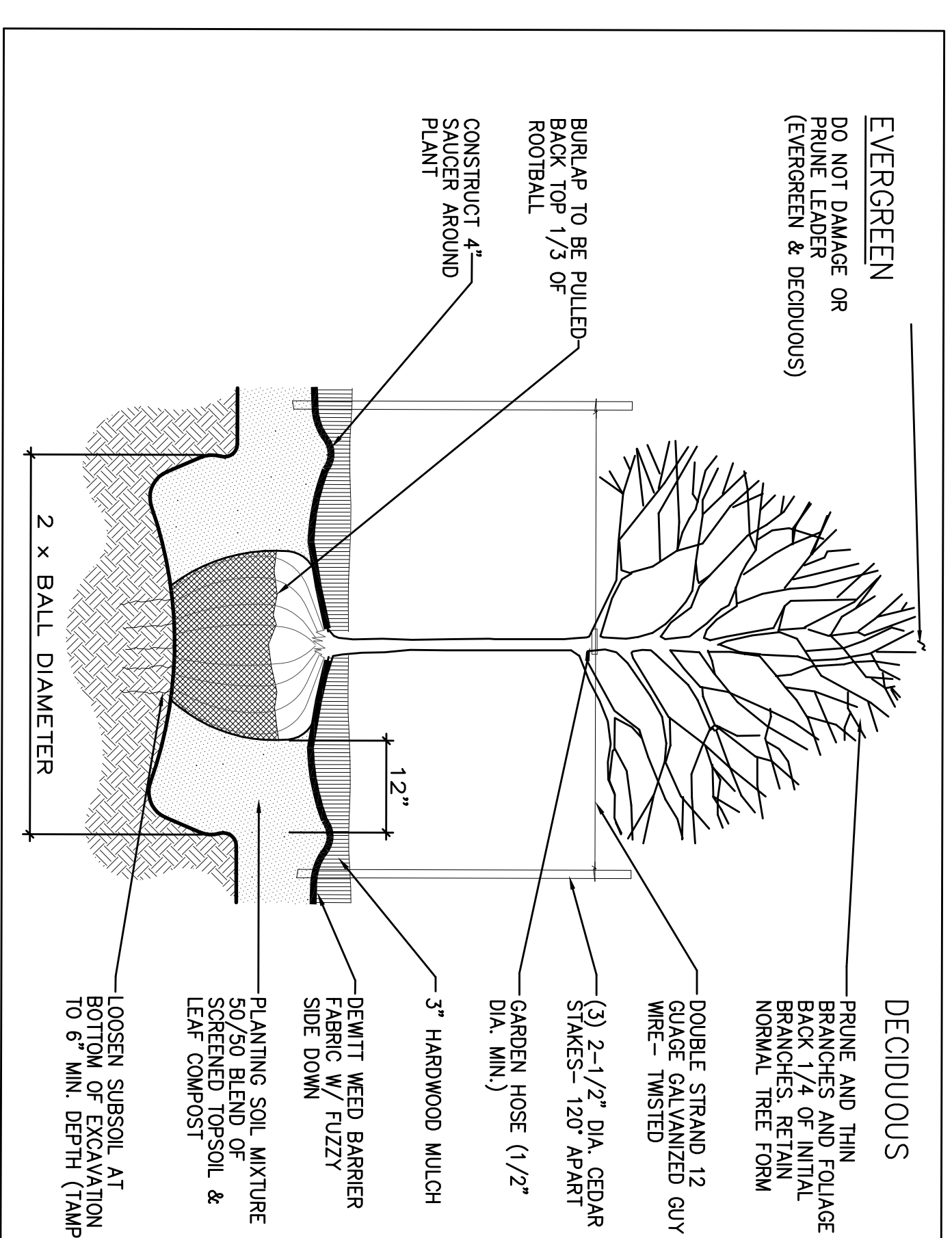
### Revisions:

No.	Description	Date

### Site Plan Construction Details

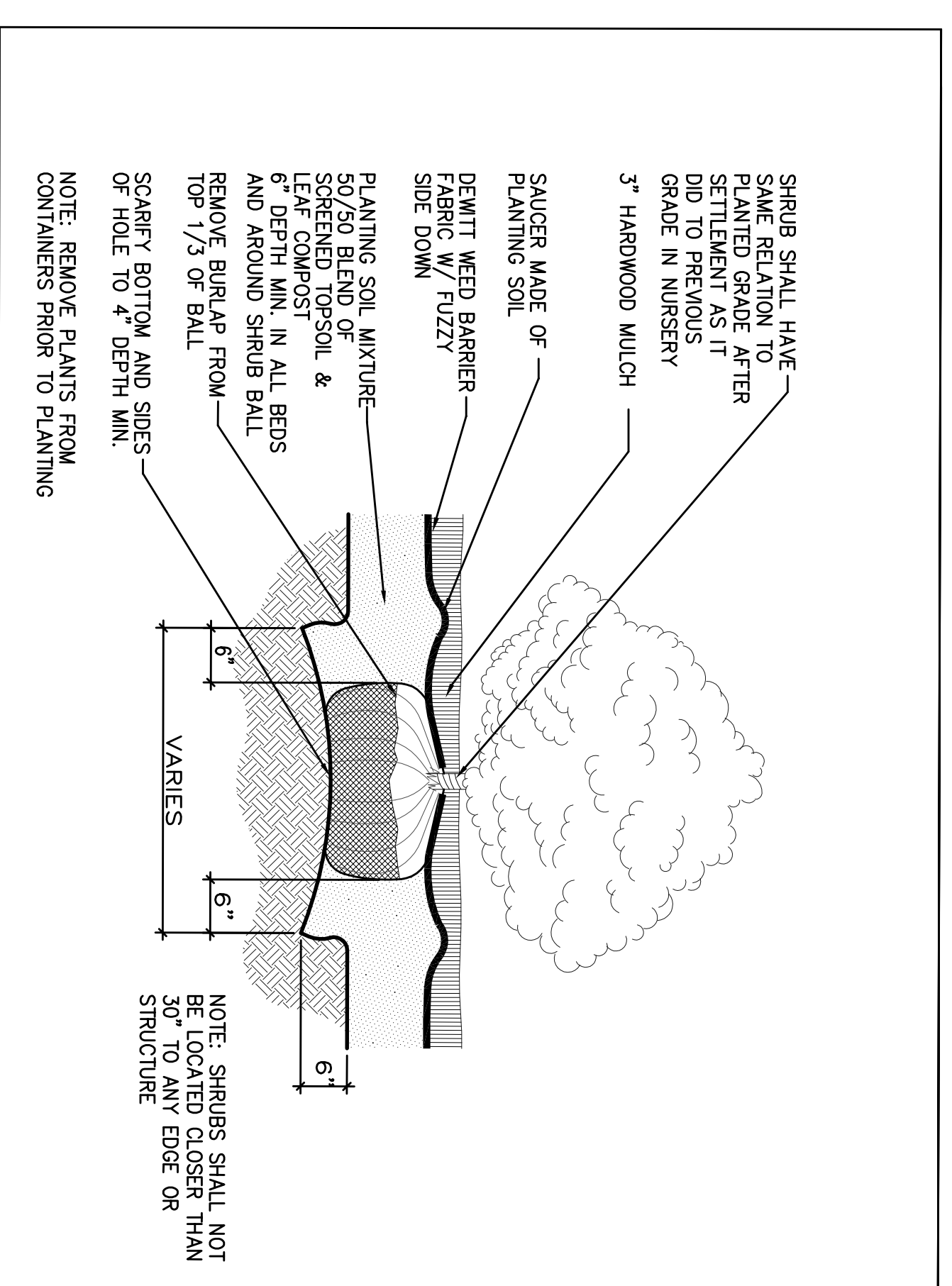
Date:	06-13-14
Scale:	1" = 10'
Designed By:	C.G. Sneed
Drawn By:	S.P.
Checked By:	C.G. Sneed
Project Number:	-----

Sheet Number:  
C2 of 3



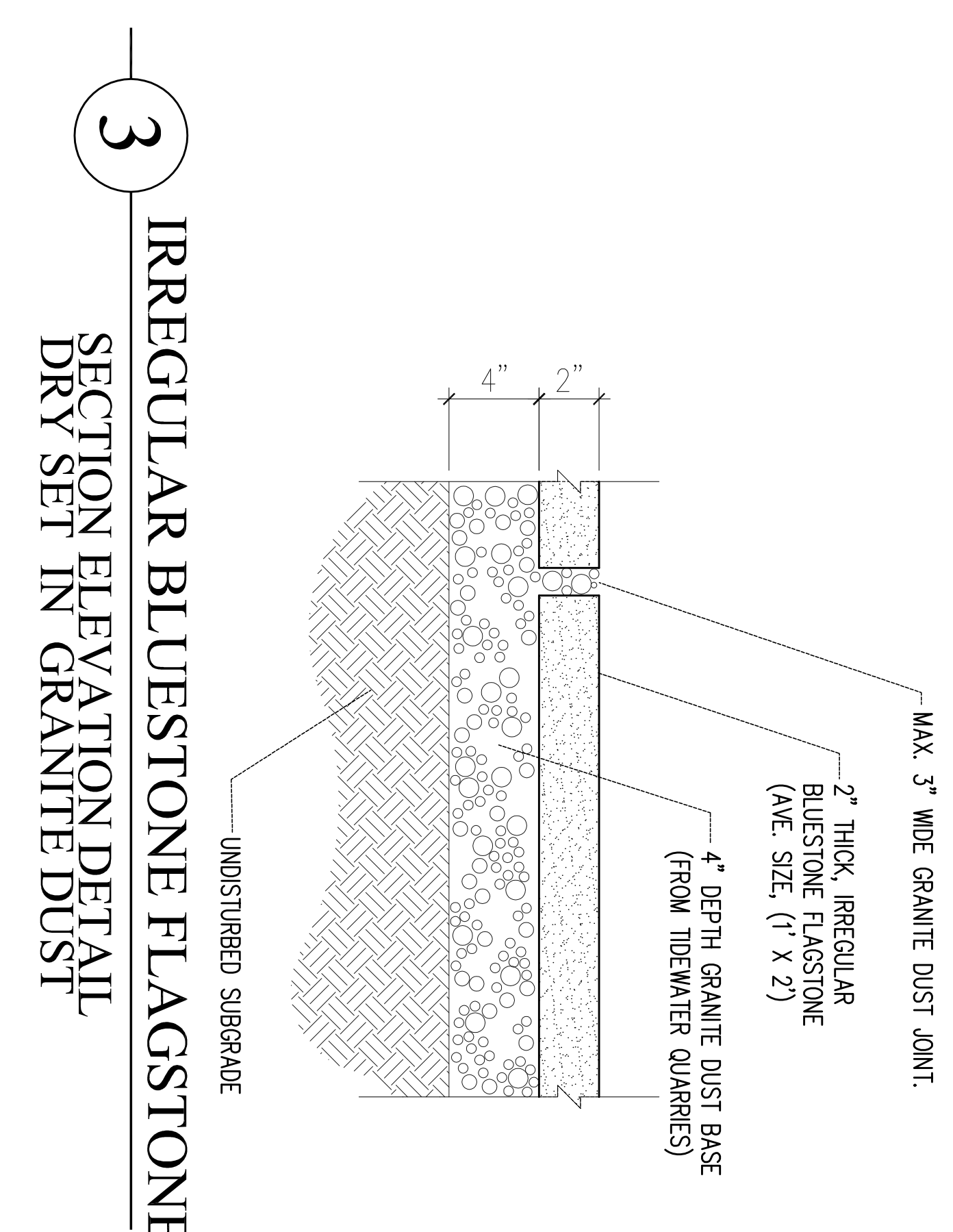
**1 TREE PLANTING DETAIL**

NOT TO SCALE

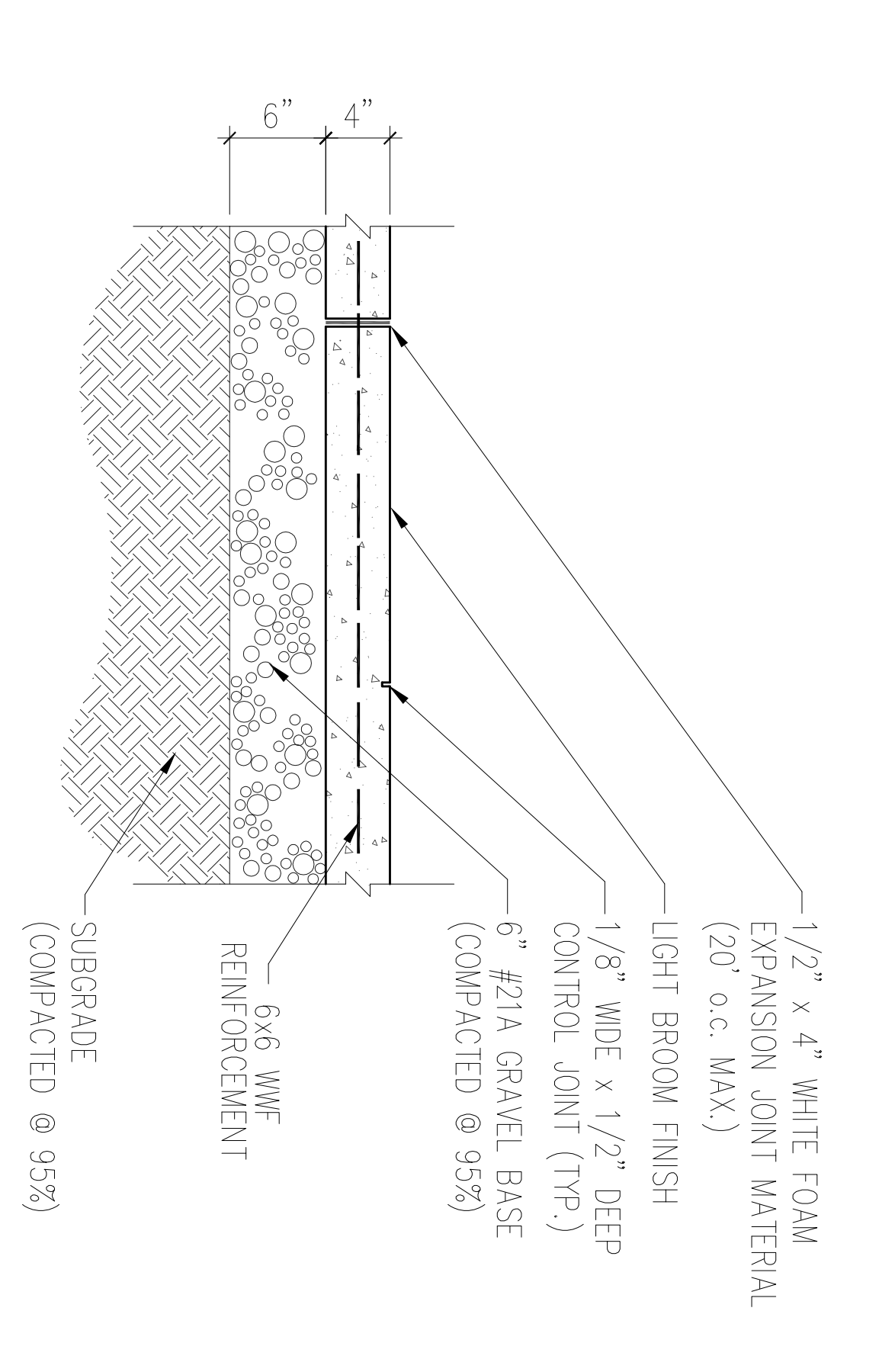


**2 SHRUB PLANTING DETAIL**

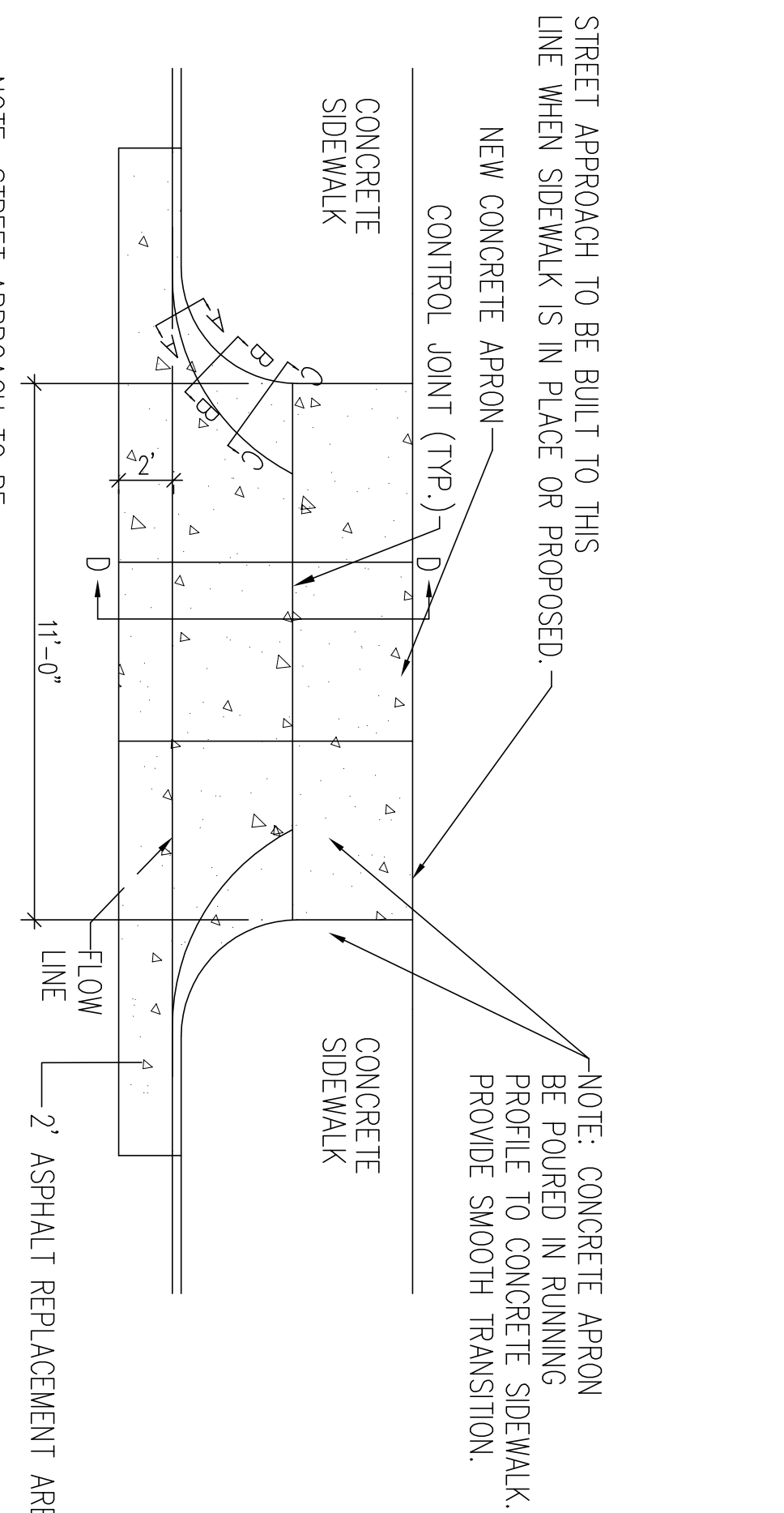
NOT TO SCALE



**3 IRREGULAR BLUESTONE FLAGSTONE SECTION ELEVATION DETAIL DRY SET IN GRANITE DUST**



**4 CONCRETE SIDEWALK DETAIL**



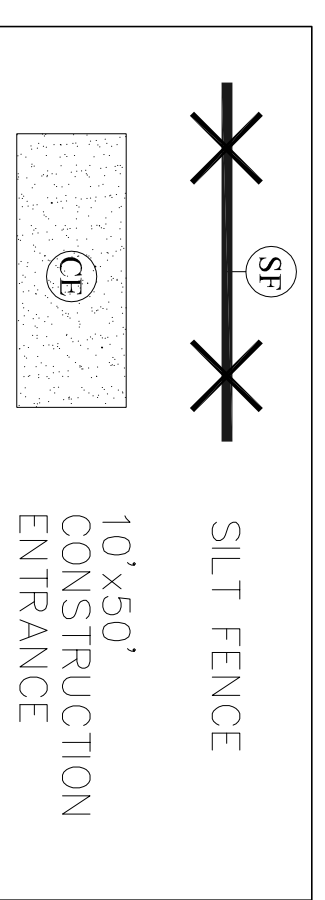
**5 CONCRETE APRON DETAIL**

NOT TO SCALE

## EROSION AND SEDIMENT CONTROL GUIDELINES

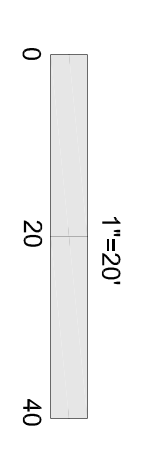
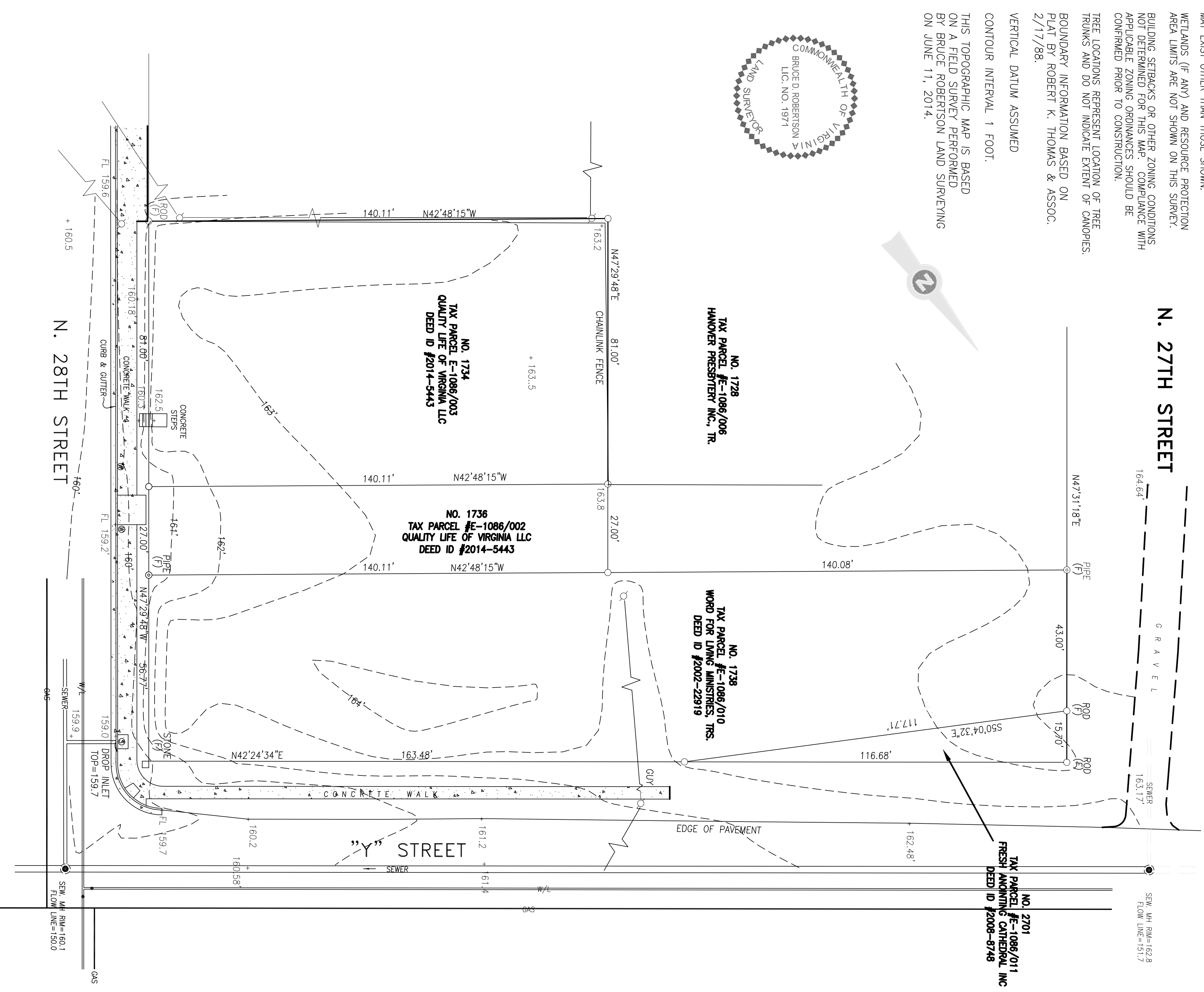
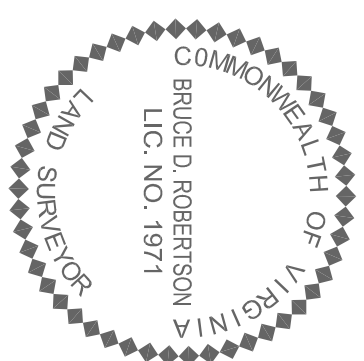
1. NO DISTURBED AREA SHALL REMAIN DENUDED FOR MORE THAN (7) DAYS.
2. EXCESS EXCAVATION DISPOSED OF OFF THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
3. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND SHALL BE PLACED PRIOR TO OR AS THE FIRST OF LAND DISTURBING ACTIVITY.
4. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED SO THAT SEDIMENT CARRYING RUNOFF FROM THE SITE WILL NOT ENTER STORM DRAINAGE FACILITIES.
5. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL THE DISTURBED AREA IS STABILIZED.
6. PROPERTIES ADJOINING THE SITE SHALL BE KEPT CLEAN OF MUD OR SILT CARRIED FROM THE SITE BY VEHICULAR TRAFFIC OR RUNOFF.
7. THE DISPOSAL OF WASTE MATERIALS REMOVED FROM EROSION AND SEDIMENT CONTROL FACILITIES AND THE DISPOSAL OF THESE FACILITIES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
8. THIS SITE IS NOT IN THE 100 YEAR FLOOD PLAIN

## LEGEND



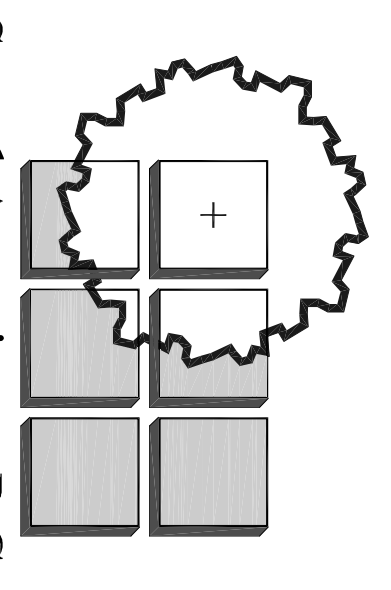
LOCATION OF U/G UTILITIES BASED ON FIELD OBSERVATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN. WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY. BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION. TREE LOCATIONS REPRESENT LOCATION OF TREE TRUNKS AND DO NOT INDICATE EXTENT OF CANOPIES. BOUNDARY INFORMATION BASED ON PLAT BY ROBERT K. THOMAS & ASSOC. 2/17/88. VERTICAL DATUM ASSUMED

CONTOUR INTERVAL 1 FOOT.  
THIS TOPOGRAPHIC MAP IS BASED ON A FIELD SURVEY PERFORMED BY BRUCE ROBERTSON LAND SURVEYING ON JUNE 11, 2014.



**Bruce Robertson Land Surveying, P.C.**  
P.O. Box 20311 Richmond, Virginia Professional Registration No. 00000000000000000000

TOPOGRAPHIC SURVEY OF 4 PARCELS OF LAND LOCATED ON THE WEST LINE OF NORTH 28TH STREET AND THE SOUTH LINE OF Y STREET CITY OF RICHMOND, VIRGINIA  
Date: 06/11/14  
Scale: 1"=20'  
JN 1446



**Sneed Associates, P.C.**  
• Landscape Architecture •  
• Land Use Planning •  
Richmond, Virginia 23220  
101 West Broad St., Suite 100A  
Tel: (804) 649-8500 Fax: (804) 649-8502

Survey Sheet  
For

**GRACE PLACE**  
New Single Family  
Detached Homes  
1734-1738 N. 28th St.  
RICHMOND, VA 23223

**Revisions:**

No.	Description	Date

**Survey Sheet**

Date:	06-13-14
Scale:	Not To Scale
Designed By:	C.G. Sneed
Drawn By:	S.P.
Checked By:	C.G. Sneed
Project Number:	-----

Sheet Number:  
C3 of 3

# GENERAL NOTES:

1. USE GROUP R5
2. CONTRACTOR SHALL CONFORM TO THE 2009 VIRGINIA UNIFORM STATEWIDE BUILDING CODE / 2009 I.R.C. AND ALL LOCAL ORDINANCES.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
4. ALL DIMENSIONS SHOWN ARE ACTUAL, AND ARE TO THE FACE OF STUDS OR MASONRY OR EXTERIOR SHEATHING, CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN FIELD. EXTERIOR FRAMING DIMENSIONS ARE TO THE EXTERIOR FACE OF 1/2" SHEATHING (4" WALL); INTERIOR FRAMING DIMENSIONS ARE TO THE FACE OF STUD (3 1/2" WALL). FACE OF EXTERIOR SHEATHING TO ALIGN WITH FACE OF MASONRY BELOW.
5. CONTRACTOR SHALL CAULK, FLASH, OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT. CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
6. ALL WOOD JOISTS WITHIN 18" OR WOOD GIRDERS WITHIN 12" OF EXPOSED EARTH SHALL BE PRESSURE PRESERVATIVE TREATED.
7. 32" HANDRAILS AND 36" GUARDRAILS ARE REQUIRED ON ALL PORCHES, DECKS, STAIRS, ETC. WITH 30" OR MORE ELEVATION DIFFERENCE. GUARDRAILS TO HAVE PICKETS AT 6" O.C. AND POSTS AT 60" O.C. MAX.
8. ALL HOSE BIBBS SHALL BE FREEZEPROOF AND HAVE A VACUUM BREAKER.
9. EXTERIOR STAIRS ARE SHOWN FOR LOCATION ONLY. CONTRACTOR SHALL VERIFY ALL GRADE ELEVATIONS AND ACTUAL NUMBER OF STAIRS REQUIRED.
10. (3) 2X4'S WITH MID-HEIGHT BLOCKING ARE REQUIRED WHERE NOTED AS "TRIPLE STUD SUPPORT" ON DRAWINGS.
11. RUN ALL TOILET FANS AND EXHAUST VENTS TO AN OWNER APPROVED EXTERIOR DISCHARGE.
12. PROVIDE 75 % SOLD CMU OR GROUT FILLED TOP COURSE AT ALL HOLLOW CUM PIERS.
13. 6" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING AT CONC. SLABS AND 16" AT CRAWL SPACE
14. SILL PLATE ANCHORAGE - 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS AND 12" MAX. FROM CORNERS. (8" LONG INTO CONCRETE, 18" LONG INTO MASONRY.) CODE APPROVED STRAP ANCHORS MAY BE USED AT THE CONTRACTOR'S OPTION.
15. ALL GLAZING WITHIN 18" OF FLOOR OR 48" OF DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED.
16. ENGINEER SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD FLOOR AND ROOF TRUSSES.
17. PROVIDE FIRESTOPPING AND DRAFTSTOPPING AS REQUIRED
18. ALL UNEXPOSED CONCRETE SHALL BE 3,000 PSI MIN. STRENGTH, ALL EXPOSED CONCRETE SHALL BE 3,500 PSI STRENGTH WITH 5 AIR ENTRAINMENT.
19. ALL STRUCTURAL LUMBER (I.E. JOISTS, RAFTERS, HEADERS, ETC.) SHALL HAVE A MODULUS OF ELASTICITY OF 1,400,000 MIN. AND EXTREME FIBER BENDING STRESS OF 1,000 PSI MIN. FOR REPETITIVE MEMBERS.
20. ALL WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS (STUD GRADE S-P-F SD S4S MIN.) AT 16" O.C. (U.N.O.)
21. SHELVING AND SHELF RODS TO BE BRACED AT 4'-0" O.C. MAXIMUM.
22. VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS. TUB, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT..
23. INSULATE ALL PIPING IN EXTERIOR WALLS AND CRAWL SPACE.
24. PROVIDE RECESSED BOX WITH VALVE TO AREA OF REFRIGERATOR FOR ICEMAKER.
25. ALL ELECTRICAL AND MECHANICAL LAYOUTS ARE CONCEPT ONLY. CONTRACTOR AND OR SUBCONTRACTOR SHALL VERIFY AND ABIDE BY LOCAL CODES AND GUIDELINES BEFORE STARTING.
26. ALL SHOWERS AND TUBS TO HAVE A WATER RESISTANT RECESSED LIGHT ABOVE
27. ICE AND SNOW SHIELD WILL BE USED ON THE FIRST 3'-0" OF ROOF
28. GUTTER AND DOWNSPOUTS ON STRUCTURE AND PORCH (PRE-FINISHED ALUMINUM)
29. VINYL SOFFITS @ ALL PORCH CEILINGS

DRAWING INDEX	
A1.0	FLOOR PLANS
A1.1	ENLARGE FLOOR PLAN
A2.0	ELEVATIONS
S1.0	STRUCTURAL PLAN
S2.0	TYPICAL WALL SECTIONS AND DETAILS
S2.1	SECTIONS AND DETAILS

SQUARE FOOTAGE
----------------

(FINISHED) FIRST FLOOR SF.	700 SF.
(FINISHED) SECOND FLOOR SF.	700 SF.
TOTAL FINISHED SF.	1,400 SF.

LOADS:	
WIND LOAD	15 LBS/SQFT.
LIVE FLOOR	40 LBS/SQFT.
DEAD FLOOR (ALL)	10 LBS/SQFT.
LIVE ROOF (SNOW)	20 LBS/SQFT.
DEAD ROOF (EACH CORE)	10 LBS/SQFT.
ATTIC FLOOR STORAGE	20 LBS/SQFT.
LIVE DECK	40 LBS/SQFT.

SOLID BEARING (FIELD VERIFY) 2,000 LBS/SQFT.

SEISMIC ONE-ZONE

PLANS AND ELEVATIONS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF TRINITY HOMES. THEY ARE NOT TO BE USED BY THE OWNER OR ANYONE ELSE ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY PRIOR AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO TRINITY HOMES



Issue Date: 06-May-14 Plot Date: 19-Jun-14

The Zoe

SHEET NUMBER

T-1

### Plan Details

Foundation	<input checked="" type="checkbox"/>	Crawl Space		Slab		Basement		Walk out	
Basement Options		Poured walls		CMU		Unfinished		Finished	
Basement Baths		Half Bath		Full		Details:			
				1,400 SF					
Renderings		Interior		Plans	<input checked="" type="checkbox"/>	Elevation(s)			
Number of Stories		One Story	<input checked="" type="checkbox"/>	2 Story		3 Story		4 Story	
Number of Bedrooms	<b>3</b>								
Number of Baths	<b>2.5</b>								
Master Bedroom		1st Floor	<input checked="" type="checkbox"/>	2nd Floor					
Master Bath	<input checked="" type="checkbox"/>	Tub & Shr		Shr only		Double Van		Other	
Kitchen		Morning Rm.		Island	<input checked="" type="checkbox"/>	Breakfast Area		Other	
In-law Suite		1st Floor		2nd Floor		Other	<input checked="" type="checkbox"/>	None	
In-law Bath		Tub & Shr		Shr only		Double Van	<input checked="" type="checkbox"/>	None	
Hall Bath		Tub & Shr		Shr only		Double Van		Other	
Garage Attached		1 Car		2 Car		3 Car		4 Car	<input checked="" type="checkbox"/>
Garage Detached		1 Car		2 Car		3 Car		4 Car	<input checked="" type="checkbox"/>
Ceiling Height 1st FL.		8' Tall	<input checked="" type="checkbox"/>	9' Tall		10' Tall		Other	
Ceiling Height 2nd FL	<input checked="" type="checkbox"/>	8' Tall		9' Tall		10' Tall		Other	
Laundry Room	<input checked="" type="checkbox"/>	1st Floor		2nd		Basement		Mudroom	
Fire Place		Wood Burn		Gas	<input checked="" type="checkbox"/>	None			
Fire Place Location		Family Room		Dine		Living Room		Other	
Front Exterior Mat.	<input checked="" type="checkbox"/>	Siding		Brick		Stone		Dry vit	
Right Side Ext. Mat	<input checked="" type="checkbox"/>	Siding		Brick		Stone		Dry vit	
Left Side Ext. Mat	<input checked="" type="checkbox"/>	Siding		Brick		Stone		Dry vit	
Rear Exterior Mat	<input checked="" type="checkbox"/>	Siding		Brick		Stone		Dry vit	
Door Heights 1st FL.	<input checked="" type="checkbox"/>	6'-8"		7'-0"		8'-0"		Other	
Door Heights 2nd FL.	<input checked="" type="checkbox"/>	6'-8"		7'-0"		8'-0"		Other	
Hot Water Heater	<input checked="" type="checkbox"/>	Boiler Tank		Tankless					
Outside Living Space		Deck		Patio		Screened Porch		Sloop	

### Floor Finishes

Room

Kitchen	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Pantry	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Great Room	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Dining Room	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Foyer	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Hall Bath	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Stairs	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Junior Suite	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Junior Suite Closet	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Other	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Master Bedroom	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Master Bath	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Master Closet	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Laundry Room	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Bedroom #2	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Hall Bath #2	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Bedroom #3	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood
Hall	Laminate	Vinyl	Ceramic Tile	Carpet	H. Wood

### Plan Type:

Floor

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF TRINITY HOMES. THEY ARE NOT TO BE USED BY THE OWNER OR ANYONE ELSE, ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY PRIOR AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO TRINITY HOMES.

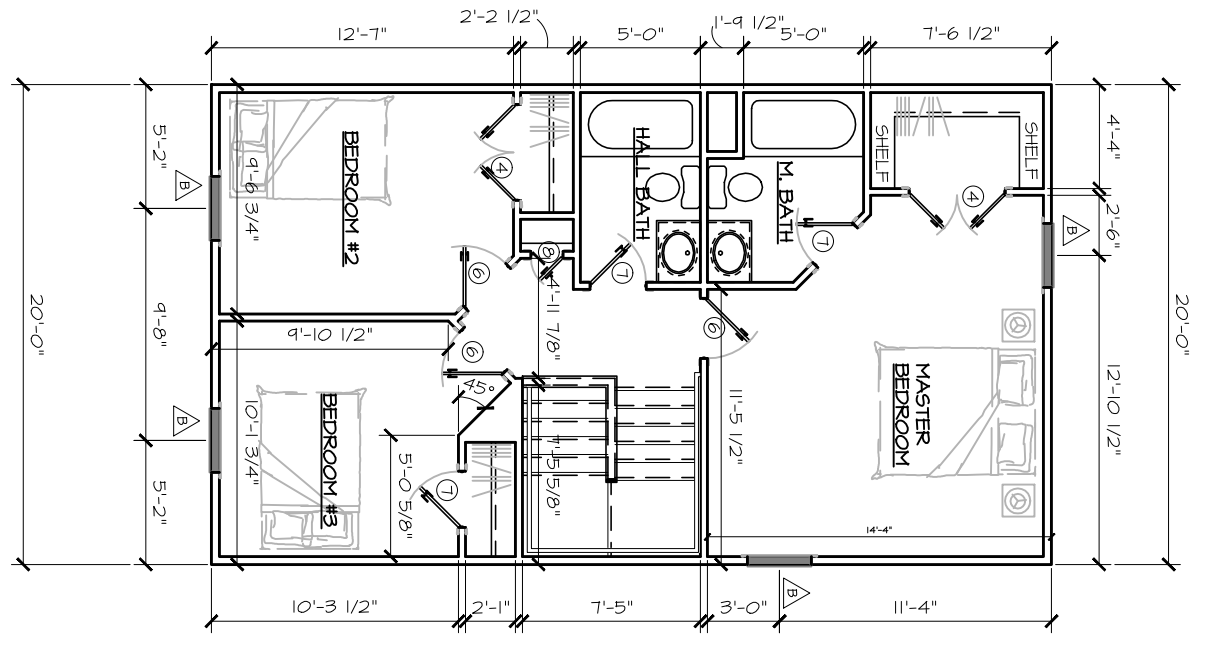
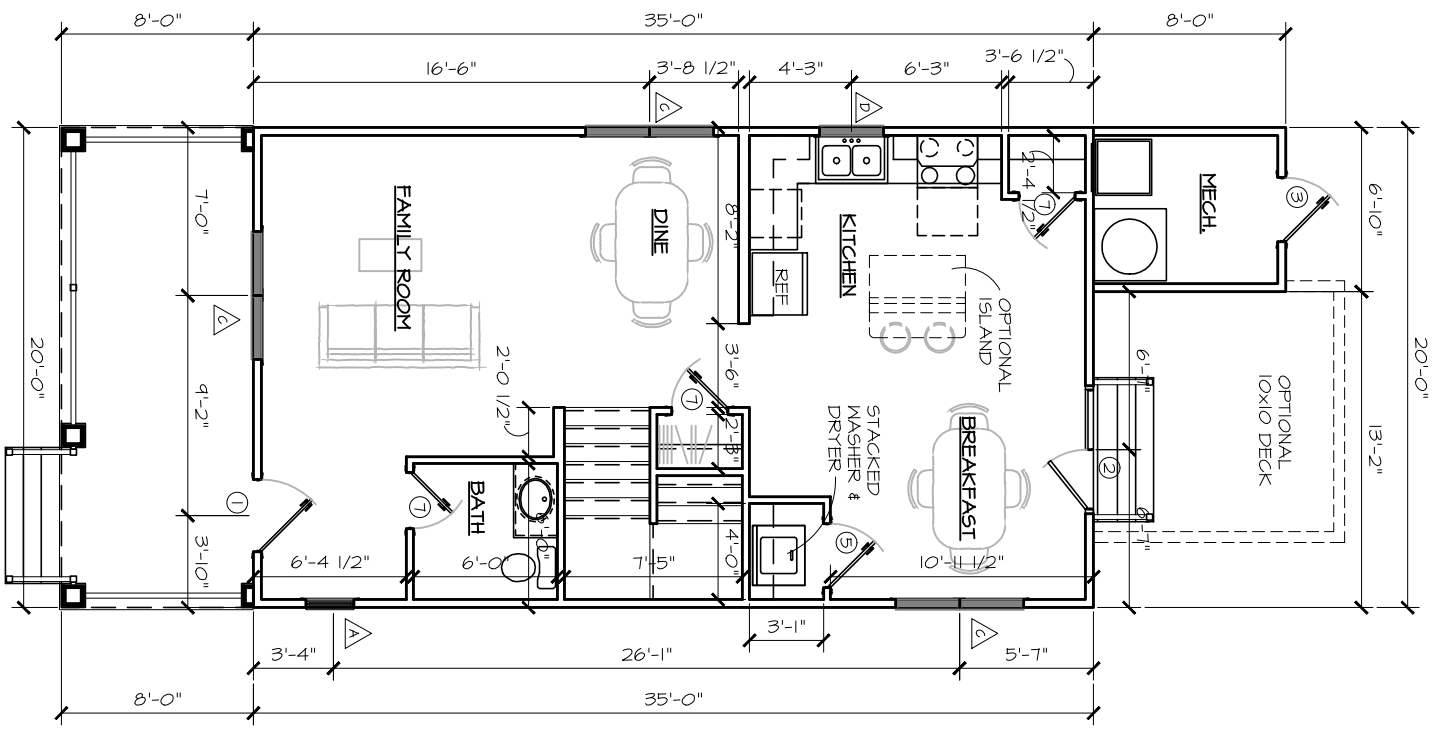


Issue Date: 06-May-14 Plot Date: 19-Jun-14

The Zoe

SHEET NUMBER

INFO




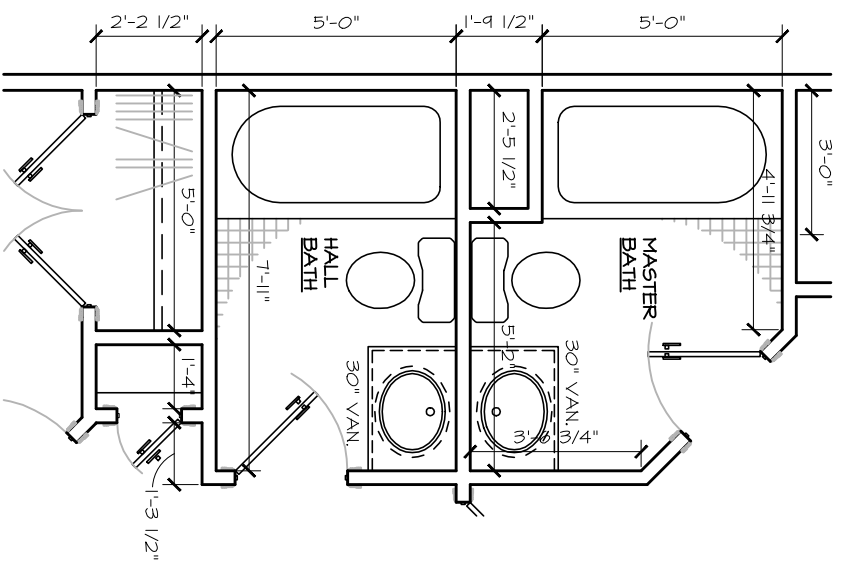
WINDOW TYPE LEGEND	
A	2/0x - OVAL FIXED (optional)
B	2/8x5/2 D/H TILT
C	2/8x5/2 D/H TILT TWIN
D	2/8x3/2 D/H TILT

DOOR TYPE LEGEND	
1	3/0x6/8 EXTERIOR W/ SIDE LITES
2	5/0x6/8 FRENCH DOOR
3	2/8x6/8 EXTERIOR
4	2/0x6/8 DOUBLE DOOR INTERIOR
5	2/6x6/8 DOUBLE DOOR INTERIOR
6	2/6x6/8 INTERIOR
7	2/4x6/8 INTERIOR
8	1/4x6/8 INTERIOR

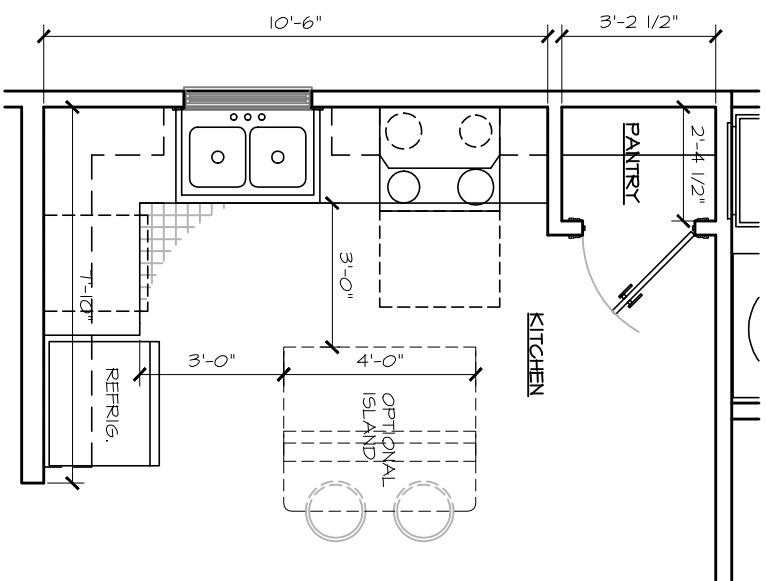
- NOTE:**
- ALL CONTRACTORS, SUBS, AND VENDERS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
  - FRAMER SHALL PROVIDE BLOCKING AND FRAMING FOR ALL CABINETS, HANDRAILS, MEDICINE CABINETS, TISSUE HOLDERS, AND ACCESS TROUBLE DOORS
  - INTERIOR WALLS SHOWN AT 3 1/2" EXTERIOR WALLS SHOWN AT 4"

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF TRINITY HOMES. THEY ARE NOT TO BE USED BY THE OWNER OR ANYONE ELSE ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY PRIOR AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO TRINITY HOMES

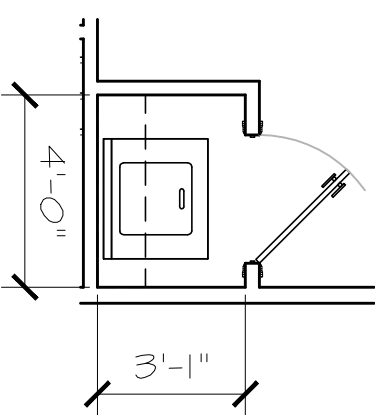
 psalms 23:4 in association with 3DI	
Issue Date: 06-May-14	Plot Date: 19-Jun-14
<b>The Zoe</b>	
FIRST & SECOND FLOOR	
SHEET NUMBER	
<b>A1.0</b>	



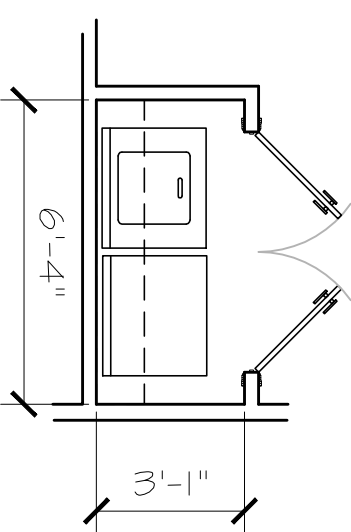
1 BATH FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 KITCHEN FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 STANDARD LAUNDRY ROOM  
SCALE: 1/4" = 1'-0"



4 OPT. LAUNDRY ROOM  
SCALE: 1/4" = 1'-0"

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psalms 23:4  
**Trinity**  
**HOMES**  
in association with 3DI

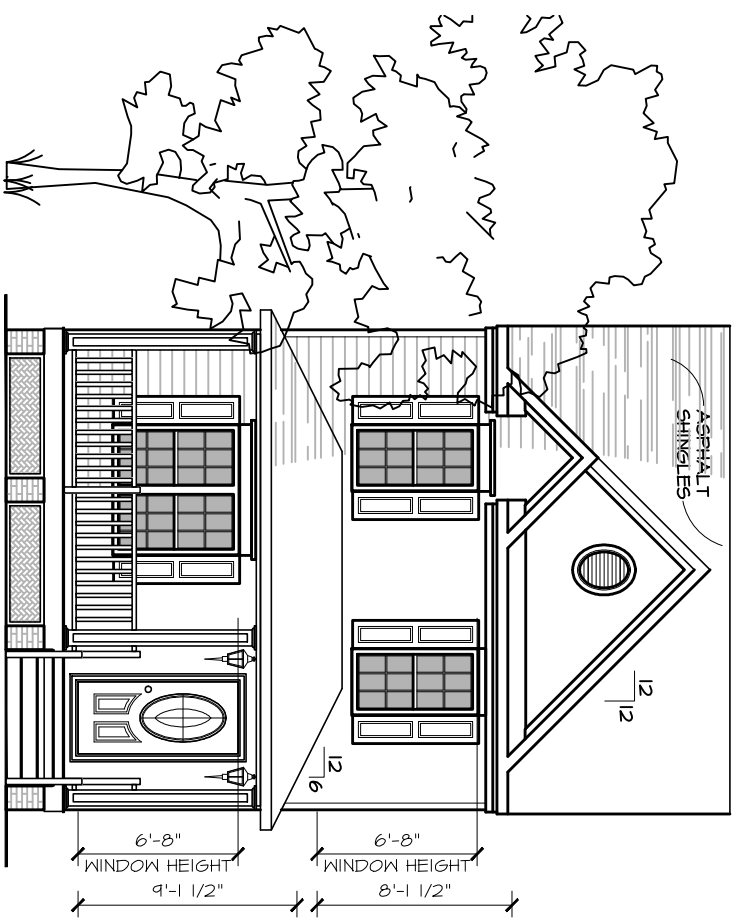
Issue Date: 06-May-14  
Plot Date: 19-Jun-14

**The Zoe**

ENLARGED FLOOR PLAN

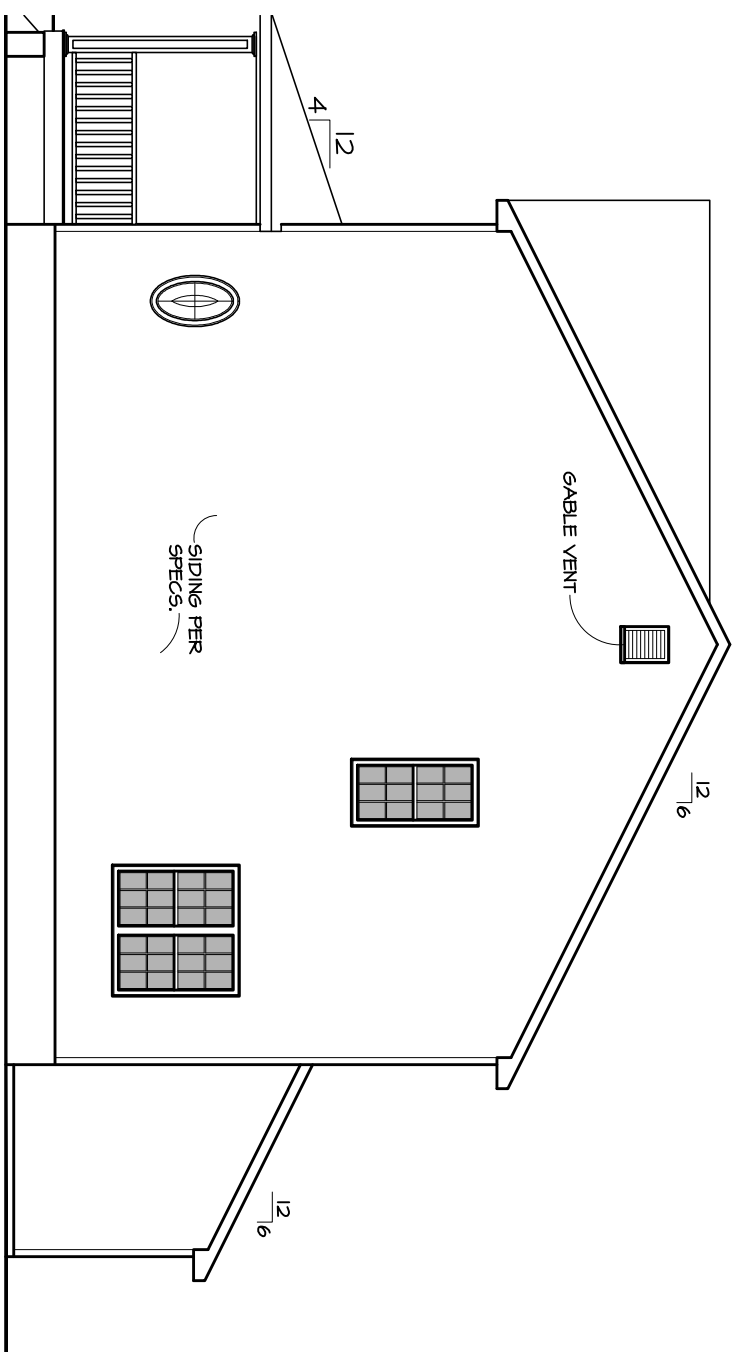
SHEET NUMBER

**A1.1**



FRONT ELEVATION

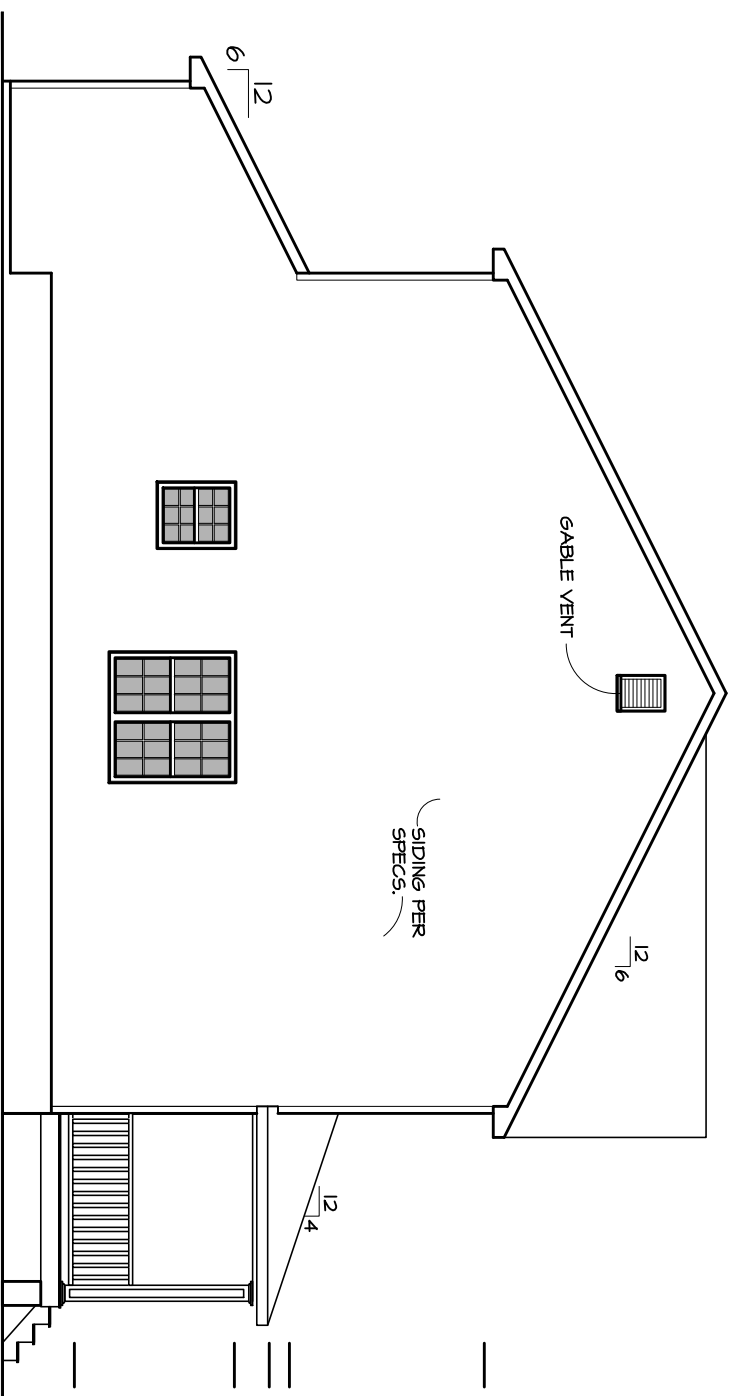
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SEE FOUNDATION PLAN FOR FOUNDATION VENTS AND ACCESS LOCATIONS

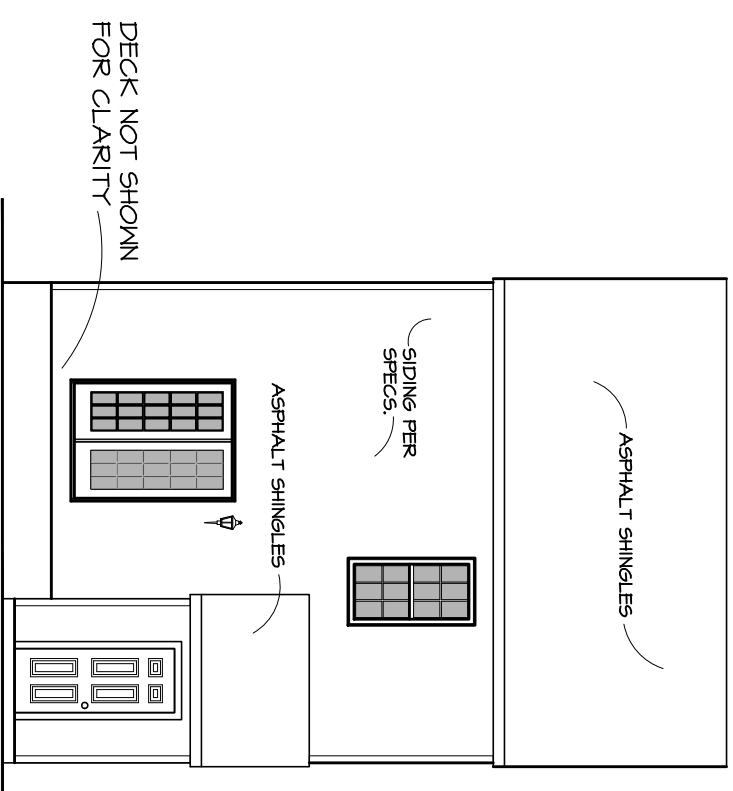
SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SEE FOUNDATION PLAN FOR FOUNDATION VENTS AND ACCESS LOCATIONS

SCALE: 1/8" = 1'-0"



REAR ELEVATION

DECK NOT SHOWN FOR CLARITY

SCALE: 1/8" = 1'-0"

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psalms 23:4  
**Trinity**  
**HOMES**  
 in association with 3DI

Issue Date: 06-May-14 Plot Date: 19-Jun-14

The Zoe

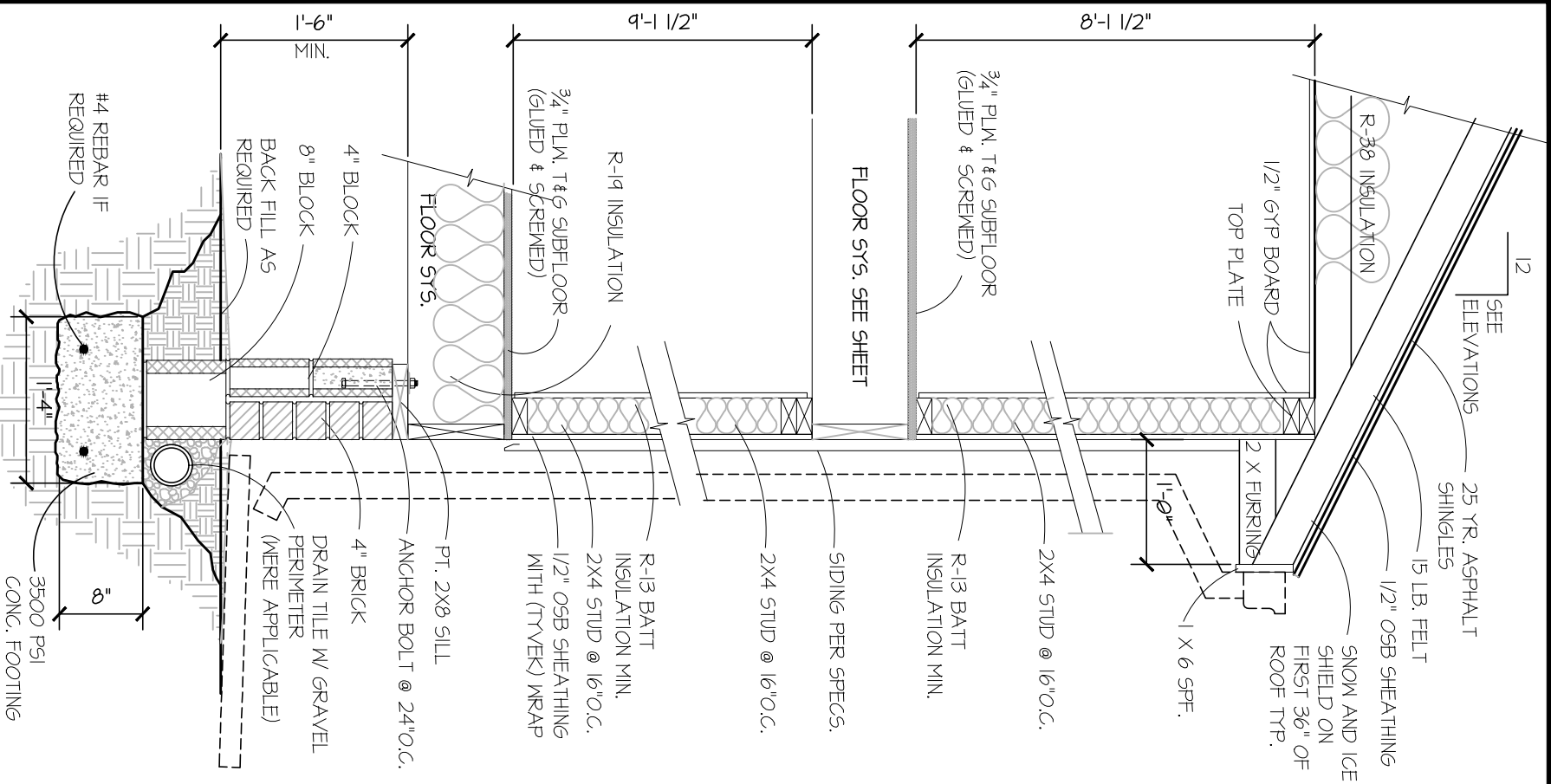
ELEVATIONS

SHEET NUMBER

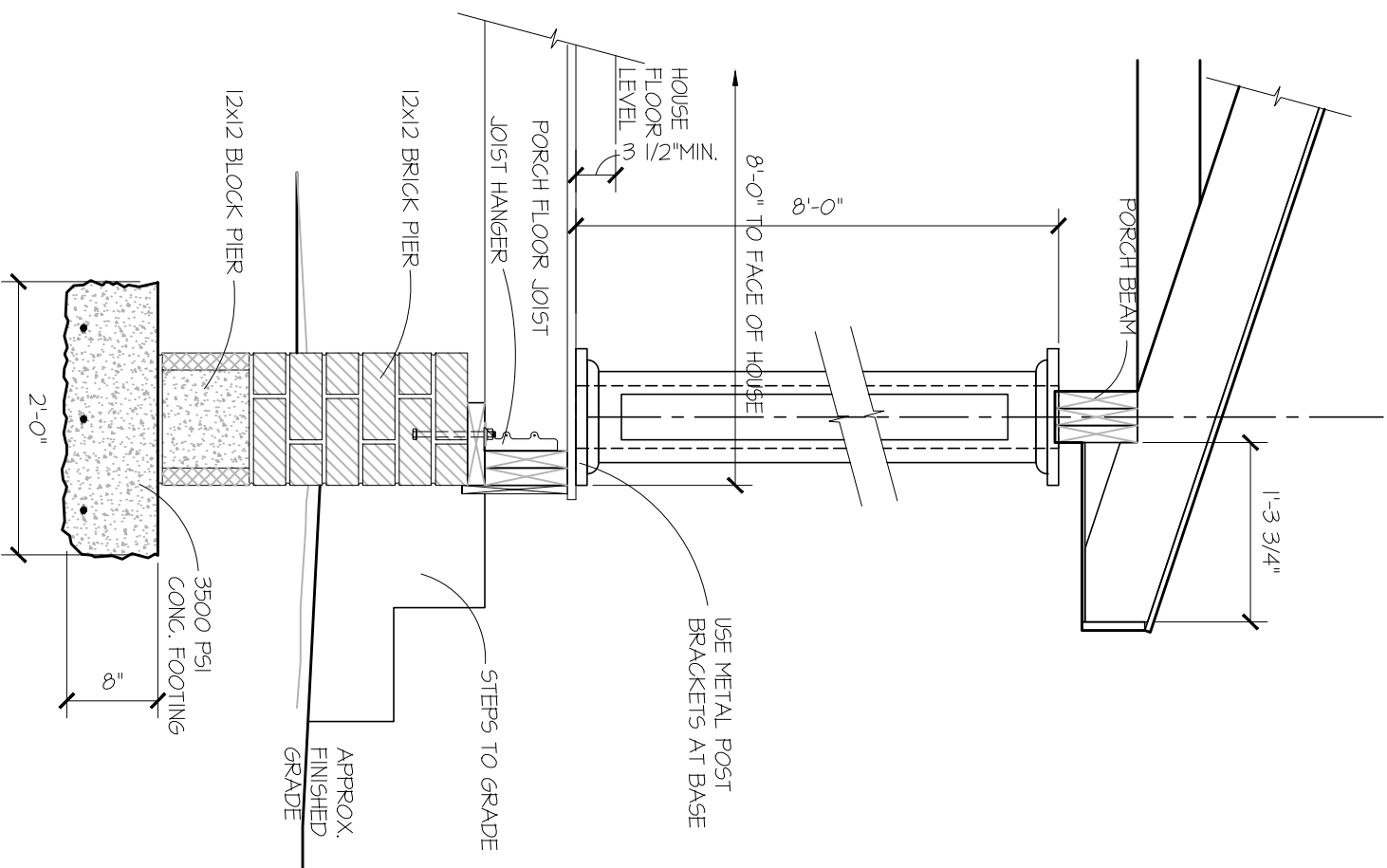
A2.0



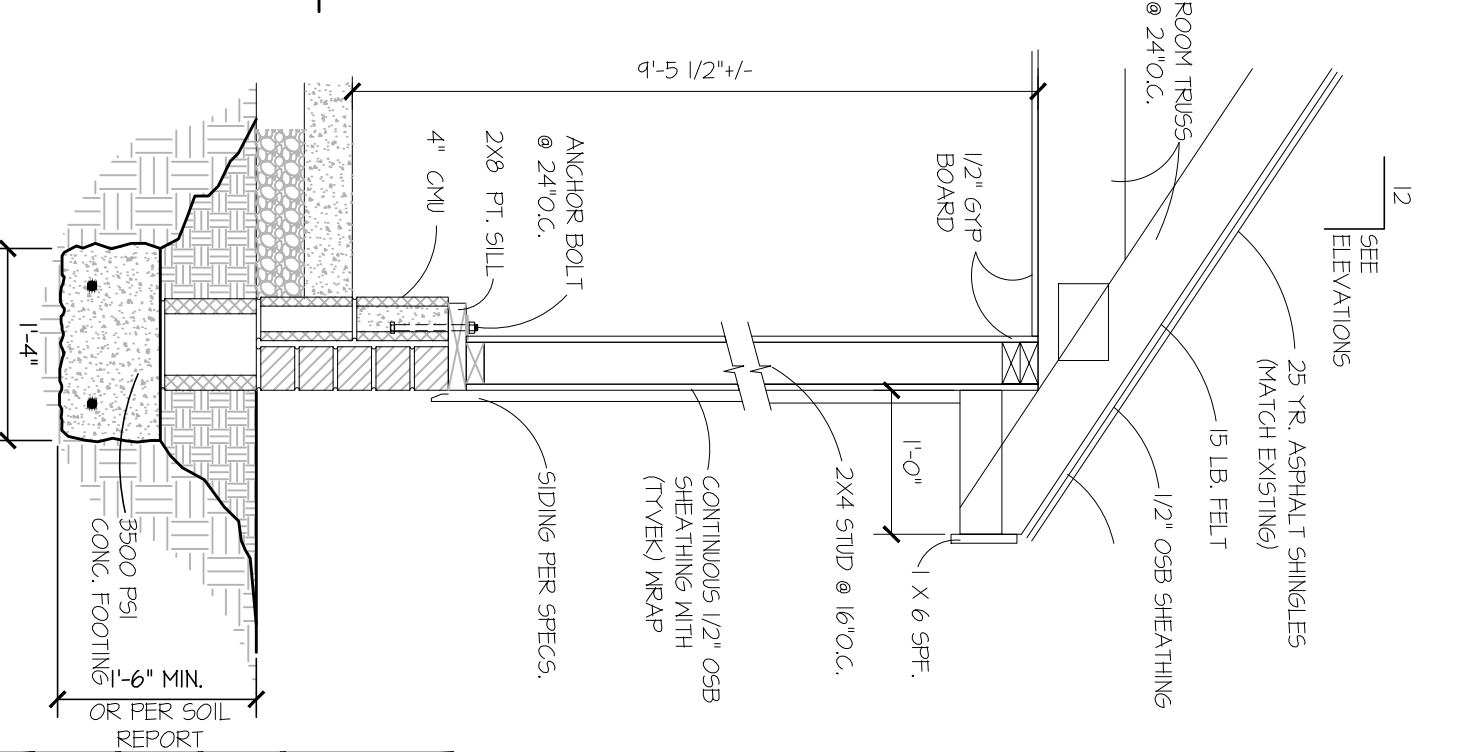




TYPICAL WALL SECTION  
SCALE: 3/4" = 1'-0"



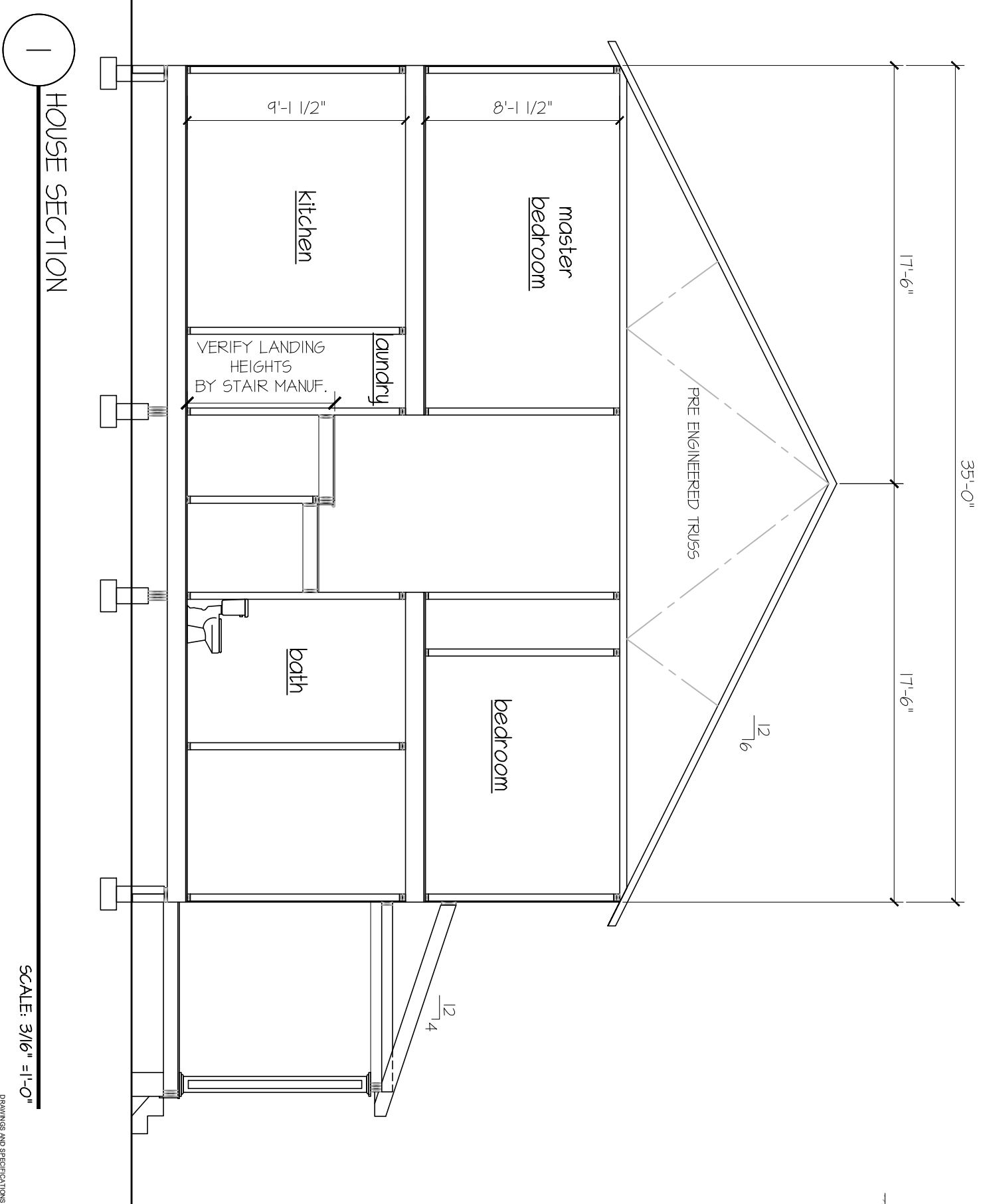
FRONT PORCH SECTION  
SCALE: 3/4" = 1'-0"



TYPICAL SECTION @ GARAGE  
SCALE: 3/4" = 1'-0"

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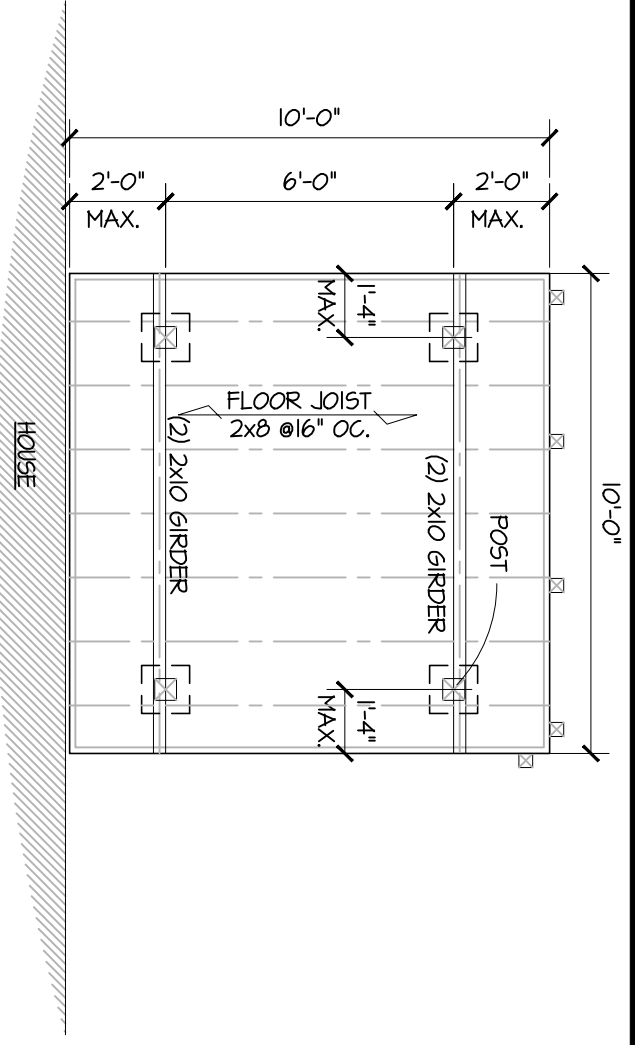
Issue Date: 06-May-14	Plot Date: 19-Jun-14
<h1>The Zoe</h1>	
SECTIONS / DETAILS	
SHEET NUMBER <h1>S2.0</h1>	



HOUSE SECTION

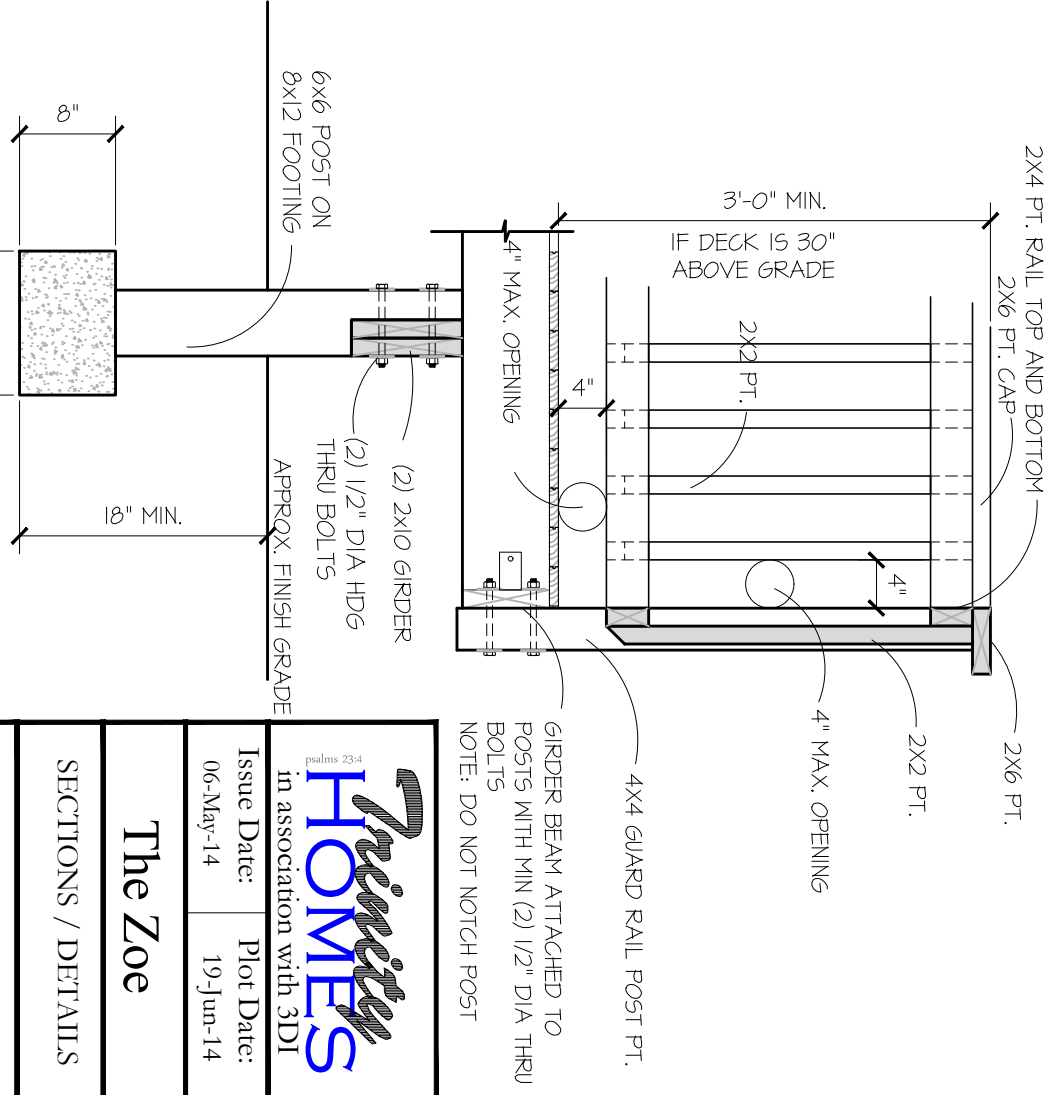
1

SCALE: 3/16" = 1'-0"



FREE STANDING DECK FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

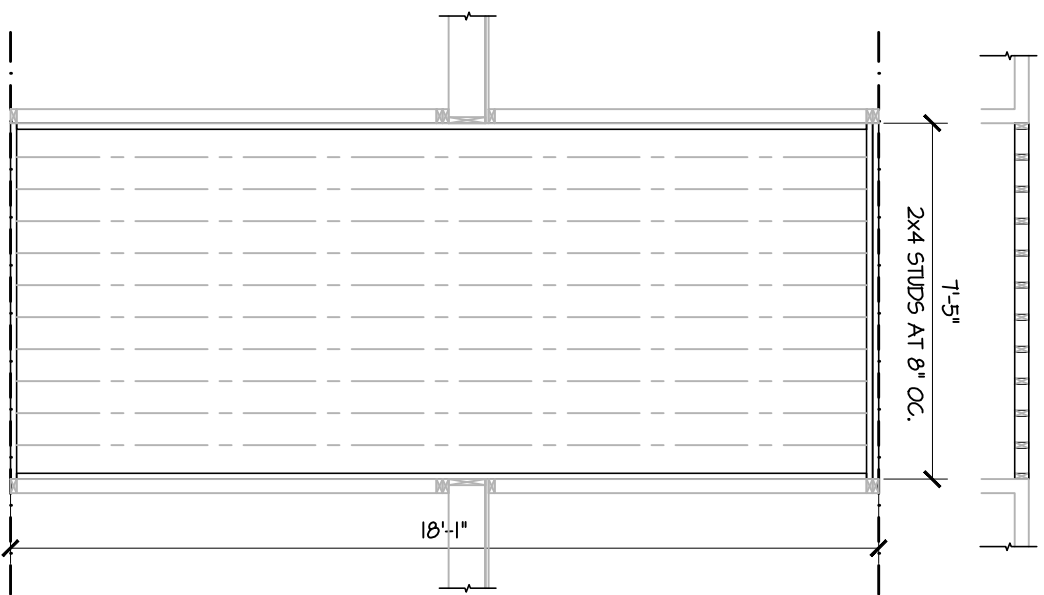


SECTION AT DECK

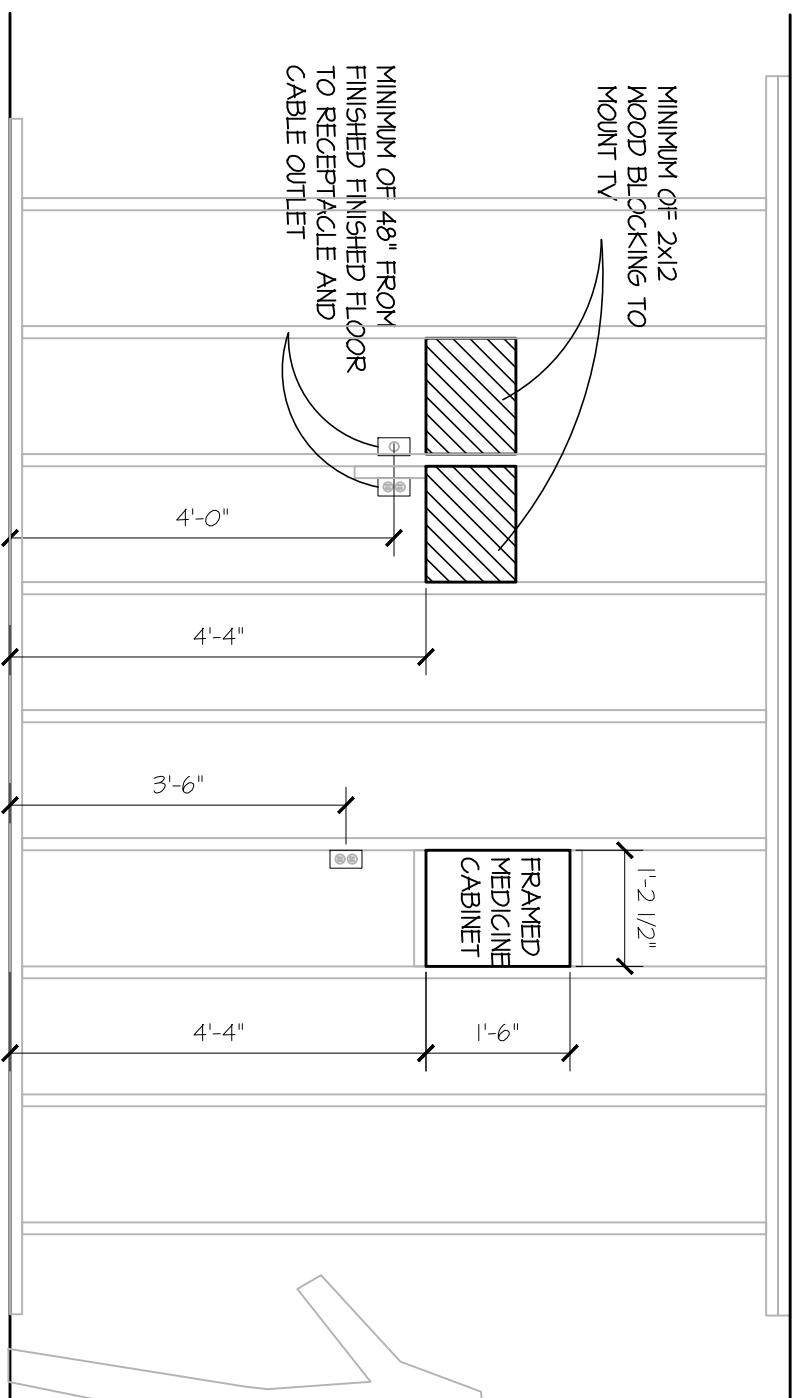
SCALE: 3/4" = 1'-0"

Issue Date: 06-May-14	Plot Date: 19-Jun-14
<h1>The Zoe</h1>	
SECTIONS / DETAILS	
SHEET NUMBER <h1>S2.1</h1>	

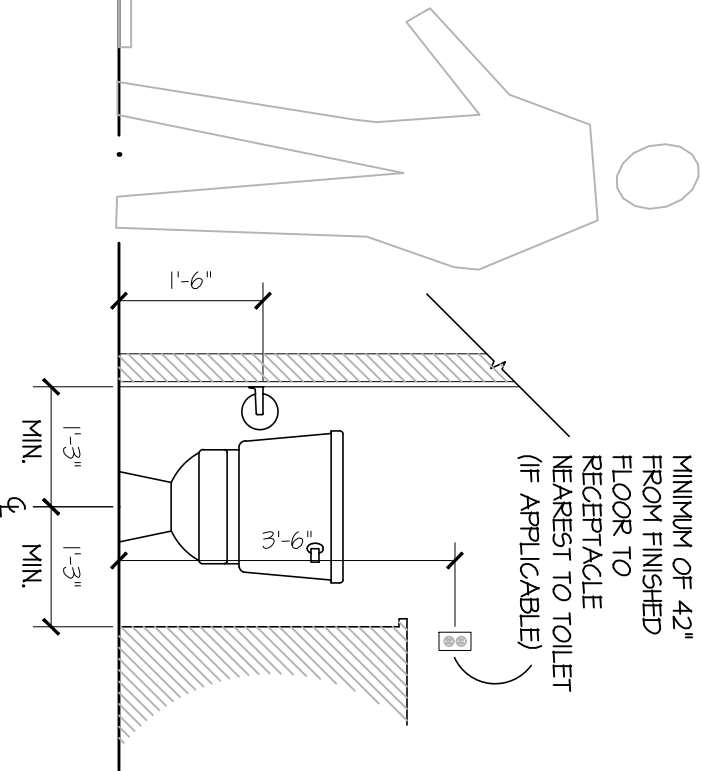
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1 ELEVATION @ TWO STORY WALL  
SCALE: 1/4" = 1'-0"



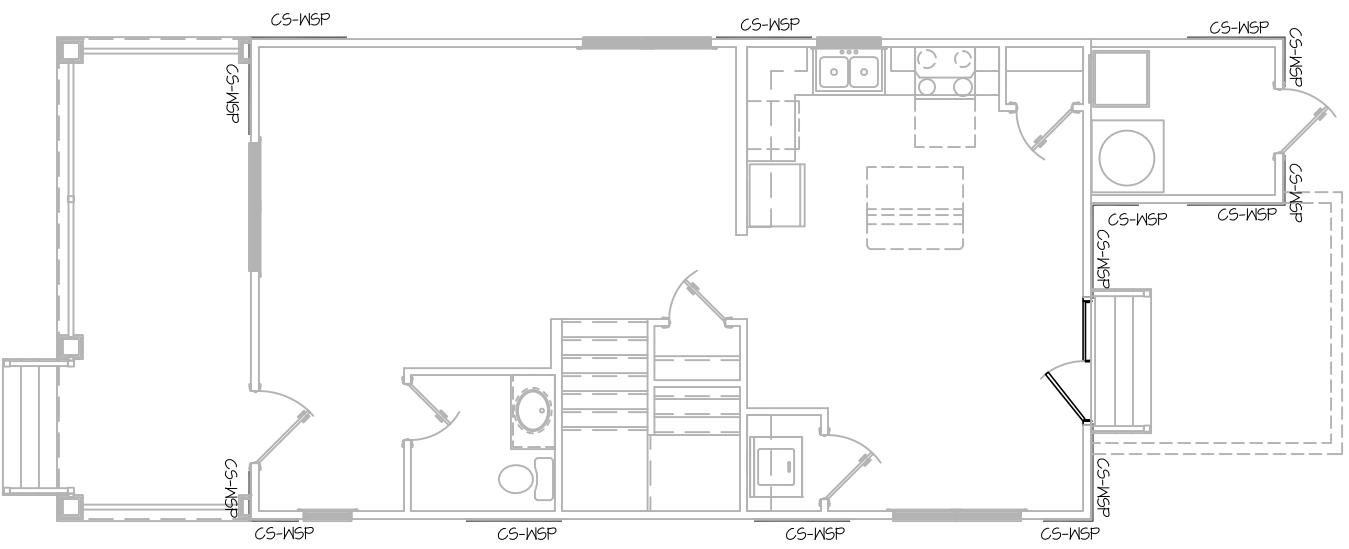
2 TV BLOCKING & WALL MOUNTING DETAILS  
SCALE: 1/2" = 1'-0"



3 DETAIL @ TOILET  
SCALE: 1/2" = 1'-0"

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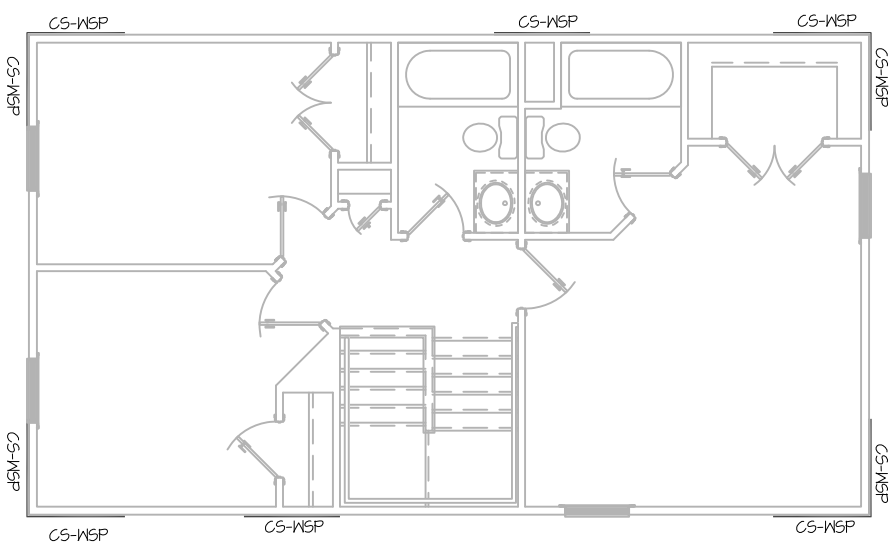
Issue Date: 06-May-14	Plot Date: 19-Jun-14
<h1>The Zoe</h1>	
SECTIONS / DETAILS	
SHEET NUMBER <h1>S2.2</h1>	



**FIRST FLOOR PLAN**

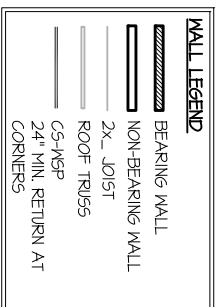
SCALE: 1/8" = 1'-0"

NOTES:  
ALL HOLD DOWN VALUES ARE BASED ON SPF LUMBER AND ARE FROM SIMPSON C-2011 CATALOG



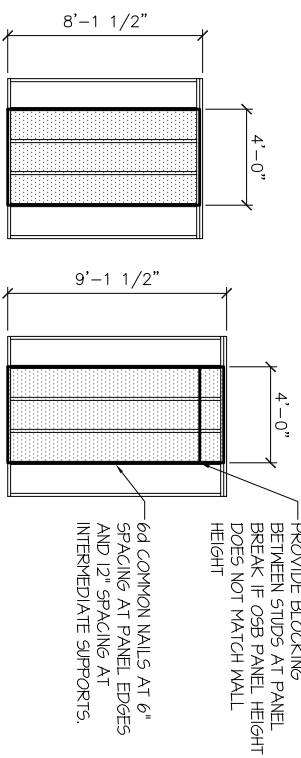
**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**WSP - WOOD STRUCTURAL PANEL**

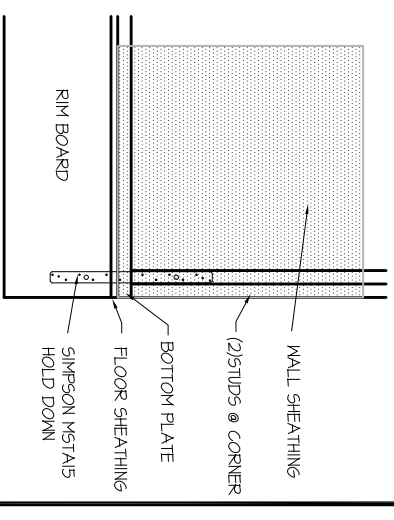
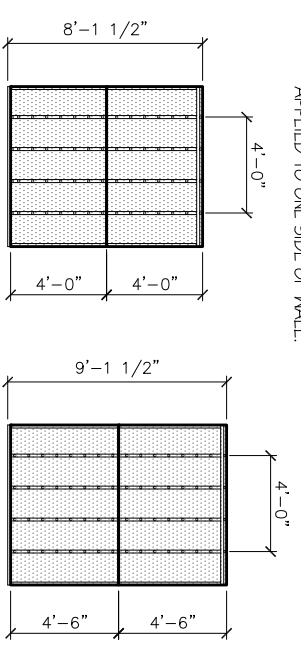
BRACED WALL PANEL PER IRC TABLE R602.10.2.1  
3/8" MIN. OSB SHEATHING ON ONE SIDE OF WALL.  
MINIMUM PANEL LENGTH 48".



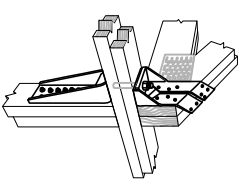
PROVIDE BLOCKING BETWEEN STUDS AT PANEL BREAK IF OSB PANEL HEIGHT DOES NOT MATCH WALL HEIGHT  
6d COMMON NAILS AT 6" SPACING AT PANEL EDGES AND 12" SPACING AT INTERMEDIATE SUPPORTS.

**GB - GYPSUM BOARD**

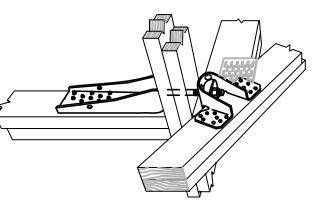
BRACED WALL PANEL PER IRC TABLE R602.10.2.1  
1/2" GYPSUM BOARD NAILED TO STUDS AT 7" O.C. MINIMUM PANEL LENGTH 48" WHEN APPLIED TO BOTH SIDES OF WALL AND 46" WHEN APPLIED TO ONE SIDE OF WALL.



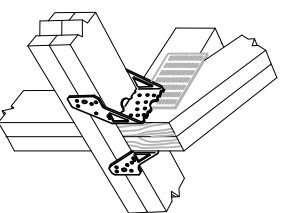
SIMPSON M5T1A5 HOLD DOWN CAPACITY OF 910 POUNDS PER ANCHOR WITH (12) 10d NAILS. STRAP TO BE LOCATED AT EDGE OF BRACED WALL PANEL.



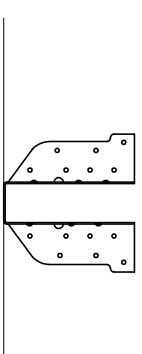
**G** SIMPSON M6T1 & HDU4-SD52.5 HOLD DOWN CAPACITY OF 3300 (3965) POUNDS PER COMBINATION



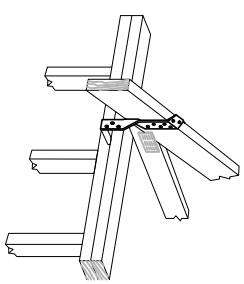
**H** SIMPSON M6T1 & HDU5-SD52.5 HOLD DOWN CAPACITY OF 3555 (4940) POUNDS PER COMBINATION OF ONE OF EACH.



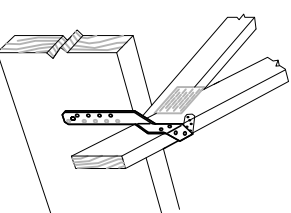
**I** SIMPSON TBE4/TBE6 ADDITIONAL BEARING CAPACITY: SINGLE PLY TRUSSES - 1560 LB 2 OR MORE PLY TRUSSES - 1920 LB UPLIFT CAPACITY - 850 LB.



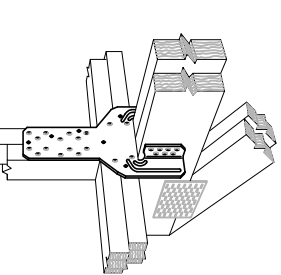
**K** SIMPSON HUS26 HANGER - UPLIFT CAPACITY OF 1550 POUNDS PER ANCHOR ALLOWABLE VERTICAL LOAD 2120.



**C** SIMPSON MTS12 HOLD DOWN CAPACITY OF 860 POUNDS PER ANCHOR



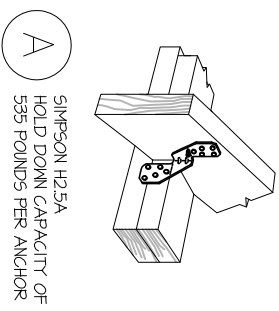
**D** SIMPSON HTS20 HOLD DOWN CAPACITY OF 1245 (1450) POUNDS PER ANCHOR



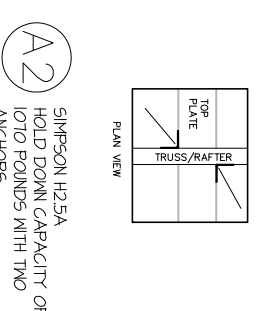
**E1** SIMPSON LG12 (2-PLY TRUSSES) HOLD DOWN CAPACITY OF 1950 (2150) POUNDS PER ANCHOR

**E2** LG13 (3 PLY TRUSSES) HOLD DOWN CAPACITY OF 2365 (3285) POUNDS PER ANCHOR

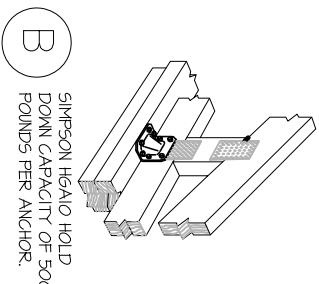
**E3** LG14 (4 PLY TRUSSES) HOLD DOWN CAPACITY OF 2365 (3285) POUNDS PER ANCHOR CAPACITY IS IN SPF LUMBER, CAPACITY IN 0 15 IN 57P OR LVL.



**A** SIMPSON H2.5A HOLD DOWN CAPACITY OF 555 POUNDS PER ANCHOR



**A2** SIMPSON H2.5A HOLD DOWN CAPACITY OF 1070 POUNDS WITH TWO ANCHORS



**B** SIMPSON H5A10 HOLD DOWN CAPACITY OF 500 POUNDS PER ANCHOR.

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psalms 23:4  
**Trinity HOMES**  
in association with 3DI

Issue Date: 06-May-14	Plot Date: 02-Jul-14
<b>The Zoe</b>	
SECTIONS / DETAILS	
SHEET NUMBER	
<b>S2.3</b>	