

## CODE INFORMATION

Designed under:  
2012 Virginia Rehabilitation Code  
ICC / ANSI A171.2003

Project is for the historic renovation of an existing building for 14 apartment units, all exterior windows to be replaced and new first floor storefront to be installed.

Type of Construction is 3B (Existing to remain)

A sprinkler system WILL be installed meeting NFPA 13.

% Open Perimeter = 18%  
(With 30' min. open width)

Building USE to be classified as R2 Apartments

Table 503 Area Limitation for "R2" use and 2B construction = 16,000 SF  
Frontage Increase per Section 506.2 = 0  
Sprinkler Increase per Section 506.3 = 2  
Equation 51 = Allowable Fire Area per floor = 16,000 + 32,000 + 0 = 48,000 SF

Actual Building Fire Area = 13,860 GSF  
1st Floor = 4,620  
2nd Floor = 4,620  
3rd Floor = 4,620

Building Height (no sprinkler increase)  
Allowable = 55' & 4 story (per table 503)  
Actual = ±49' - 10" & 3 story (existing to remain)

Building Occupancy: 69  
1st Floor = 23  
2nd Floor = 23  
3rd Floor = 23

Required exits:  
Existing historic stair at center of building to be extended to first floor and be the only remaining means of egress. A code modification has been applied for due to the limitations of Table 1021.2(1) noting (4) dwelling units at upper floors for single means of egress. 2nd & 3rd floors will have 5 units each. Travel distance will be under 70' and the egress corridors will be 1-hour rated and all units doors will also be 1 hour rated as part of the Code Modification. Since the existing floor plate cannot be reduced, the occupancy cannot be changed.

Required Fire Ratings:  
Exterior walls - load bearing: 2 hour  
Exterior walls - nonloadbearing: 0 hour  
(See fire separation chart below)  
Exit enclosures: 0 hour  
(Unless accessed by rated shafts and therefore equal)  
Other shafts: 1 hour  
(See stair code modification & Existing Building Code)  
Exit access corridors: 1 hour  
(but not less than shaft accessing)  
Tenant separations: 0 hour  
(not applicable)  
Dwelling Unit separation: 1 hour  
Fire Area Separation: 1 hour  
(not applicable)  
Fire & Party walls: 2 hour  
Smoke partitions: 1 hour  
(not applicable)  
Roof construction: 0 hour  
Floor construction: 0 hour  
(Unless part of Dwelling Unit Separation)  
Corridor construction: .5 hour  
Interior load bearing and supporting construction: 0 hour  
(but not less than the required rating of the structure to be supported)

Maximum Area of Exterior Wall Openings - Table 705.8

0' - 3'	Not Permitted
3' - 5'	15%
5' - 10'	25%
10' - 15'	45%
15' - 20'	75%
Greater than 20'	No Limit

Front and back walls are over 20' Fire Separation Distance

Side walls have 0' lot line set backs existing. No new OPENINGS are to be installed. Existing openings are to receive new windows and will not require protection per 1012.6 and Change of Use being equal hazards ("A" Use to "R2" Use).

ADA and Accessibility guidelines will be met including a new accessible back entrance and (1) Type A unit (although not required).

## OWNER

10 West Leigh St. LLC  
13412 Rupert Ct.  
Richmond, Va 23233

## ARCHITECT

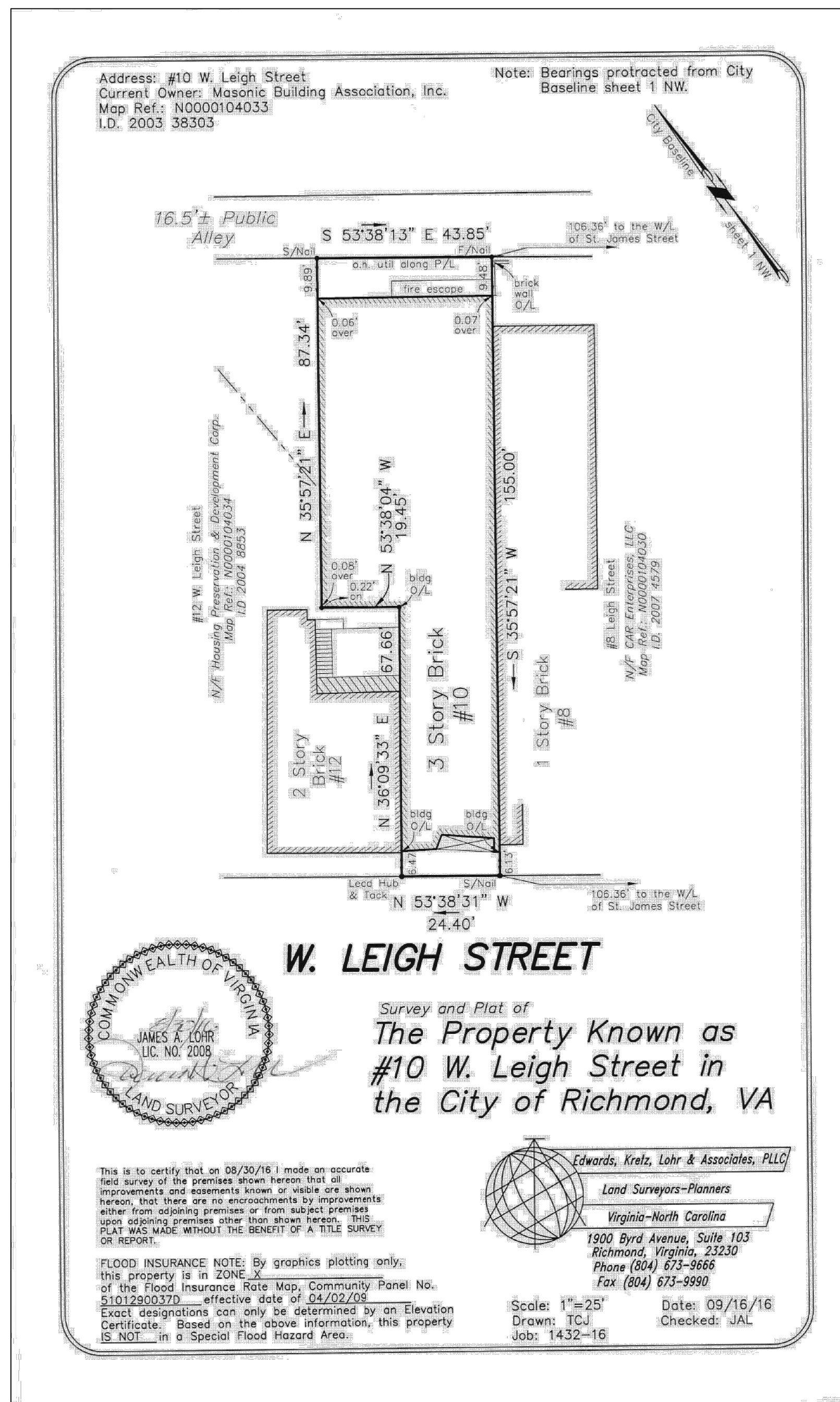
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Richmond VA 23227

## MEP ENGINEER

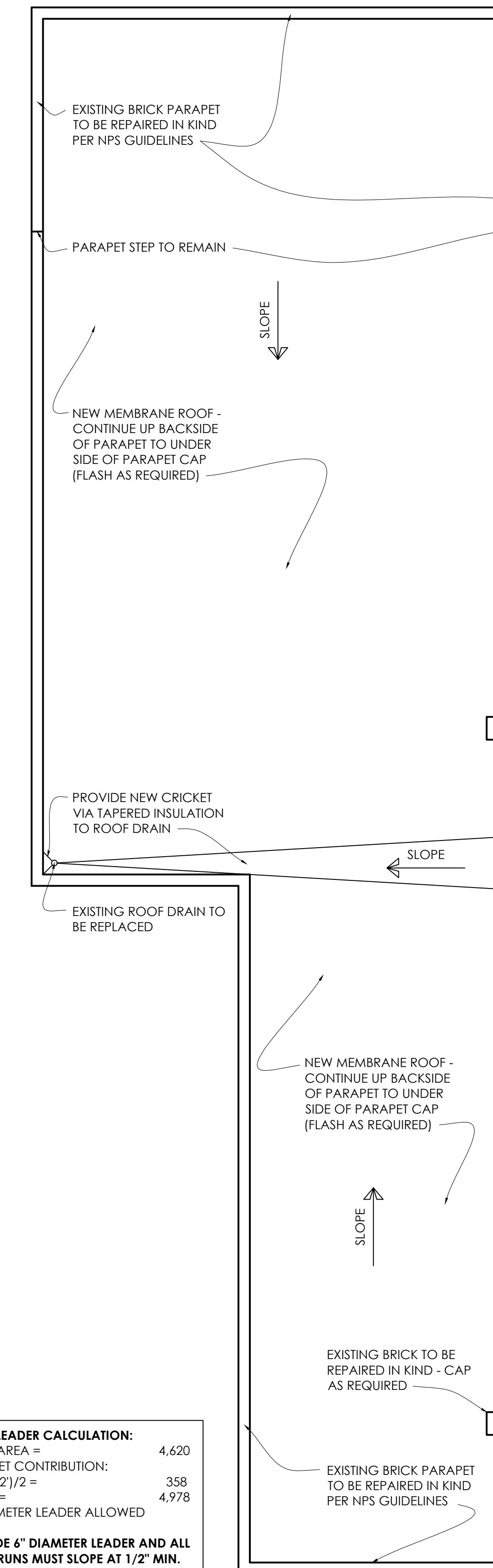
To be design- Build under the General Contractor's scope of work

## DRAWING INDEX

CS.01 COVER SHEET, GENERAL NOTES, CODE INFORMATION, PLAT & ROOF PLAN  
D1.01 DEMOLITION PLANS  
A1.01 NEW CONSTRUCTION FLOOR PLANS  
A2.01 REFLECTED CEILING PLANS  
A4.01 EXTERIOR ELEVATIONS  
A4.02 EXTERIOR ELEVATIONS  
A4.03 ENLARGED STOREFRONT ELEVATION



**02 PLAT SURVEY**  
SCALE: AS NOTED



**ROOF LEADER CALCULATION:**  
ROOF AREA = 4,620  
PARAPET CONTRIBUTION:  
(358' X 2 1/2" = 358  
TOTAL = 4,978  
4" DIAMETER LEADER ALLOWED  
PROVIDE 6" DIAMETER LEADER AND ALL  
HORZ. RUNS MUST SLOPE AT 1/2" MIN.

**01 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

## GENERAL NOTES

- The General Contractor and subcontractor(s) shall inspect premises prior to bid submittal and work commencement to verify existing and indicated conditions. Should a Contractor find conditions which he believes would impede his work, he shall report such conditions immediately to the Architect. Failure to so advise will constitute notice that the Contractor accepts the existing conditions and that he intends to perform his obligations with no allowance either in time or money for any impediments to his work.
- Each Contractor shall verify all dimensions and conditions in field. The drawings reflect conditions reasonably interpreted from the existing visible conditions, or from drawings or information furnished by the Owner, but cannot be guaranteed by the Architect. If dimensional errors occur or conditions not covered in the drawings are encountered, the Contractor shall notify the Architect before commencing that portion of the work.
- All work shall comply with the 2012 Virginia Rehabilitation Code & Virginia Construction Code.
- All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with the manufacturers' written specifications of instructions.
- The General Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely responsible for all construction and/or installation means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.
- Dimensions take precedence over scale on construction documents. Drawings may be rough scaled for estimating and general reference. Field verify all conditions prior to construction and/or fabrication.
- All dimensions are given Finish unless noted otherwise.
- All work shall be executed in a neat and workmanlike manner. Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of work, the entire construction area shall be completely cleaned to Architect & Owner's satisfaction.

9. When work not specifically called out is required to complete the project, the appropriate Contractor shall provide same and it shall be of the best materials and workmanship. If additional costs are required to complete the work, the Contractor shall notify the Architect prior to bid submittal and prior to starting the work, allowing a reasonable period of time for response and approval. No claims for extra compensation based on ignorance of visible or implied conditions or assumptions or disclaimers after the fact shall be considered.

- The General Contractor and Sub-contractors shall guarantee in writing all workmanship and materials for a period of one year from the date of substantial completion and approval. Materials and/or equipment carrying a manufacturer's guarantee shall be covered by the maximum term offered by the manufacturer but in no case less than one year. All defects discovered during construction shall be repaired to the Owner's satisfaction, at the Contractor's and/or Sub-contractor's expense, at no cost to the Owner or Architect.
- Unless otherwise specifically noted, the General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, transportation, and other facilities and services necessary for proper execution and completion of the work.
- The General Contractor shall obtain and pay fees for all required permits, schedule all required inspections, obtain all code approvals, etc. necessary for proper completion of the work.
- Contractor shall coordinate all work procedures with local authorities, planning commissions, neighborhood associations, or building management or Board of Directors' requirements.
- Contractor shall be responsible for the protection of all existing and new conditions and materials within the proposed construction area. Any damage caused by or during the execution of the work is the responsibility of the Contractor and shall be repaired or replaced to the Architect & Owner's satisfaction at the expense of the Contractor or Sub-contractor.
- All penetrations through floor slabs and/or roof systems, such as piping, conduit, ducts, etc., shall be packed and sealed off with fire-rated material and sealed against water penetration as appropriate to the assembly being penetrated.
- Contractor to coordinate draft stopping locations (if required) with Architect. attic areas are not to exceed 3,000 sf. per Section 718.4.2 Exception 03.

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COVER, CODE INFO,  
GENERAL NOTES,  
PLAT SURVEY &  
ROOF PLAN

**CS 01**

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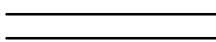
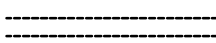







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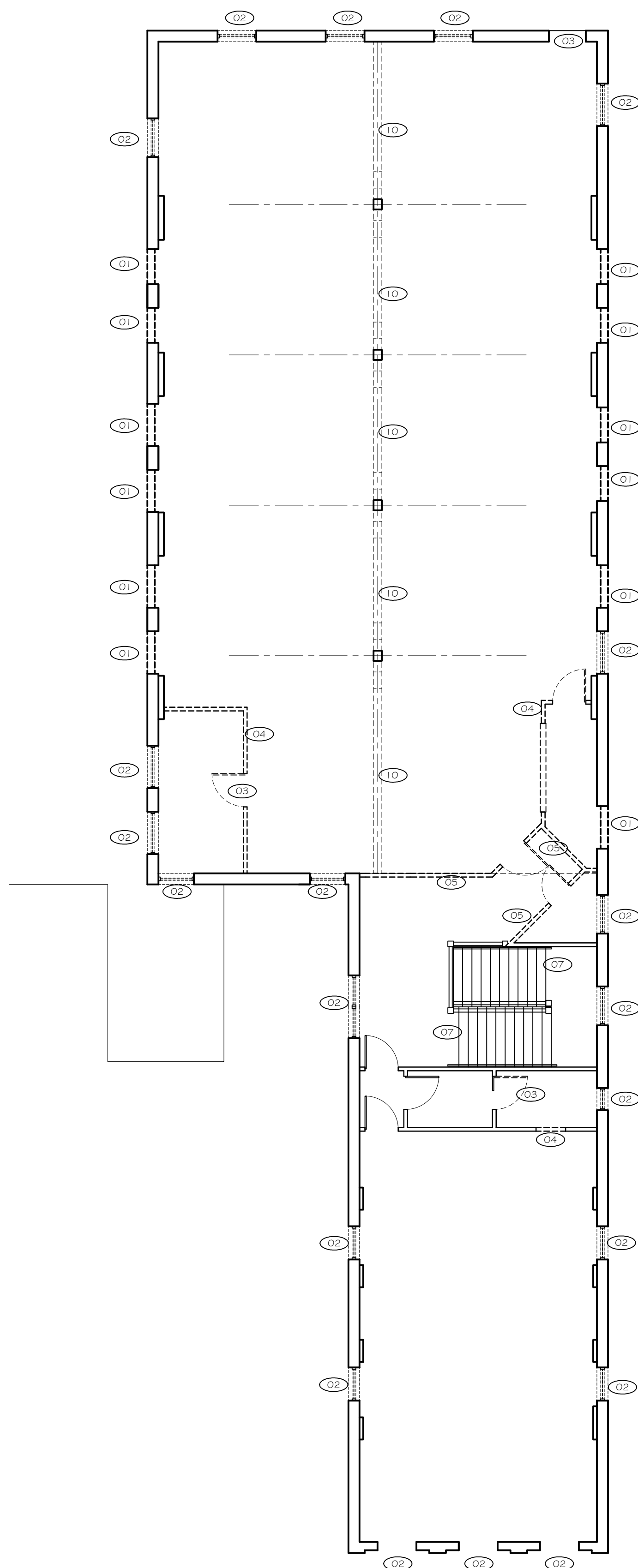
**KEYED DEMOLITION NOTES**

1. EXISTING MASONRY IN-FILL OF HISTORIC OPENING TO BE REOPENED AND PREPARED FOR RECEIVING NEW HISTORIC REPLACEMENT WINDOW.
2. EXISTING WINDOW BEYOND REPAIR. WINDOW TO BE REMOVED AND OPENING PREPARED FOR RECEIVING NEW HISTORIC REPLACEMENT WINDOW.
3. EXISTING NON-HISTORIC DOOR TO BE REMOVED AND DISCARDED.
4. EXISTING WALL TO BE REMOVED AND DISCARDED.
5. THIRD FLOOR CORRIDOR BEYOND REPAIR - TO BE REMOVED AND REPLACED TO MATCH EXISTING. SEE NEW CONSTRUCTION PLANS.
6. EXISTING HISTORIC CROWN MOLDING TO BE SAVED ABOVE.
7. EXISTING HISTORIC STAIR TO REMAIN.
8. NON-HISTORIC STAIR ENCLOSURE TO BE REMOVED ALONG WITH SECOND FLOOR IN PREPARATION OF EXTENDING STAIR TO FIRST FLOOR PRE HISTORICAL EVIDENCE.
9. NON-HISTORIC STAIR AT FRONT OF BUILDING TO BE REMOVED AND DISCARDED.
10. EXISTING BEAMS ABOVE TO REMAIN. (EMERGENCY STABILIZATION ALREADY IN PROGRESS)

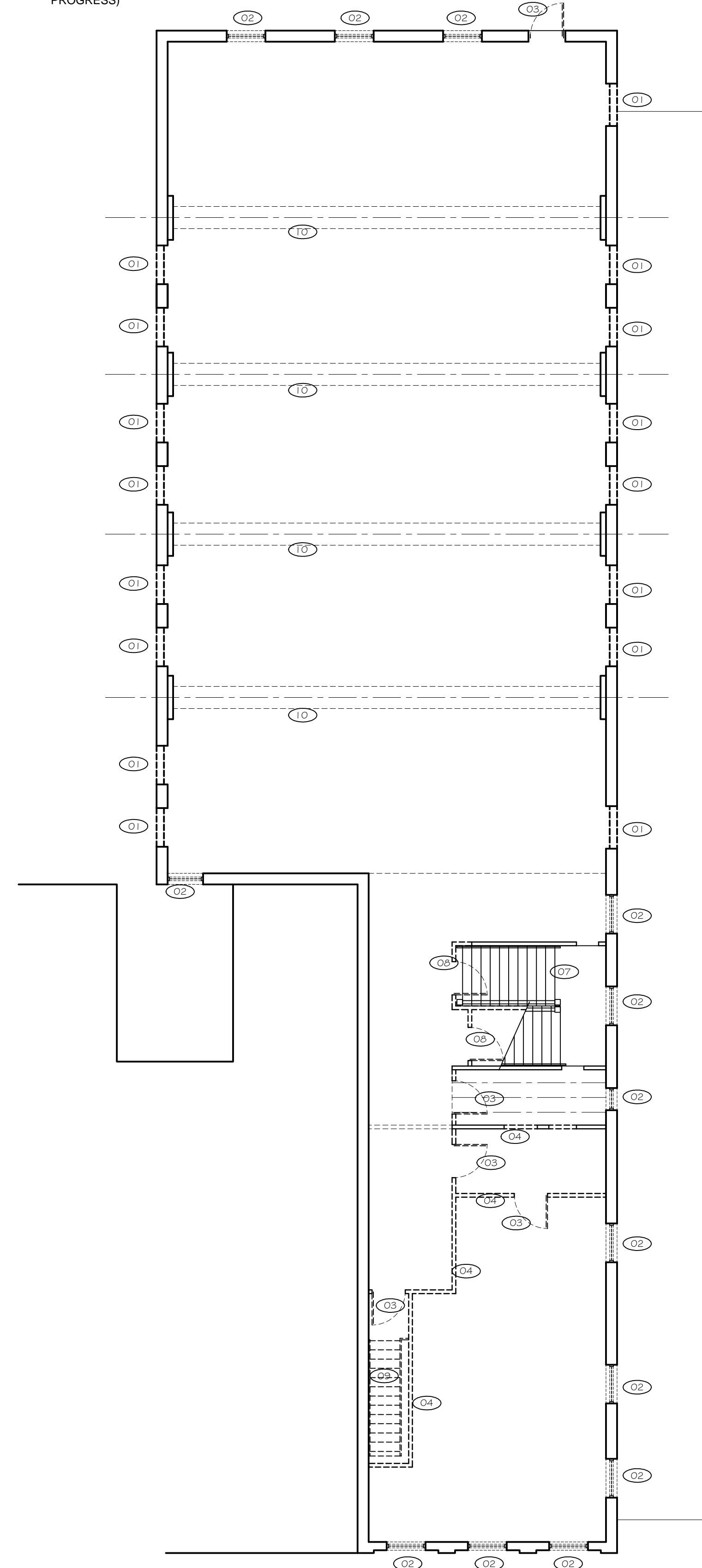
**LEGEND:**

- EXISTING STUD WALL TO REMAIN 
- EXIST. STUD WALL TO BE REMOVED 
- NEW WOOD STUD WALL 
- PARTITION TYPE (SEE BELOW) 
- KEYED PLAN NOTE 
- ALIGN WALLS AS SHOWN 
- DOOR KEY (SEE CS.01) 
- INTERCONNECTED SMOKE DETECTOR 
- TEMPERED GLASS 

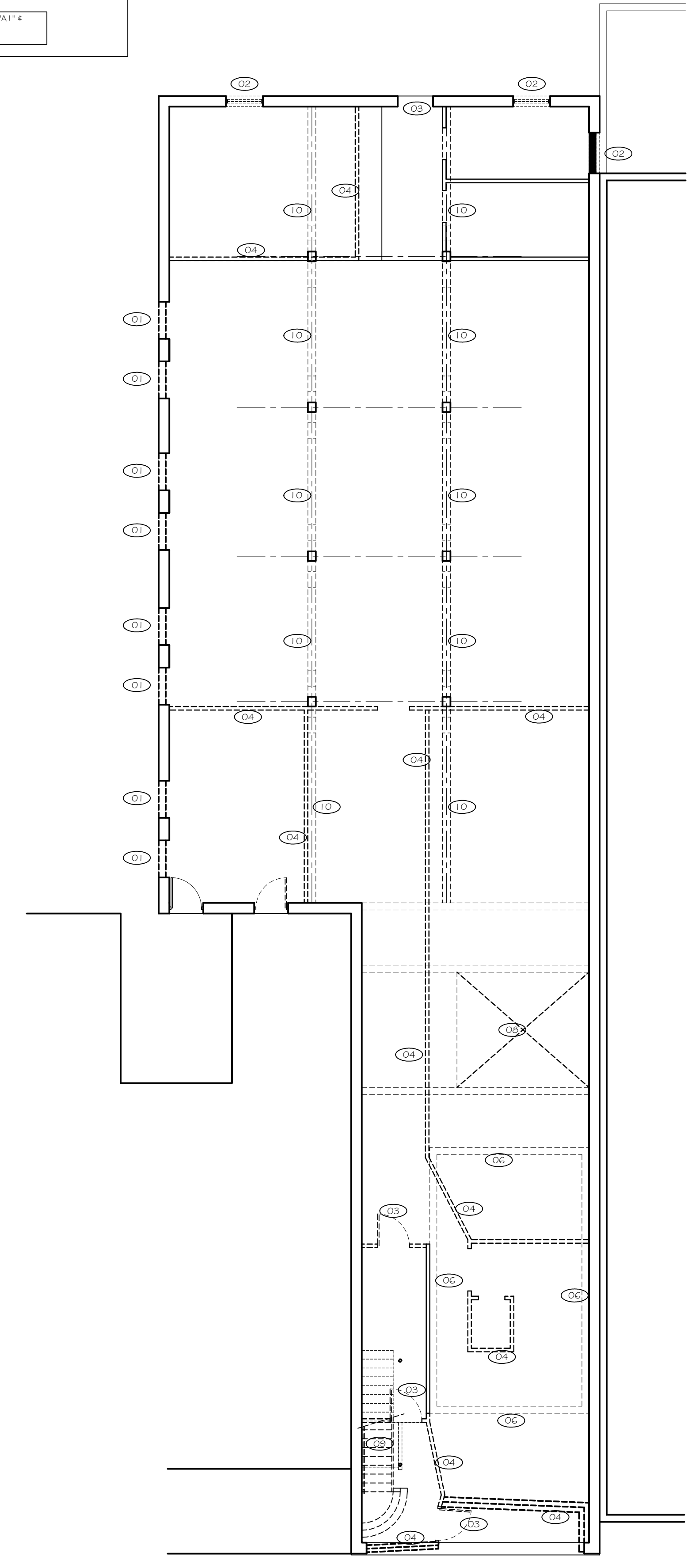
UNIT INTERIOR NEW WALLS ARE PARTITION TYPE "A1" \*  
DEMISING WALLS ARE TYPE "B1" \* U.N.O.  
(SEE PARTITION TYPES ON SHEET CS.D.1)



**03** THIRD FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



**02** SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



**01** FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

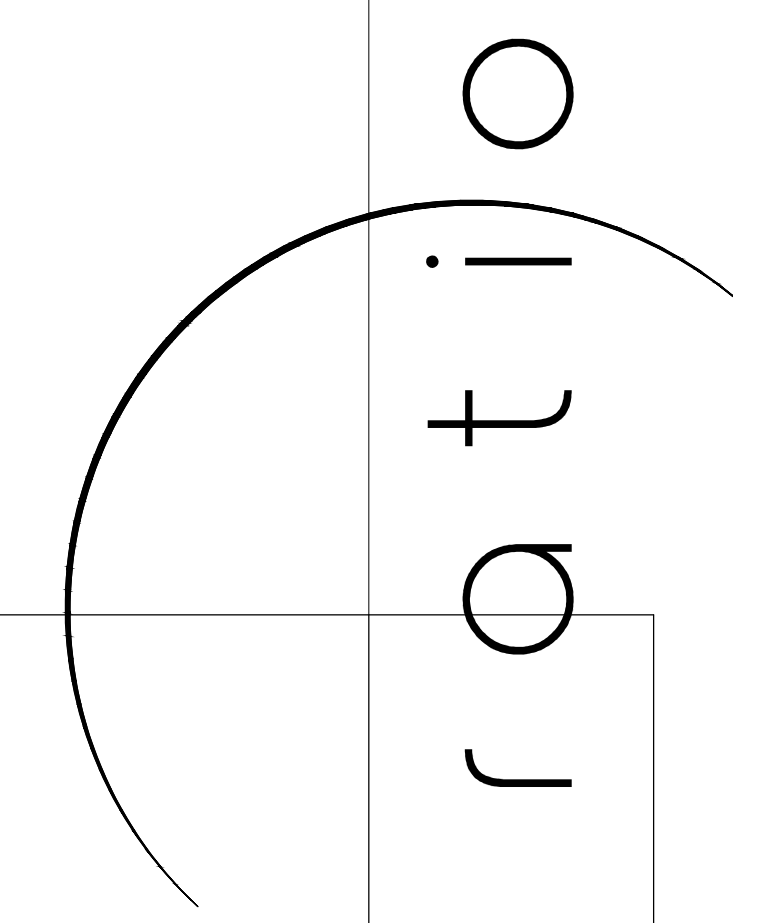
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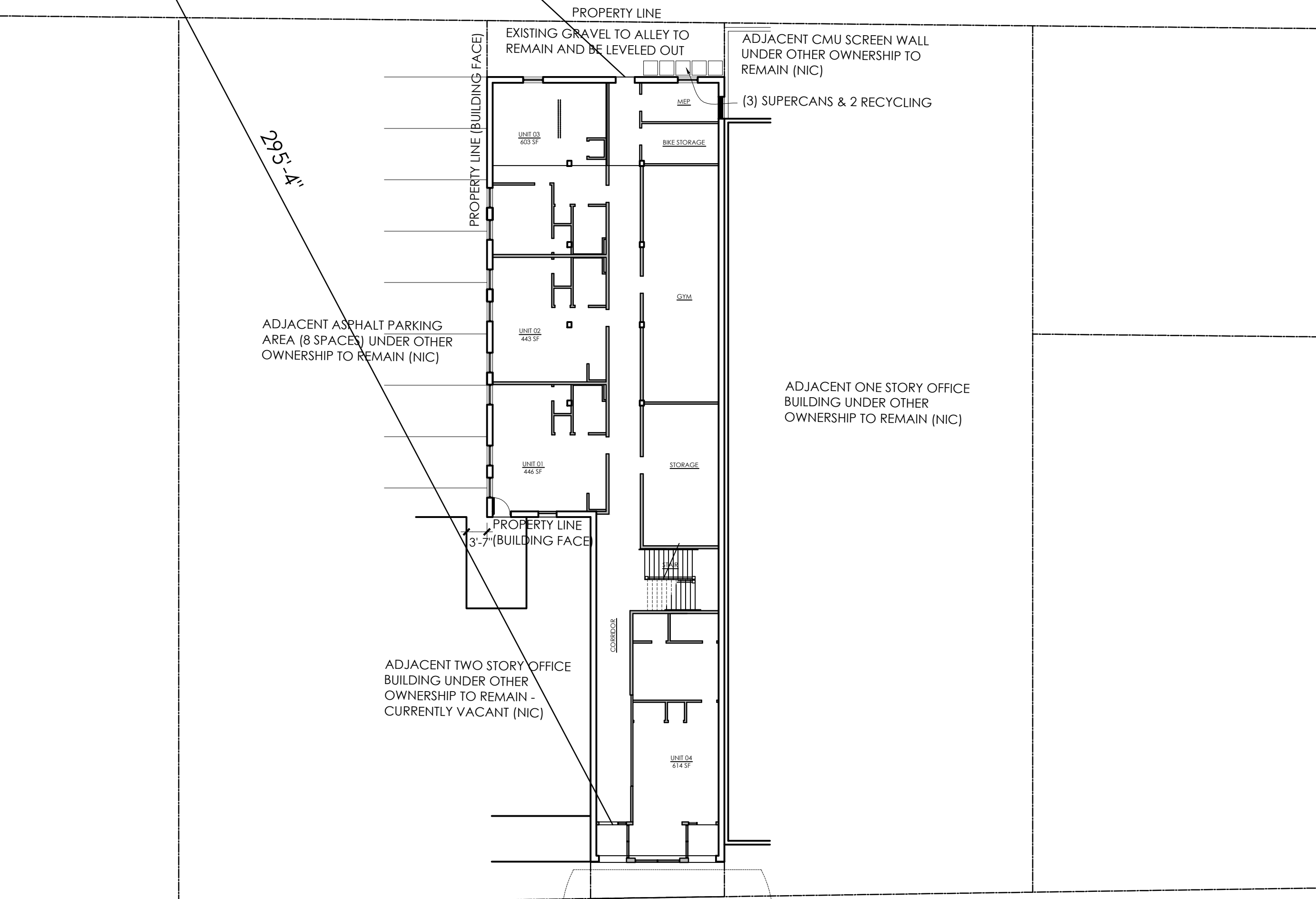
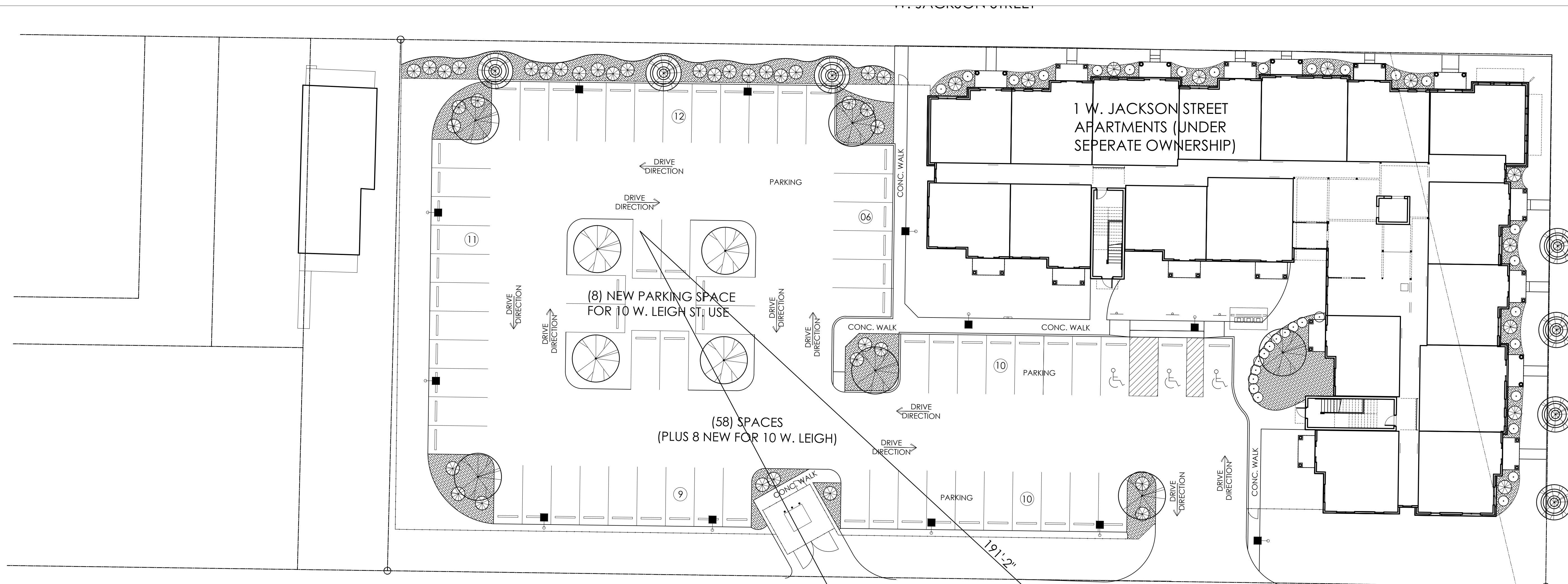
DEMOLITION PLANS

**D1 01**

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**01** ARCHITECTURAL SITE PLAN  
SCALE: 1/16" = 1'-0"

W. LEIGH STREET

ST. JAMES STREET

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ARCHITECTURAL  
SITE PLAN

**AS 01**

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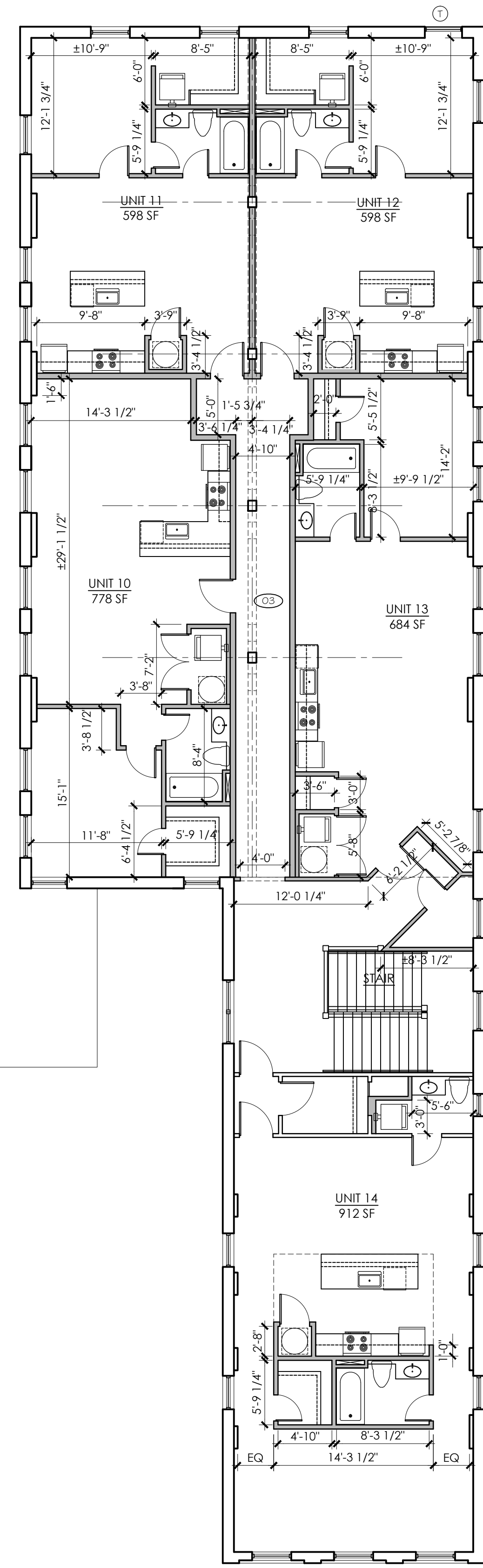
**KEYED NEW CONSTRUCTION NOTES**

- EXISTING STAIR TO BE EXTENDED TO FIRST FLOOR. ALL HISTORIC DETAILS AND PROFILES TO BE MATCHED TO EXISTING.
- NEW DUAL ENTRANCE WOOD STOREFRONT TO BE INSTALLED PER PLANS & ELEVATIONS.
- NEW FIRE RATED EGRESS CORRIDOR.
- CODE MODIFICATION TO BE APPLIED FOR IN ORDER TO ELIMINATE FIRE ESCAPE AND HAVE ONE MEANS OF EGRESS FOR THREE STORY R2 USE WITH 5 UNITS AT SECOND & THIRD FLOORS.
- EXISTING ENTRANCE TO RECEIVE NEW DOOR.
- ALL EXISTING HEAVY TIMBER COLUMNS AND BEAMS ARE TO REMAIN EXCEPT WHERE EMERGENCY REPAIRS HAVE ALREADY TAKEN PLACE TO STABILIZE BUILDING
- EXISTING HISTORIC STAIR TO REMAIN BETWEEN SECOND AND THIRD FLOORS.

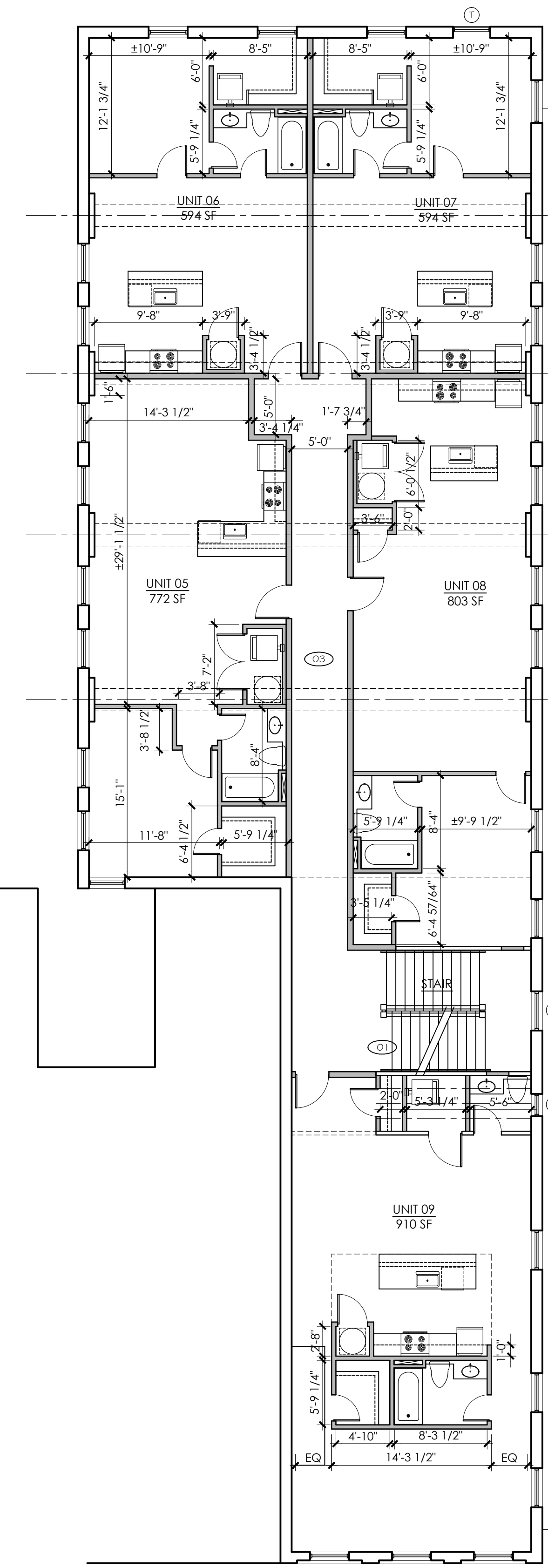
**LEGEND:**

- EXISTING STUD WALL TO REMAIN
- EXIST. STUD WALL TO BE REMOVED
- NEW WOOD STUD WALL
- PARTITION TYPE (SEE BELOW)
- KEYED PLAN NOTE
- ALIGN WALLS AS SHOWN
- DOOR KEY (SEE CS.01)
- INTERCONNECTED SMOKE DETECTOR
- TEMPERED GLASS

UNIT INTERIOR NEW WALLS ARE PARTITION TYPE "A1" & DEMISING WALLS ARE TYPE "B1" U.N.O. (SEE PARTITION TYPES ON SHEET CS.01)

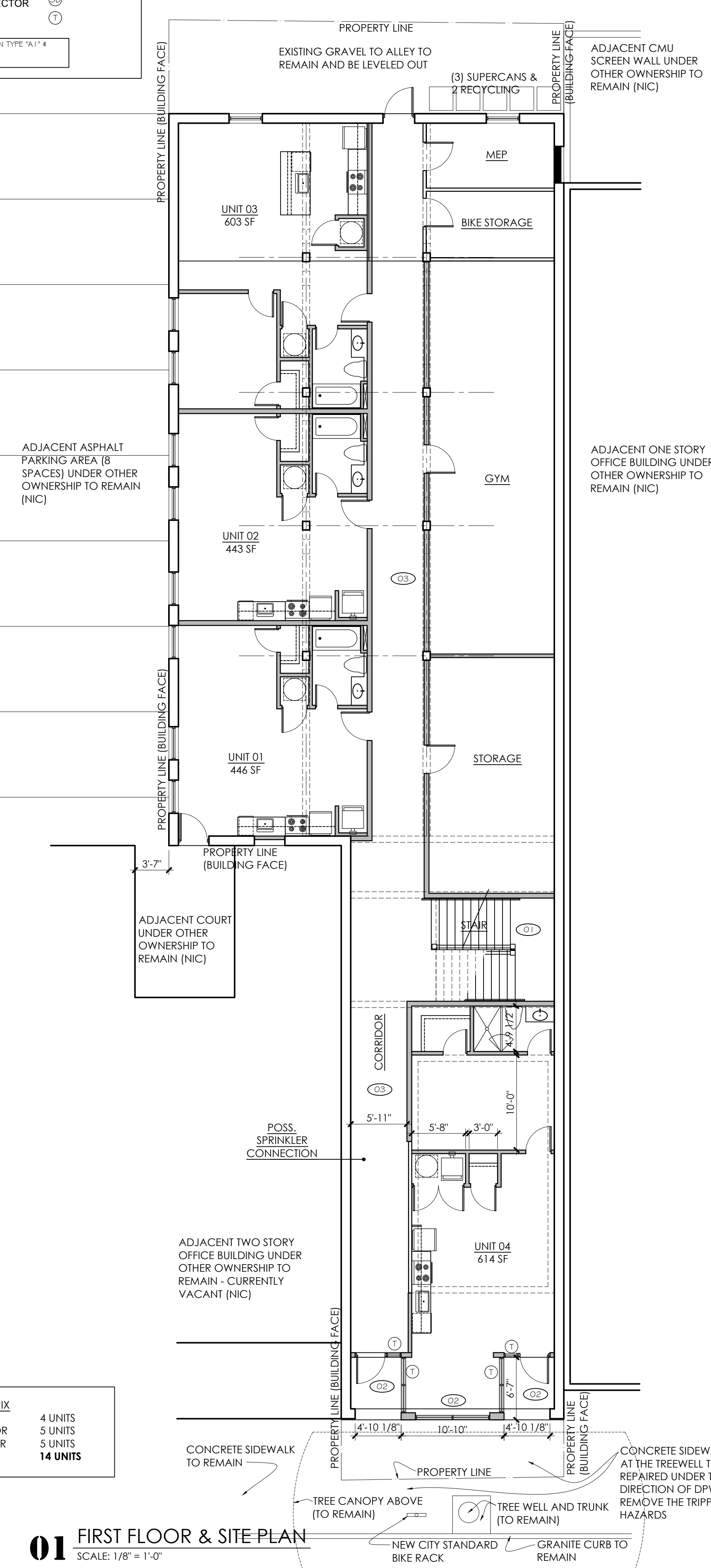


**03** THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**02** SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

UNIT MATRIX	
1ST FLOOR	4 UNITS
2ND FLOOR	5 UNITS
3RD FLOOR	5 UNITS
<b>TOTAL</b>	<b>14 UNITS</b>



**01** FIRST FLOOR & SITE PLAN  
SCALE: 1/8" = 1'-0"

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FLOOR PLANS

**A1 01**

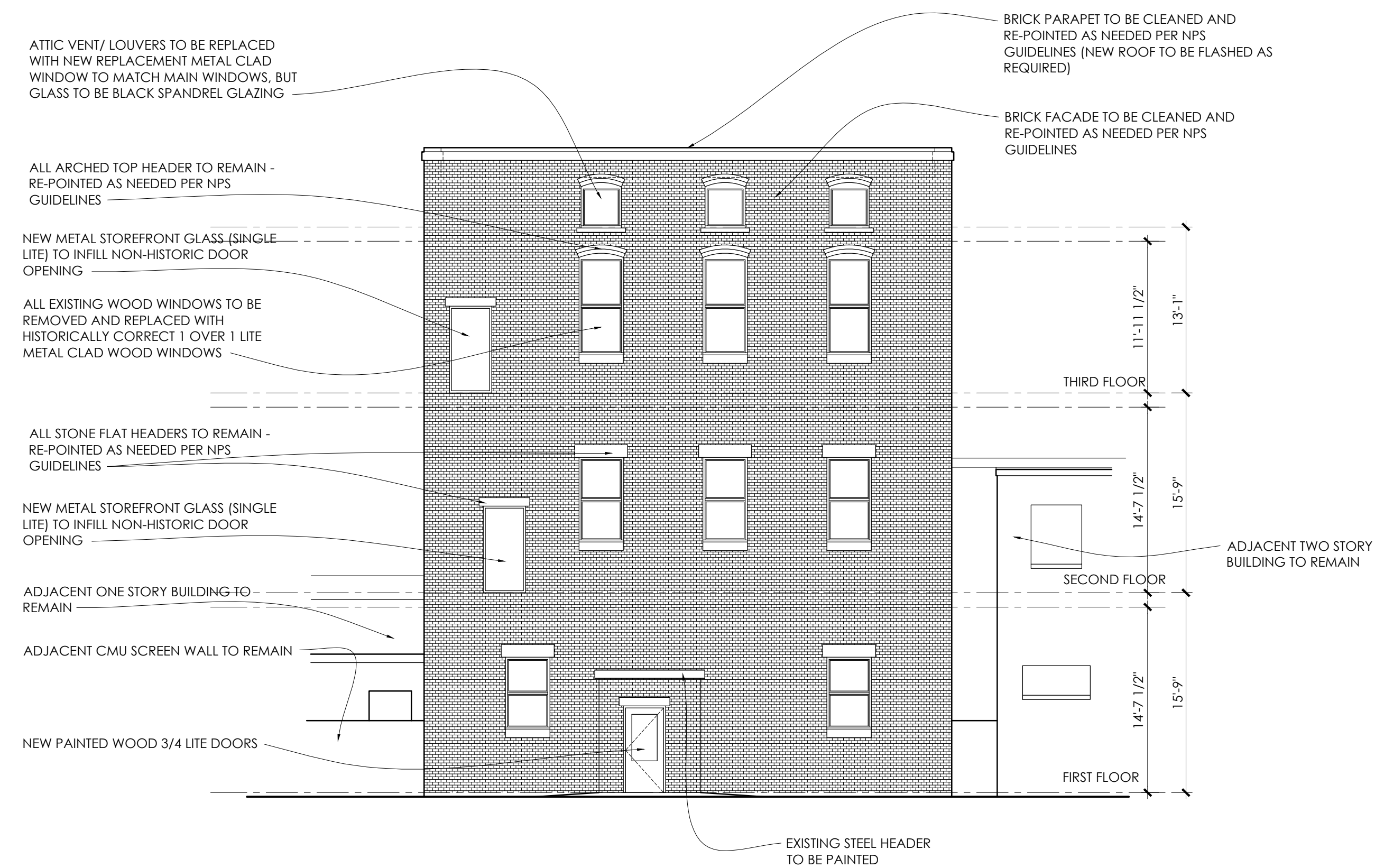
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**02 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**01 BACK ELEVATION**  
SCALE: 1/8" = 1'-0"

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EXTERIOR  
ELEVATIONS

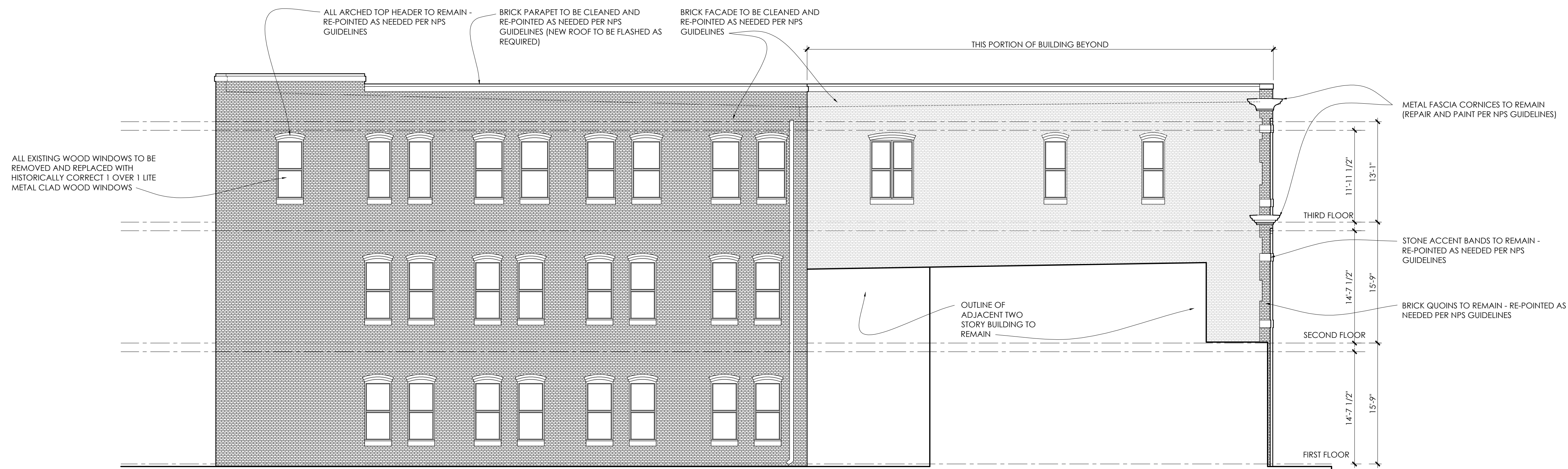
**A4 01**

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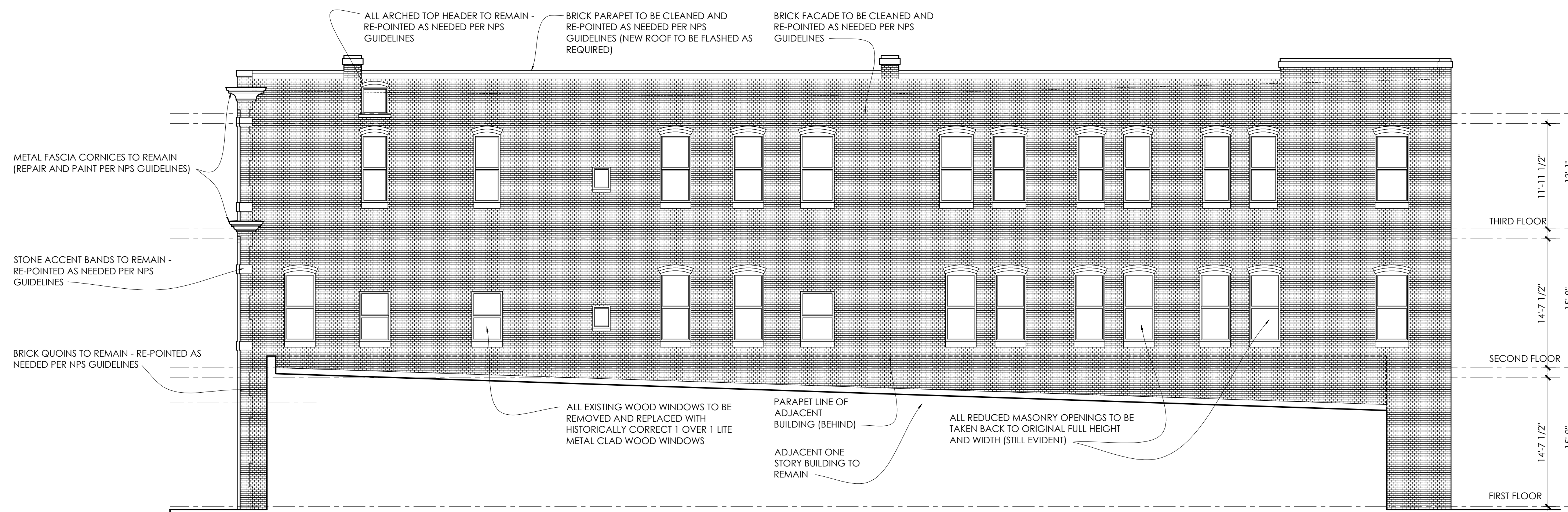
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**02** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



**01** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

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EXTERIOR  
ELEVATIONS

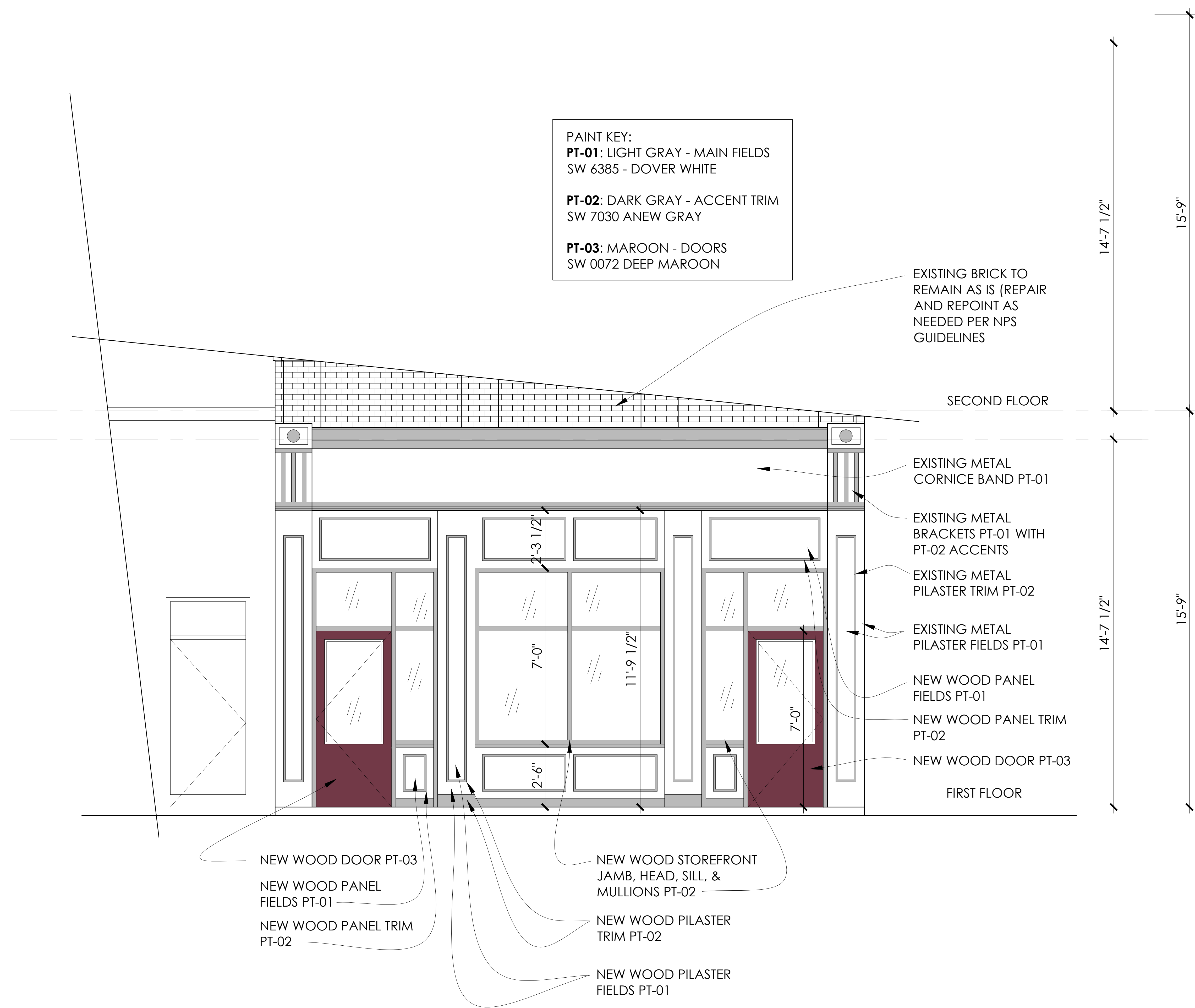
**A4 02**

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**01** ENLARGED STOREFRONT ELEVATION  
 SCALE: 1/2" = 1'-0"

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ENLARGED ELEVATION

**A4 03**

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