



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 606 & 608 N 29th St.

Historic district _____

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Matt Jarreau

Phone 804-306-9019

Company _____

Email mattj@htrsi.com

Mailing Address 114 N 3rd St
Richmond Va 23219

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date

8/1/19

606 & 608 N 29th STREET PROJECT

RICHMOND, VA 23223

PENN & CO.
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NO.	DESCRIPTION	DATE	APPR.
6	CAR REVISIONS	7-30-19	
5	GRADE REVISIONS	6-17-19	
4	CLIENT REVIEW 100%	4-28-19	
3	CLIENT REVIEW 95%	4-14-19	
2	CLIENT REVIEW	4-3-19	
1	CLIENT REVIEW	3-2-19	

SYMBOL LEGEND	
COLUMN TAG	DETAIL LETTER
BEAM TAG	POINT OF VIEW
FOOTING TAG	SHEET NUMBER
STAIR TAG	SECTION CUT PLANE
POINT LOAD	SECTION NUMBER
	POINT OF VIEW
	SHEET NUMBER



P.O. BOX 4481
 FAIRFAX, VA 22038

Phone: (703) 675-4592

BUILDING CODE:
 PROJECT SHALL CONFORM TO THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

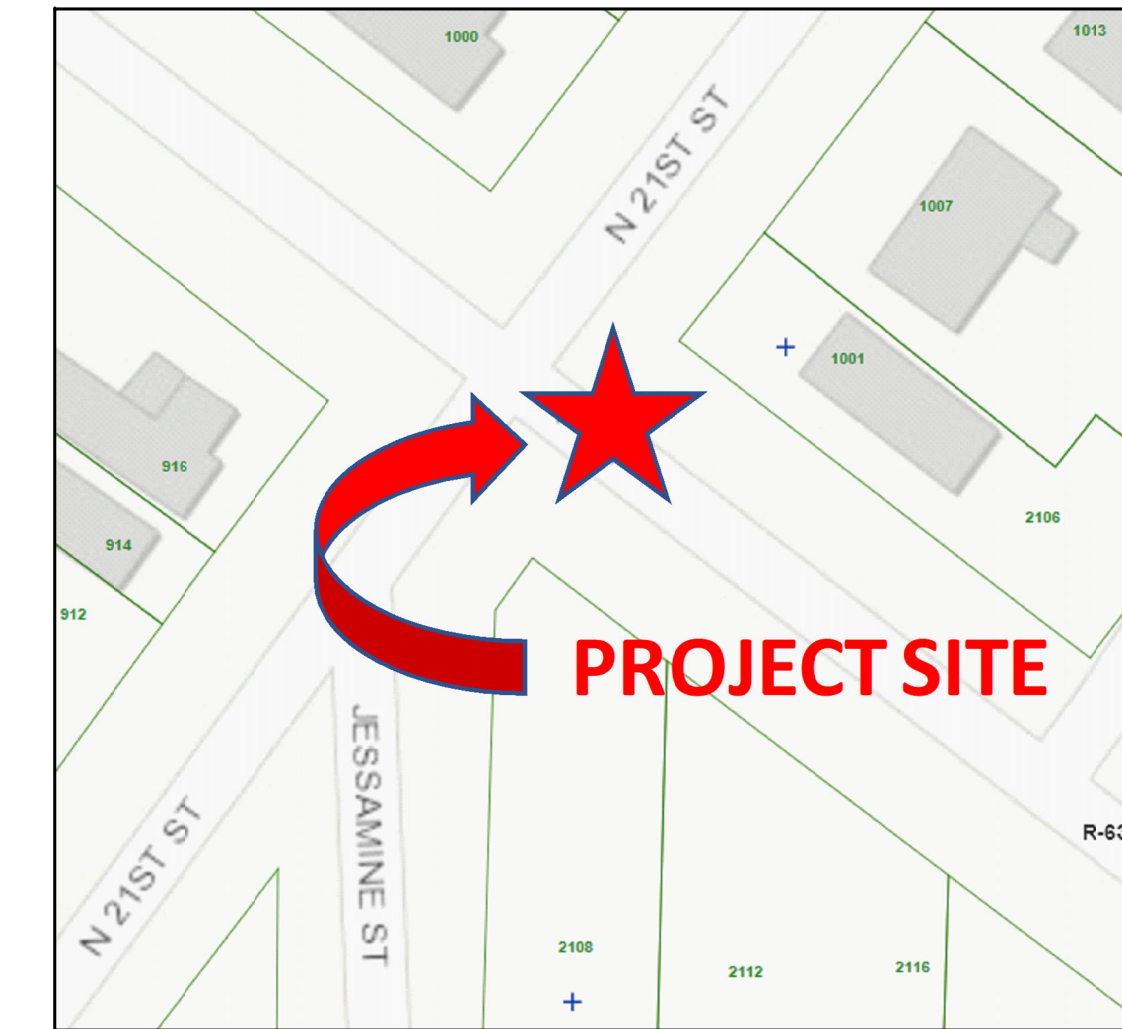
CITY OF RICHMOND APPLICABLE DOCUMENTS/PERMITS:
 COMMISSION OF ARCHITECTURAL REVIEW PROJECT NUMBER:

RICHMOND CITY ORDINANCE:
 ZONED R-63
 SETBACKS:
 DESIGNED FRONT YARD: 15' MAXIMUM
 DESIGNED SIDE YARDS: 5'
 DESIGNED REAR YARD: 15'
 DESIGNED HEIGHT: 2 STORIES, 26'±

LOT SIZE & COVERAGE:
 LOT AREAS: 1,848 S.F.
 DESIGNED COVERAGE: 1,012 S.F. EACH
 COVERAGE: 55%

SQUARE FOOTAGE CALCULATIONS			
ELEVATION:	TRADITIONAL	AREA	UNFINISHED
AREA	FINISHED	FRONT & SIDE PORCH	48 SF EACH UNIT
FIRST FLOOR	462 SF EACH UNIT	REAR PORCH	44 SF EACH UNIT
SECOND FLOOR	506 SF EACH UNIT	TOTAL	180 SF
TOTAL	1936 SF		

SHEET INDEX	
PAGE NUMBER	DESCRIPTION
C-001	COVERSHEET
C-101	SURVEY AND CONSTRUCTION PLAT
A-100	FOUNDATION AND FIRST FLOOR PLAN
A-101	SECOND AND ROOF PLAN
A-102	BUILDING SECTION
A-103	SCHEDULES AND FIRE WALL INFORMATION
A-201	FRONT AND RIGHT ELEVATIONS
A-202	REAR AND LEFT ELEVATION
S-001	GENERAL NOTES
S-101	FOUNDATION AND FIRST FLOOR FRAMING PLAN
S-102	SECOND FLOOR AND ROOF FRAMING PLAN
S-103	FIRST AND SECOND FLOOR BRACED WALL PLAN
S-104	TYPICAL SECTIONS
S-105	TYPICAL SECTIONS
S-106	TYPICAL DETAILS



VICINITY MAP

PENN & CO.
 42296 BENFOLD SQUARE
 ASHBURN VA 20148
 (703) 675-4592 PHONE

HOMETOWN REALTY
 "The Exceptional Exception"
MATT JARREAU
 (804) 762-8092 PHONE

GENERAL CONTRACTOR

ACTIVITY
 SATISFACTORY TO DATE
 DES: [initials] | DRW: JRP3 | CHK: JRP3

606-608 N 29th STREET DEVELOPMENT
 RICHMOND, VIRGINIA 23223
 COVERSHEET

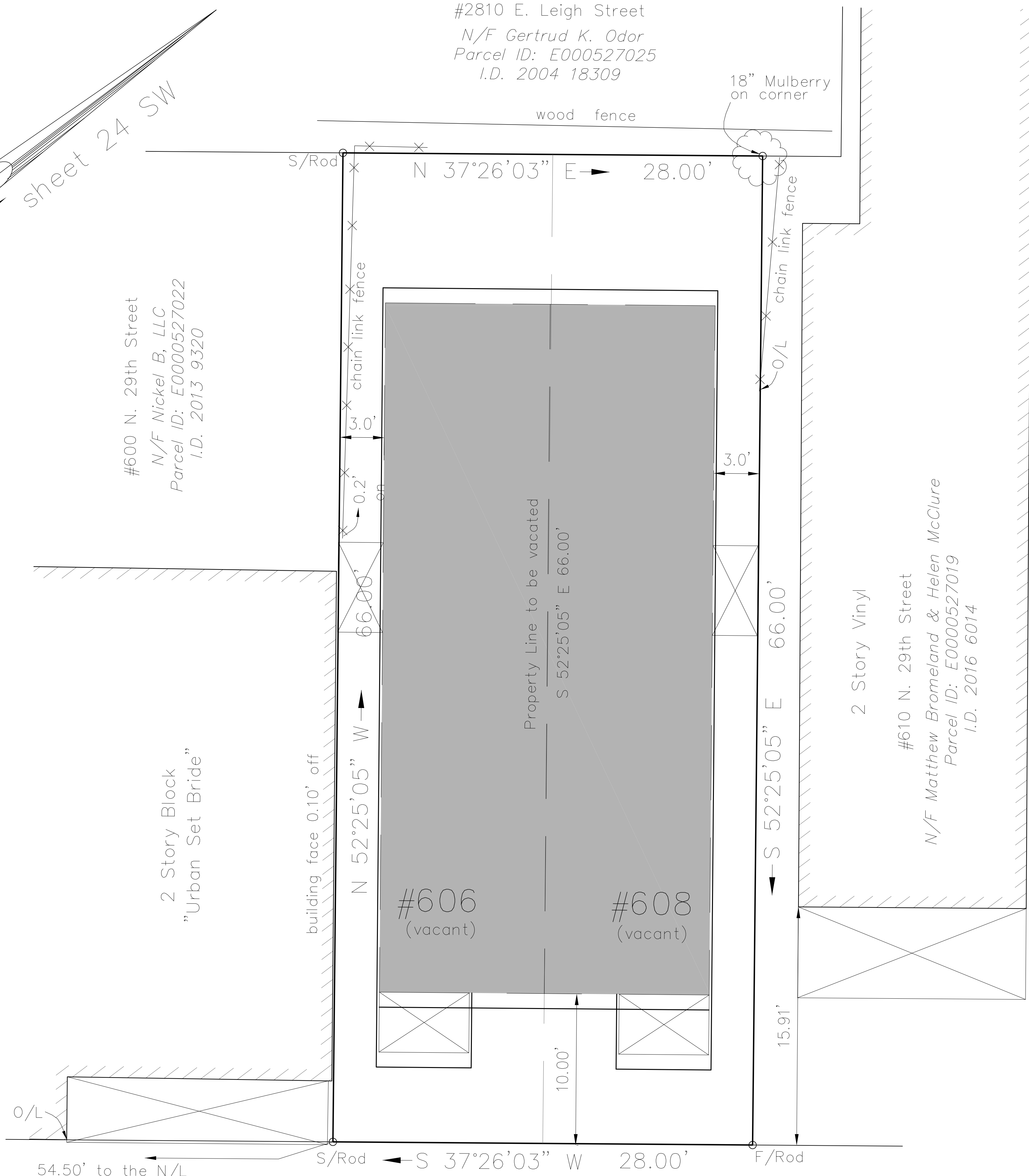
SCALE: 1/4"=1'-0"
 PROJECT NO.: 2019-02
 CONSTR. CONTR. NO.
 DRAWING NO.
 SHEET OF
C-001

Address: #606 N. 29th Street
 Current Owner: Donald Hemmings
 Parcel ID: E0000527021
 I.D. 2016 21349

Address: #608 N. 29th Street
 Current Owner: Donald Hemmings
 Parcel ID: E0000527020
 I.D. 2018 8359

Note: Bearings protracted from City
 Baseline sheet 9 SE.

#2810 E. Leigh Street
 N/F Gertrud K. Odor
 Parcel ID: E000527025
 I.D. 2004 18309



NORTH 29th STREET

Plat of Consolidation for
 The Properties Known as
 #606 & #608 N. 29th Street
 in the City of Richmond, VA

PENNECO.
 CORPORATION
 4226 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 875-4622 PHONE

SYN	DESCRIPTION	DATE	APPR
6	CAR REVISIONS	7-30-19	
5	GRADE REVISIONS	6-17-19	
4	CLIENT REVIEW 100%	4-28-19	
3	CLIENT REVIEW 95%	4-14-19	
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1	CLIENT REVIEW	3-2-19	

606-608 N 29th STREET DEVELOPMENT
 RICHMOND, VIRGINIA 23223
 SURVEY AND CONSTRUCTION PLAT

HOMETOWN REALTY
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MATT JARREAU
 (804) 706-2929 PHONE

PENNECO.
 4226 BENFOLD SQUARE
 ASHBURN, VA 20148
 (703) 875-4622 PHONE

DATE: 07/23/2019
 DRAWN BY: JRS
 CHECKED BY: JRS

PROJECT NO.: 2144
 SHEET NO.: 1
 OF 1
C-101

NO.	DESCRIPTION	DATE	APPRO.
6	CAR REVISIONS	7-30-19	
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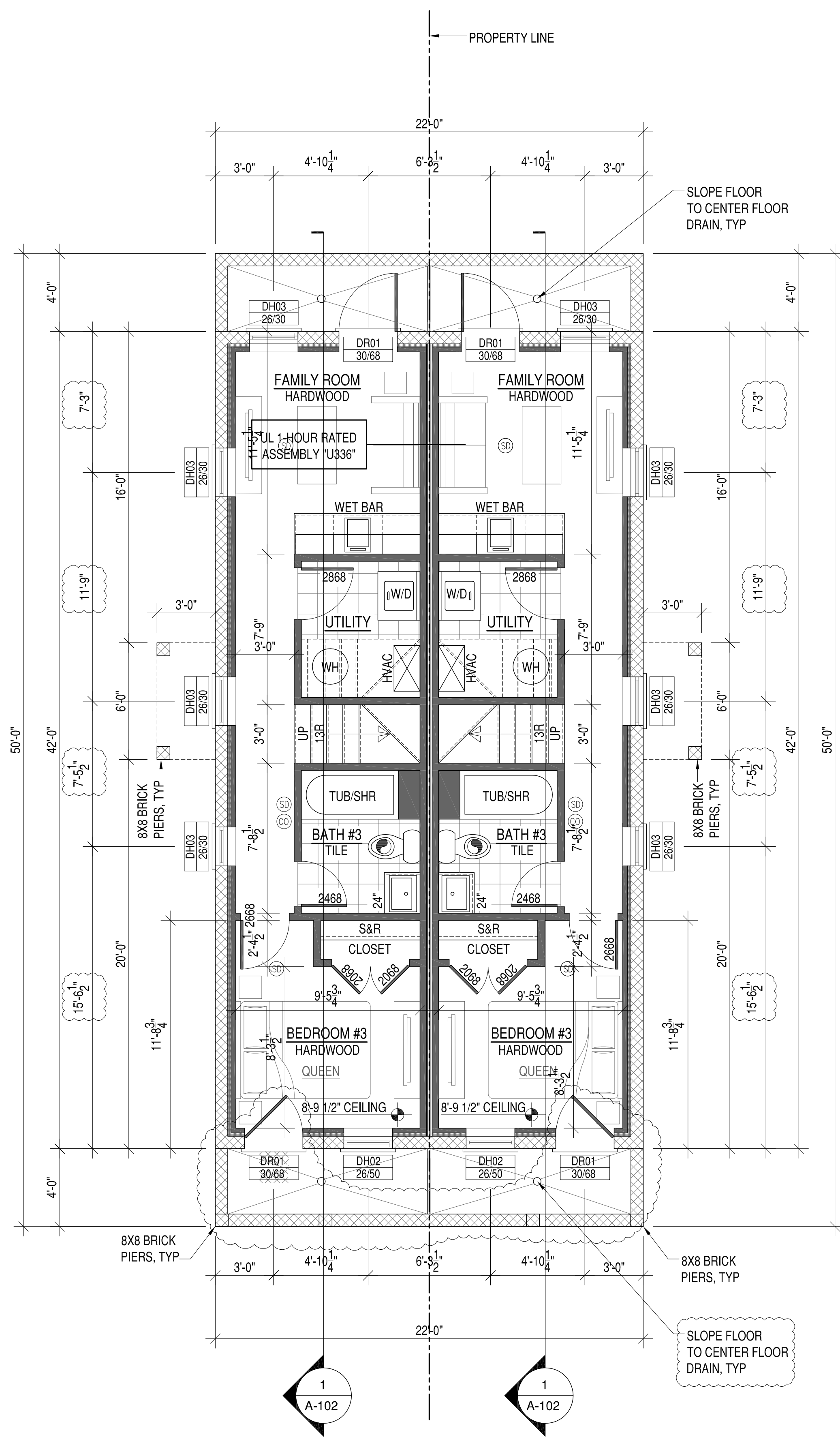
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DESIGN CONSULTANT

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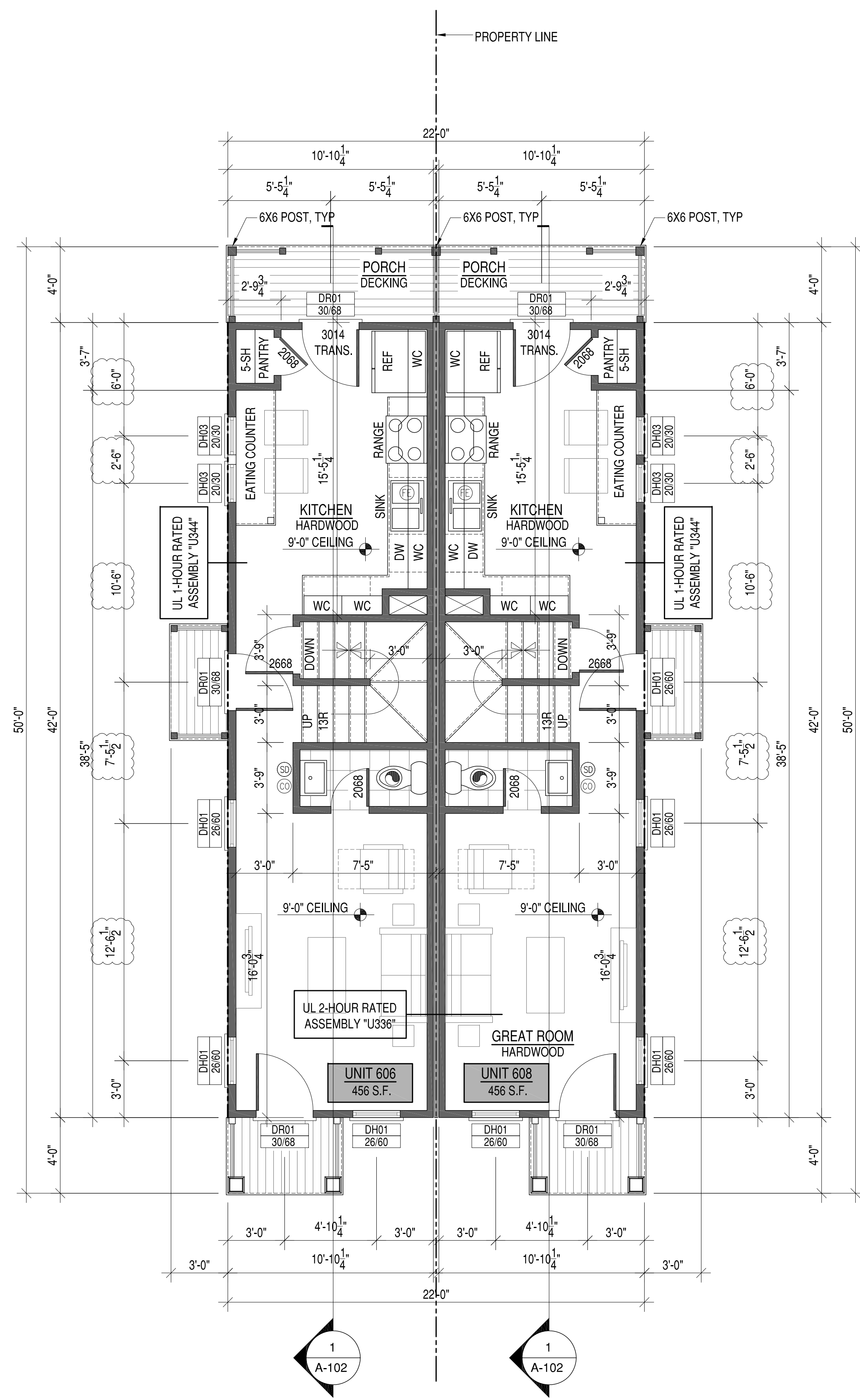
APPROVED	DESIGNER	DATE
ACTIVITY	DESIGNER	DATE
SATISFACTORY TO DATE	DESIGNER	DATE
DESIGNED BY	CHK	DATE
DRAWN BY	CHK	DATE

606-608 N 29th STREET DEVELOPMENT
 RICHMOND, VIRGINIA 23223
BASEMENT AND FIRST FLOOR PLANS

SCALE	1/4" = 1'-0"
PROJECT NO.	2019-02
CONSTR. CONTR. NO.	
DRAWING NO.	
SHEET	OF
A-100	



BASEMENT FLOOR PLAN

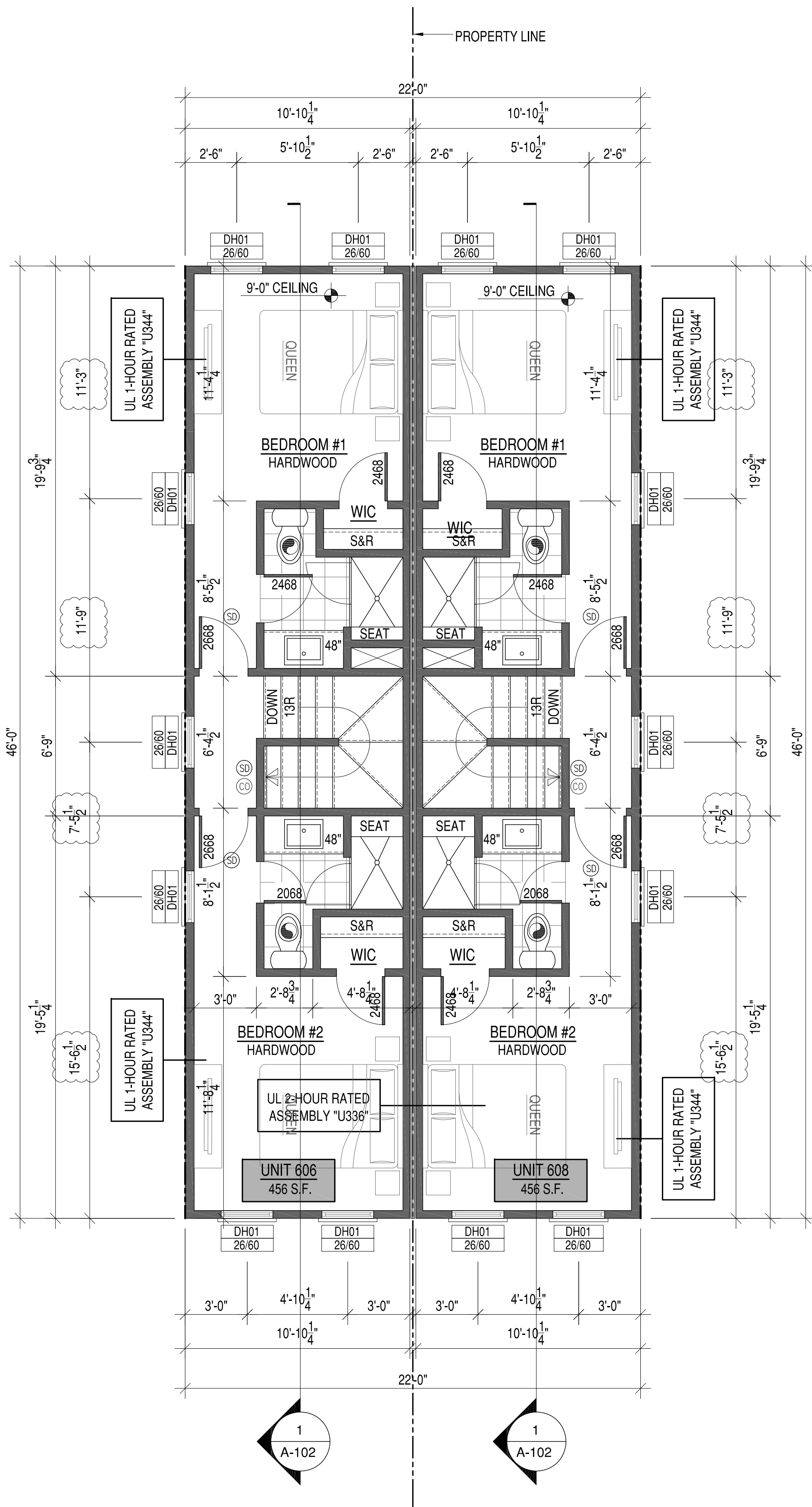


FIRST FLOOR PLAN

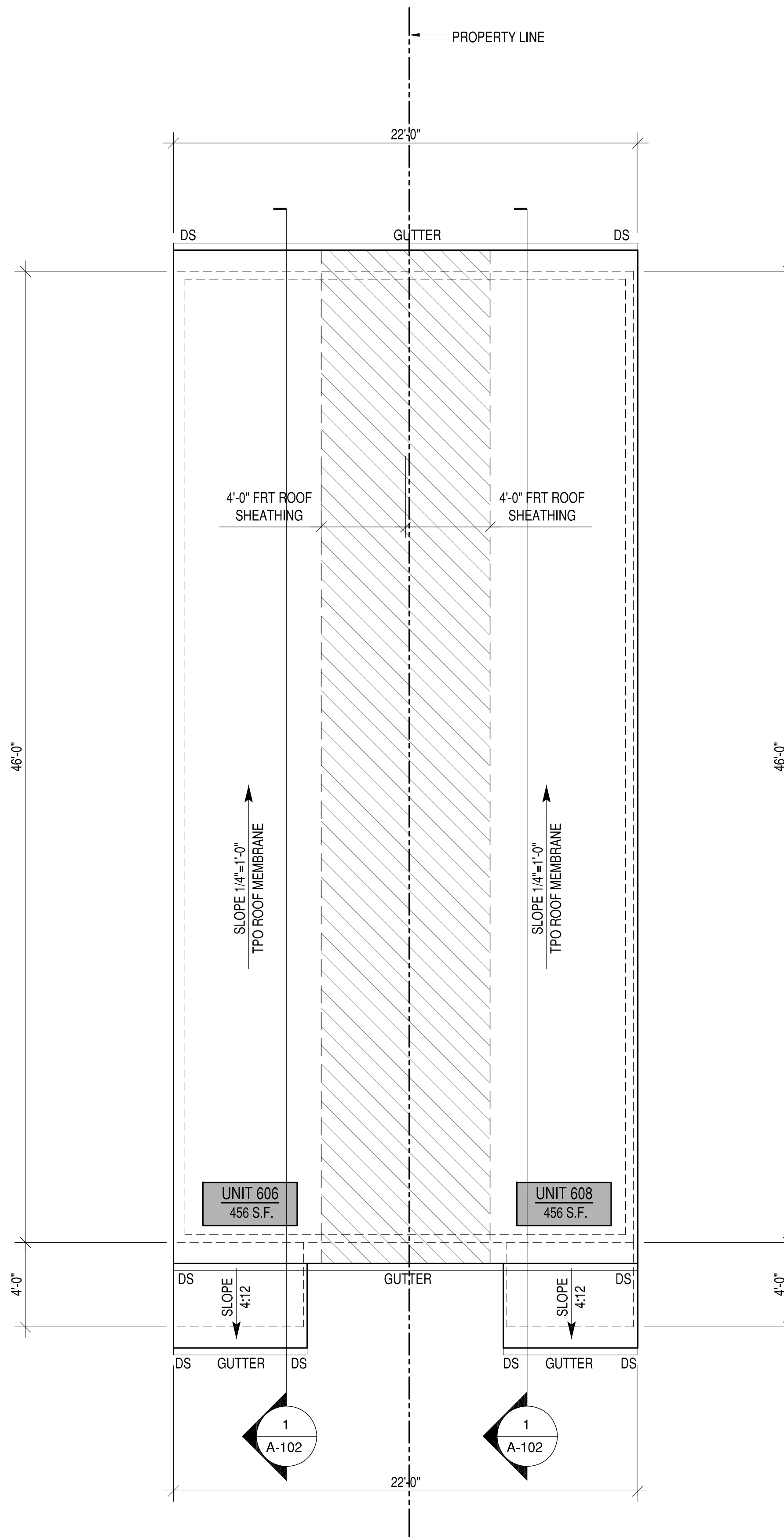
- STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
- HANDRAILS & PICKETS:
 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
- LABEL DRYER VENT LENGTH ON DUCT
- ALL DRYWALL TO BE 1/2"
- FE = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
- ☼ = BATH FAN VENTED TO EXTERIOR
- Ⓢ = CARBON MONOXIDE DETECTOR
- Ⓢ = SMOKE DETECTOR

PLAN AND FRAMING NOTES

- ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
- ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
- INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
- CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
- DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER/INSTALLERS REQUIREMENTS AND CLEARANCES.
- PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETRY LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.
- CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE ABOVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.



SECOND FLOOR PLAN



ROOF PLAN

- PLAN NOTES
- 12" OVERHANGS AND NO GABLE END EXTENSIONS, TYP.
 - ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.
 - ALL ROOFING TO BE TPO ROOFING MEMBRANE, TYP

- STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
- HANDRAILS & PICKETS:
36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES, PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.
- LABEL DRYER VENT LENGTH ON DUCT
ALL DRYWALL TO BE 1/2"
- FE = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
 - B = BATH FAN VENTED TO EXTERIOR
 - CO = CARBON MONOXIDE DETECTOR
 - S = SMOKE DETECTOR

- PLAN AND FRAMING NOTES
- ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
 - ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
 - ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
 - INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
 - CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
 - DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER/INSTALLERS REQUIREMENTS AND CLEARANCES.
 - PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINERY LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.
 - CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE ABOVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.

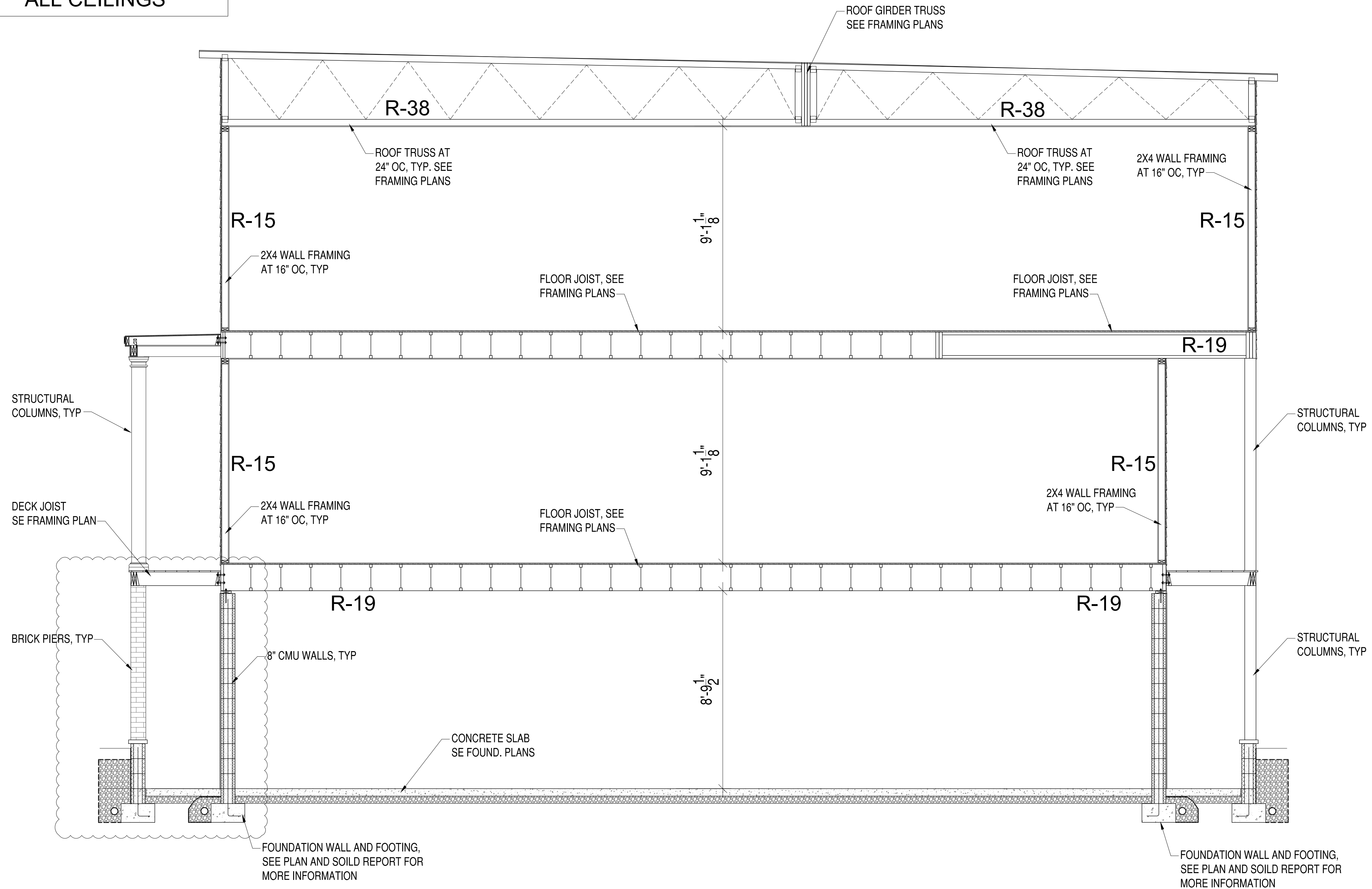
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606-608 N 29th STREET DEVELOPMENT
RICHMOND, VIRGINIA 23223
SECOND FLOOR AND ROOF PLANS

R VALUE	INSULATION LOCATION
R-15	EXTERIOR WALLS
R-19	FLOORS
R-30	CANTILEVERS & OVERHANGS
R-19	FLOOR ABOVE GARAGE
R-38	ALL CEILINGS



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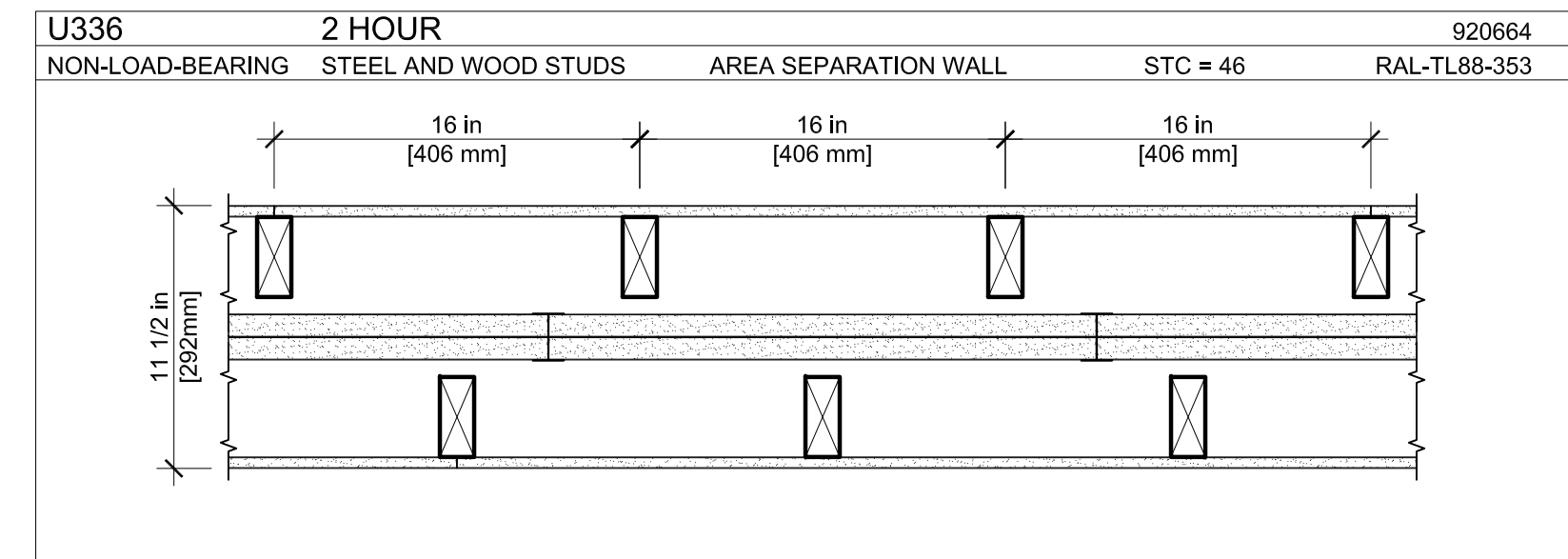
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606-608 N 29th STREET DEVELOPMENT
 RICHMOND, VIRGINIA 23223
 SCHEDULES AND FIRE WALL INFORMATION

SCALE: 1/4"=1'-0"
 PROJECT NO.: 2019-02
 CONSTR. CONTR. NO.:
 DRAWING NO.:
 SHEET OF
A-102

UL U336



AREA SEPARATION WALL: STEEL AND WOOD STUDS (NON-LOAD-BEARING)

FIRE RATING: 2 HOUR
 STC: 46
 SOUND TEST: RAL-TL88-353
 SYSTEM THICKNESS: 11-1/2"

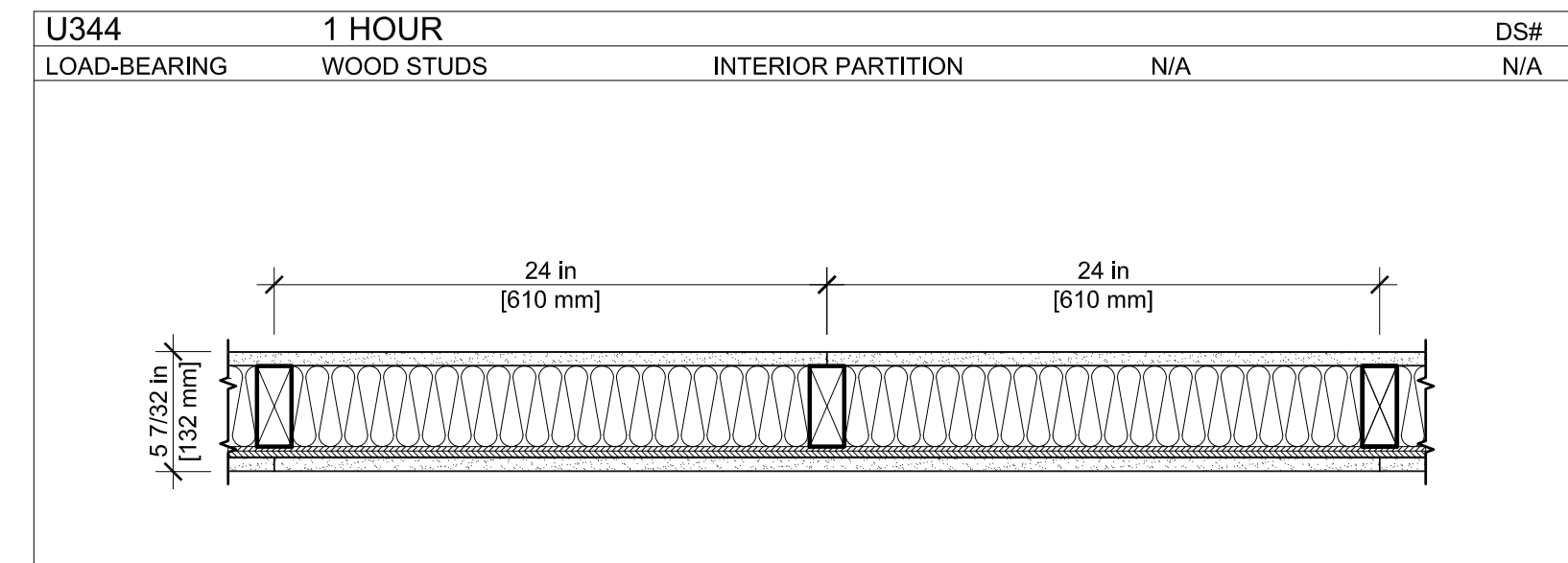
ASSEMBLY

GYPSUM BOARD:
 WOOD STUDS:
 AIR CAVITY:
 STEEL STUDS:
 GYPSUM BOARD:
 AIR CAVITY:
 WOOD STUDS:
 GYPSUM BOARD:

OPTIONS:

MIN. 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.
 MIN. 3/4 IN. THICK AIR SPACE
 H-STUD 25 GA., 2 IN. DEEP BY 1-3/8 IN. WIDE, SPACED MAX. 24 IN. O.C.
 TWO LAYERS OF 1 IN. THICK BY NOM. 2 FT. WIDE GYPSUM LINER PANELS FRICTION FIT.
 MIN. 3/4 IN. THICK AIR SPACE
 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.
 MIN. 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

UL U344



EXTERIOR PARTITIONS: WOOD STUD (LOAD-BEARING)

FIRE RATING: 1 HOUR
 STC: N/A
 SOUND TEST: N/A
 SYSTEM THICKNESS: 5-7/32"

ASSEMBLY

GYPSUM BOARD:
 WOOD STUDS:
 INSULATION:
 PLYWOOD SHEATHING:

OPTIONS:

5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 24 IN. O.C.
 MIN. 3-1/2 IN. THICK FIBERGLASS FRICTION FIT.
 MIN. 15/32 IN. THICK PLYWOOD APPLIED VERTICALLY, WITH VERTICAL JOINTS CENTERED ON STUDS. SHEATHING ATTACHED TO STUDS WITH 6D CEMENT COATED STEEL BOX NAILS SPACED 12 IN. O.C. ALONG INTERIOR STUDS AND 6 IN. O.C. AT PERIMETER.
 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

DOOR SCHEDULE

MARK	DESCRIPTION	WIDTH	HEIGHT	OPERATION	HARDWARE	NOTES
DR01	FRONT ENTRY	3'-0"	6'-8"	SEE PLAN	01	STEEL, TEMPERED WITH 14" TRANSOM

DOOR NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL DOOR SCHEDULE INFORMATION PRIOR TO ORDERING DOORS AND FRAMES.
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING AND THRESHOLD.
- ALL SWING DOORS SHALL BE PROVIDED WITH HINGE-OR WALL-MOUNTED DOOR STOPS.
- ALL GLASS IN DOORS AND TRANSOMS SHALL BE TEMPERED.

DOOR HARDWARE SETS:

- (3) HINGES, ENTRY HANDLE LOCK SET, DEAD BOLT.

WINDOW SCHEDULE

MARK	DESCRIPTION	WIDTH	HEIGHT	HEADER HEIGHT	NOTES
DH01	DOUBLE HUNG	2'-6"	6'-0"	SEE PLAN	VINYL 2 OVER 2
DH02	DOUBLE HUNG	2'-6"	5'-0"	SEE PLAN	VINYL 2 OVER 2
DH03	DOUBLE HUNG	2'-6"	3'-0"	SEE PLAN	VINYL 2 OVER 2

WINDOW NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS AND FRAMES.
- ALL WINDOWS NOMINAL. GENERAL CONTRACTOR TO VERIFY ACTUAL SIZES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
- SECOND FLOOR WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, AND 5.7 SQUARE FEET NET CLEAR OPENING.
- NO WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
- SAFETY GLAZING SHALL BE TEMPERED.

NO.	DATE	DESCRIPTION
6	7-30-19	CAR REVISIONS
5	6-17-19	GRADE REVISIONS
4	4-28-19	CLIENT REVIEW 100%
3	4-14-19	CLIENT REVIEW 95%
2	4-3-19	CLIENT REVIEW
1	3-2-19	CLIENT REVIEW

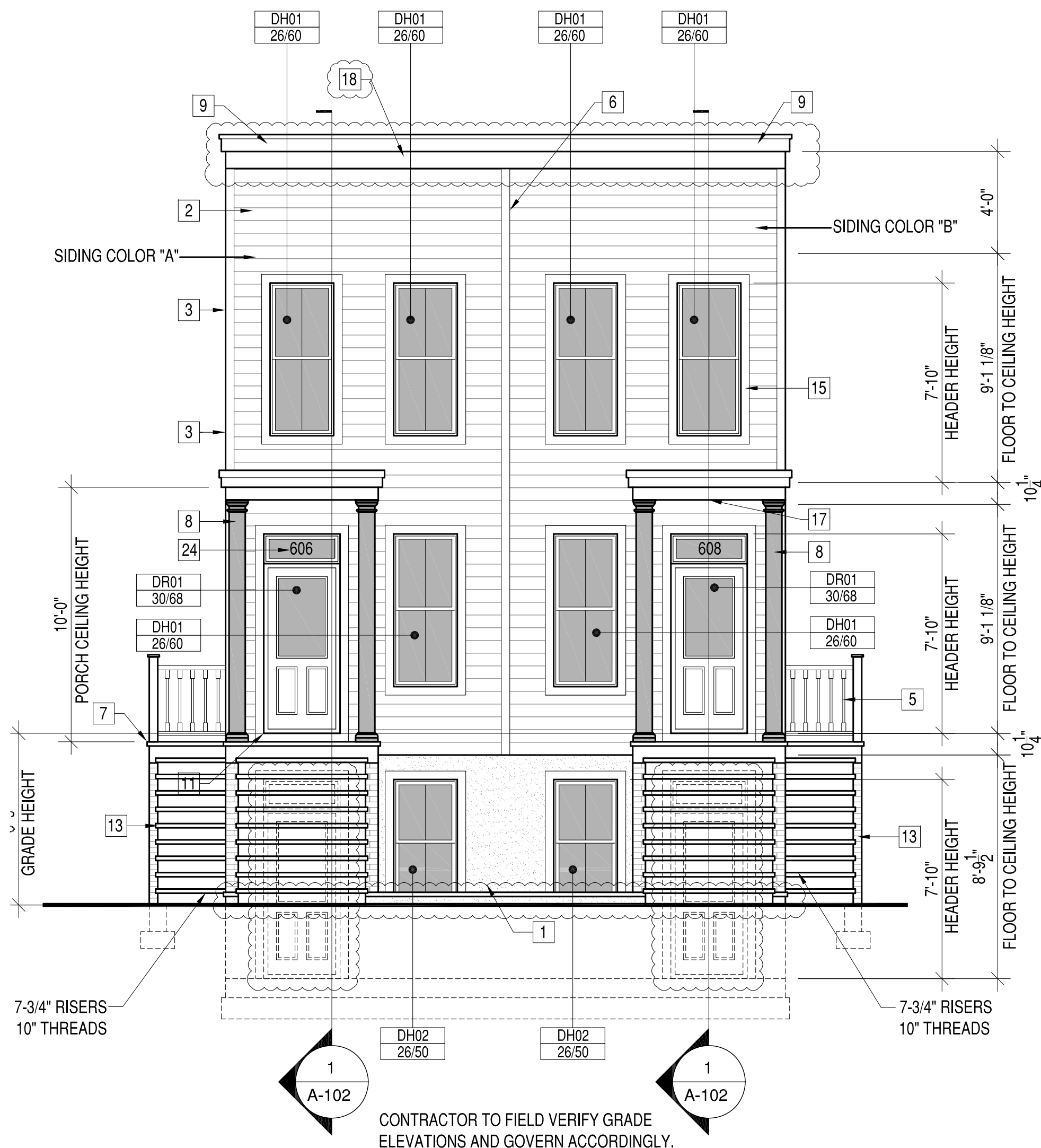
HOMETOWN REALTY
 "The Exceptional Exception"
MATT JARREAU
 (804) 762-8092 PHONE

SATISFACTORY TO DATE	---
DES	***
DRW	JRP3
CHK	JRP3

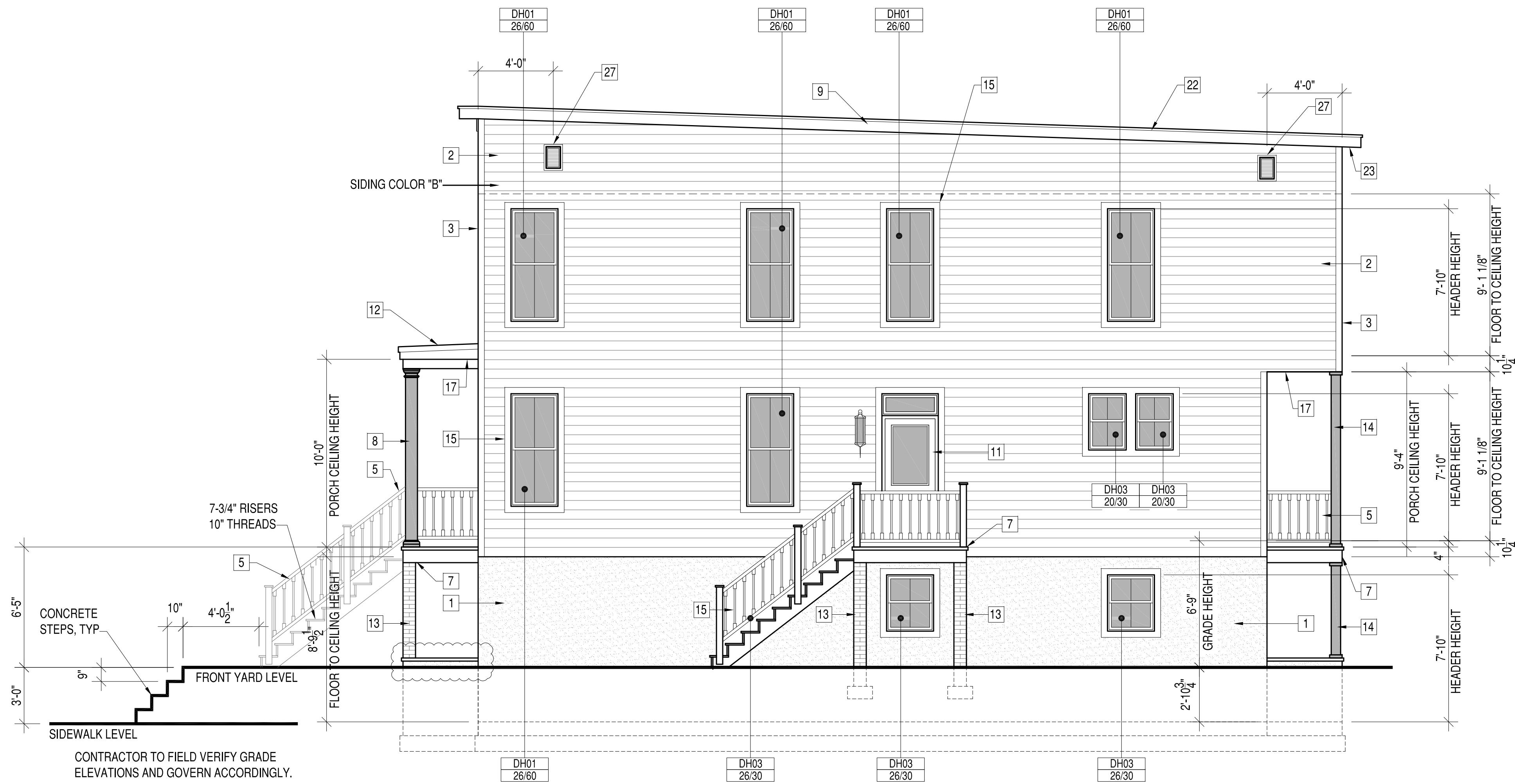
606-608 N 29th STREET DEVELOPMENT
 RICHMOND, VIRGINIA 23223
 SCHEDULES AND FIRE WALL INFORMATION

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-02
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
A-103

DATE	DESCRIPTION	BY	DATE	APPROVED
7-30-19	CAR REVISIONS			
6-17-19	GRADE REVISIONS			
4-28-19	CLIENT REVIEW 100%			
4-14-19	CLIENT REVIEW 95%			
4-3-19	CLIENT REVIEW			
3-2-19	CLIENT REVIEW			



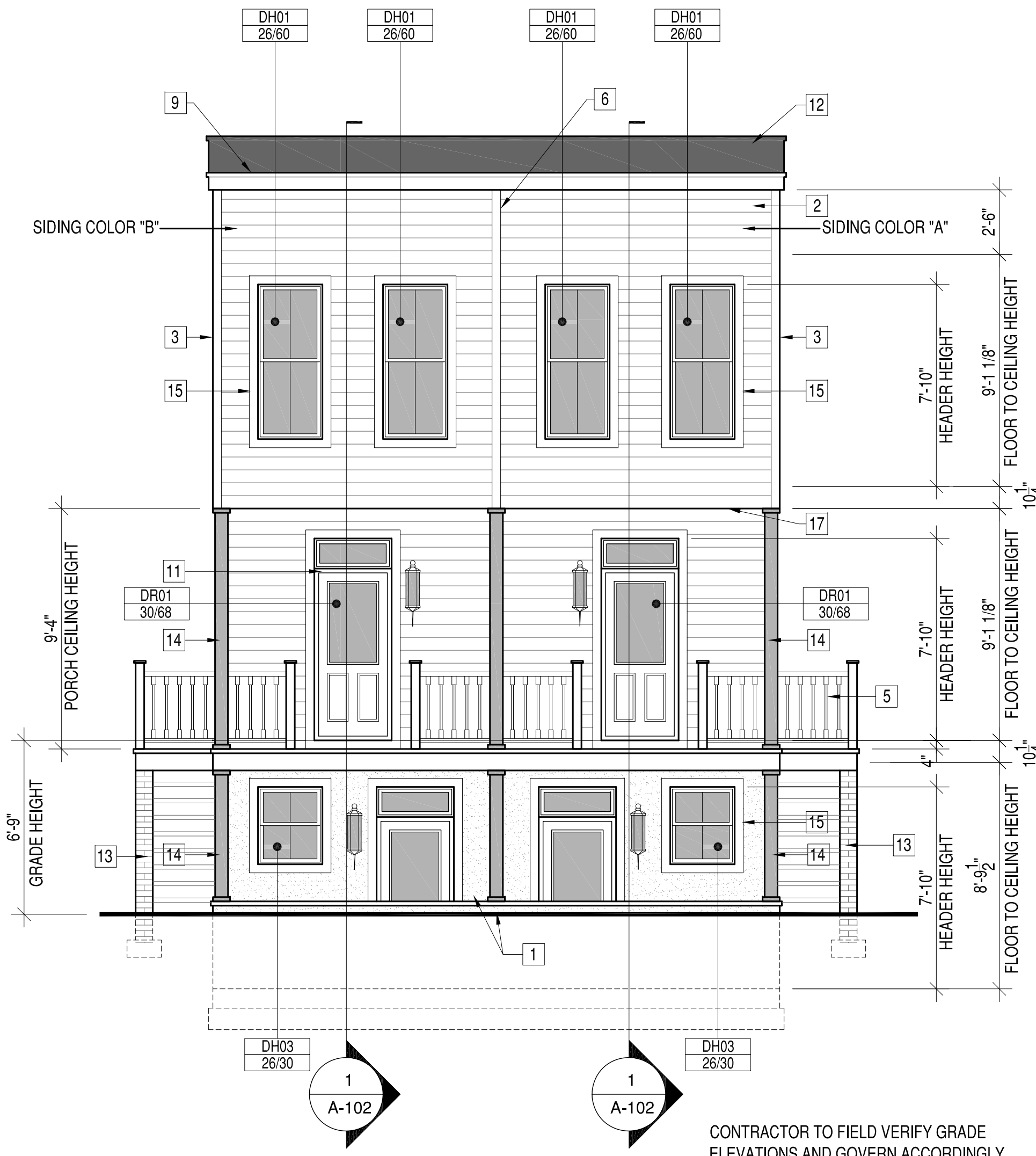
FRONT ELEVATION



RIGHT ELEVATION

BLDG ELEVATION MATERIAL KEYNOTES

- | | | | | |
|--|--|--|--|---------------------------------|
| 1 2 LAYER PARGED FOUNDATION WALLS, TYP. | 6 4" SIDING DIVERTER STRIP, TYP. | 11 STEEL OR FIBERGLASS DOOR W/TRANSOM AND BRICK MOULD SURROUND | 16 EPMD ROOFING AT PORCH ROOF | 22 1X6 PAINTED RAKE BOARD |
| 2 6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH | 7 1X6 WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD. | 12 60 MIL TPO ROOFING | 17 VINYL BEADBOARD PANELING AT PORCH CEILING | 23 VINYL VENTED SOFFIT PANELING |
| 3 FIBER CEMENT SIDING TRIM AT CORNERS | 8 10" SQUARE COLUMNS, TYP | 13 BRICK PIERS, TYP | 18 1X8 PAINTED TRIM BOARD, TYP | 24 GLASS GILDED HOUSE NUMBERS |
| 4 PVC BRACKET BKT12X12GP | 9 1X6 PAINTED WOOD TRIM FASCIA | 14 6X6 POST PVC WRAPPED COLUMN, TYP | 19 PVC DENTIL MOULDING FYPON MLD354-12 | 25 ARCHITECTURAL SHINGELS |
| 5 WOOD "RICHMOND RAIL" RAILING, PAINT FINISH | 10 TWO PANEL WOOD DOOR W/TRANSOM & MOULD SURROUND | 15 4" WINDOW TRIM, TYP | 20 PVC BRACKET FYPON BKT7X18 | 26 12"X32" FOUNDATION VENT |
| | | | 21 VENTS, SEE FOUNDATION PLAN | 27 18"X24" GABLE VENT, TYP |

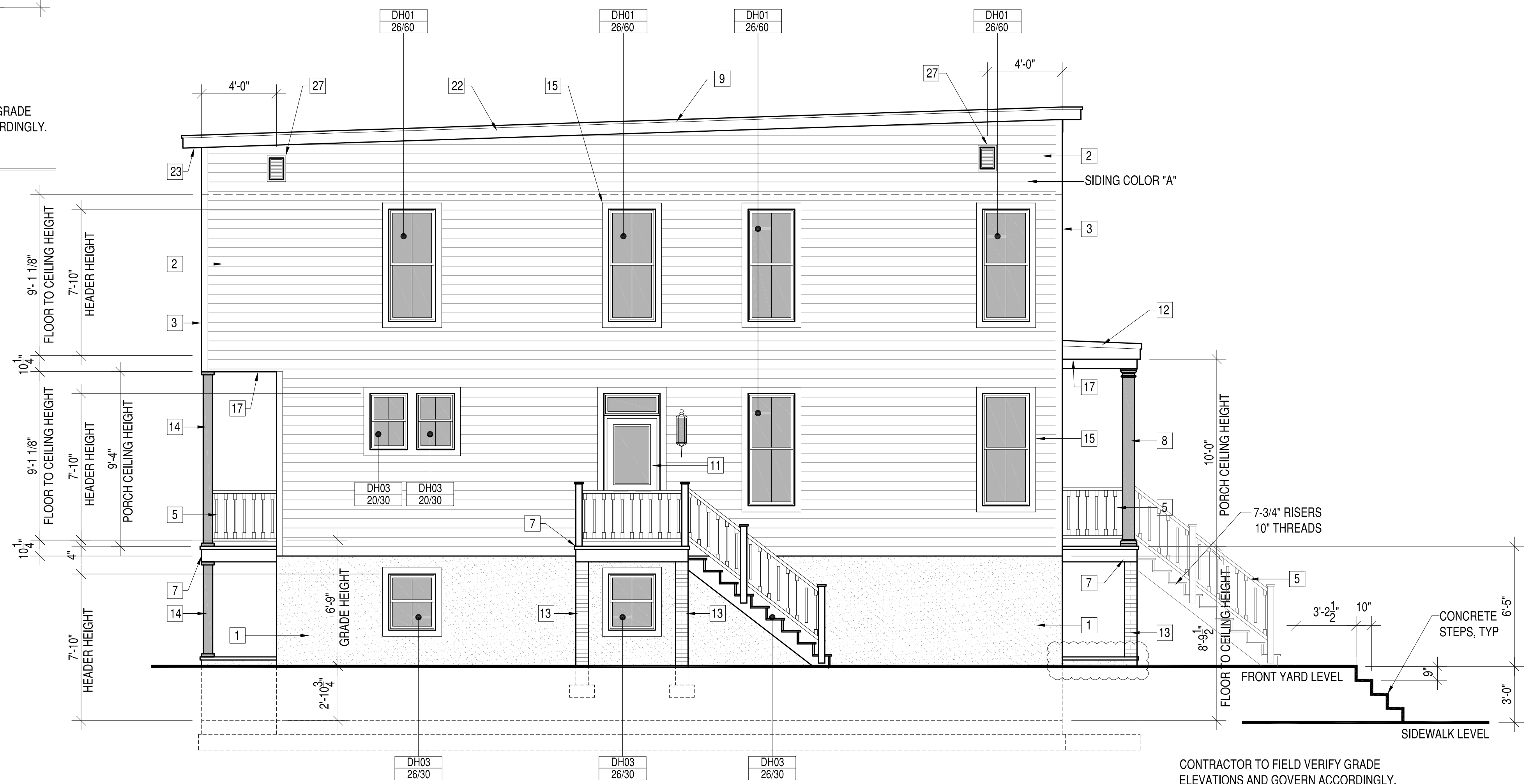


REAR ELEVATION

CONTRACTOR TO FIELD VERIFY GRADE ELEVATIONS AND GOVERN ACCORDINGLY.

BLDG ELEVATION MATERIAL KEYNOTES

- | | | | | |
|--|--|--|--|---------------------------------|
| 1 2 LAYER PARGED FOUNDATION WALLS, TYP. | 6 4" SIDING DIVERTER STRIP, TYP. | 11 STEEL OR FIBERGLASS DOOR W/TRANSOM AND BRICK MOULD SURROUND | 16 EPMD ROOFING AT PORCH ROOF | 22 1X6 PAINTED RAKE BOARD |
| 2 6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH | 7 1X6 WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD. | 12 60 MIL TPO ROOFING | 17 VINYL BEADBOARD PANELING AT PORCH CEILING | 23 VINYL VENTED SOFFIT PANELING |
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| 4 PVC BRACKET BKT12X12GP | 9 1X6 PAINTED WOOD TRIM FASCIA | 14 6X6 POST PVC WRAPPED COLUMN, TYP | 19 PVC DENTIL MOULDING FYPON MLD354-12 | 25 ARCHITECTURAL SHINGELS |
| 5 WOOD "RICHMOND RAIL" RAILING, PAINT FINISH | 10 TWO PANEL WOOD DOOR W/TRANSOM & MOULD SURROUND | 15 4" WINDOW TRIM, TYP | 20 PVC BRACKET FYPON BKT7X18 | 26 12"X32" FOUNDATION VENT |
| | | | 21 VENTS. SEE FOUNDATION PLAN | 27 18"X24" GABLE VENT, TYP |



LEFT ELEVATION

CONTRACTOR TO FIELD VERIFY GRADE ELEVATIONS AND GOVERN ACCORDINGLY.

SYN	DESCRIPTION	DATE	APPR
6	CAR REVISIONS	7-30-19	
5	GRADE REVISIONS	6-17-19	
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APPROVED

ACTIVITY

SATISFACTORY TO DATE

DES: [initials] | DRW: JRP3 | CHK: JRP3

606-608 N 29th STREET DEVELOPMENT

RICHMOND, VIRGINIA 23223

REAR AND LEFT ELEVATIONS & BUILDING MATERIAL LIST

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.

CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.

MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.



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Table with columns: DATE, DESCRIPTION, and rows for CAR REVISIONS, GRADE REVISIONS, CLIENT REVIEW 100%, CLIENT REVIEW 95%, CLIENT REVIEW, CLIENT REVIEW.



42296 BENFOLD SQUARE
ASHBURN VA 20148
(703) 675-4502 PHONE

DESIGN CONSULTANT

SEALED



GENERAL CONTRACTOR

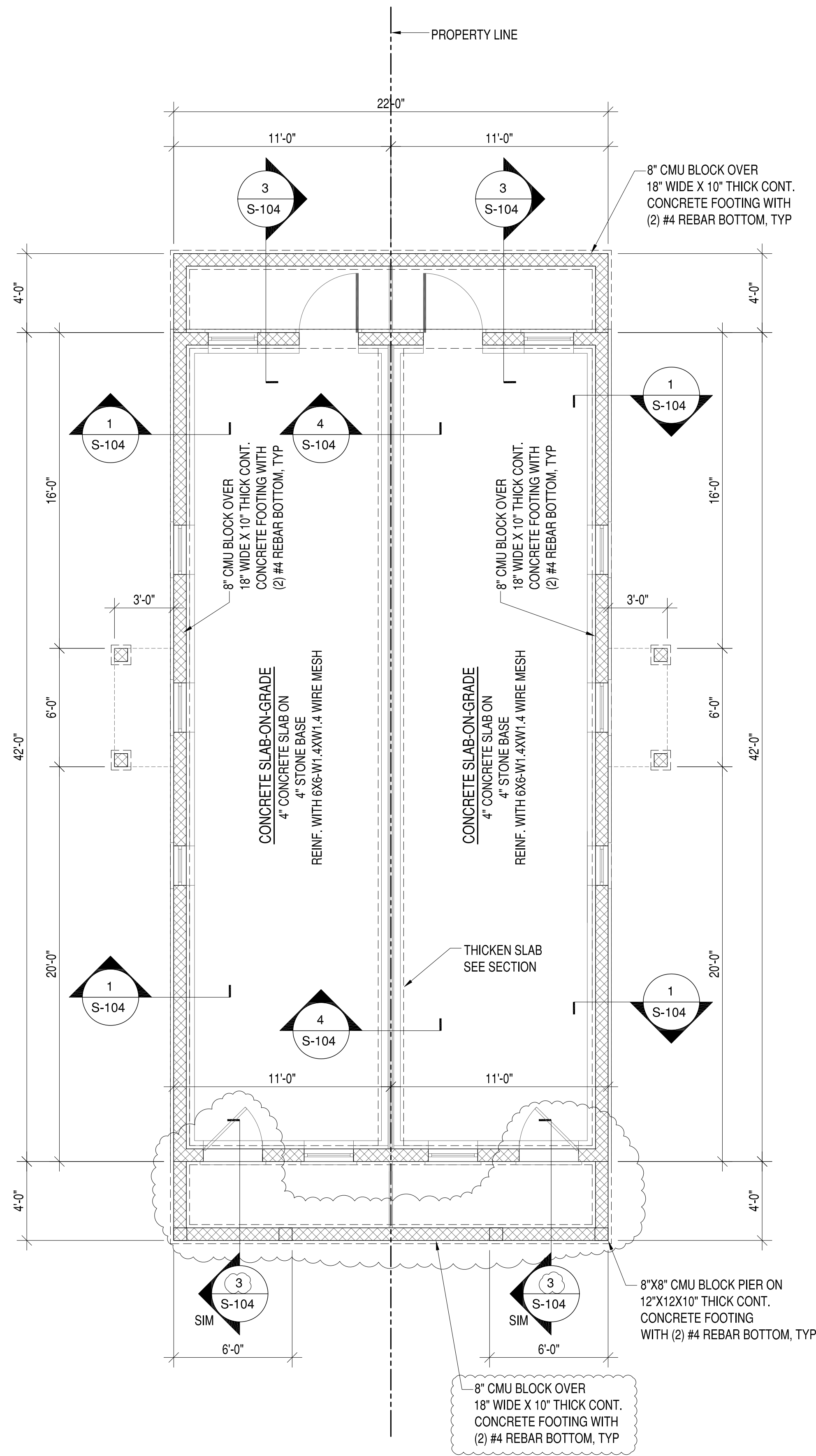
ACTIVITY

SATISFACTORY TO DATE

DES: JRP [initials] | DRW: JRP3 | CHK: JRP3

606-608 N 29th STREET DEVELOPMENT
RICHMOND, VIRGINIA 23223
STRUCTURAL GENERAL NOTES

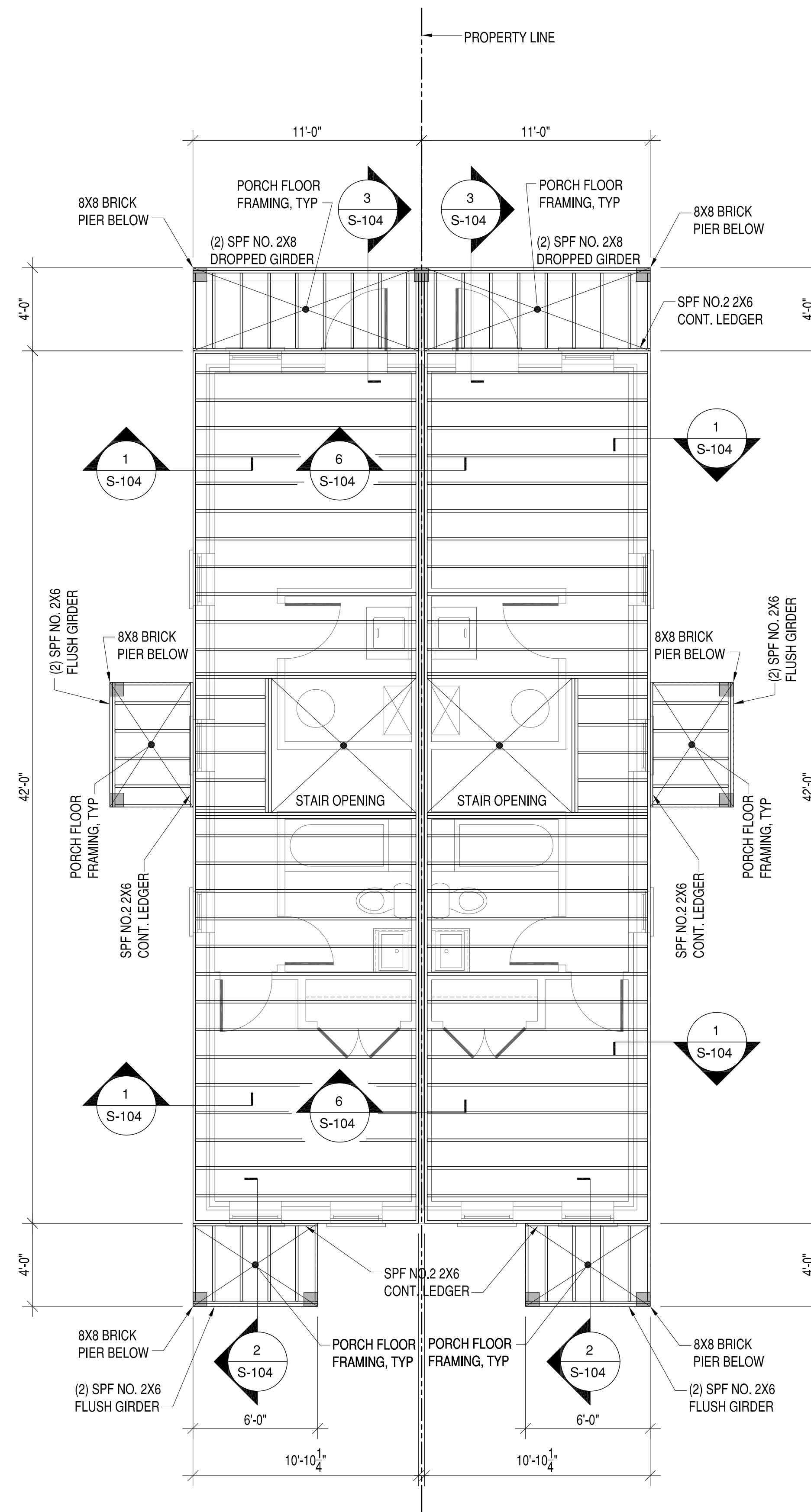
SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-02
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-001



FOUNDATION PLAN

FOUNDATION NOTES

1. SEE SOIL REPORT FOR FOOTING SIZE AND REINFORCEMENT.
2. PROVIDE 6-MIL POLY VAPOR BARRIER MIN.
3. BLOCK ALL POINT THROUGH FLOOR SYSTEM TO FOUNDATION, TYP.
4. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL HAVING THE STATED MINIMUM SOIL DESIGN BEARING CAPACITY.
5. NO FOOTING SHALL BE PLACED IN WATER OR ON FROZEN SOIL.
6. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 24" BELOW FINISHED GRADE.
7. ALL POURED CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI.
8. PROVIDE METAL TERMITE SHIELD AT THE TOP OF FOUNDATIONS WALLS BELOW SILL PLATE AT 45° ANGLE. EXTEND METAL SHIELD 2" TO 3" PAST FOUNDATION WALLS ON BOTH SIDES. SEAL ALL SEAMS AND HOLES.



FIRST FLOOR FRAMING P[LAM

FLOOR FRAMING NOTES:

1. FLOOR FRAMING SHALL BE 9-1/2" TJI JOIST AT 16" OC UON. 110 SERIES
2. ALL RIM BOARDS TO BE 1-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
3. FRONT PORCH FLOOR JOIST TO BE SPF. NO. 2 2X6'S AT 16" OC.
4. ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUS6. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
5. PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.

NO.	DESCRIPTION	DATE	APPROVED
6	CAR REVISIONS	7-30-19	
5	GRADE REVISIONS	6-17-19	
4	CLIENT REVIEW 100%	4-28-19	
3	CLIENT REVIEW 95%	4-14-19	
2	CLIENT REVIEW	4-3-19	
1	CLIENT REVIEW	3-2-19	

HOMETOWN REALTY
"The Exceptional Exception"

MATT JARREAU
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606-608 N 29th STREET DEVELOPMENT

RICHMOND, VIRGINIA 23223

FOUNDATION AND FIRST FLOOR FRAMING PLANS

NO.	DESCRIPTION	DATE	APPROVED
6	CAR REVISIONS	7-30-19	
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3	CLIENT REVIEW 95%	4-14-19	
2	CLIENT REVIEW	4-3-19	
1	CLIENT REVIEW	3-2-19	

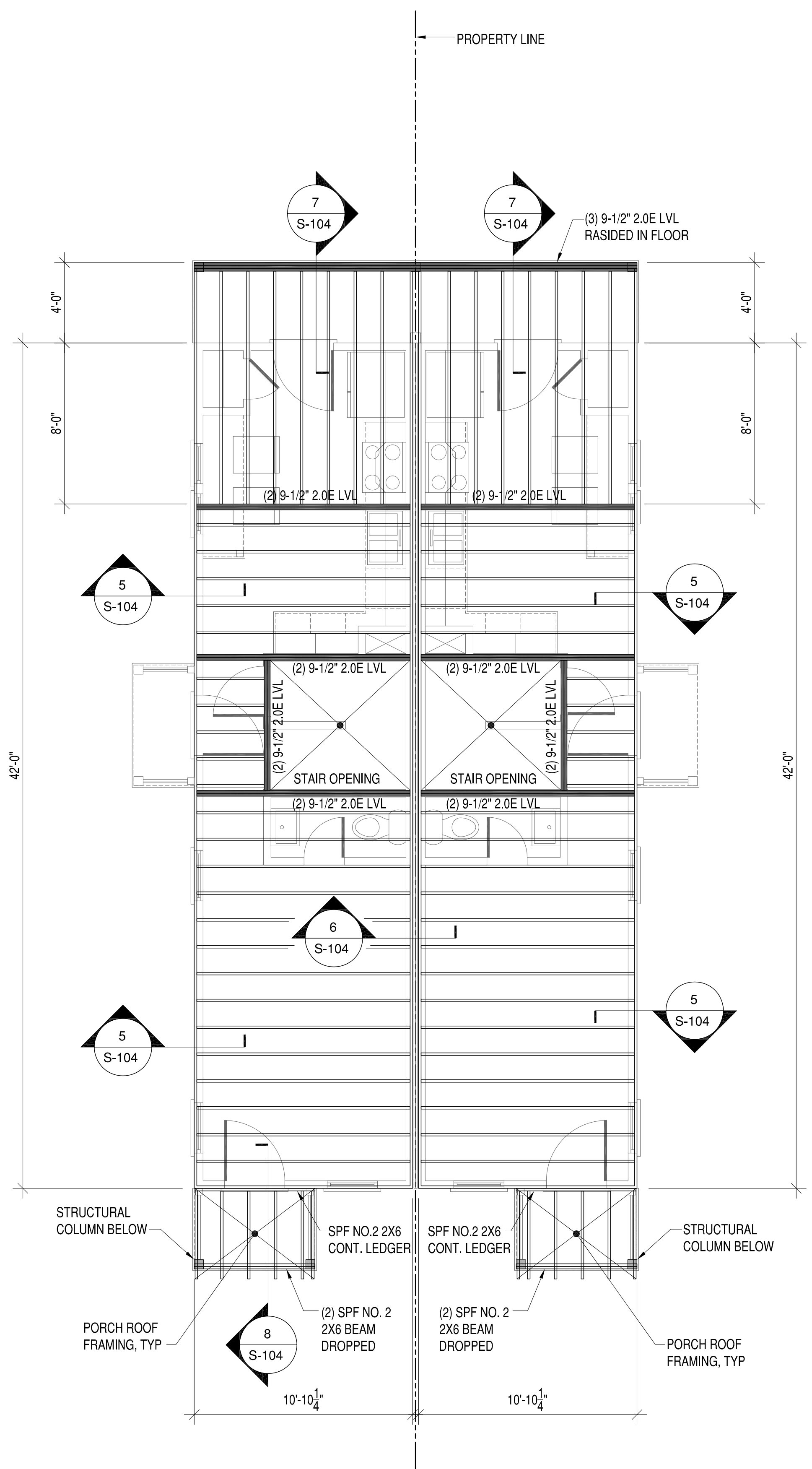
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APPROVED	
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW_JRP3 CHK_JRP3

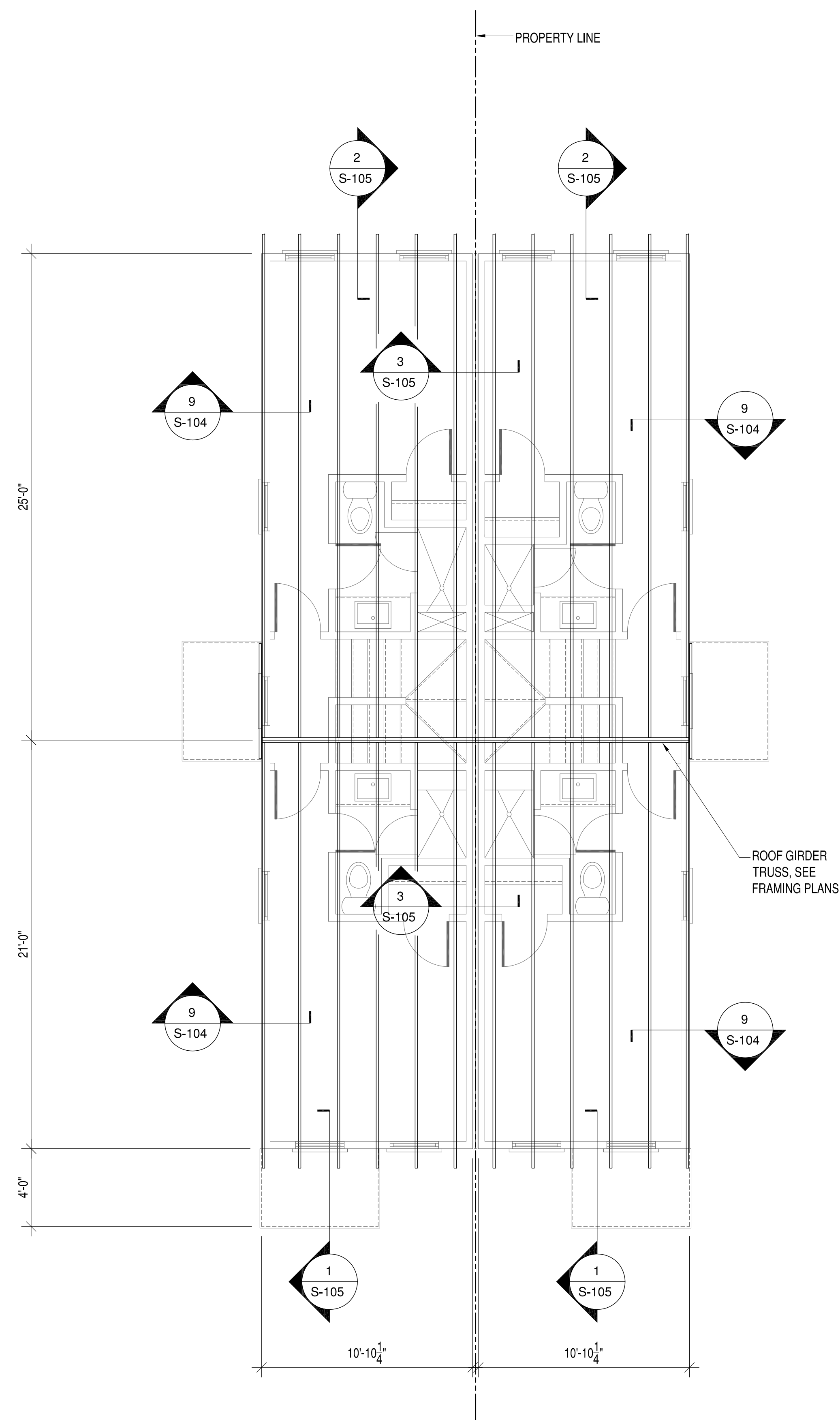
606-608 N 29th STREET DEVELOPMENT
 RICHMOND, VIRGINIA 23223
SECOND FLOOR AND ROOF FRAMING PLANS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-02
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-102



SECOND FLOOR FRAMING PLAN

- FLOOR FRAMING NOTES:**
- FLOOR FRAMING SHALL BE 9-1/2" TJI JOIST AT 16" OC UON, 360 SERIES
 - ALL RIM BOARDS TO BE 1-1/8" THICK. SEE MANUFACTURERS FRAMING PLANS.
 - FRONT PORCH ROOF FRAMING TO BE SPF, NO.2 2X6s AT 16" OC.
 - ALL JOIST HANGERS AT FRONT AND REAR PORCH TO BE SIMPSON LUS6. ATTACH PER SIMPSON SPECIFICATIONS. SEE CALCULATIONS PACKAGE FOR MORE INFORMATION.
 - PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR PARALLEL WALLS.



ROOF FRAMING PLAN

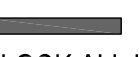
- ROOF FRAMING NOTES:**
- ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES AT 24" OC UNLESS OTHERWISE NOTED.

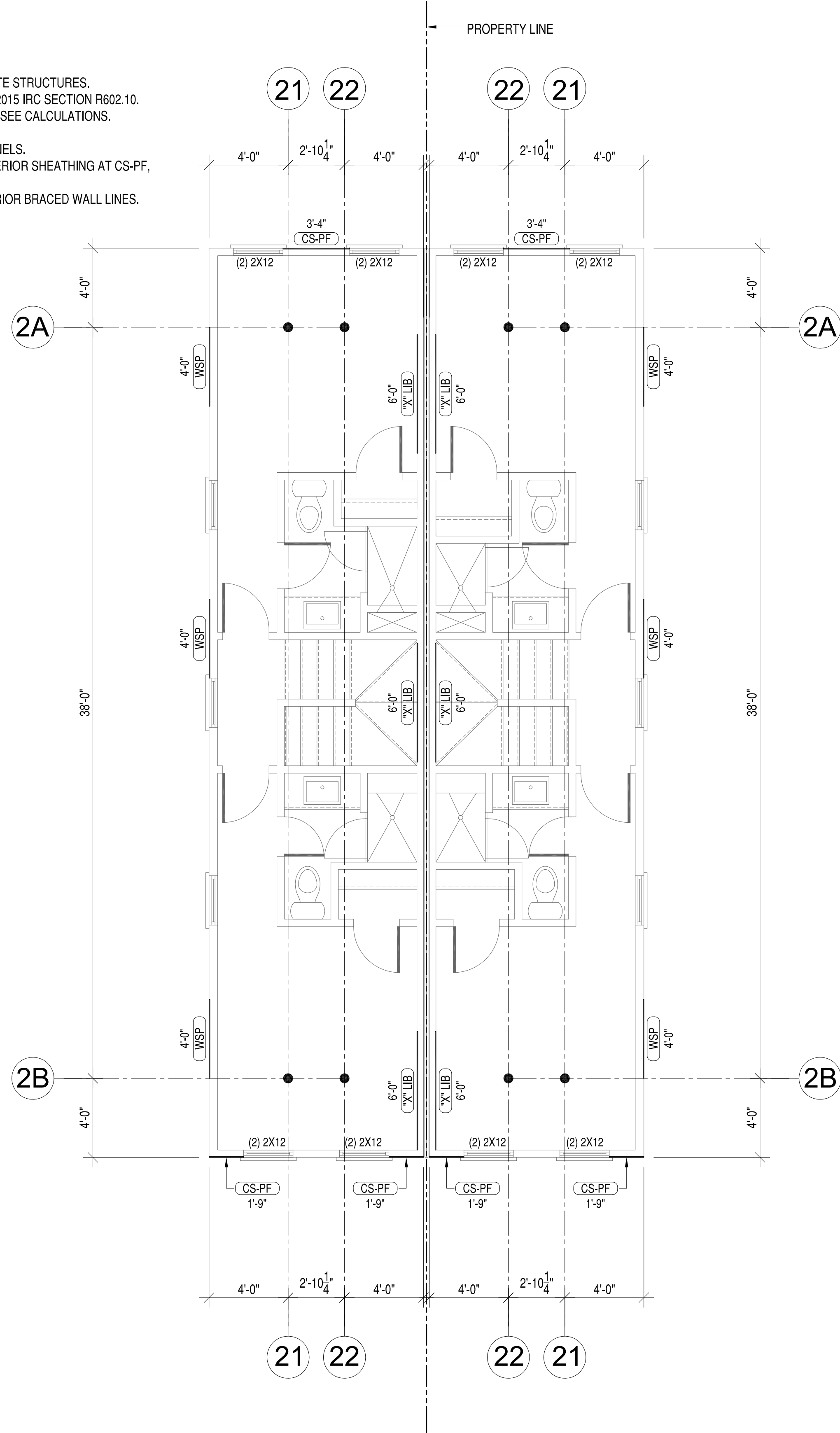
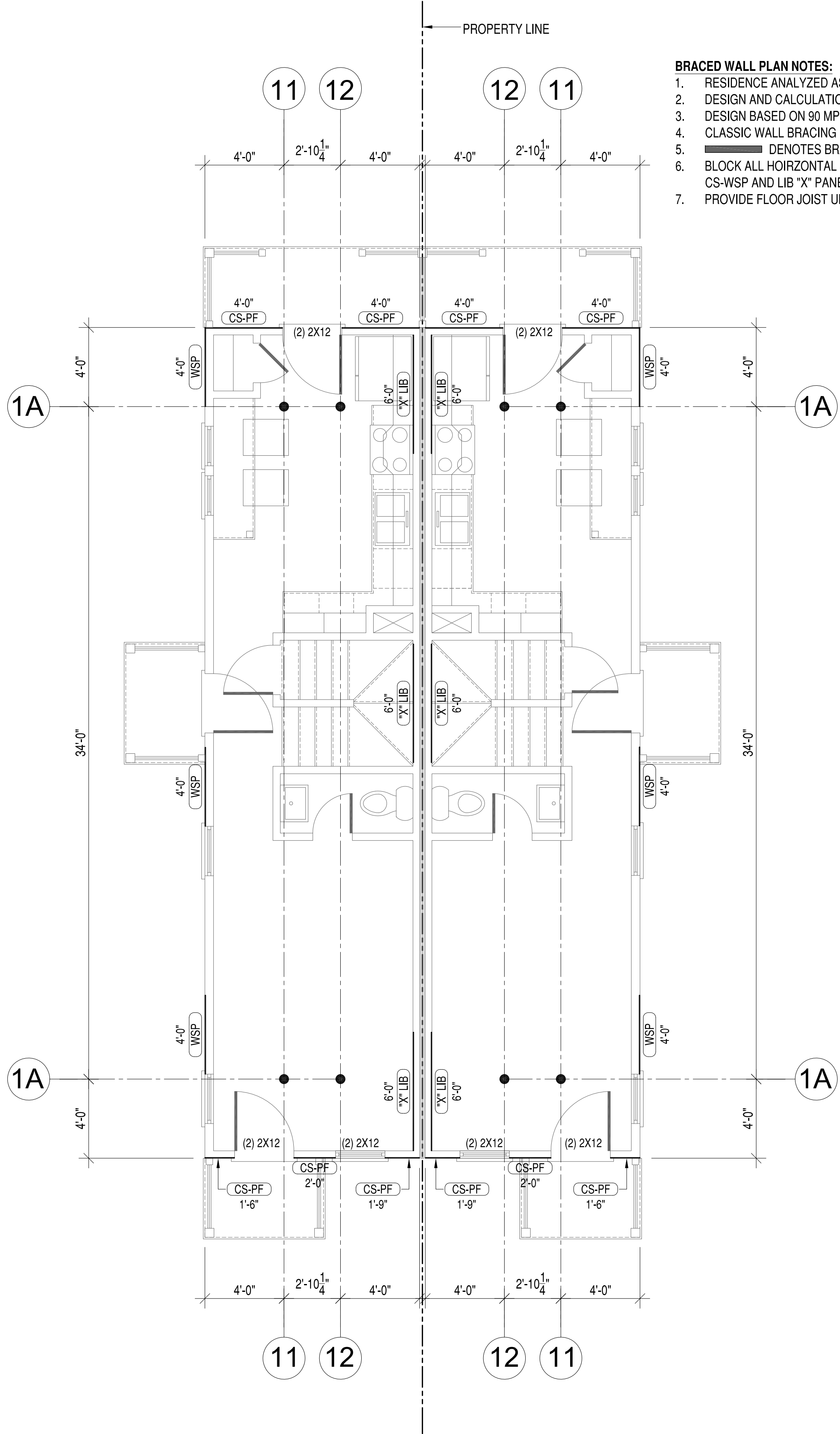
PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

- THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
- REFERENCE STANDARDS
 - NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
 - TPI-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
- MATERIALS
 - THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPERATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
 - LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
- DESIGN
 - THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
 - THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
 - METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
 - IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
 - DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 - DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
 - DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
- DESIGN LOADS
 - ROOF
 - TOP CHORD DEAD LOAD = 10 PSF
 - TOP CHORD LIVE LOAD = 20 PSF
 - BOTTOM CHORD DEAD LOAD = 10 PSF
 - BOTTOM CHORD LIVE LOAD = 0 PSF
 - WIND LOADING: SEE DESIGN LOADS SECTION ON SHEET S-001
 - NET WIND UPLIFT = 8 PSF
 - DEFLECTIONS
 - ROOF
 - MAXIMUM LIVE LOAD DEFLECTION = L/360, OR .625" MAXIMUM
 - MAXIMUM TOTAL LOAD DEFLECTION = L/240, OR 1.0" MAXIMUM
 - DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
- SUBMITTALS
 - SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
 - SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
 - SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
 - INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.

ROOF GIRDER TRUSS, SEE FRAMING PLANS

BRACED WALL PLAN NOTES:

1. RESIDENCE ANALYZED AS TWO SEPARATE STRUCTURES.
2. DESIGN AND CALCULATIONS BASED ON 2015 IRC SECTION R602.10.
3. DESIGN BASED ON 90 MPH WIND SPEED. SEE CALCULATIONS.
4. CLASSIC WALL BRACING METHOD USED.
5.  DENOTES BRACED WALL PANELS.
6. BLOCK ALL HOIRZONTAL JOINTS AT EXTERIOR SHEATHING AT CS-PF, CS-WSP AND LIB "X" PANELS.
7. PROVIDE FLOOR JOIST UNDER ALL INTERIOR BRACED WALL LINES.



FIRST FLOOR BRACED WALL PLAN

SECOND FLOOR BRACED WALL PLAN

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DES: *** | DRW: JRP3 | CHK: JRP3

606-608 N 29th STREET DEVELOPMENT

RICHMOND, VIRGINIA 23223

FIRST AND SECOND FLOOR BRACED WALL PLAN

SCALE: 1/4"=1'-0"

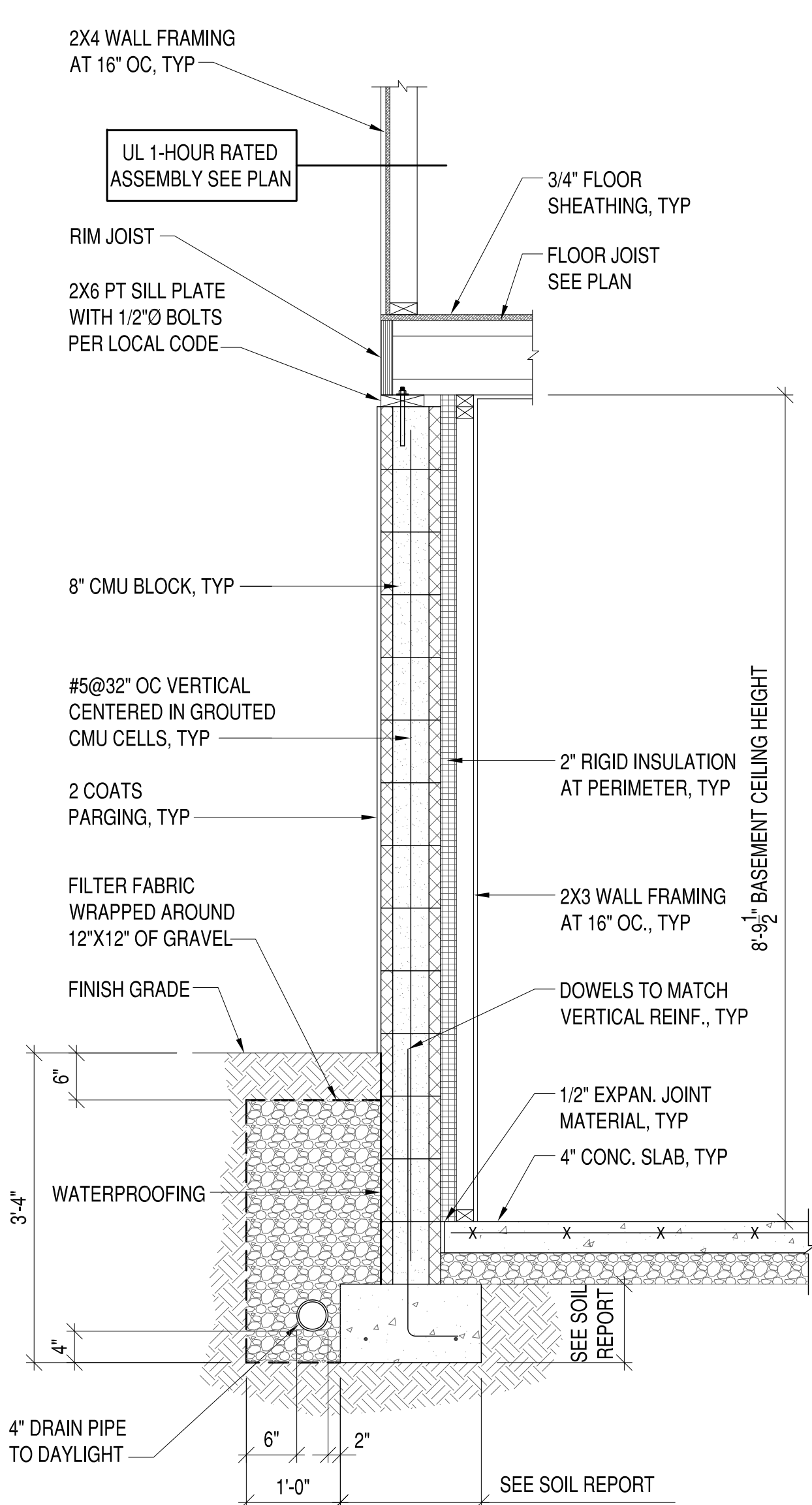
PROJECT NO.: 2019-02

CONSTR. CONTR. NO.

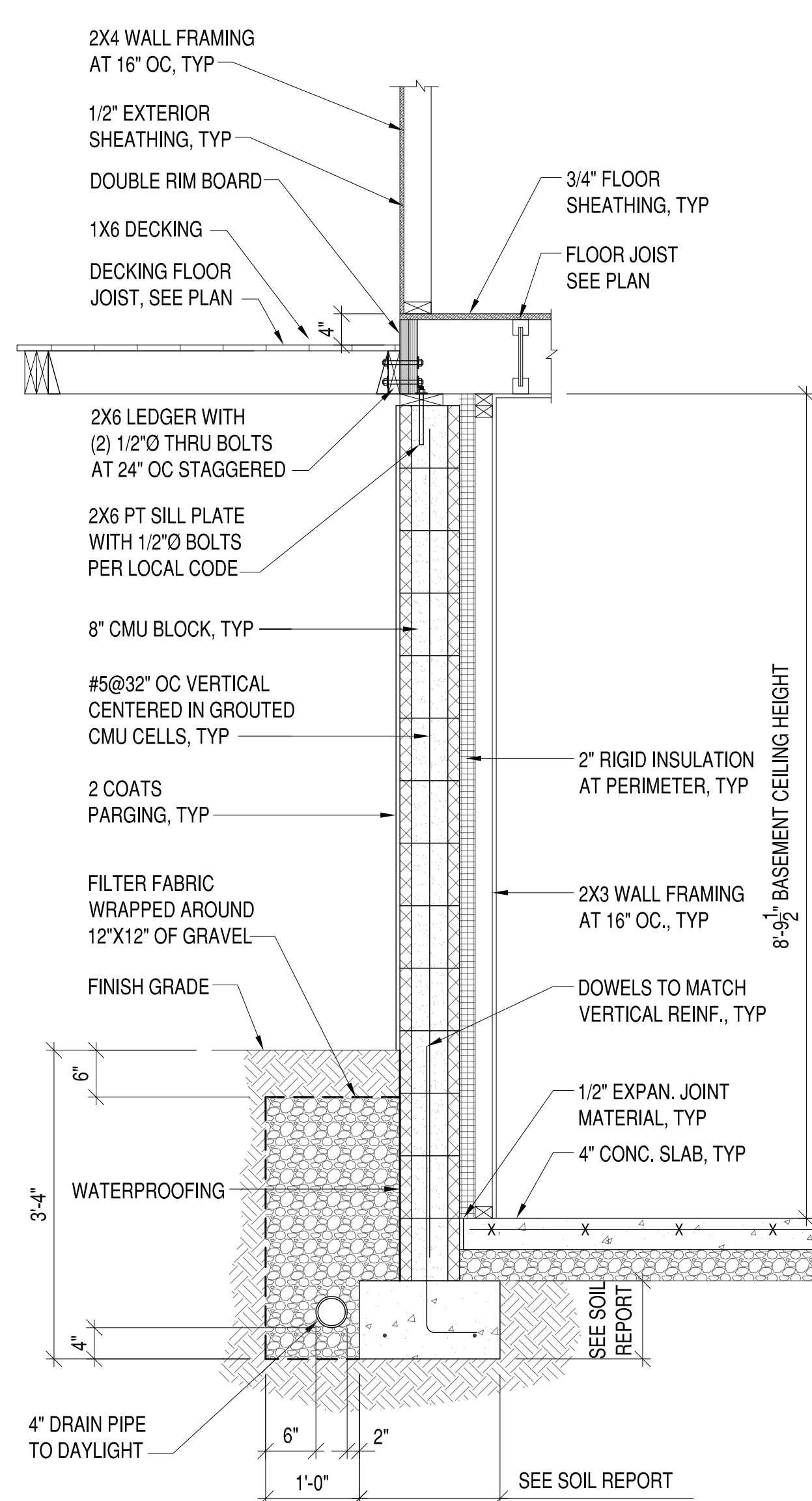
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SHEET OF

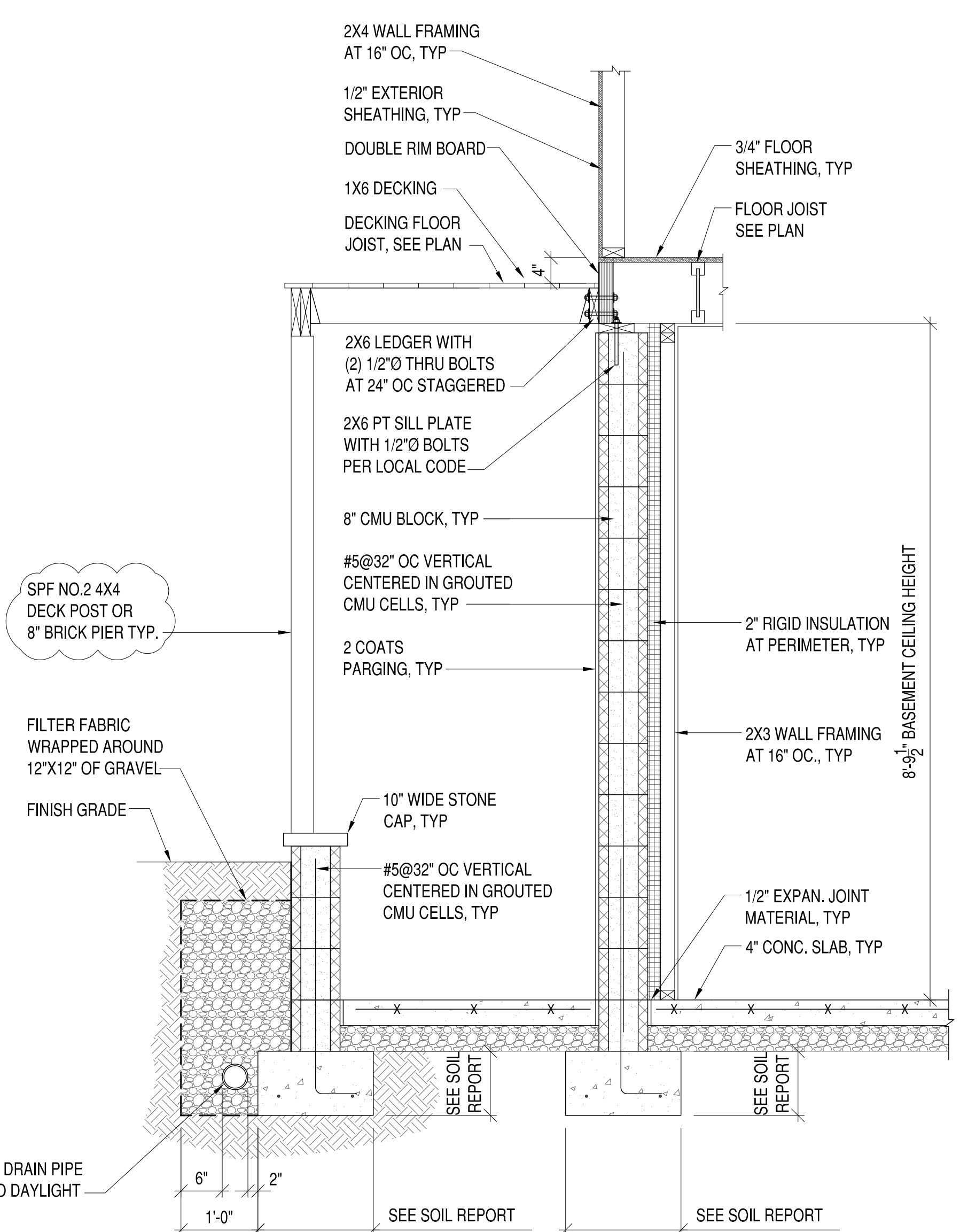
S-103



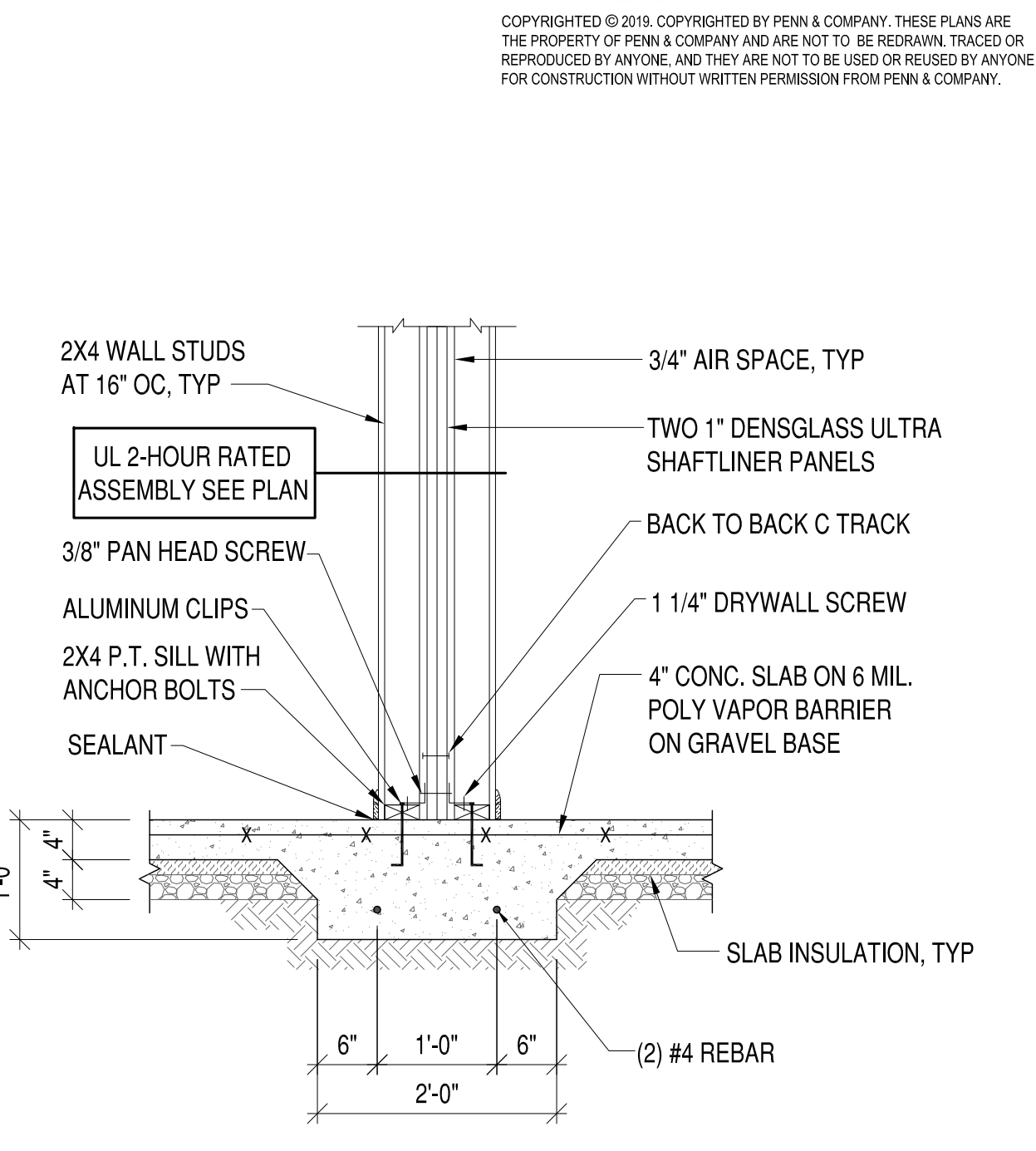
1 SECTION
S-104 3/4"=1'-0"



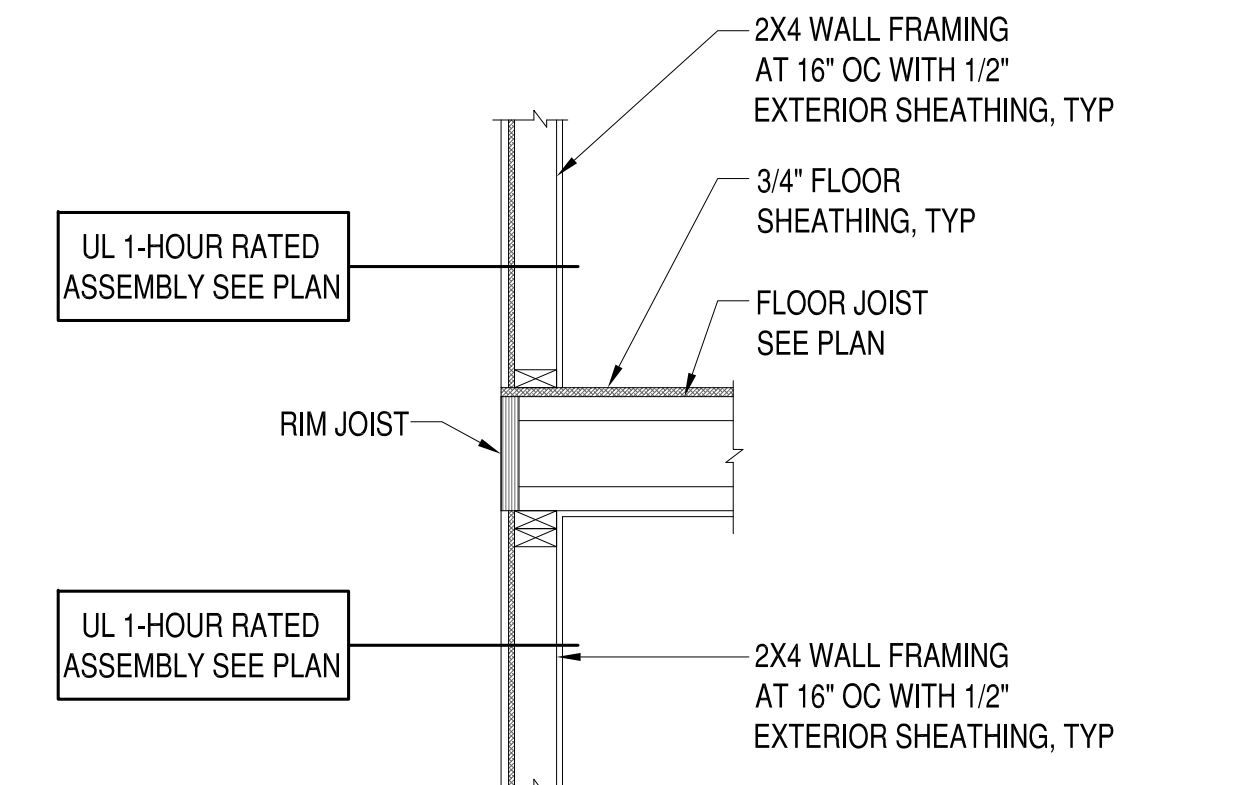
2 SECTION - NOT USED
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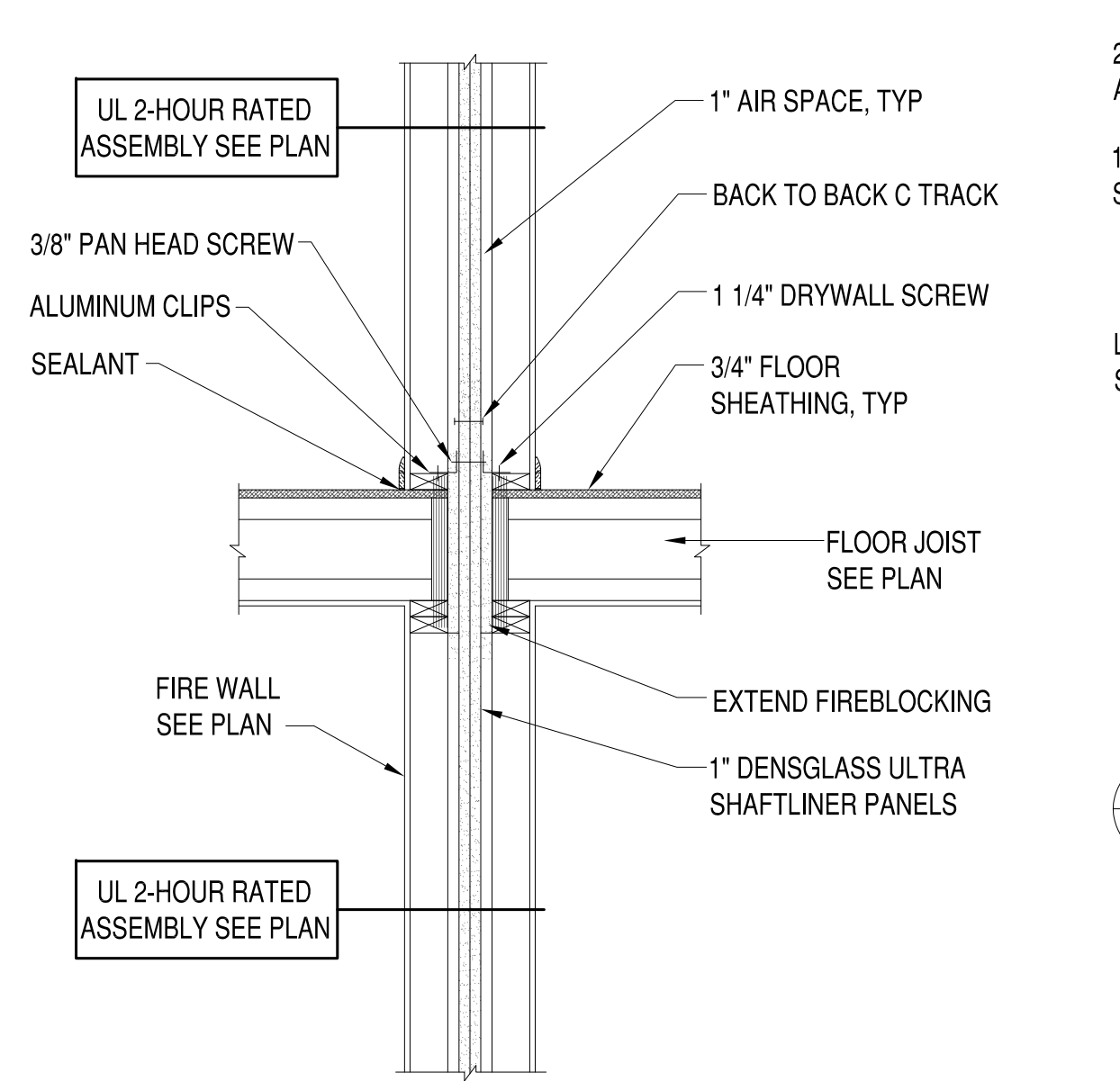
3 SECTION
S-104 3/4"=1'-0"



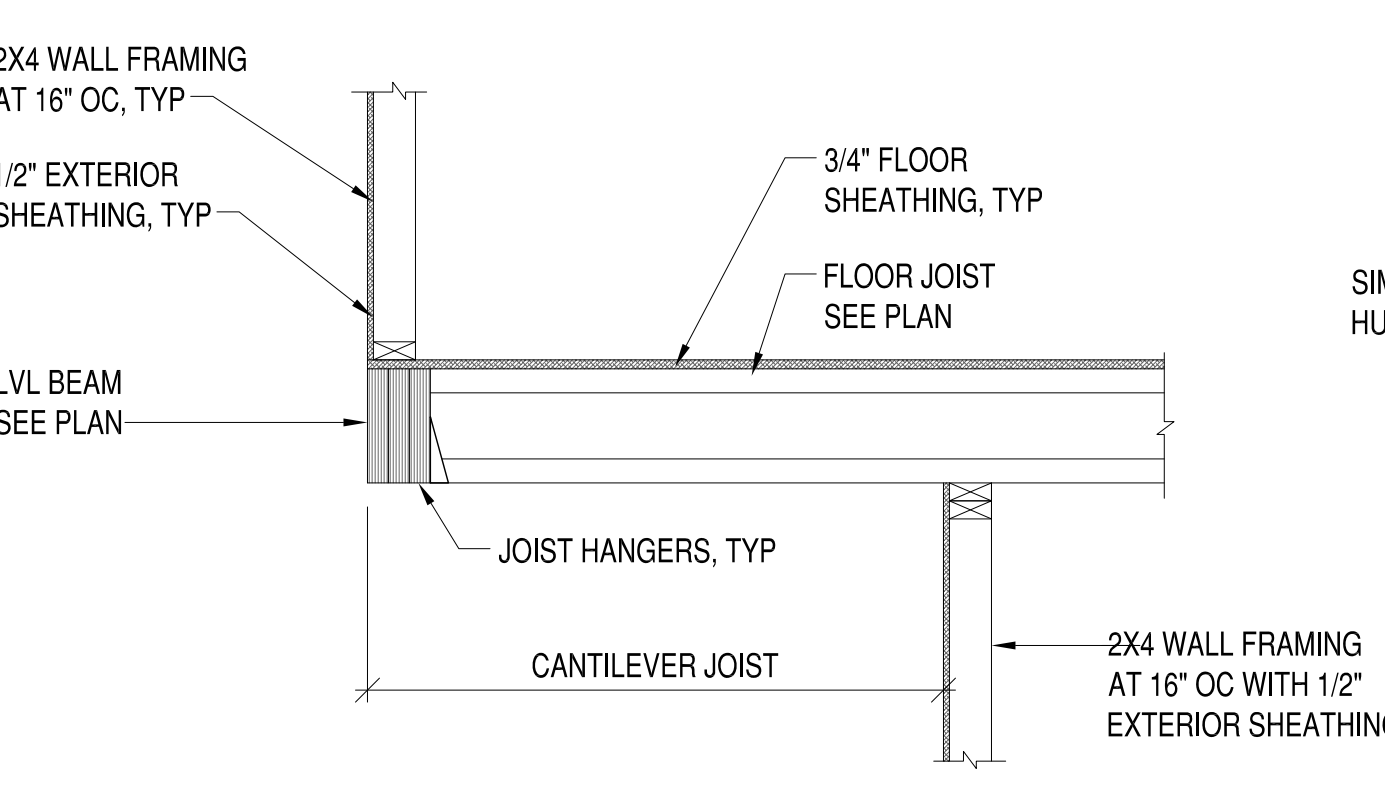
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S-104 3/4"=1'-0"



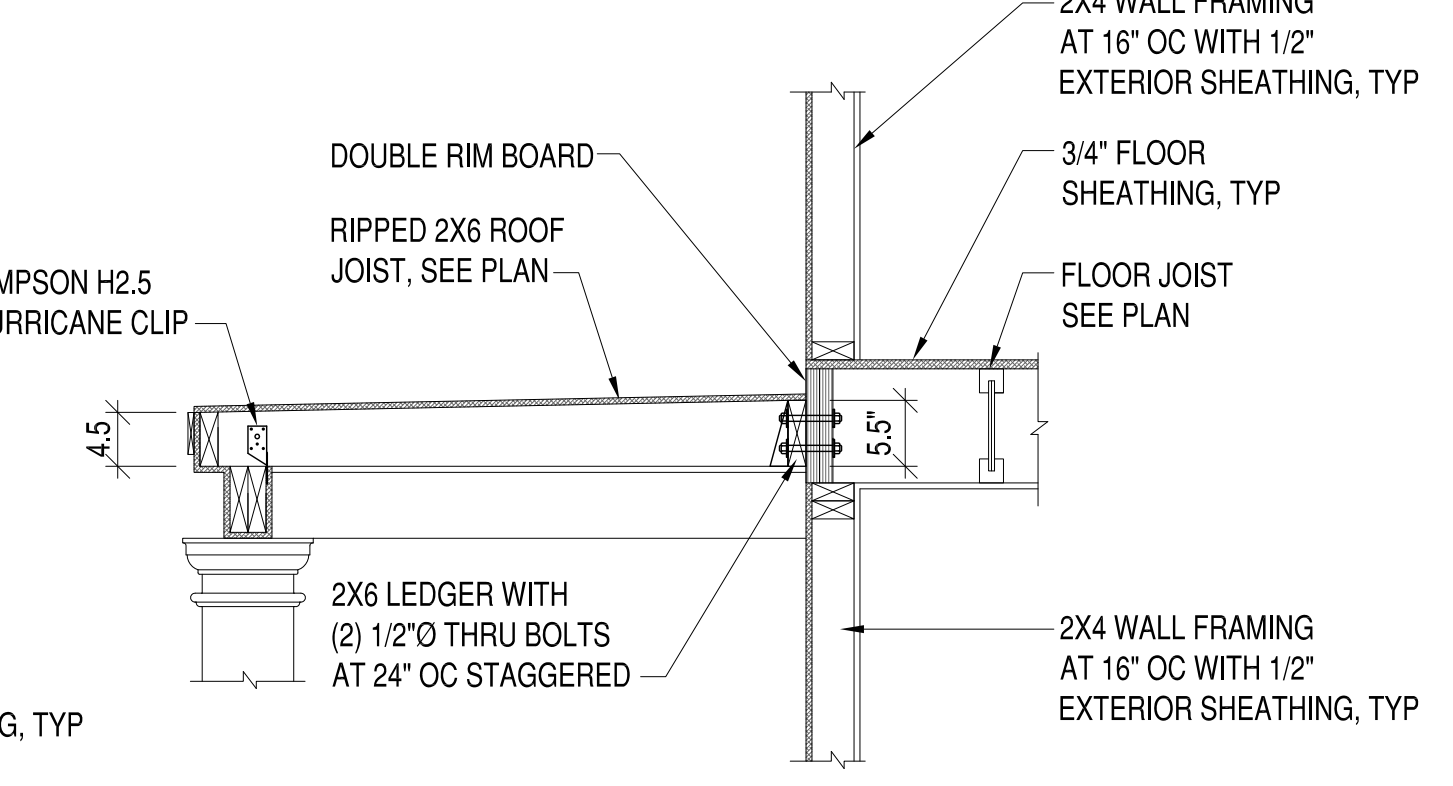
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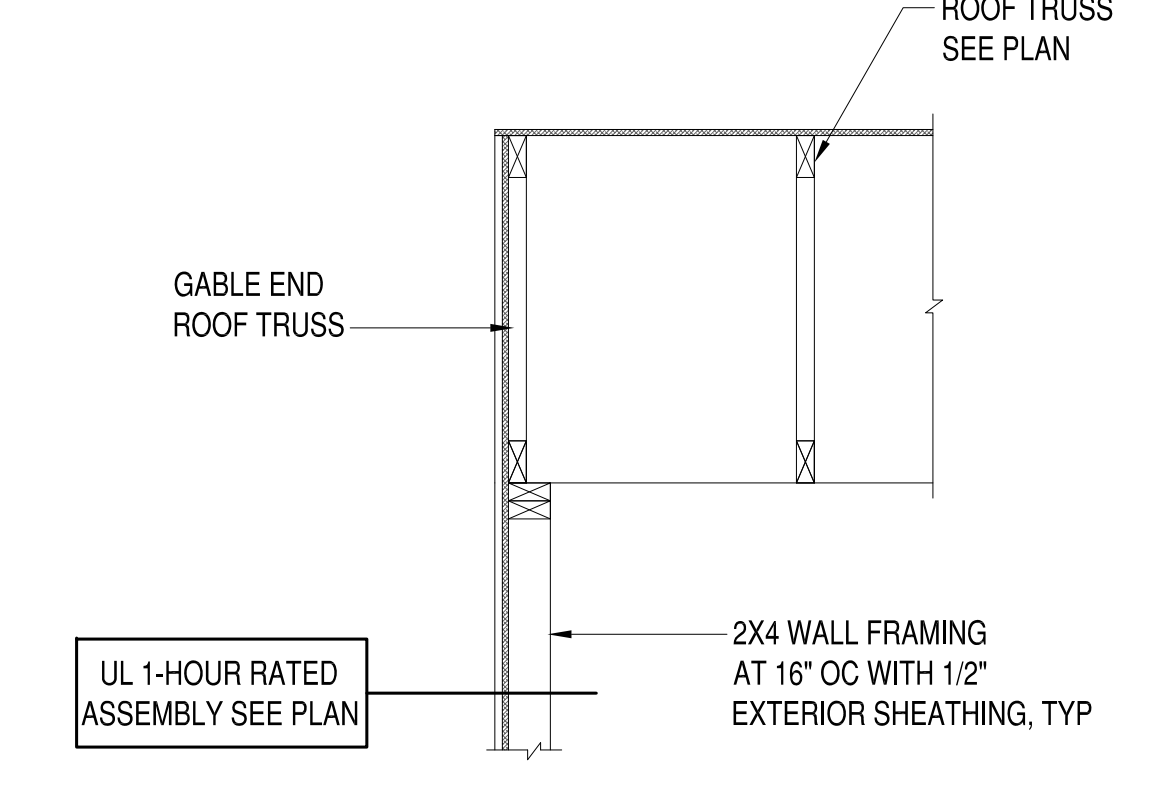
6 SECTION
S-104 3/4"=1'-0"



7 SECTION
S-104 3/4"=1'-0"



8 SECTION
S-104 3/4"=1'-0"



9 SECTION
S-104 3/4"=1'-0"

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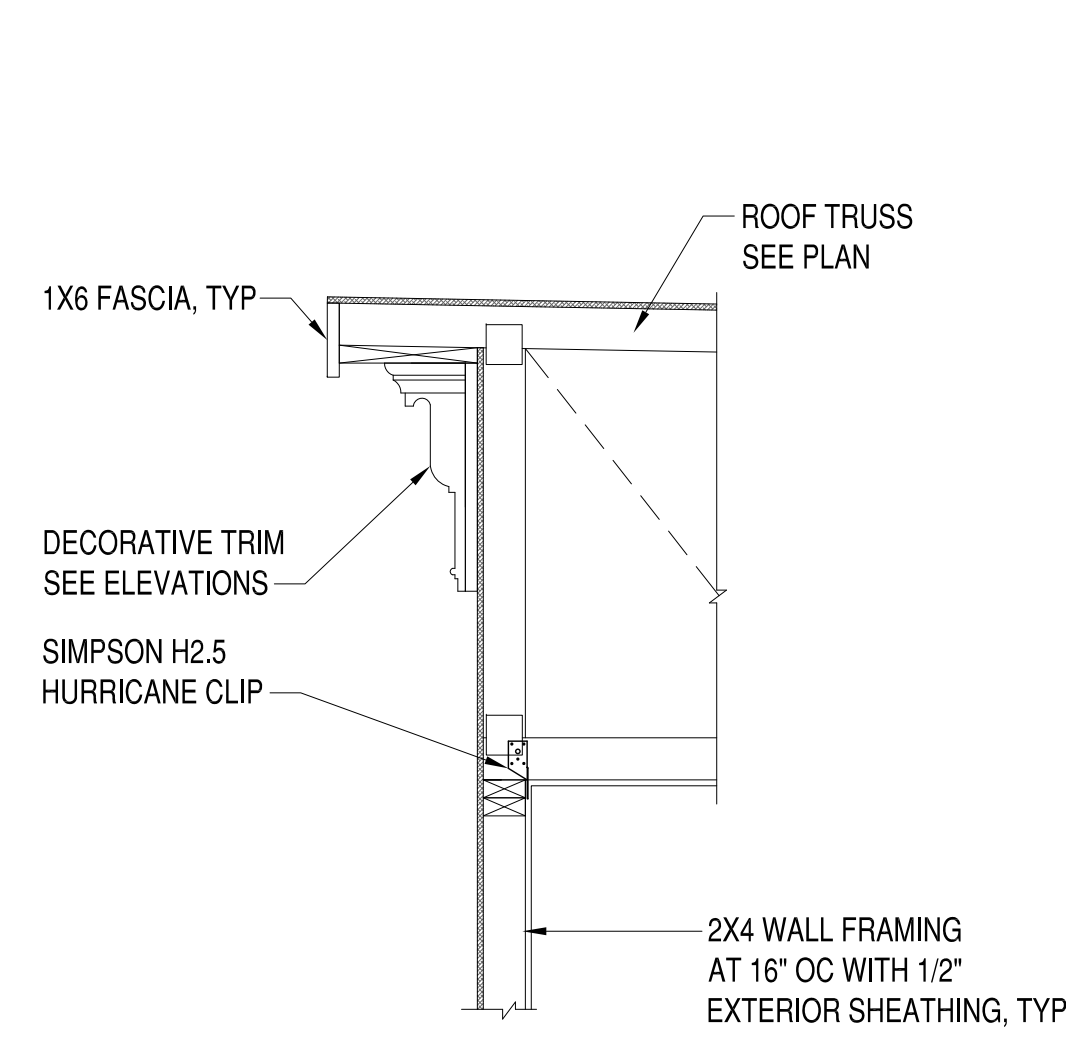
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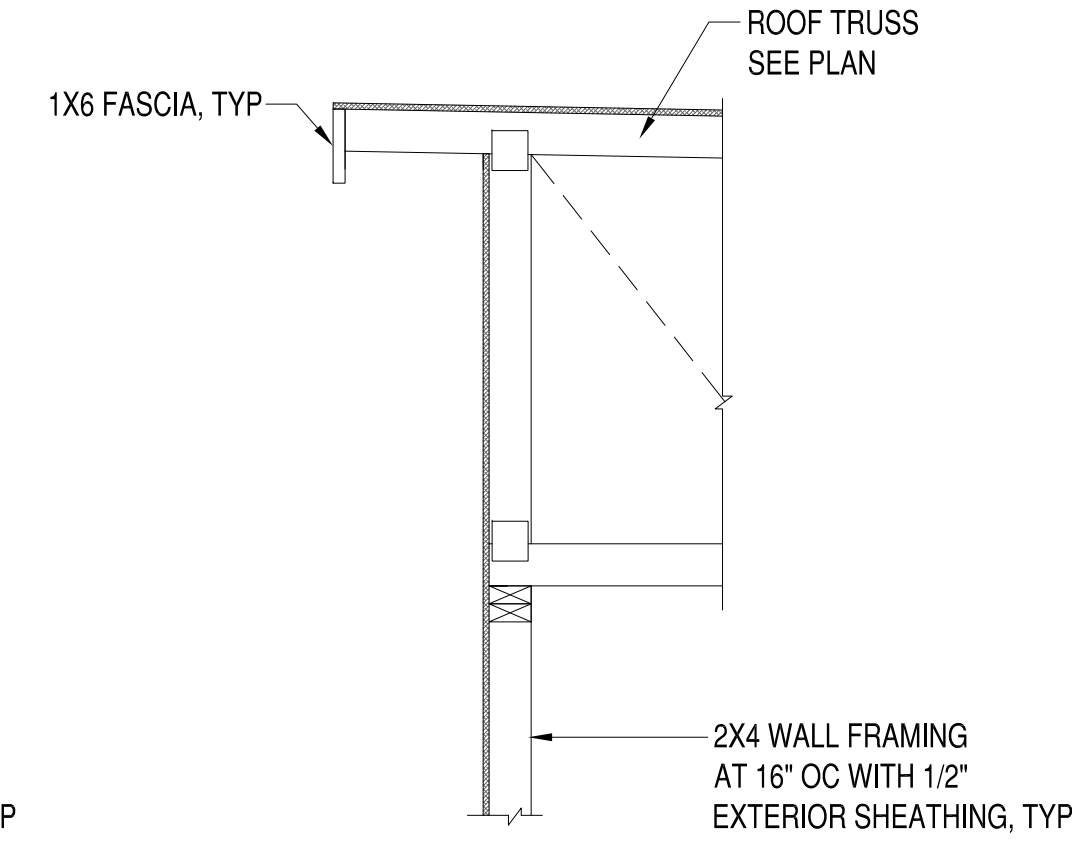
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ACTIVITY
SATISFACTORY TO DATE
DES: JRP3 DRW: JRP3 CHK: JRP3

606-608 N 29th STREET DEVELOPMENT
RICHMOND, VIRGINIA 23223
TYPICAL SECTIONS

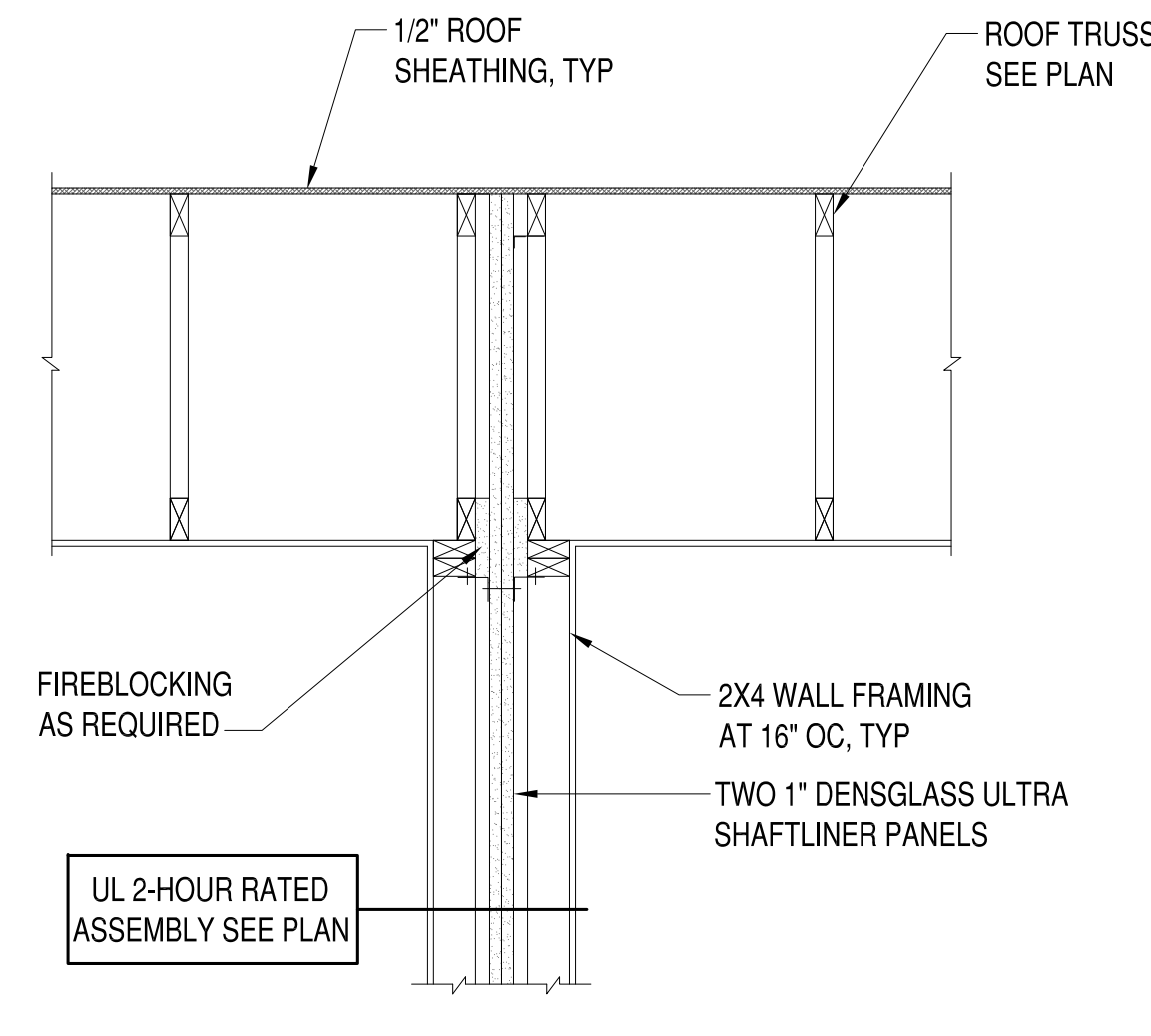
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PROJECT NO.: 2019-02
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-104



1 SECTION
S-105 3/4"=1'-0"



2 SECTION
S-105 3/4"=1'-0"



3 SECTION
S-105 3/4"=1'-0"

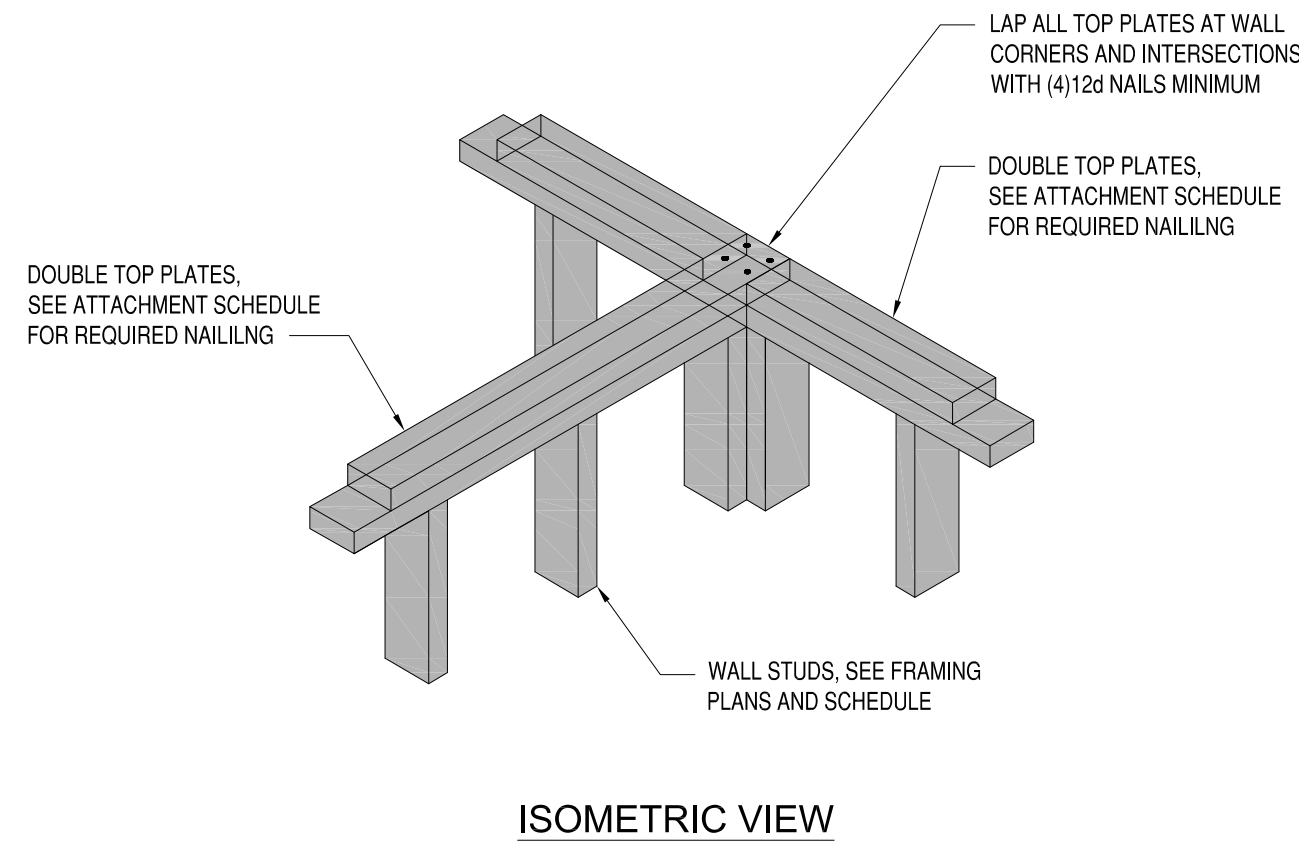
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6	CAR REVISIONS	7-30-19	
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4	CLIENT REVIEW 100%	4-28-19	
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SATISFACTORY TO DATE	
DES ***	DRW JRP3 CHK JRP3

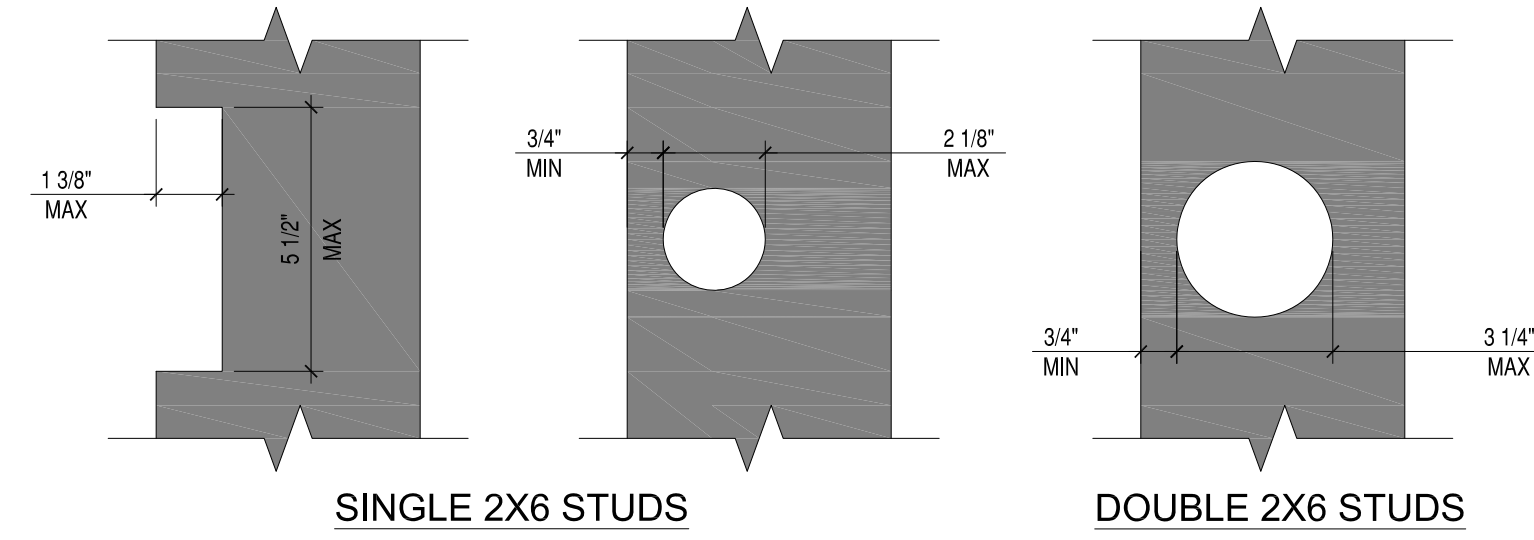
606-608 N 29th STREET DEVELOPMENT
RICHMOND, VIRGINIA 23223
TYPICAL SECTIONS

SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-02
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
S-105



1
S-202
1-1/2"=1'-0"

TYPICAL SHEAR WALL INTERSECTION

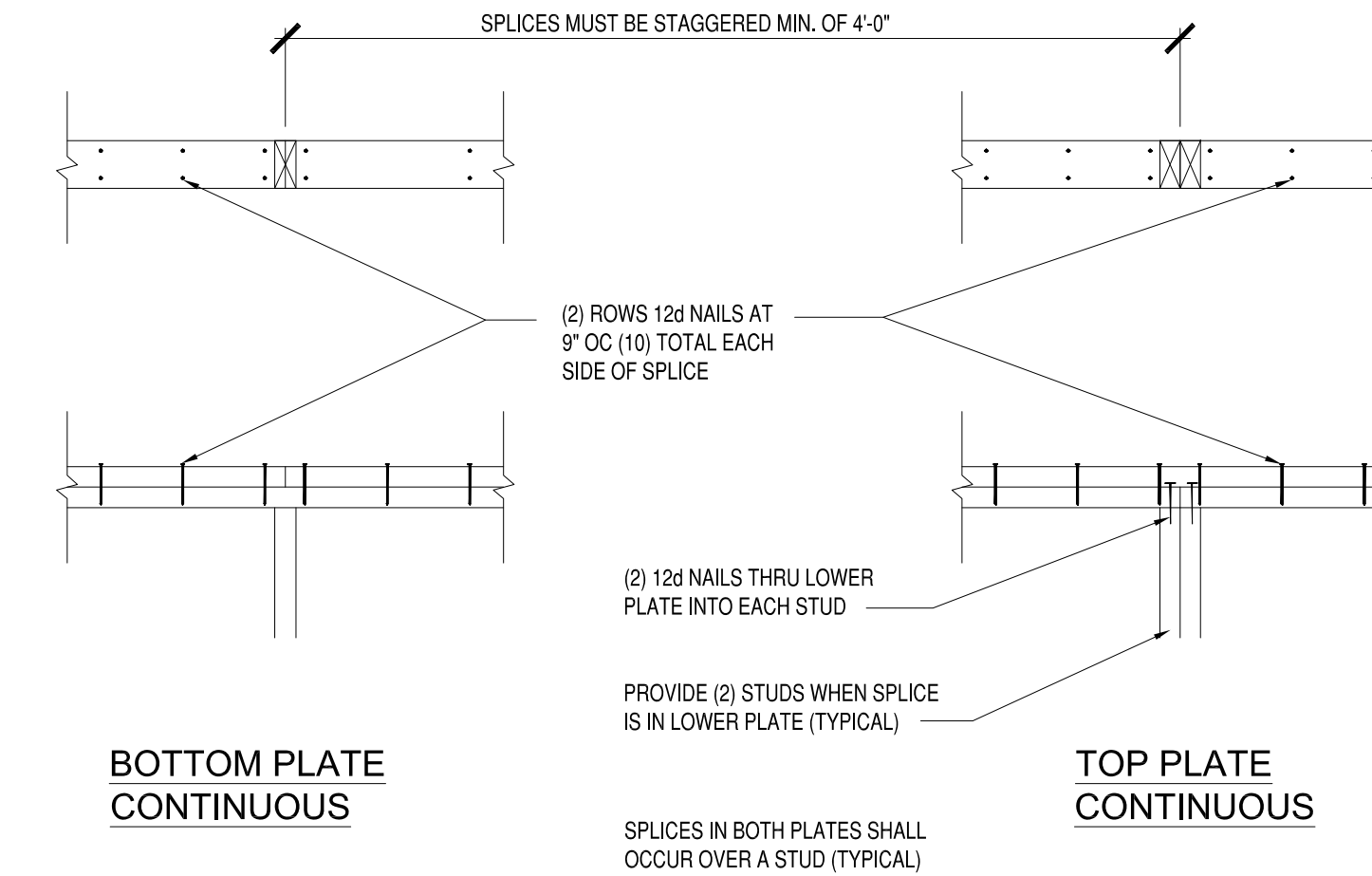


2012 INTERNATIONAL BUILDING CODE
2308.9.10 CUTTING AND NOTCHING
IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40% OF THE WIDTH OF THE STUD IS PERMITTED IN NONBEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.
2308.9.11 BORED HOLES
A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED IN NONBEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED, PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED.

- IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD.
- BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

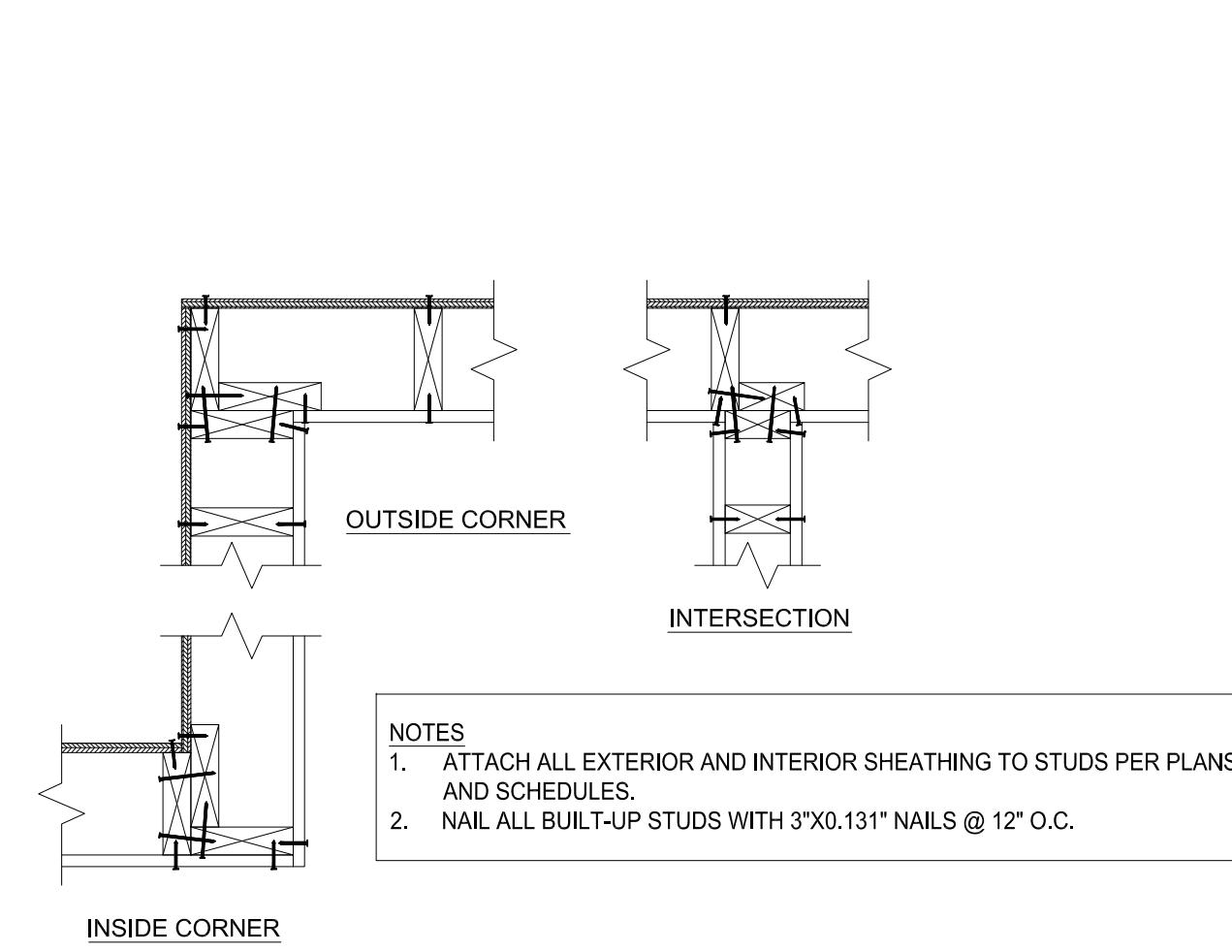
2
S-202
3"=1'-0"

ALLOWABLE STUD NOTCH & BORING



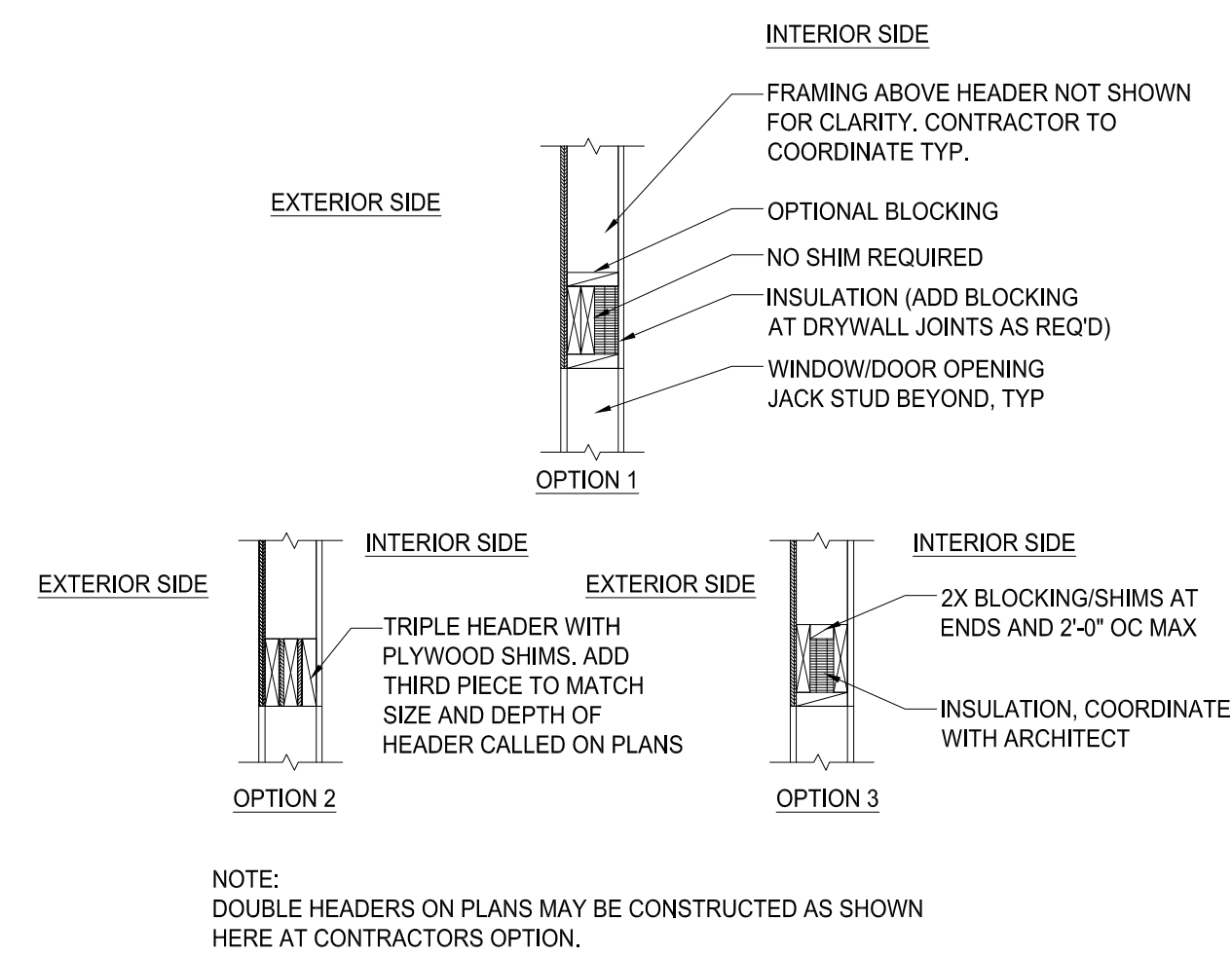
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S-S02
1-1/2"=1'-0"

TYP TOP PLATE SPLICE AT BEARING WALLS



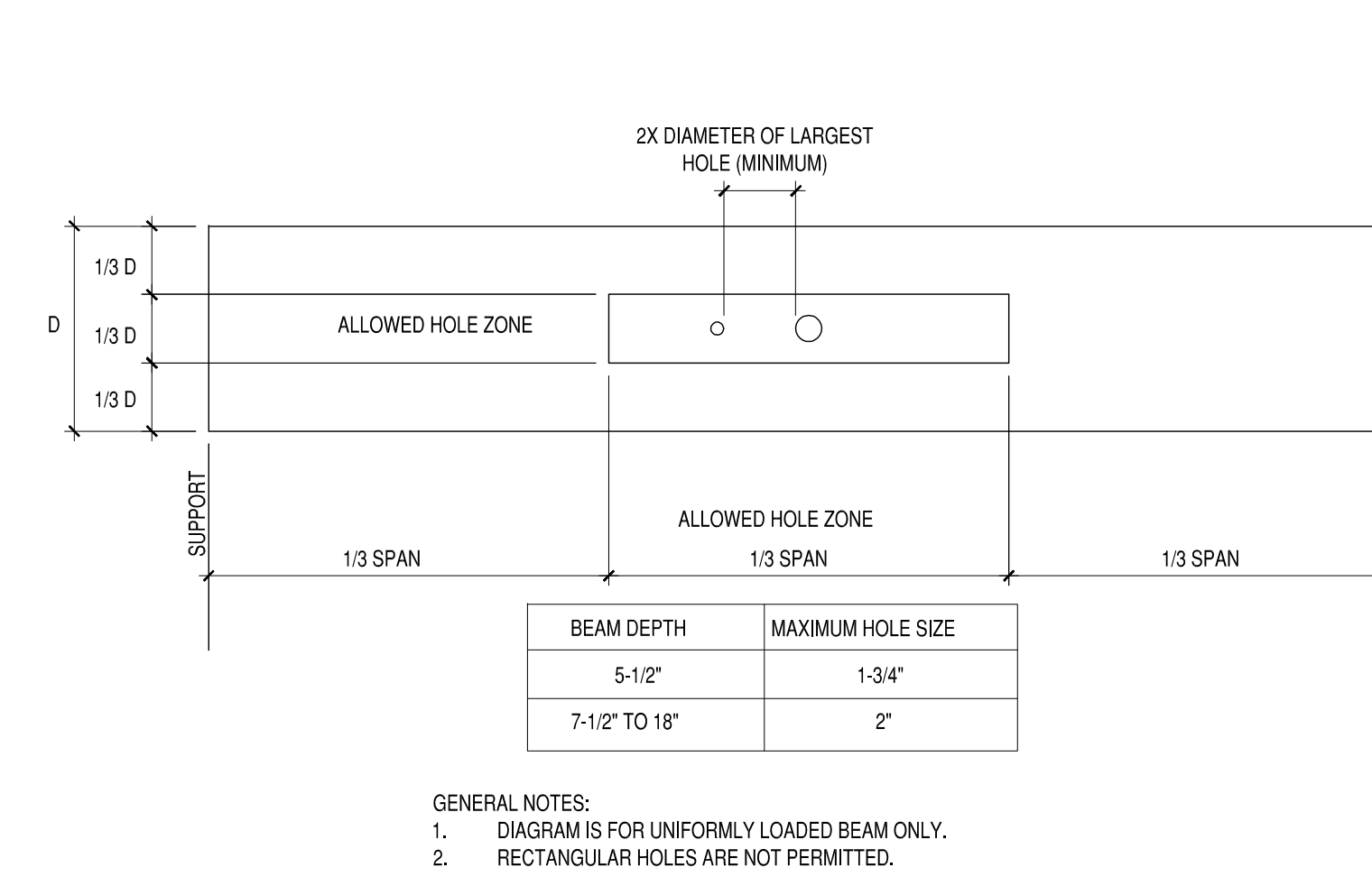
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S-202
1"=1'-0"

CORNER AND INTERSECTION FRAMING



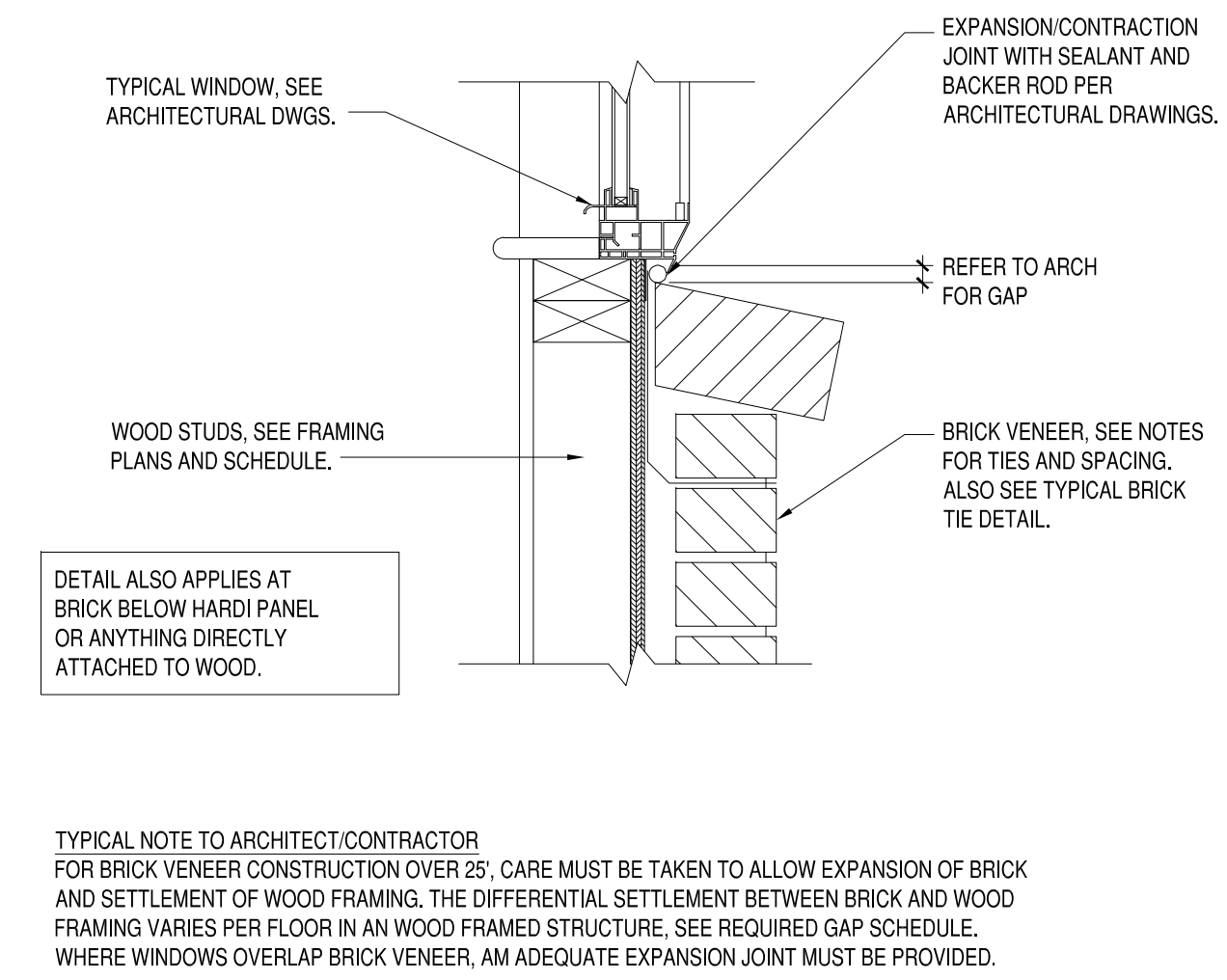
5
S-202
1"=1'-0"

2-PLY HEADER FOR 2X6 WALLS



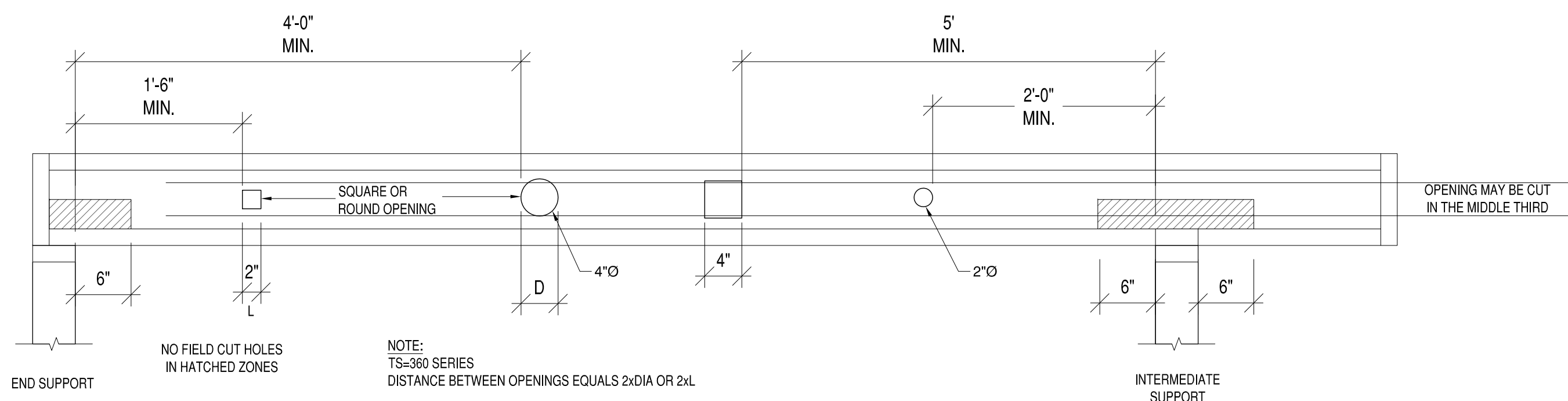
6
S-202
1-1/2"=1'-0"

ALLOW HOLES FOR BEAM/HEADER



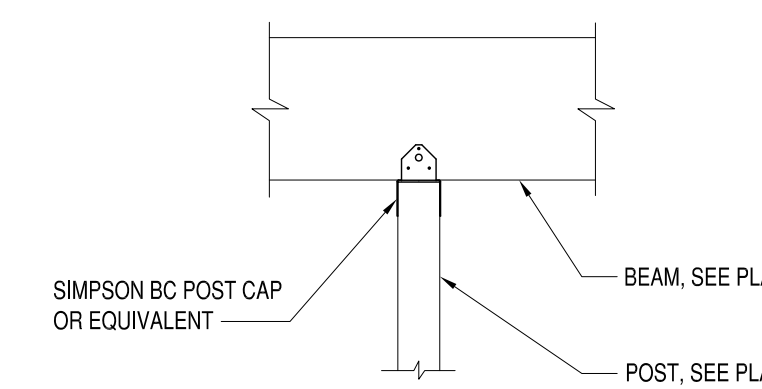
7
S-202
1-1/2"=1'-0"

TYPICAL EXPANSION JOINT AT BRICK VENEER



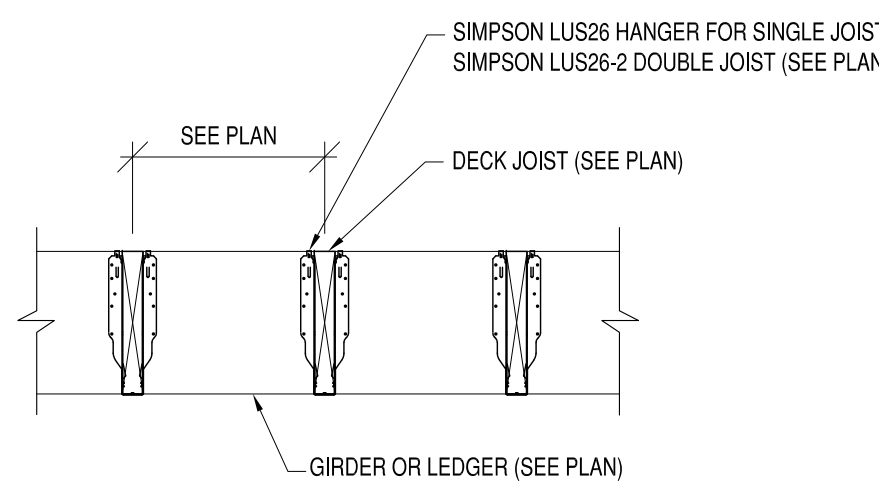
10
S-202
1"=1'-0"

TYPICAL OPENINGS IN JOIST



11
S-202
3/4"=1'-0"

TYP DECK POST TO BEAM DETAIL



12
S-202
3/4"=1'-0"

2X6 & 2X8 DECK JOIST DETAIL

DATE	DESCRIPTION	BY	APP'D
7-30-19	CAR REVISIONS		
6-17-19	GRADE REVISIONS		
4-28-19	CLIENT REVIEW 100%		
4-14-19	CLIENT REVIEW 95%		
4-3-19	CLIENT REVIEW		
3-2-19	CLIENT REVIEW		

PENN & CO.

42296 BENFOLD SQUARE
ASHBURN VA 20148
(703) 675-4502 PHONE

DESIGN CONSULTANT

GENERAL CONTRACTOR

HOMETOWN REALTY
"The Exceptional Exception"

MATT JARREAU
(804) 762-8092 PHONE

APPROVED

ACTIVITY

SATISFACTORY TO DATE

DES: JRP3 | DRW: JRP3 | CHK: JRP3

606-608 N 29th STREET DEVELOPMENT

RICHMOND, VIRGINIA 23223

TYPICAL DETAILS

SCALE: 1/4"=1'-0"

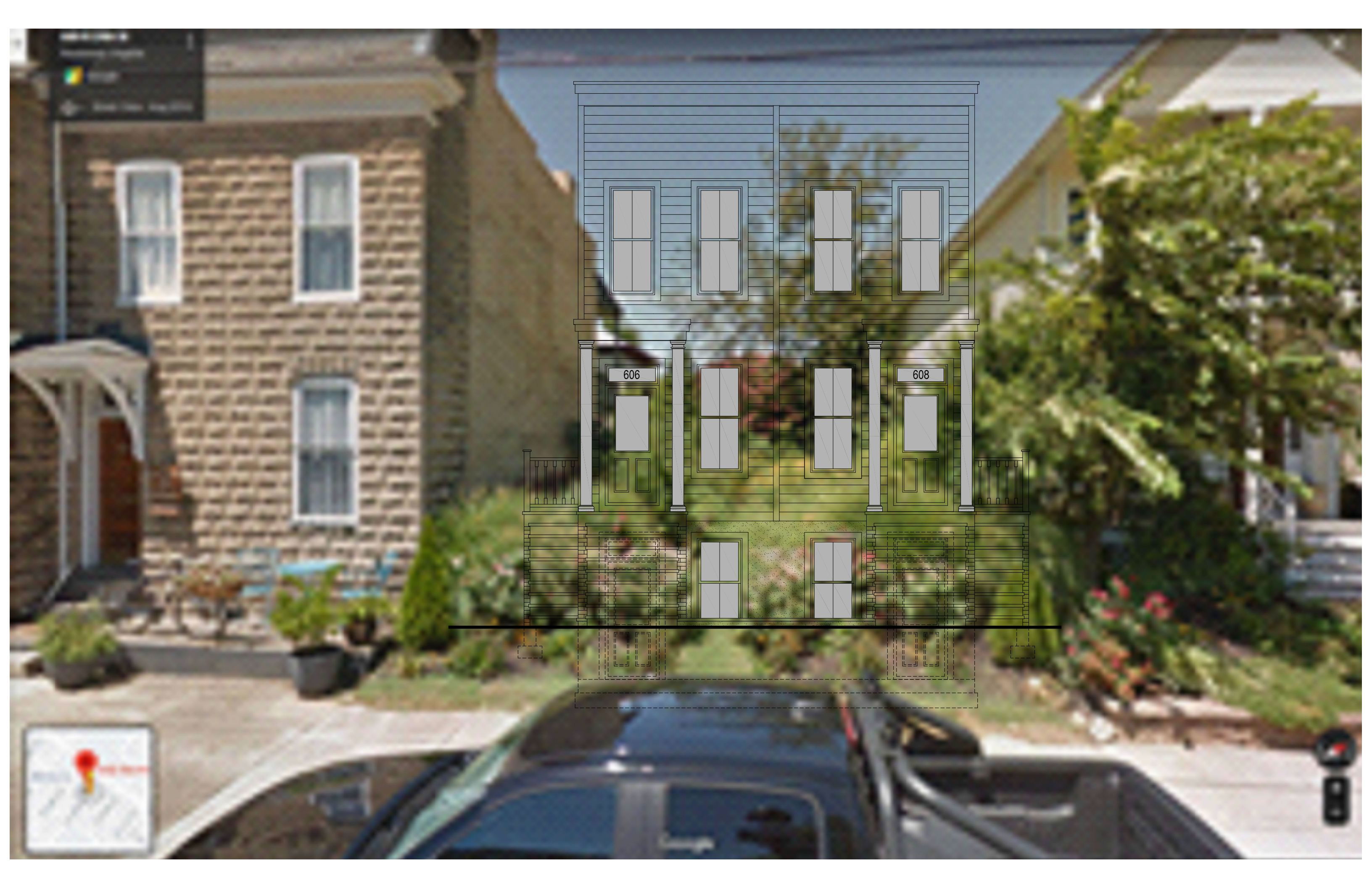
PROJECT NO.: 2019-02

CONSTR. CONTR. NO.

DRAWING NO.

SHEET OF

S-106



3D Model
Street View
Satellite
Street View History

606

608

